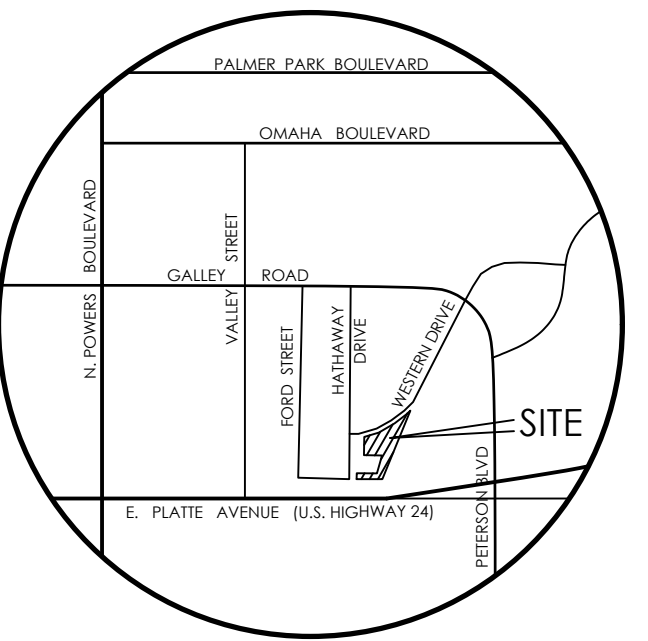


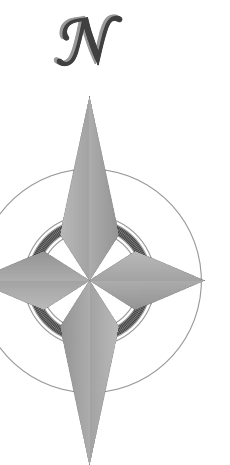
# SITE DEVELOPMENT PLAN FOR TOWNHOMES AT WESTERN

LOT 1, CIMARRON SOUTHEAST FILING NO. 2C  
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
EL PASO COUNTY, COLORADO



VICINITY MAP  
NOT TO SCALE

BENCHMARK  
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD '88.



1" = 100' 1:1,200



REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

## TOWNHOMES AT WESTERN

LOT 1, CIMARRON SOUTHEAST FILING NO. 2C

### COVER SHEET

DP-1 MVE PROJECT 61203  
MVE DRAWING DEV-CS

JULY 11, 2024  
SHEET 1 OF 6

### LEGEND

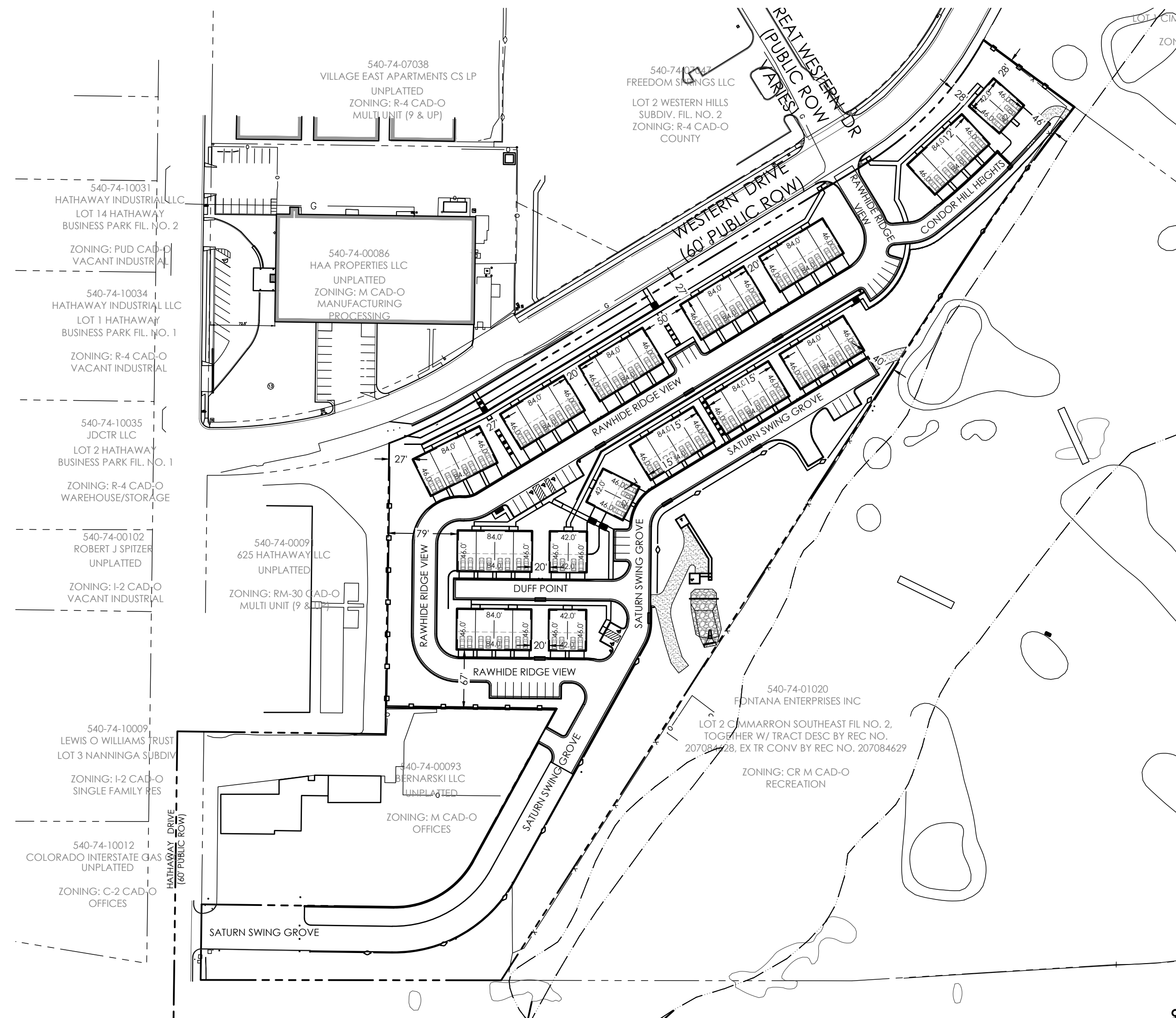
-----	PROPERTY LINE	-----	INDEX CONTOUR
- - - - -	EASEMENT LINE	-----	INTERMEDIATE CONTOUR
-----	LOT LINE	-----	CONCRETE AREA
-----	BUILDING SETBACK LINE	-----	ASPHALT AREA
-----	ADJACENT PROPERTY LINE	-----	CURB AND GUTTER
-----		-----	BUILDING/ BUILDING OVERHANG
-----		-----	DECK
-----		-----	RETAINING WALL - SOLID/ ROCK
-----		-----	SIGN
-----		-----	BOLLARD
-----		-----	WOOD FENCE
-----		-----	CHAIN LINK FENCE
-----		-----	BARBED WIRE FENCE
-----		-----	TREE (EVERGREEN/DECIDUOUS)
-----		-----	SHRUB
-----		-----	ROCK

### ABBREVIATION LEGEND

ASPH	ASPHALT
CONC	CONCRETE
C & G	CURB & GUTTER
DET.	DETAIL
ESMT	EASEMENT
ME	MATCH EXISTING
P.B., PG.	PLAT BOOK, PAGE
PVMT	PAVEMENT
RET. WALL	RETAINING WALL
REC. NO.	RECEPTION NUMBER
R.O.W.	RIGHT-OF-WAY
SF	SQUARE FOOT
STBK	SETBACK
SW	SIDEWALK
UTIL	UTILITY
Ⓢ	CATCH CURB
Ⓣ	SPILL CURB

### SHEET INDEX

SITE DEVELOPMENT PLAN	
DP-1	COVER SHEET
DP-2	SITE PLAN (NORTH)
DP-3	SITE PLAN (SOUTH)
DP-4	PRELIMINARY GRADING PLAN
DP-5	PRELIMINARY UTILITY PLAN
DP-6	SITE DETAILS



### SITE DATA

<b>OWNER / DEVELOPER</b> J. ELLIOTT HOMES, INC. 13761 BANDANERO DRIVE PEYTON, CO 80831 PH (719) 499-8214	<b>COVERAGE DATA</b>
<b>CONSULTANT/ENGINEER</b> M.V.E. INC. 1903 LELARAY STREET, SUITE 200 COLORADO SPRINGS, CO 80909 (719) 635-5736	52 TOWNHOME UNITS (966 EA) 50,232 SF 16.2% PAVEMENT (PARKING/WALK) 107,647 SF 34.7% LANDSCAPING 152,190 SF 49.1%
<b>SURVEYOR</b> POLARIS SURVEYING, INC. 1903 LELARAY STREET, SUITE 102 COLORADO SPRINGS, CO 80909 (719) 448-0844	TOTAL AREA 310,069 SF 100.0% = 7.118± ACRES
<b>ZONING</b> RESIDENTIAL MULTI-DWELLING (RM-30)	<b>PARKING DATA</b> 52 MULTI-FAMILY RESIDENTIAL UNITS (3 BEDROOM) REQUIRED PARKING: 2.0 SPACES / 3 BEDROOM UNIT = 2.0 X 52 = 104 GUEST REQUIRED: 1 SPACE / 4 UNITS = 52 / 4 = 5 ADA SPACES REQUIRED: = 122
<b>BUILDING USE</b> TOWN HOMES	PROVIDED: GARAGES: = 104 OUTSIDE PARKING (GUEST): (9' x 18' SPACES) = 33 ADA SPACES: (8'x18' w/ 8' AISLE OR 9'x18' w/ 5' AISLE) = 5
<b>CONSTRUCTION SCHEDULE</b> START: FALL 2024 FINISH: FALL 2025	TOTAL SPACES PROVIDED: = 142 SPACES
<b>TAX SCHEDULE NO.</b> 5407401016	<b>BUILDING TYPE</b> BUILDING AREA - 3,864 SF TWO / THREE STORY - TYPE II-B NOT FIRE SPRINKLED / NO FIRE WALLS
<b>PROPERTY ADDRESS</b> 721 WESTERN DRIVE COLORADO SPRINGS, CO 80915	<b>BUILDING HEIGHT</b> 40 FT MAX. (THREE STORY)
<b>LEGAL DESCRIPTION</b> LOT 1, CIMARRON SOUTHEAST FILING NO. 2C AS RECORDED IN PLAT BOOK H-3 AT PAGE 89 OF THE RECORDS OF EL PASO COUNTY, COLORADO CONTAINING A CALCULATED AREA OF 7.118 ACRES, MORE OR LESS.	<b>SET BACKS</b> 25' FRONT (WESTERN DRIVE) 15' REAR 15' SIDE 25' PERIMETER BOUNDARY

### DEVELOPMENT NOTES:

1. WATER SERVICE PROVIDED BY CHEROKEE METROPOLITAN DISTRICT.
2. SEWER SERVICE PROVIDED BY CHEROKEE METROPOLITAN DISTRICT.
3. GAS AND ELECTRIC SERVICE PROVIDED BY COLORADO SPRINGS UTILITIES.
4. OWNERSHIP AND MAINTENANCE OF THE GENERAL COMMON ELEMENT (GCE), TRACT A SHALL BE VESTED TO THE TOWNHOMES AT WESTERN HOME OWNERS ASSOCIATION. THIS INCLUDES THE MAINTENANCE OF THE PRIVATE ROADS, COMMON AREAS, ETC.
5. TRASH COLLECTION SHALL BE VIA INDIVIDUAL COLLECTION BINS STORED IN EACH UNIT. THERE IS NO COMMON COLLECTION POINT OR COMMUNAL GARBAGE RECEPTACLES IN THIS DEVELOPMENT.

### ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

### FLOODPLAIN STATEMENT

A PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA) ZONE AE AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0754 G, EFFECTIVE DECEMBER 7, 2018.

### MAP NOTES

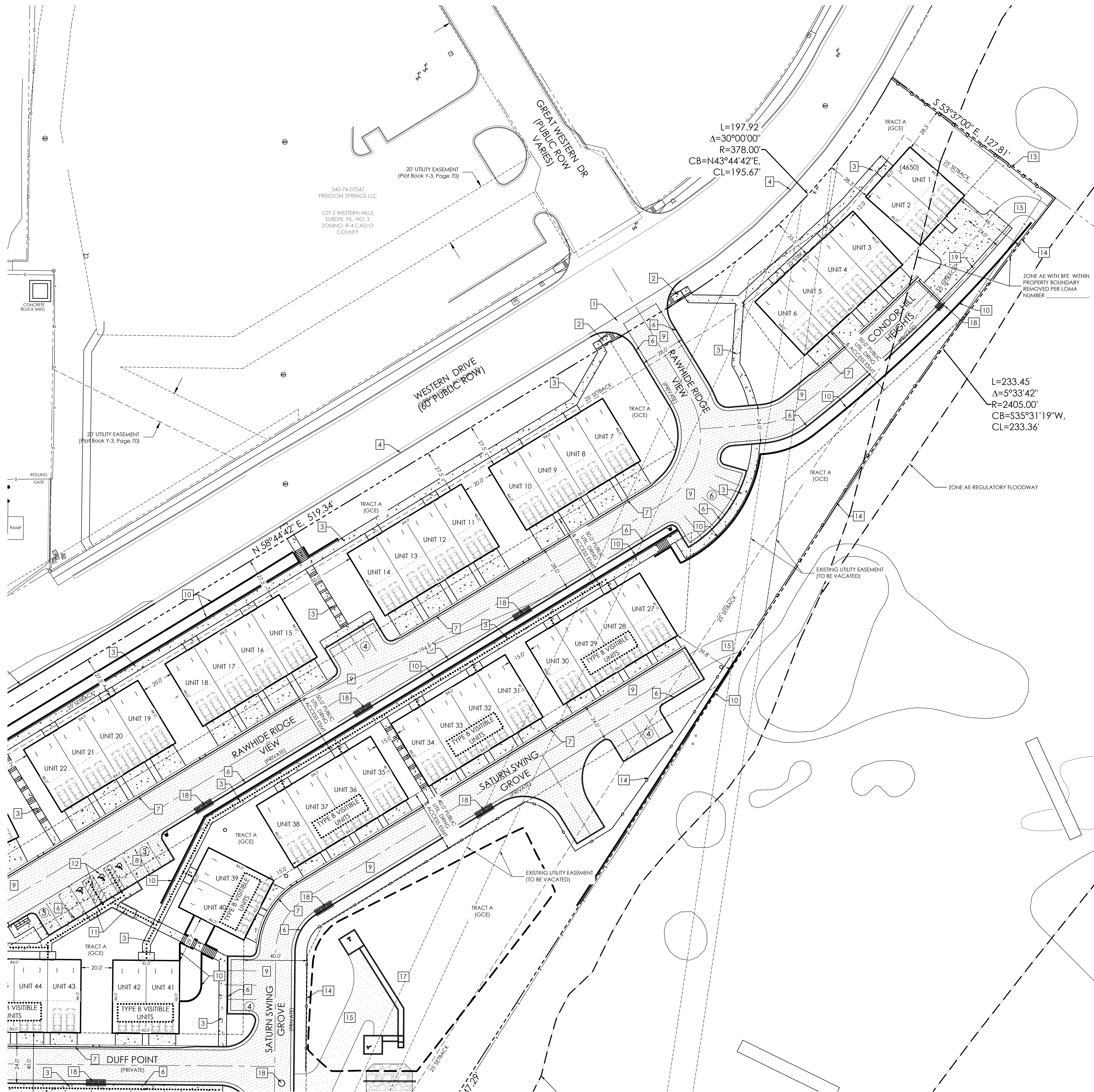
1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR N00°44'42"E.
2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD88.
3. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.



Sidewalk as depicted on the approved construction drawings shall be installed along Western Drive.

PCD FILE # PPR-24-15





**SITE PLAN SPECIFIC NOTES**

- 1 INSTALL 6' CROSS PAN (EPC DET SD\_2-26)
- 2 INSTALL PEDESTRIAN CURB RAMP (EPC DET SD\_2-41)
- 3 INSTALL 5' WIDE SIDEWALK (SEE DETAIL)
- 4 EXISTING EPC TYPE A CURB & GUTTER TO REMAIN
- 5 INSTALL EPC TYPE A CURB & GUTTER (PUBLIC) (EPC DET SD\_2-20)
- 6 INSTALL EPC TYPE A CURB & GUTTER (PRIVATE) (EPC DET SD\_2-20)
- 7 INSTALL EPC TYPE C CURB & GUTTER (EPC DET SD\_2-20)
- 8 INSTALL CONCRETE PAVEMENT (SEE DETAIL)
- 9 INSTALL ASPHALT PAVEMENT (SEE DETAIL)
- 10 INSTALL 6' HIGH MAX HEIGHT CONCRETE RETAINING WALL (SEE DETAIL)
- 11 INSTALL INTERIOR PEDESTRIAN CURB RAMP (SEE DETAIL)
- 12 INSTALL ADA PAVEMENT STRIPES (SEE DETAIL)
- 13 INSTALL 6' HIGH OPAQUE WOOD FENCE (SEE DETAIL)
- 14 INSTALL SPLIT RAIL WOOD FENCE
- 15 INSTALL GRAVEL ACCESS DRIVE
- 16 INSTALL CONCRETE PRIVACY WALL (SEE DETAIL)
- 17 INSTALL FULL SPECTRUM EXTENDED DETENTION BASIN
- 18 INSTALL STORM INLET / MANHOLE (PRIVATE)
- 19 INSTALL CONCRETE PAN

**ADA ACCESSIBILITY POINT CALCULATION:**

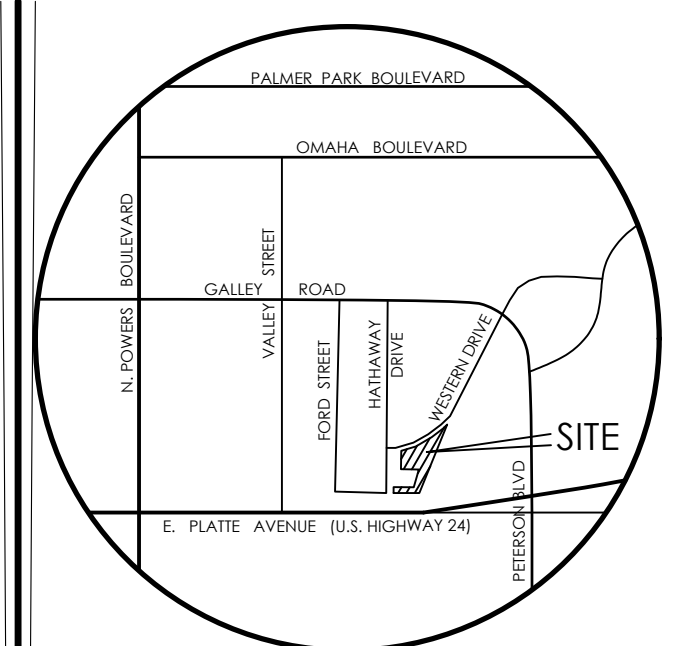
**REQUIRED:**  
 PER CRC 9-5-105, 24 POINTS ARE NEEDED FOR THIS SITE (43-57 = 24 UNITS).

**PROVIDED:**  
 PROPOSED UNITS ARE TO BE TYPE B VISIBLE, WHICH CARRY 1 POINT PER UNIT.  
 26 UNITS (TYPE B VISIBLE) = 26 UNITS @ 1 PT/UNIT = 26 POINTS PROVIDED  
 26 POINTS > 24 POINTS REQUIRED.

INTERIOR OF UNITS COMPLY WITH SECTION 1003 OF ICC A117.1-2009 AND IBC 1107.6

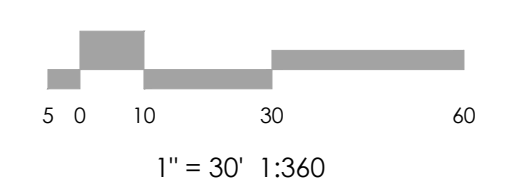
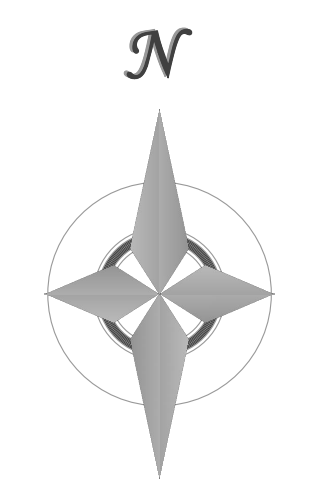
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**VICINITY MAP**  
 NOT TO SCALE

BENCHMARK  
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REVISIONS

DESIGNED BY \_\_\_\_\_  
 DRAWN BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_  
 AS-BUILT BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_

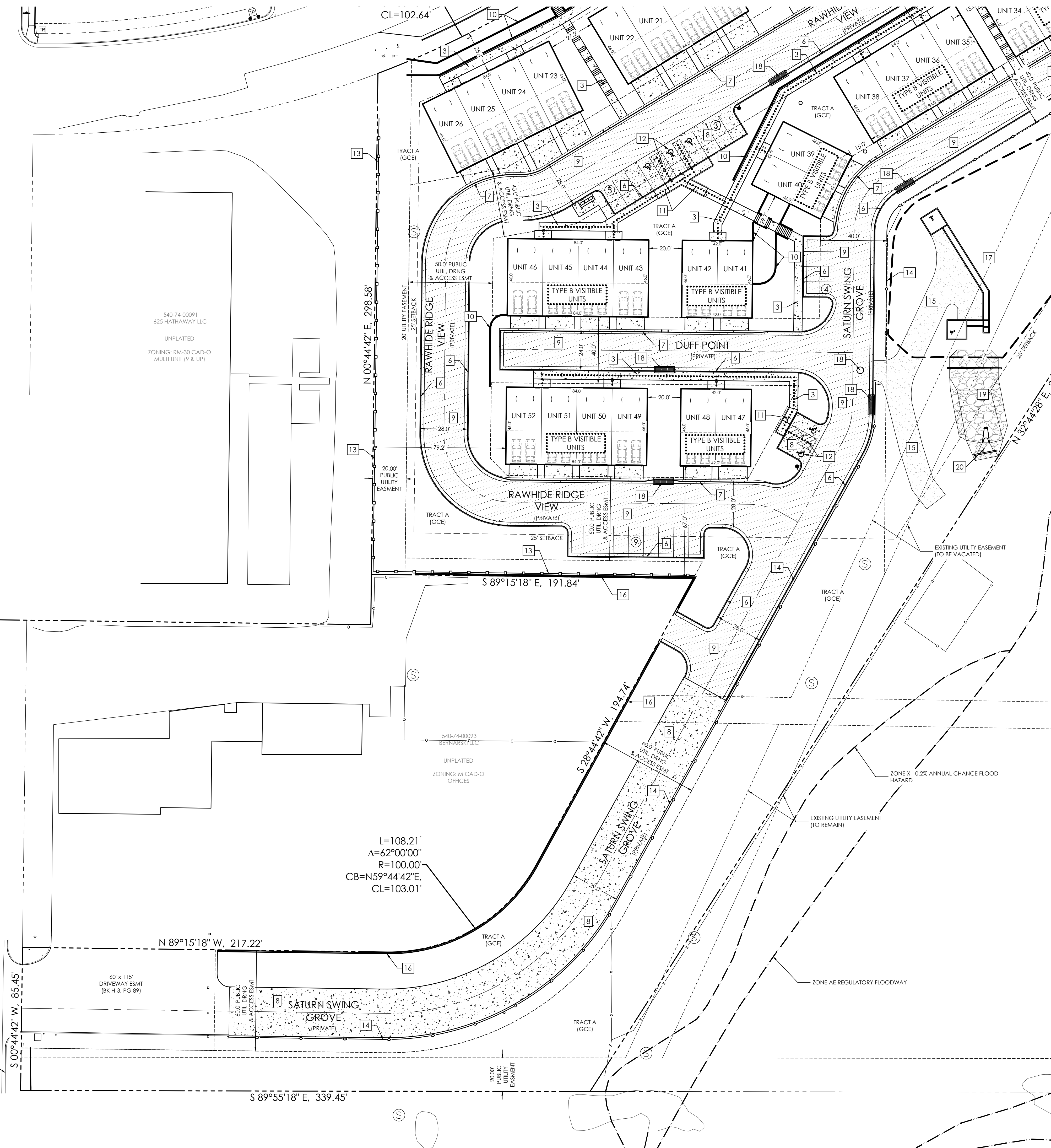
**TOWNHOMES AT WESTERN**  
 LOT I, CIMARRON SOUTHEAST  
 FILLING NO - 2C

**SITE DEVELOPMENT  
 PLAN  
 SITE PLAN**

**DP-2** MVE PROJECT 61203  
 MVE DRAWING DEV-SP

**JULY 11, 2024**  
**SHEET 2 OF 6**





**SITE PLAN SPECIFIC NOTES**

- 1 INSTALL 6" CROSS PAN (EPC DET SD\_2-26)
- 2 INSTALL PEDESTRIAN CURB RAMP (EPC DET SD\_2-41)
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- 8 INSTALL CONCRETE PAVEMENT (SEE DETAIL)
- 9 INSTALL ASPHALT PAVEMENT (SEE DETAIL)
- 10 INSTALL 4' HIGH MAX HEIGHT CONCRETE RETAINING WALL (SEE DETAIL)
- 11 INSTALL INTERIOR PEDESTRIAN CURB RAMP (SEE DETAIL)
- 12 INSTALL ADA PAVEMENT STRIPES (SEE DETAIL)
- 13 INSTALL 6' HIGH OPAQUE WOOD FENCE (SEE DETAIL)
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- 15 INSTALL GRAVEL ACCESS DRIVE
- 16 INSTALL CONCRETE PRIVACY WALL (SEE DETAIL)
- 17 INSTALL FULL SPECTRUM EXTENDED DETENTION BASIN
- 18 INSTALL STORM INLET / MANHOLE (PRIVATE)
- 19 INSTALL RIPRAP / CONCRETE EMERGENCY SPILLWAY
- 20 INSTALL STILLING BASIN / LEVEL SPREADER

**ADA ACCESSIBILITY POINT CALCULATION:**

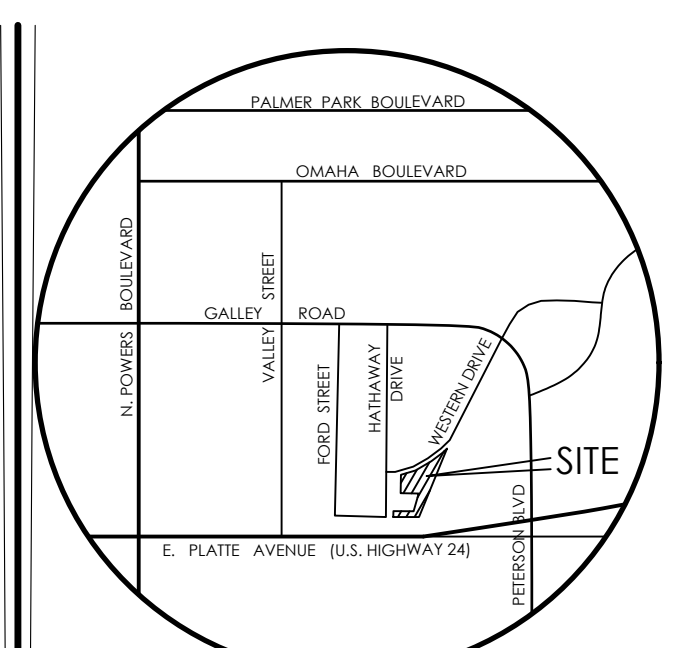
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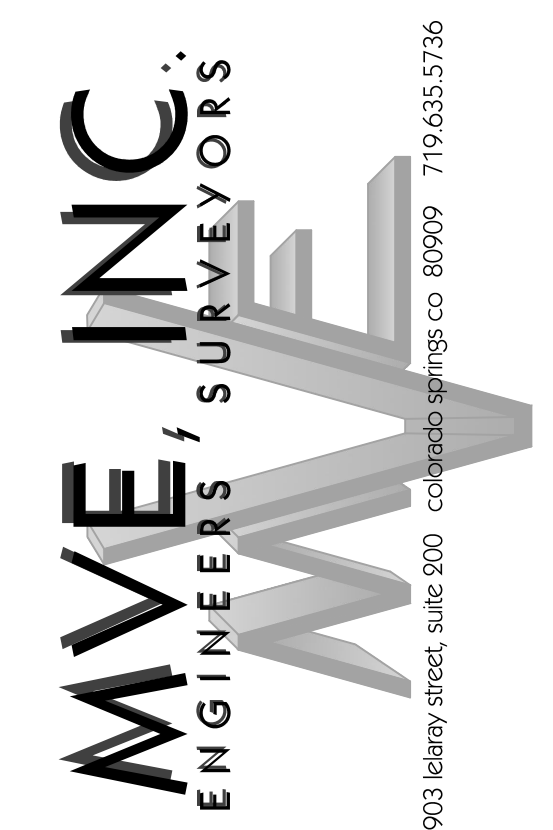
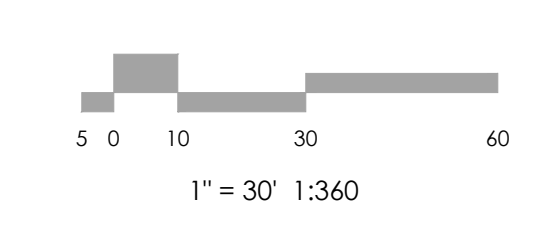
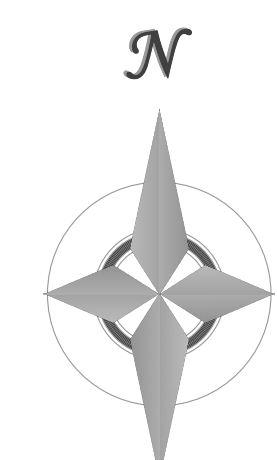
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NOT TO SCALE

BENCHMARK  
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ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD '88.



REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

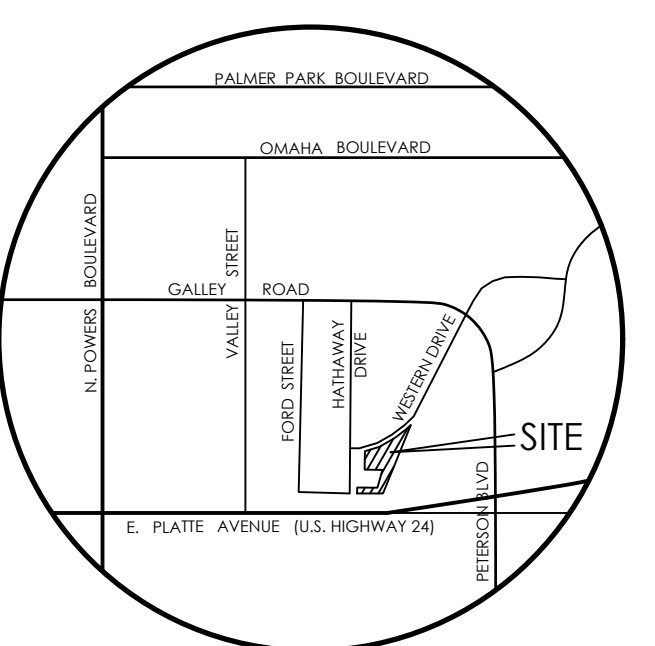
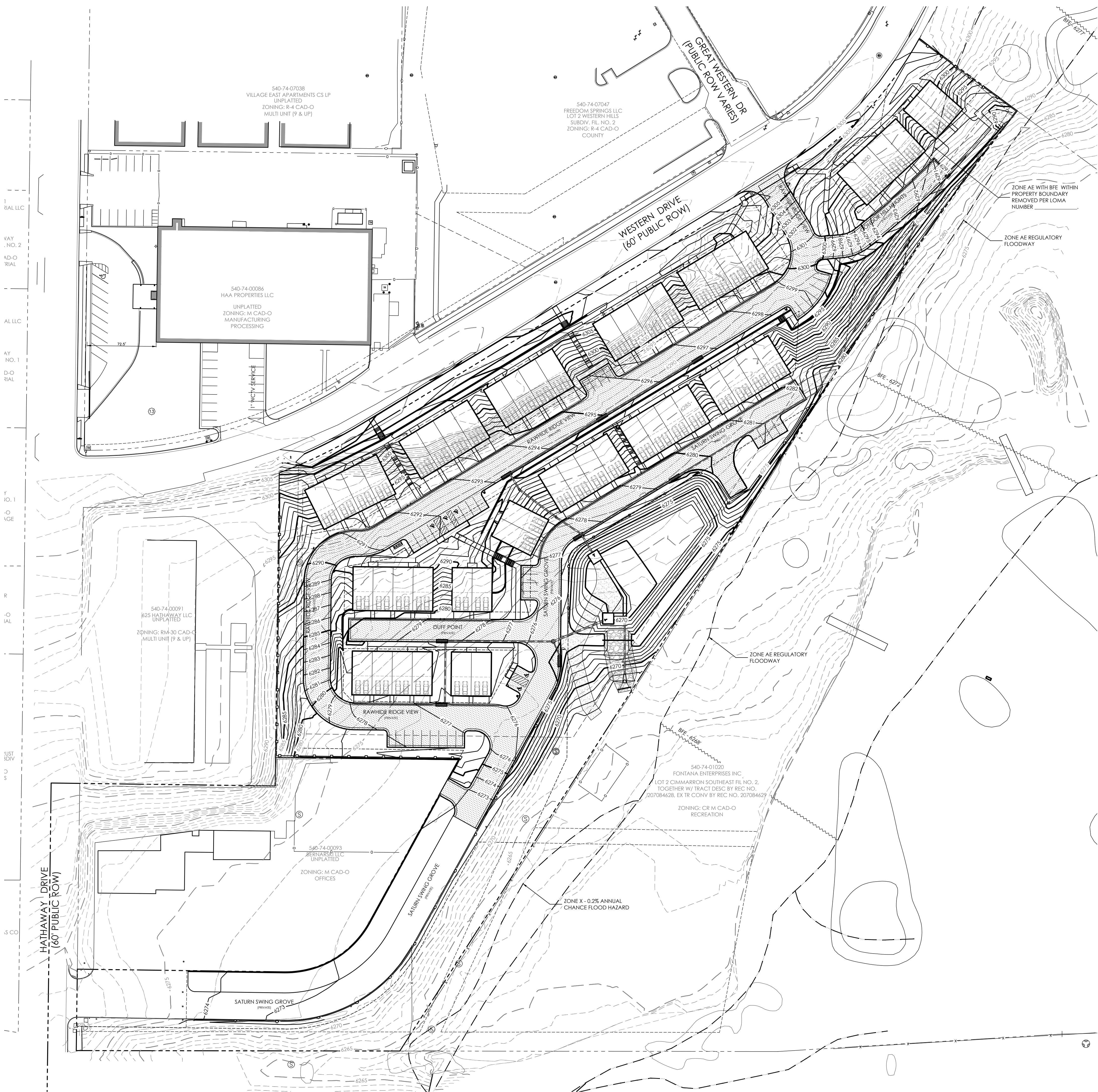
TOWNHOMES AT WESTERN  
LOT I, CIMARRON SOUTHEAST  
FILLING NO - 2C

**SITE DEVELOPMENT  
PLAN  
SITE PLAN**

**DP-3** MVE PROJECT 61203  
MVE DRAWING DEV-SP

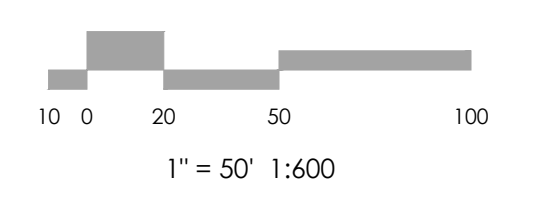
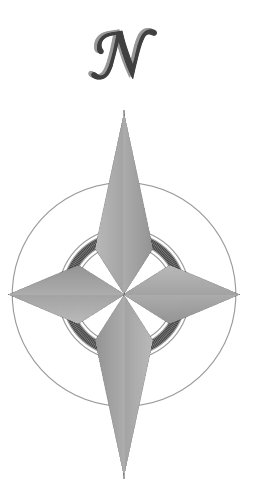
JULY 11, 2024  
**SHEET 3 OF 6**





VICINITY MAP  
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**MVE, INC.**  
ENGINEERS / SURVEYORS

1903 Leary Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILT BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

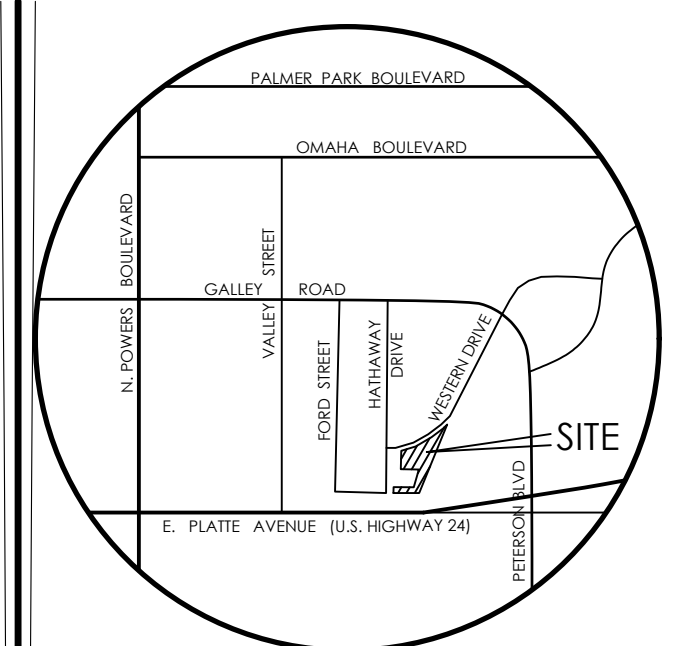
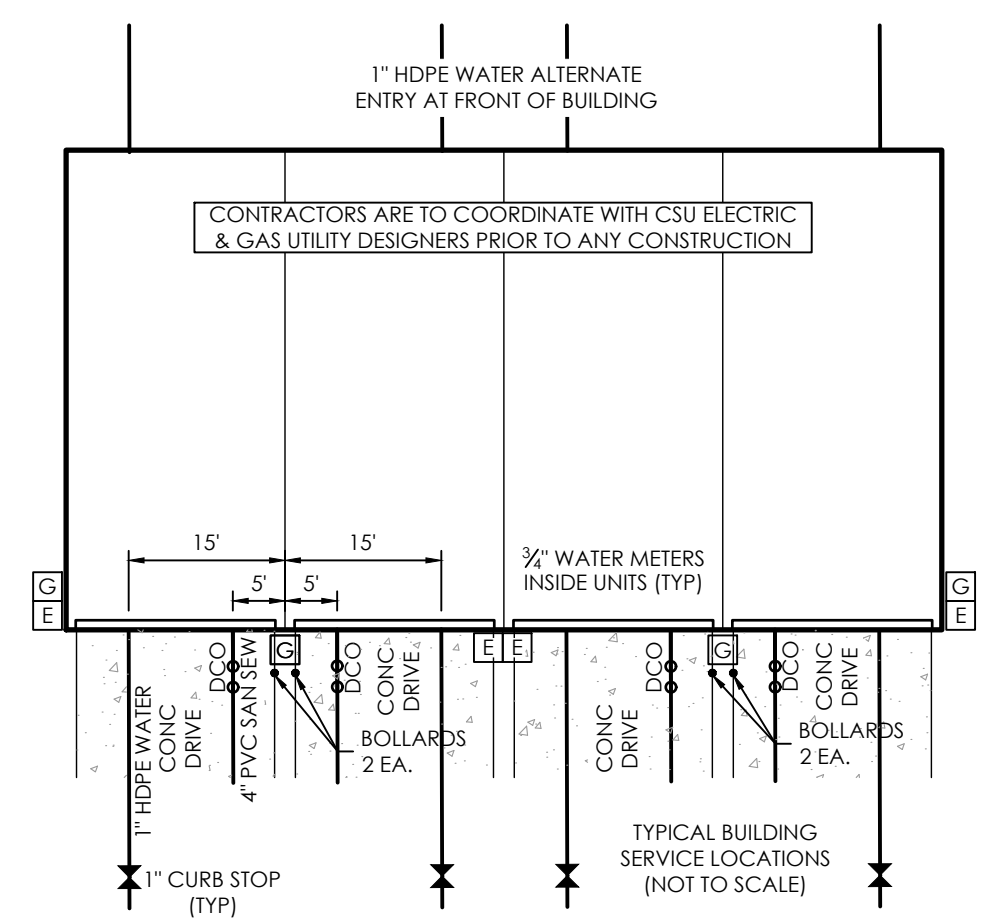
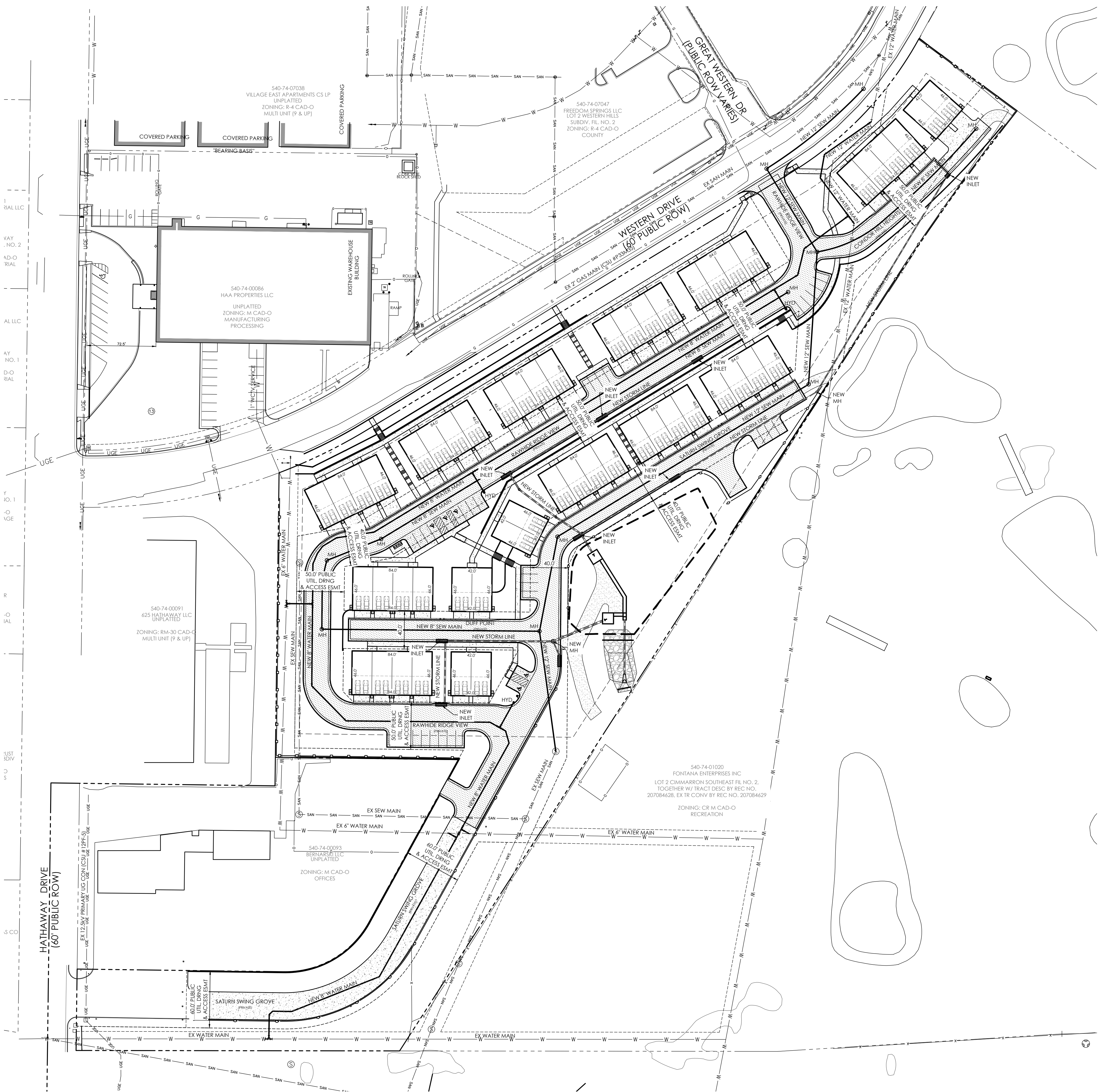
TOWNHOMES AT WESTERN  
LOT I, CIMARRON SOUTHEAST  
FILLING NO - 2C

SITE DEVELOPMENT  
PLAN  
PRELIMINARY GRADING

DP-4 MVE PROJECT 61203  
MVE DRAWING DEV-PG

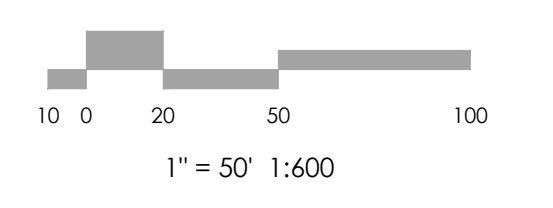
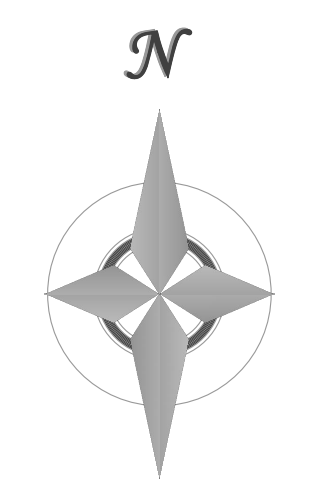
JULY 11, 2024  
SHEET 4 OF 6





VICINITY MAP  
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- COLORADO SPRINGS UTILITIES NOTES:**
- GAS METERS MUST BE A MINIMUM OF 3-FEET AWAY FROM ANY OPENING IN WALLS.
  - SIX-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.
- THE DEVELOPER ACKNOWLEDGES THE FOLLOWING INFORMATION ITEMS:**
1. PLEASE CONTACT UTILITIES DEVELOPMENT SERVICES (UDS) AT 719.668.8111 FOR AN ESTIMATE OF DEVELOPMENT CHARGES, FEES, RECOVERY AGREEMENT CHARGES OR OTHER UTILITY RELATED COSTS THAT MAY APPLY TO THIS DEVELOPMENT. ON INSTANCES WHERE METERED WATER AND/OR WASTEWATER CONNECTIONS EXISTED ON THE PROPERTY, PLEASE CONTACT UDS TO DISCUSS DISTRIBUTION OF WATER AND/OR WASTEWATER DEVELOPMENT CHARGES TO ELIGIBLE LOTS.
  2. WHEN NEW WATER METERS ARE PROPOSED TO SERVE THE PROJECT OR ADDITIONAL DEMAND ADDED TO EXISTING WATER METERS, A COMMERCIAL WATER METER SIZING FORM WILL BE REQUIRED TO BE SUBMITTED TO CSU PRIOR TO SERVICE CONTRACT ISSUANCE AND PLAN SET APPROVAL.
  3. CSU REQUIRES AN APPLICATION FOR GAS AND ELECTRIC LINE EXTENSION TO BE SUBMITTED ALONG WITH A LOAD DATA FORM OR AN APPLICATION FOR GAS SERVICE LINE APPROVAL AND/OR APPLICATION FOR ELEVATED PRESSURE APPROVAL PRIOR TO ELECTRIC AND NATURAL GAS SYSTEM DESIGN FOR SERVICE TO THE PROJECT. REFER TO THE CSU LINE EXTENSION AND SERVICE STANDARDS OR CONTACT FIELD ENGINEERING AT 719-668-4985.
  4. CSU MAY REQUIRE AN EXTENSION CONTRACT AND PAYMENT OF CONTRIBUTIONS-IN-AID OF CONSTRUCTION (OR A REVENUE GUARANTEE CONTRACT) FOR THE EXTENSION OF ELECTRIC FACILITIES NEEDED TO SERVE THE DEVELOPMENT. WITH REGARD TO NATURAL GAS EXTENSIONS, CSU MAY REQUIRE AN EXTENSION CONTRACT AND ADVANCE PAYMENT FOR THE ESTIMATED COSTS TO CONSTRUCT THE NECESSARY GAS EXTENSIONS.
  5. IMPROVEMENTS, STRUCTURES AND TREES MUST NOT BE LOCATED DIRECTLY OVER OR WITHIN 6 FEET OF ANY UNDERGROUND GAS OR ELECTRIC DISTRIBUTION FACILITIES AND SHALL NOT VIOLATE ANY PROVISION OF THE NATIONAL ELECTRIC SAFETY CODE (NESC) OR ANY APPLICABLE NATURAL GAS REGULATIONS OR CSU'S POLICIES.
  6. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED UNDER ANY OVERHEAD UTILITY FACILITY. SHALL NOT VIOLATE NESC CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
  7. LANDSCAPING SHALL BE DESIGNED TO PROVIDE THE REQUIRED CLEARANCES FOR UTILITY FACILITIES. TO ALLOW CONTINUOUS ACCESS FOR UTILITY EQUIPMENT, AND TO MINIMIZE CONFLICTS WITH SUCH FACILITIES.
  8. CSU REQUIRES WASTEWATER AND WATER CONSTRUCTION DRAWINGS WHEN NEW WASTEWATER AND WATER FACILITIES ARE PROPOSED. PLANS CAN BE SUBMITTED ELECTRONICALLY TO UDS VIA WWW.CSU.ORG.

**MVE, INC.**  
ENGINEERS & SURVEYORS

1903 Library Street, Suite 200 Colorado Springs CO 80909 719.635.5736

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILT BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

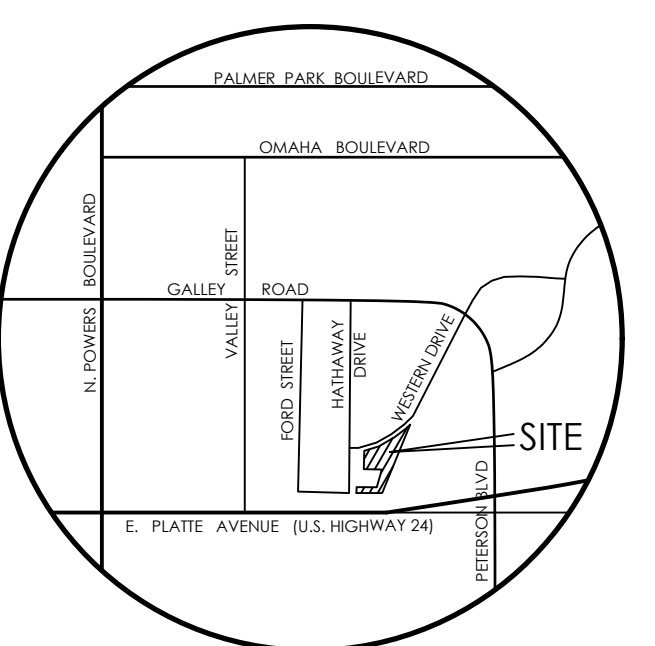
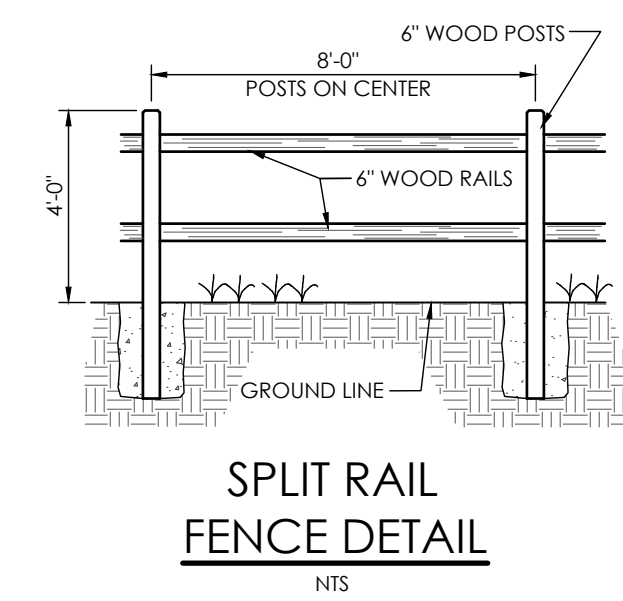
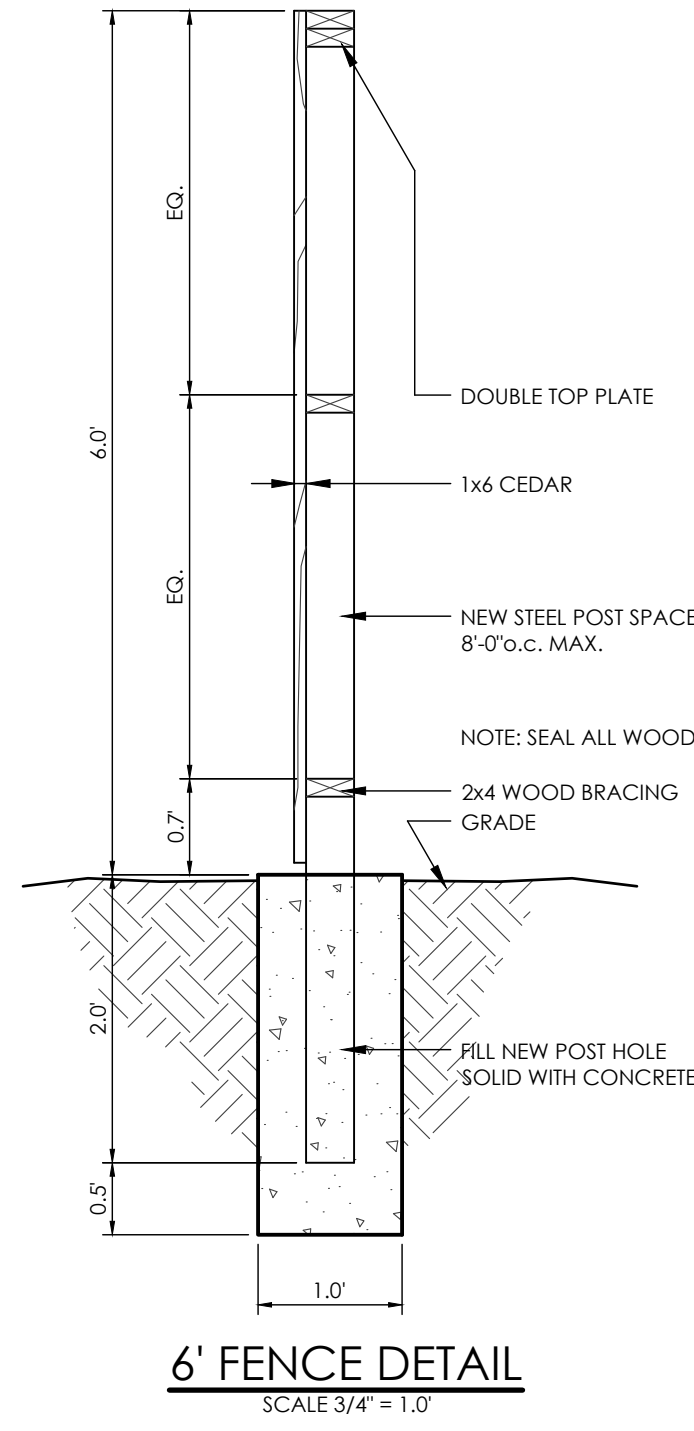
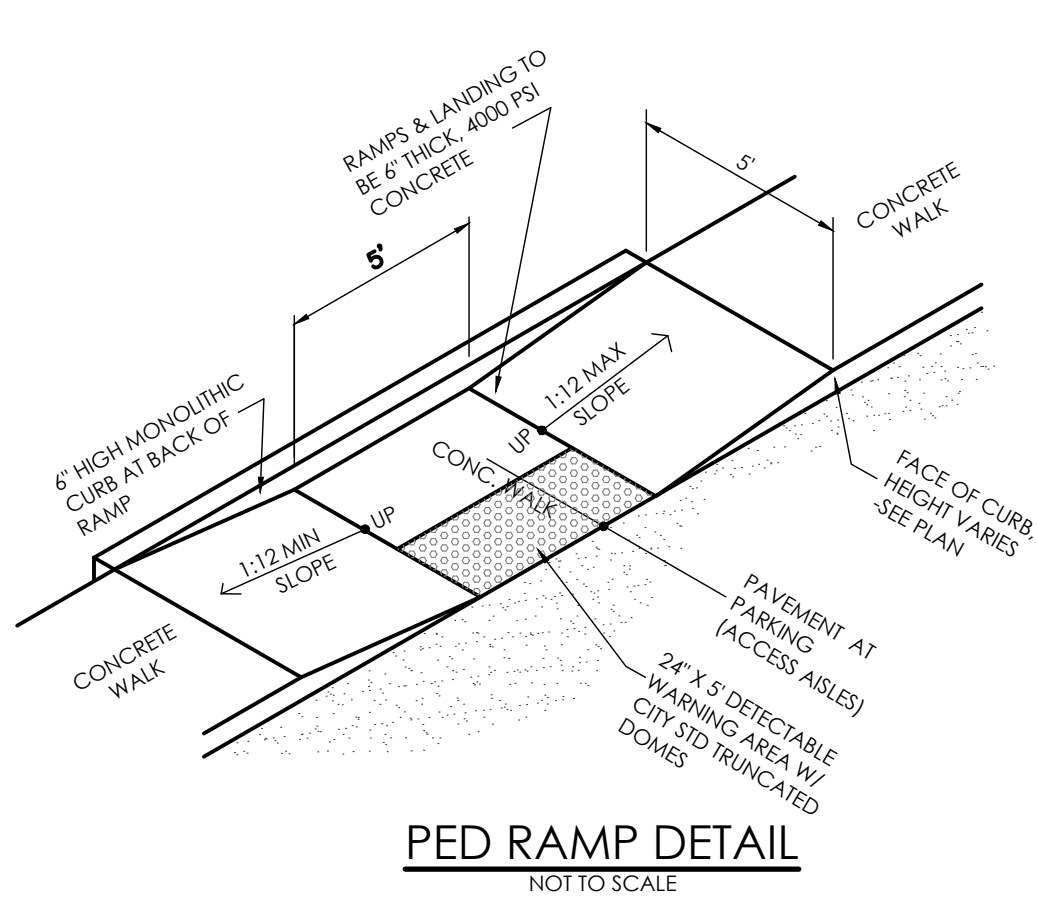
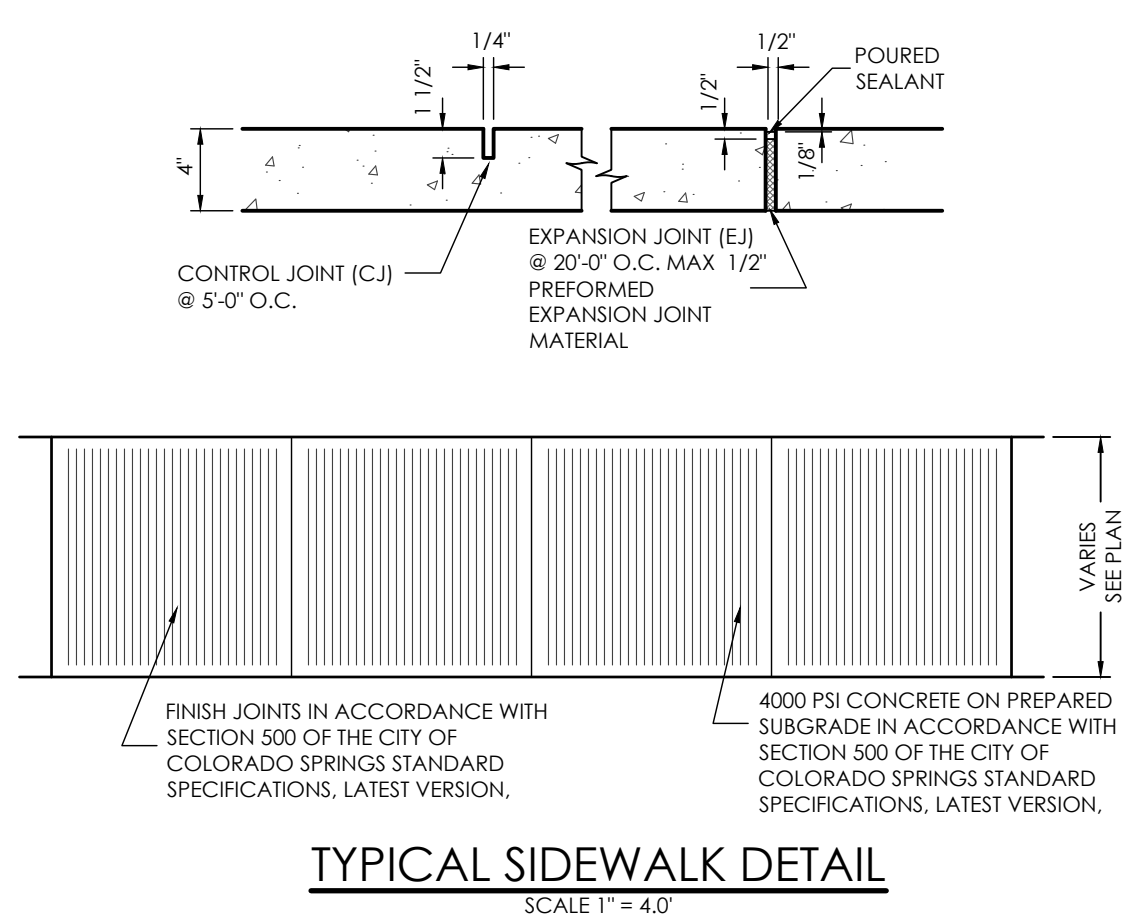
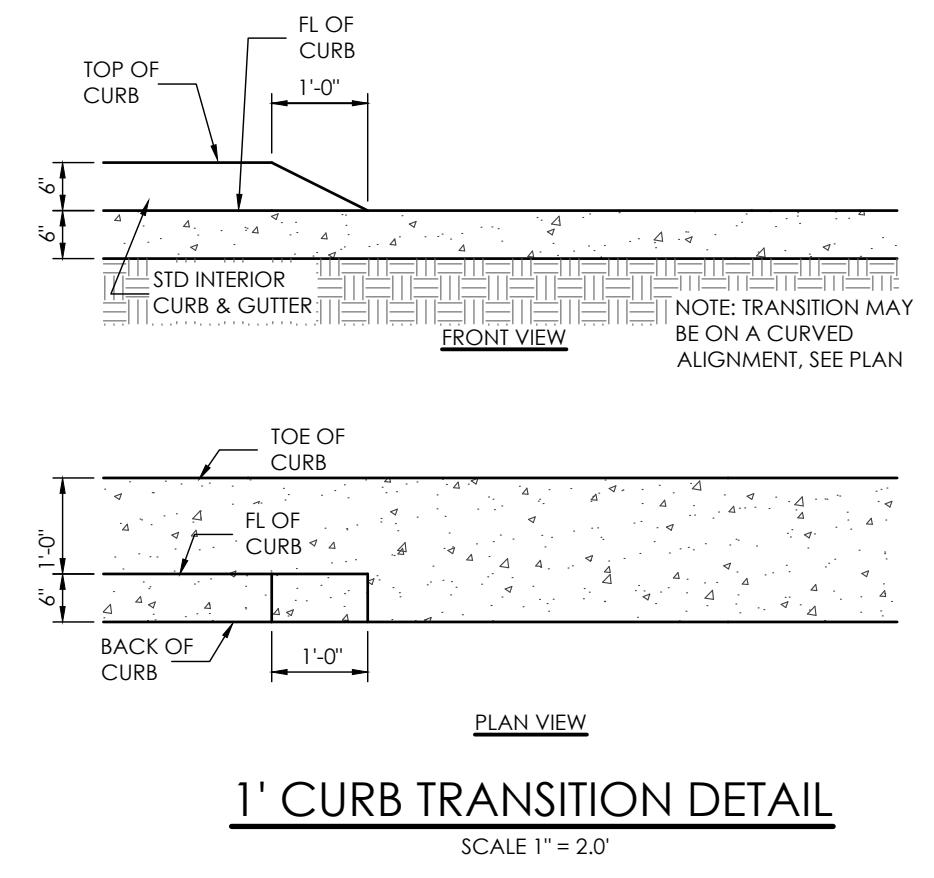
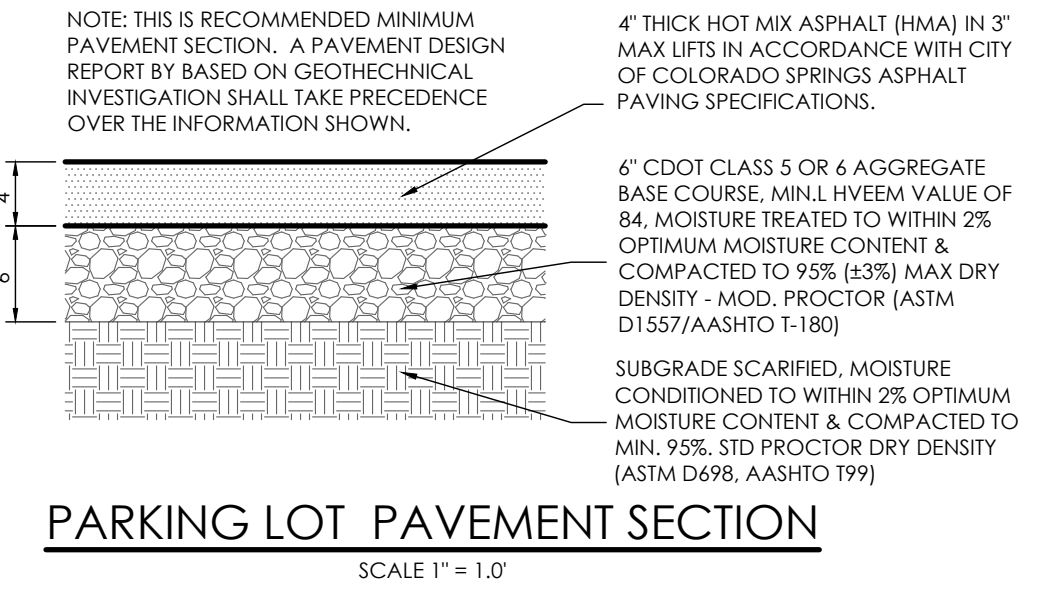
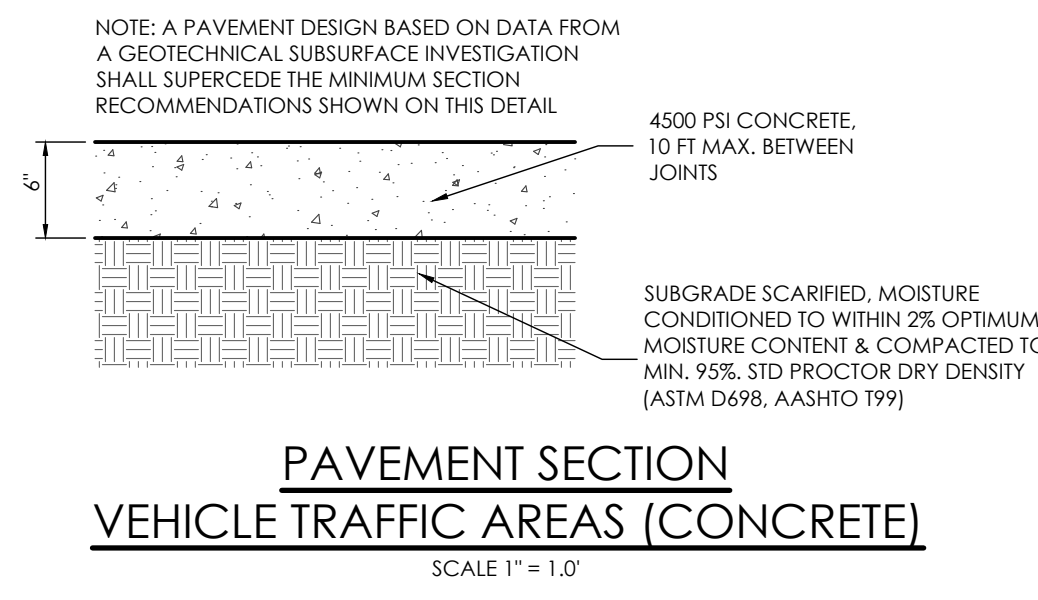
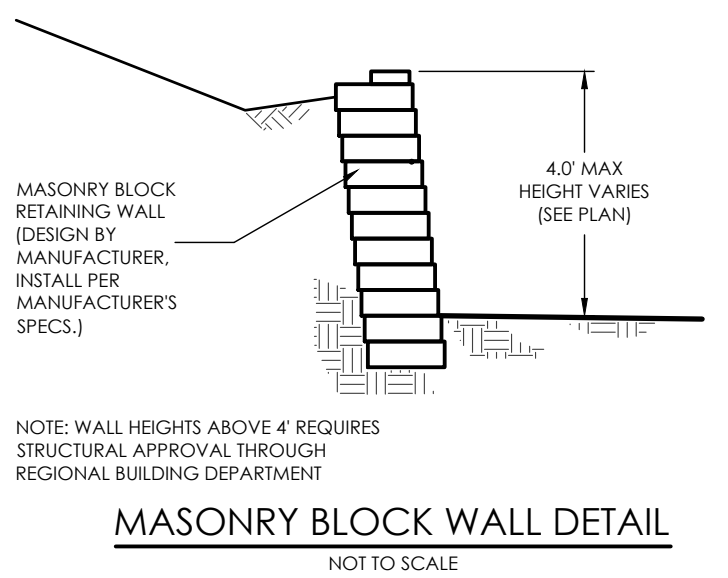
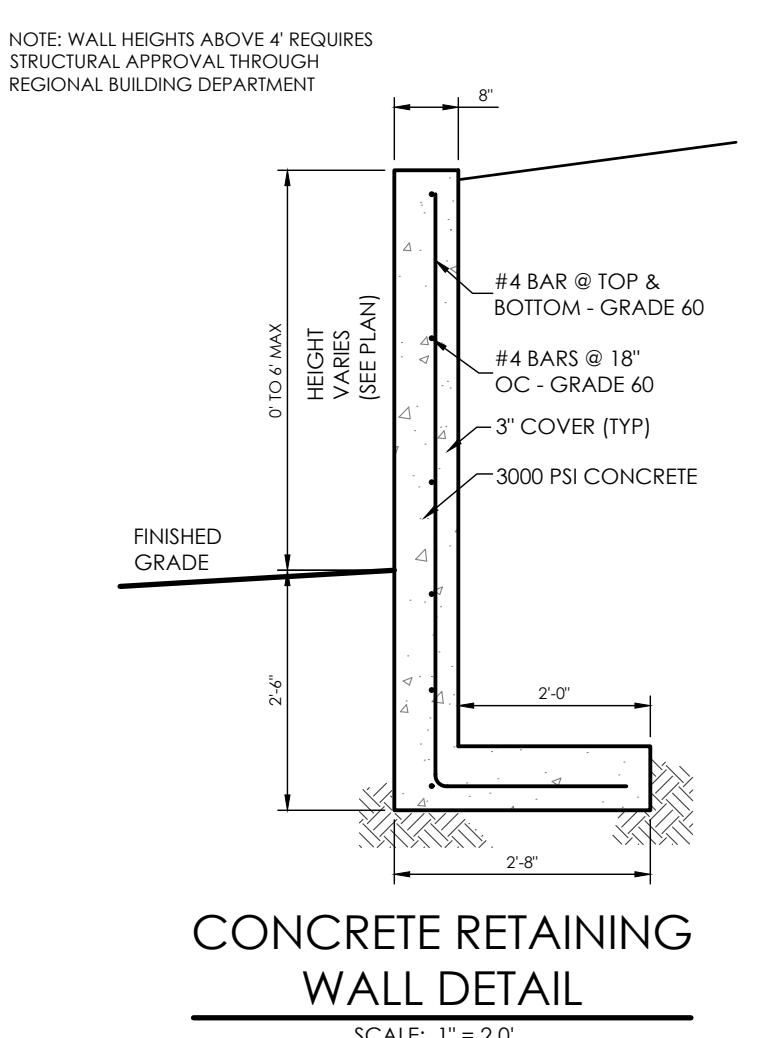
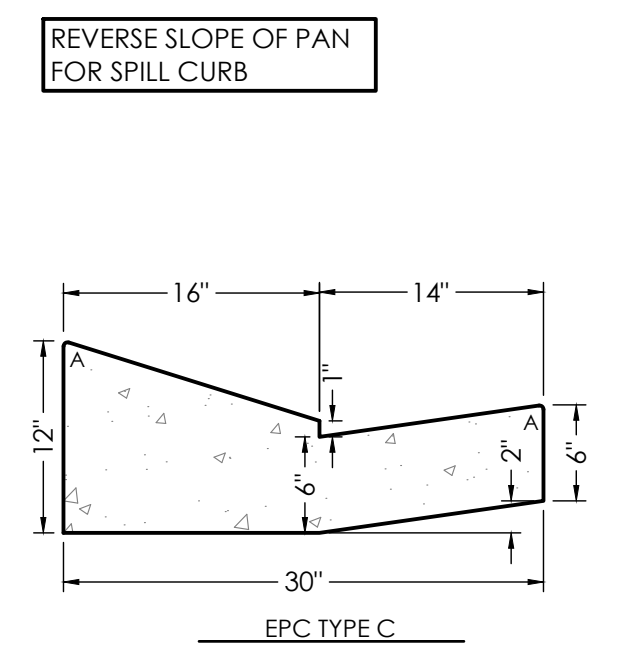
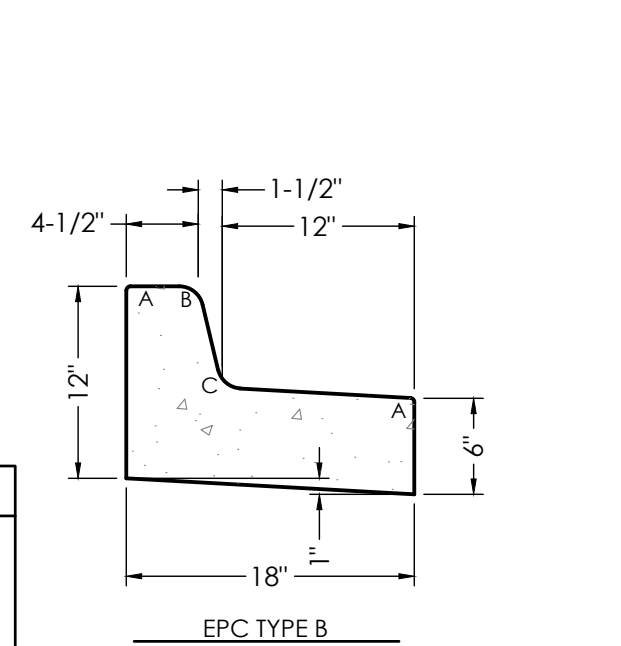
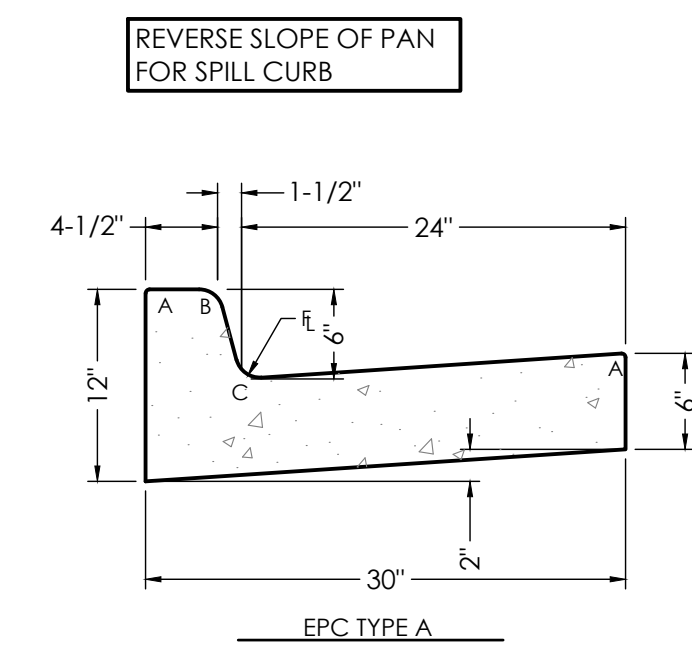
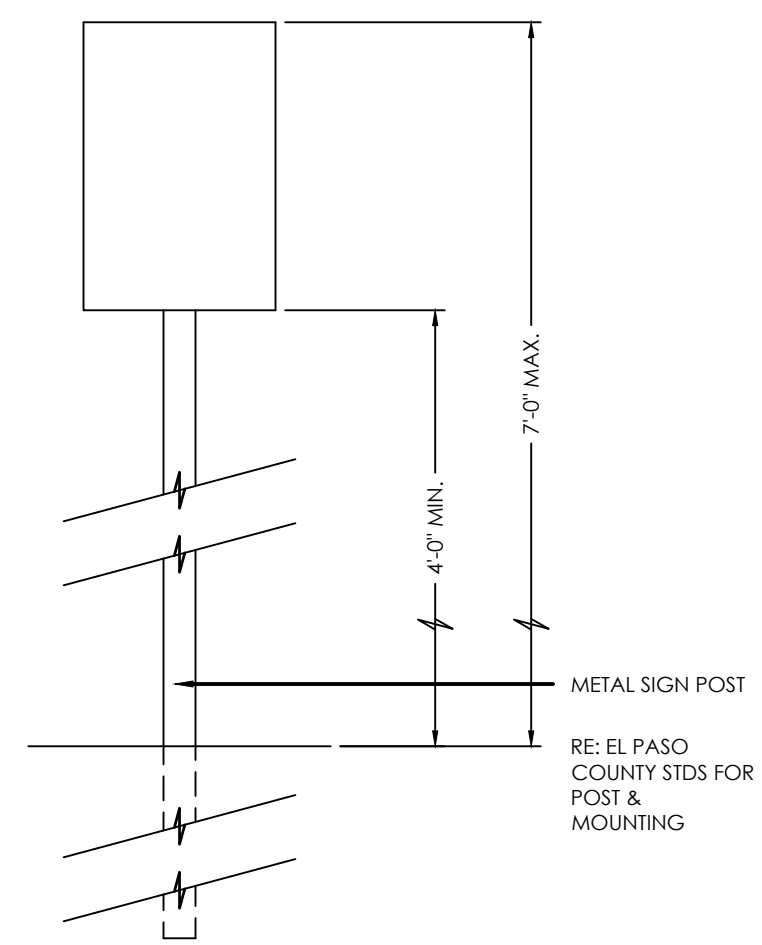
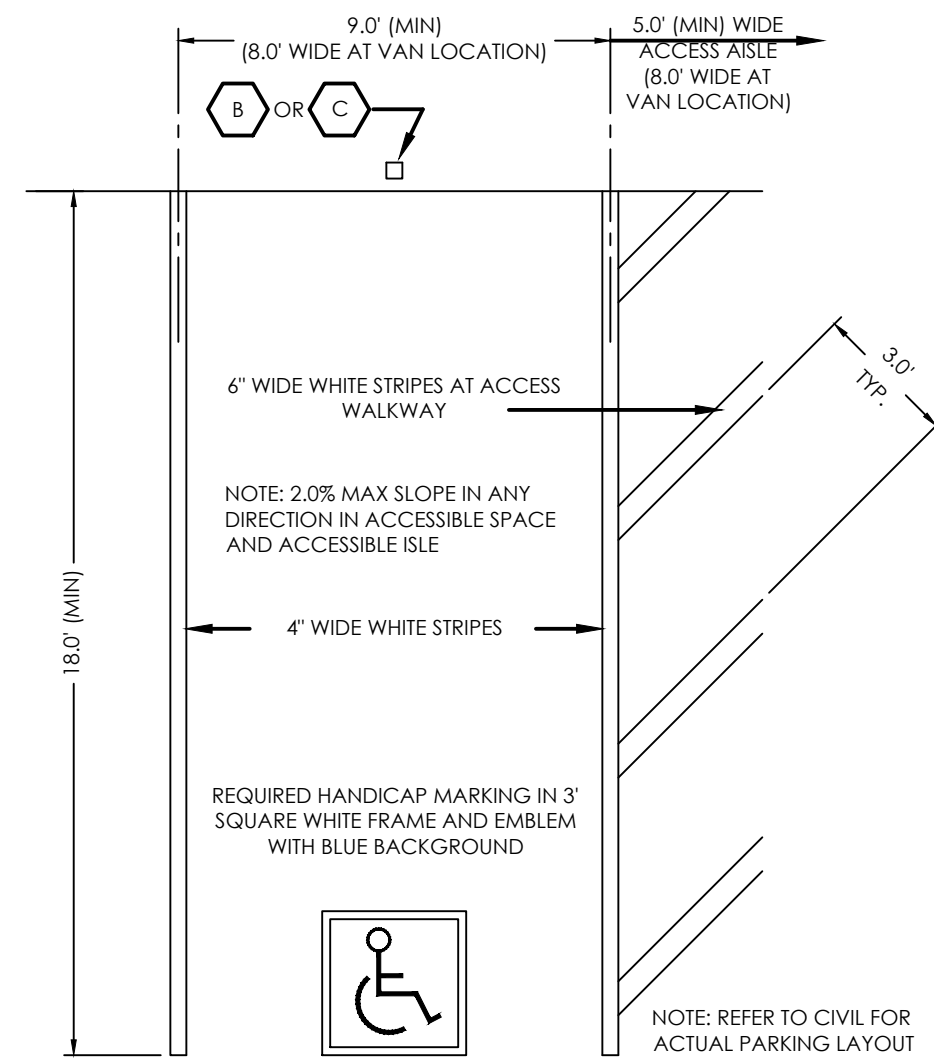
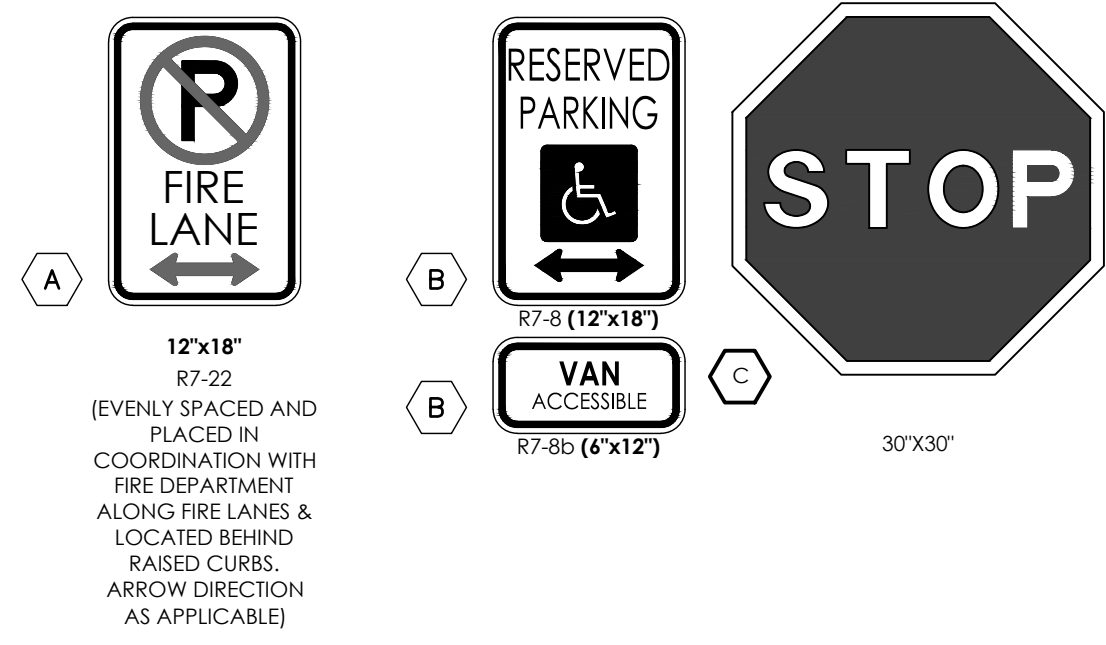
TOWNHOMES AT WESTERN  
LOT I, CIMARRON SOUTHEAST  
FILLING NO - 2C

SITE DEVELOPMENT  
PLAN  
PRELIMINARY UTILITIES

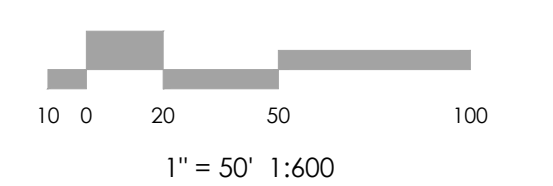
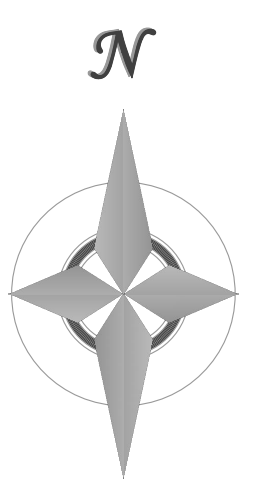
DP-5 MVE PROJECT 61203  
MVE DRAWING DEV-PU

JULY 11, 2024  
SHEET 5 OF 6





BENCHMARK  
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD '88.



**MVE, INC.**  
ENGINEERS & SURVEYORS

1903 Leary street, suite 200 Colorado Springs CO 80909 719.635.5736

REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

**TOWNHOMES AT WESTERN**

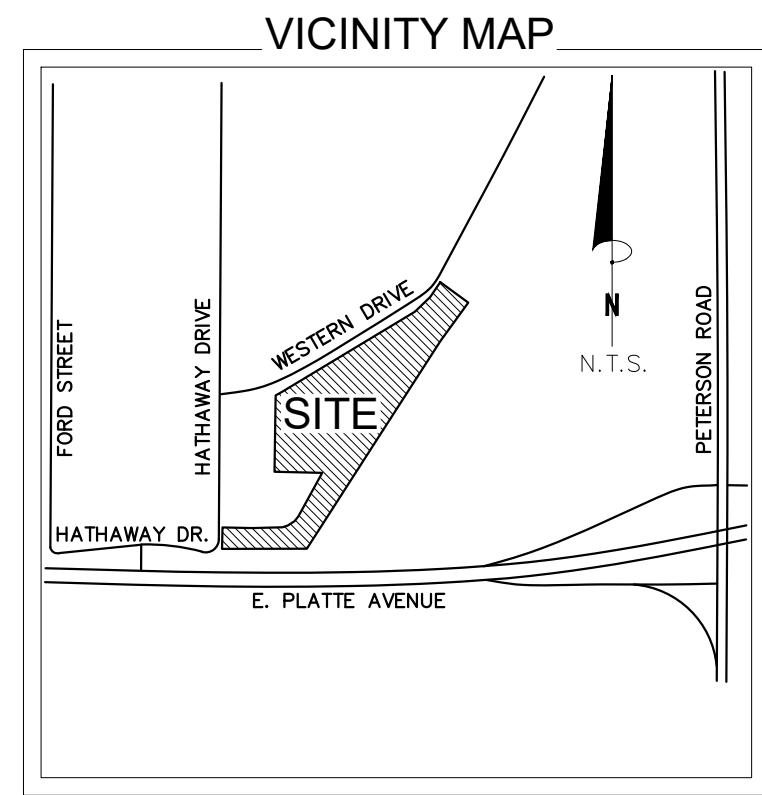
LOT I, CIMARRON SOUTHEAST FILLING NO. 2C

**DETAILS**

**DP-6** MVE PROJECT 61203  
MVE DRAWING DEV-DS

JULY 11, 2024  
SHEET 6 OF 6





**Landscape Setbacks**

Street Name or Boundary	Street Classification	Width (in Ft.) Req./Prov.	Linear Footage	Tree/Feet Required	No. of Trees Req./Prov.	Setback Plant Abbr. Denoted on Plan
Western Drive	Non Arterial	10' / 10'	830'	1 / 30'	28 / 28	(WD)
Hathaway Drive	Non Arterial	10' / 10'	85'	1 / 30'	3 / 3	(HD)
Platte Avenue	Major Arterial	25' / 25'	339'	1 / 20'	17 / 17	(PA)
South Boundary	Zone Boundary	- / -	712'	1 / 30'	24 / 24	(ZS)
Southeast Boundary	Zone Boundary	- / -	1,180'	1 / 30'	39 / 39	(ZE)
Northeast Boundary	Zone Boundary	- / -	128'	1 / 30'	4 / 4	(ZN)

**Parking**

No. of Vehicles Spaced Provided	Shade Trees Required/Provided	Abbr. on Plan	Vehicle Lot Frontages	Length of Frontage (excluding driveways)	2/3 Length of Frontage (ft.)
35	2 / 2	(MV)	None	- / -	- / -

Min. 3' Screening Plants Req. / Prov.	Evergreen Plants Req. (50%) / Prov.	Length of Screening Wall or Berm Provided	Vehicle Lot Plant Abbr. on Plan	Percent Ground Plane Veg. Req. / Prov.
- / -	- / -	- / -	- / -	- / -

**Internal Landscaping**

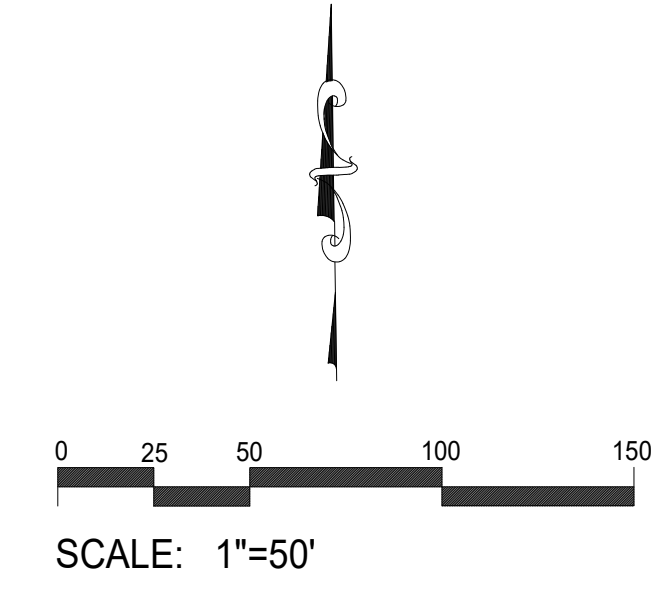
Net Site Area (SF) (less public ROW)	Percent Minimum Internal Area (%)	Internal Area (SF) Required / Provided	Internal Trees (1/500 SF) Required / Provided
310,069 s.f.	15%	46,510 s.f. / 61,250 s.f.	93 / 93

Shrub Substitutes Required / Provided	Internal Plant Abbr. Denoted on Plan
0 / 0	(IN)

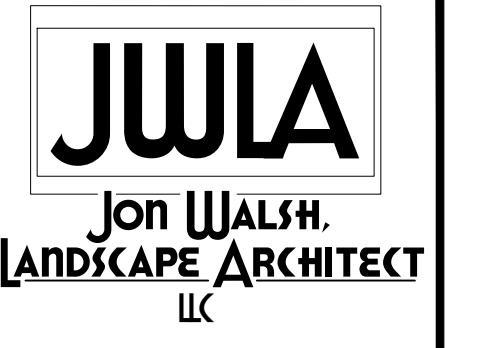
**Landscape Buffer & Screens**

Street Name or Property Line	Width (in Ft.) Req. / Prov.	Linear Footage	Buffer Trees (1/25') Required / Provided	Evergreen Trees Req. (1/3) / Provided
None	- / -	- / -	- / -	- / -

Length of 6 Ft. Opaque Structure Req. / Prov.	Buffer Tree Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
- / -	- / -	- / -



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STAMP  
PROJECT NAME

**WESTERN DRIVE TOWNHOMES**  
721 Western Drive  
Colorado Springs, CO

PLAN TITLE  
**FINAL LANDSCAPE PLAN**

PLAN DATE  
February 26, 2024

REVISIONS  
May 28, 2024

SHEET NO.  
**L1**  
Sheet 1 of 5

PCD File No. PPR2415

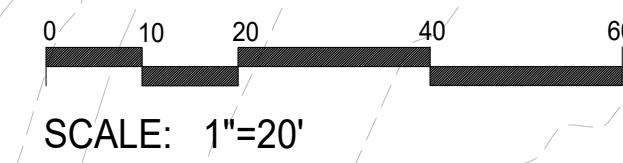


# LANDSCAPE MATERIALS LEGEND

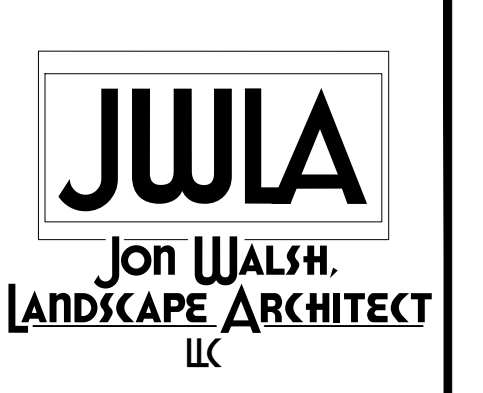
SYMBOL	DESCRIPTION	QTY
	1.5" DIAMETER 'CIMARRON' CRUSHED GRANITE, 3" DEPTH OVER LANDSCAPE FABRIC	40,579 sf
	NON-IRRIGATED 'LOW GROW' NATIVE GRASS SEED MIX	114,666 sf
	EROSION CONTROL BLANKET FOR NATIVE SEED AREAS	52,565 sf

# PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	HEIGHT
<b>DECIDUOUS TREES</b>							
	ACE AMU	15	<i>Acer ginnala</i>	Amur Maple	1" Cal.	B & B	15' to 20'
	ACE HOT	18	<i>Acer tataricum</i> 'Hot Wings'	Hot Wings Tatarian Maple	1" Cal.	B & B	15' to 20'
	CAT SPE	6	<i>Catalpa speciosa</i>	Northern Catalpa	1.5" Cal.	B & B	30' to 40'
	CEL OCC	13	<i>Celtis occidentalis</i>	Common Hackberry	1.5" Cal.	B & B	30' to 40'
	CRA IN3	23	<i>Crataegus crus-galli inermis</i>	Thornless Cockspur Hawthorn	1" Cal.	B & B	15' to 20'
	GLE SH2	7	<i>Gleditsia triacanthos inermis</i> 'Shademaster' TM	Shademaster Locust	1.5" Cal.	B & B	30' to 40'
	GYM DIO	12	<i>Gymnocladus dioica</i> 'Espresso'	Kentucky Coffeetree	1.5" Cal.	B & B	30' to 40'
<b>EVERGREEN TREES</b>							
	PIC BLU	29	<i>Picea pungens glauca</i>	Colorado Blue Spruce	6" Ht.	B & B	50' to 60'
	PIN EDU	57	<i>Pinus cembroides edulis</i>	Pinyon Pine	6" Ht.	B & B	15' to 20'
	PIN PON	29	<i>Pinus ponderosa</i>	Ponderosa Pine	6" Ht.	B & B	50' to 60'
<b>SHRUBS</b>							
	CAR CLA	20	<i>Caryopteris x clandonensis</i> 'Blue Mist'	Blue Mist Spirea	5 gal		3' to 5'
	JUN HUG	76	<i>Juniperus horizontalis</i> 'Hughes'	Hughes Juniper	5 gal		1' to 2'
	JUN BUF	96	<i>Juniperus sabina</i> 'Buffalo'	Buffalo Juniper	5 gal		1' to 2'
	PHY NIN	22	<i>Physocarpus opulifolius</i> 'Summer Wine'	Summer Wine Ninebark	5 gal		4' to 6'
	PRU PAW	12	<i>Prunus besseyi</i> 'Pawnee Buttes'	Pawnee Buttes Western Sand Cherry	5 gal		4' to 6'
	RHU AUT	26	<i>Rhus trilobata</i> 'Autumn Amber'	Autumn Amber Sumac	5 gal		1' to 2'
	SYR CHA	19	<i>Syringa vulgaris</i> 'Charles Joly'	Charles Joly Common Lilac	5 gal		6' to 8'
<b>ORNAMENTAL GRASSES</b>							
	CAL KA2	86	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Feather Reed Grass	1 gal		3' to 4'
	PAN SHA	31	<i>Panicum virgatum</i> 'Shenandoah'	Burgundy Switch Grass	1 gal		3' to 4'



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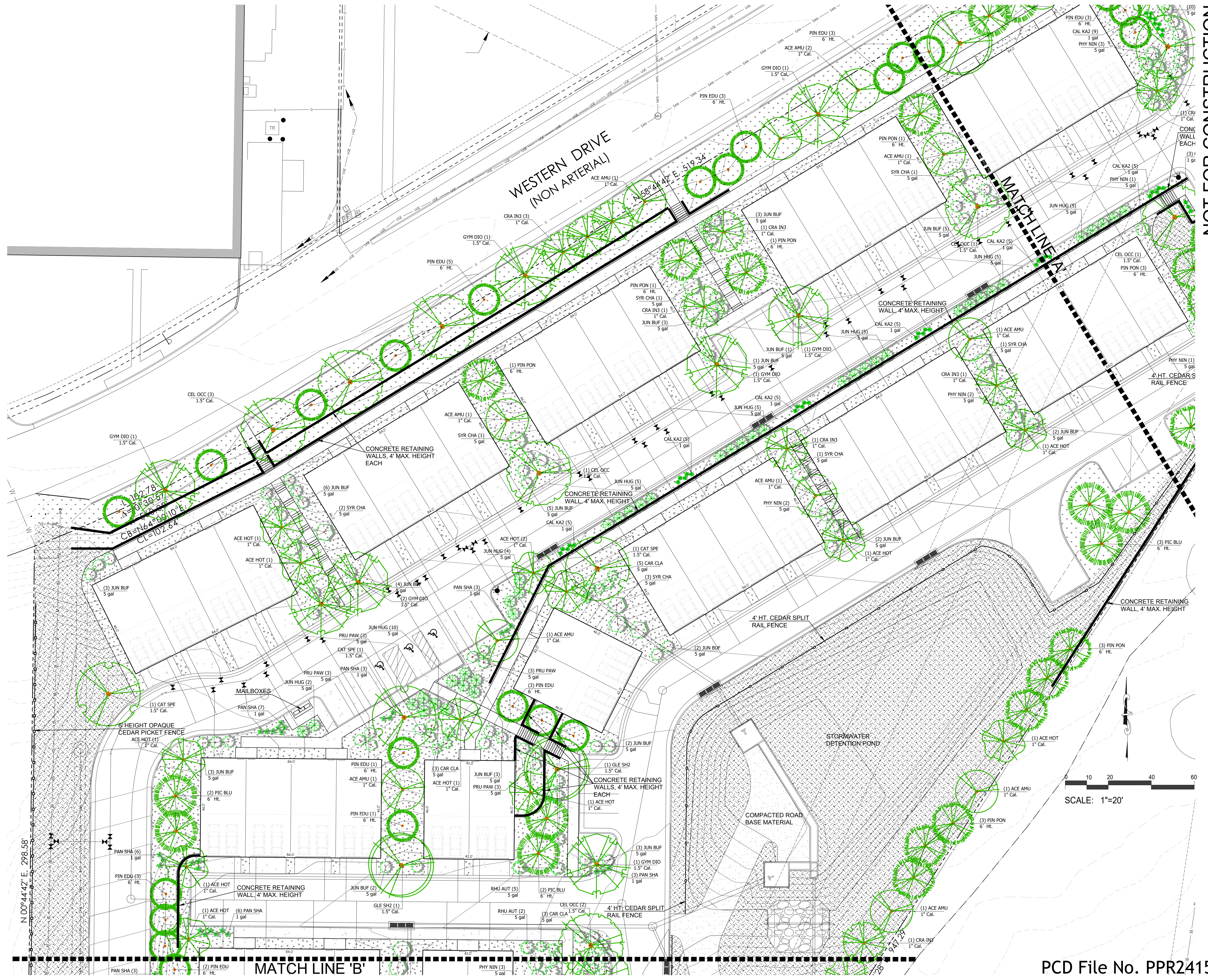
SHEET NO.

L2

Sheet 2 of 5

PCD File No. PPR2415





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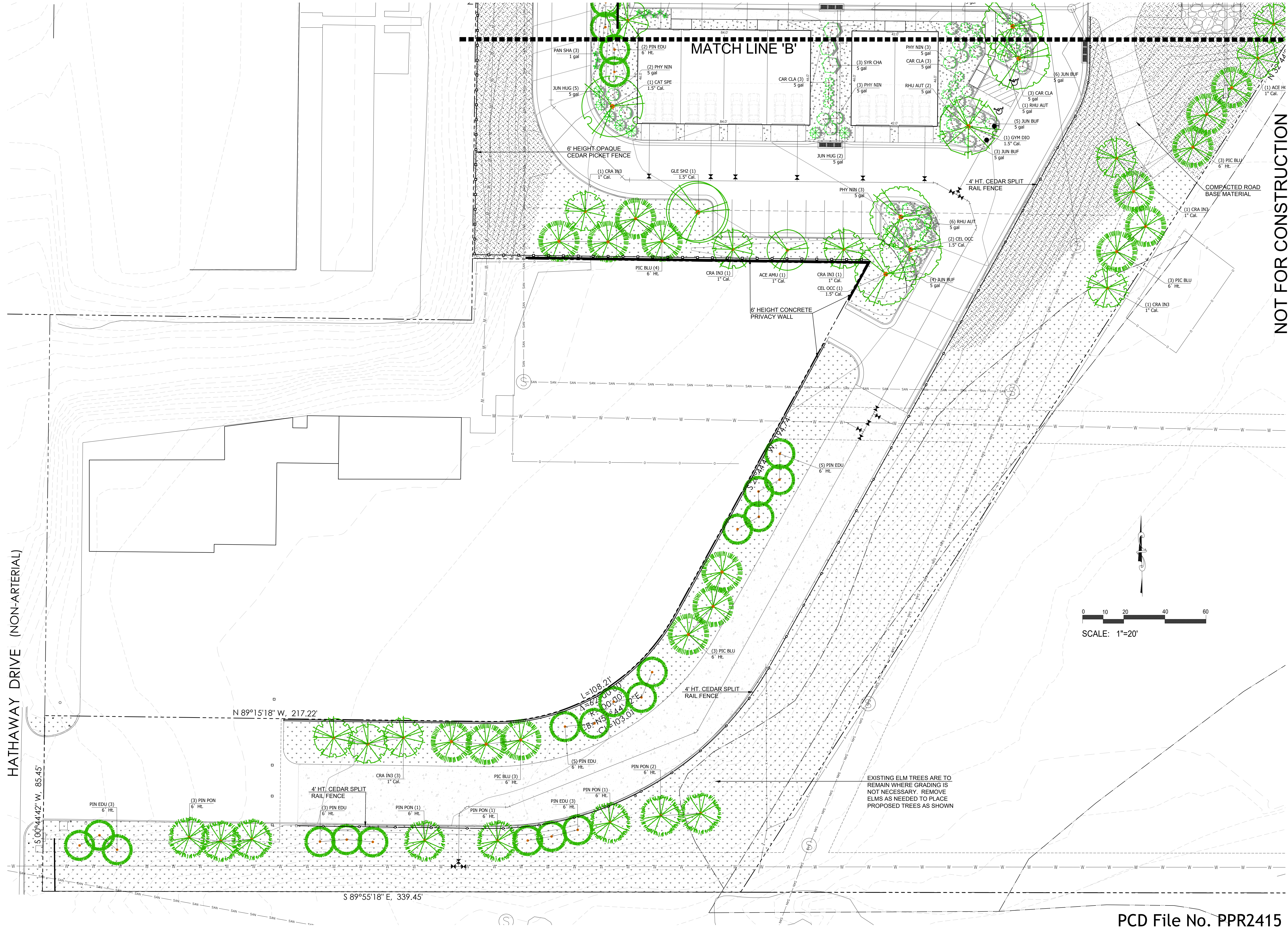
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**L3**

Sheet 3 of 5

PCD File No. PPR2415



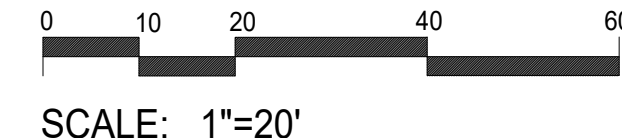


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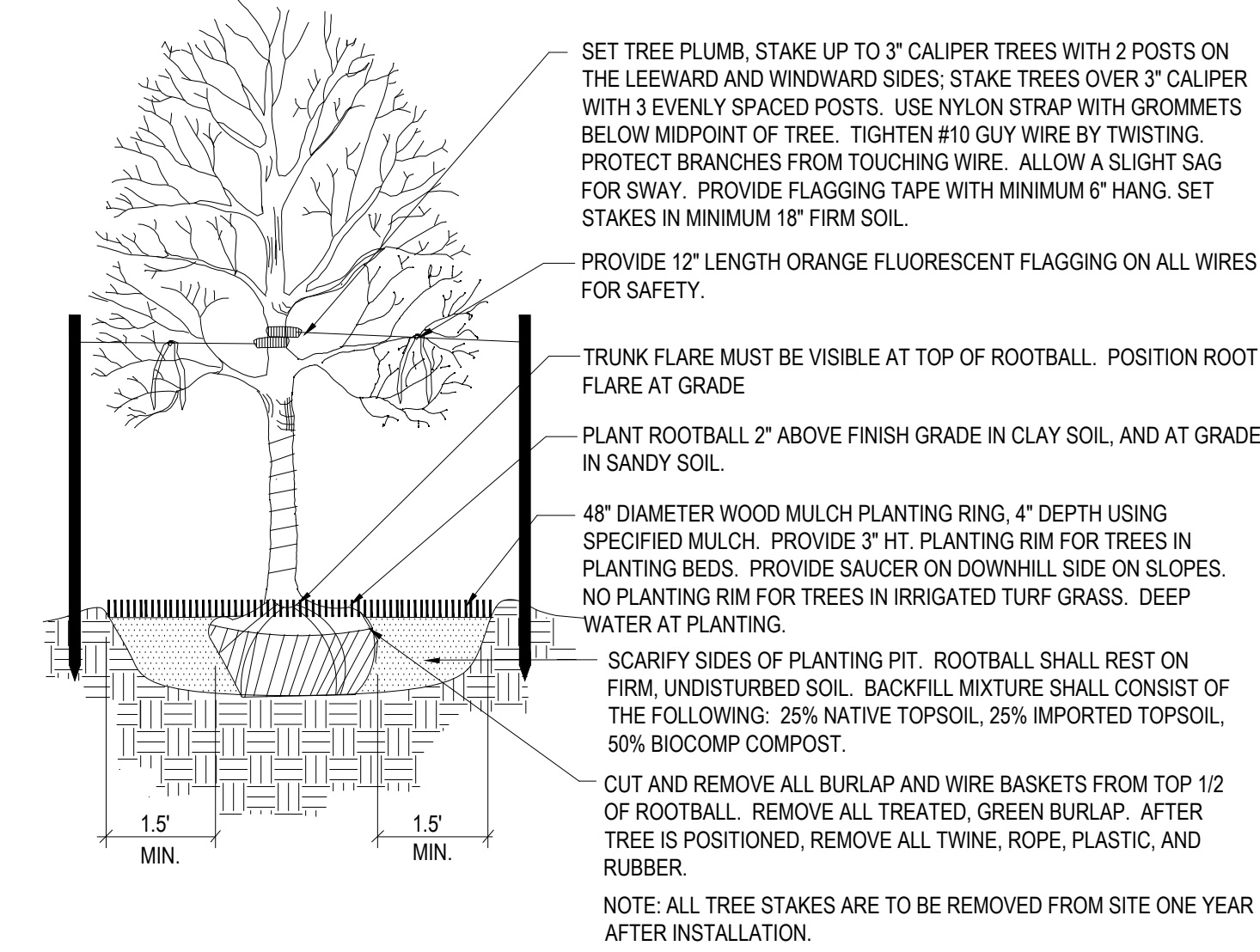
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Sheet 4 of 5

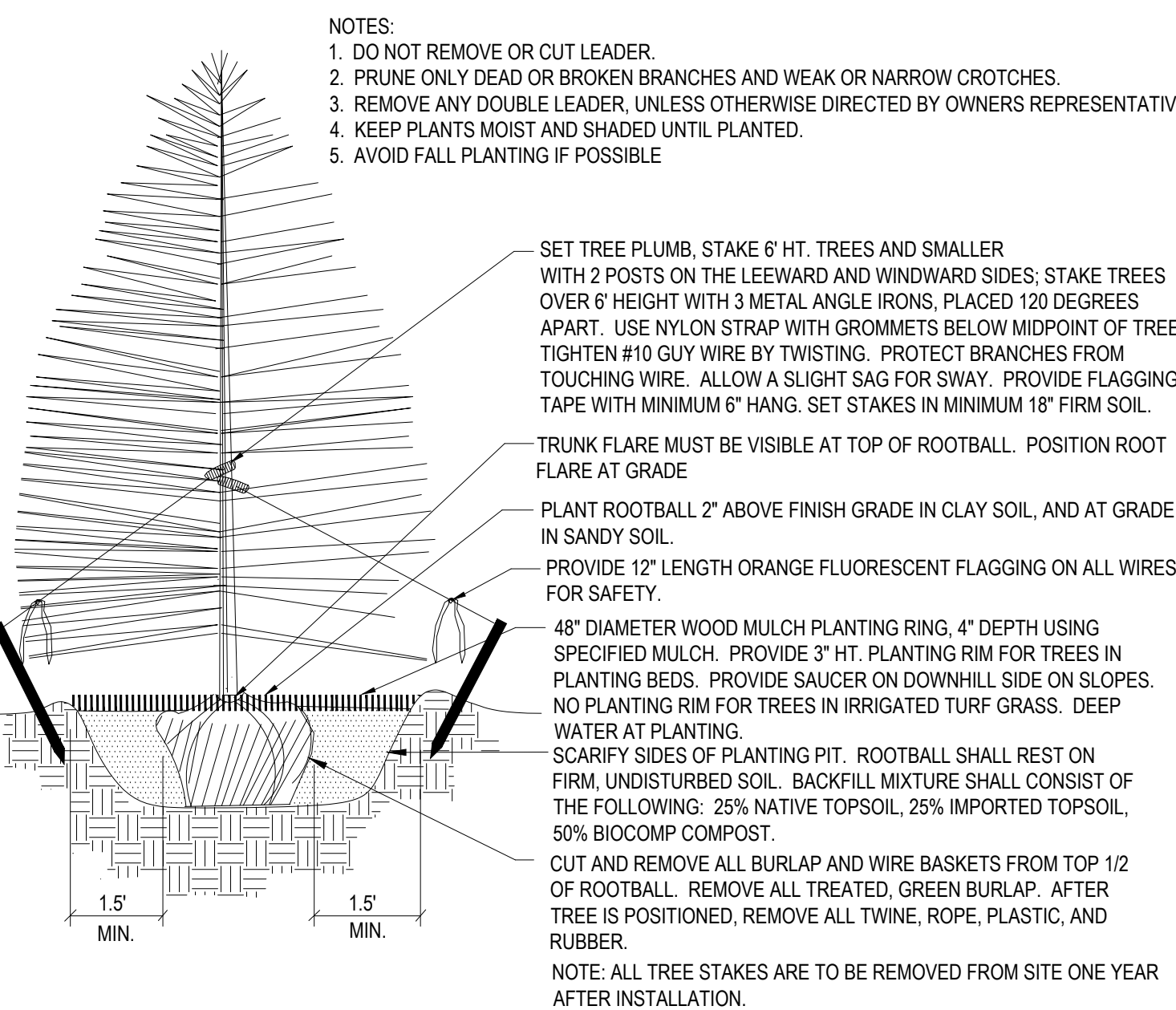


# PLANTING DETAILS

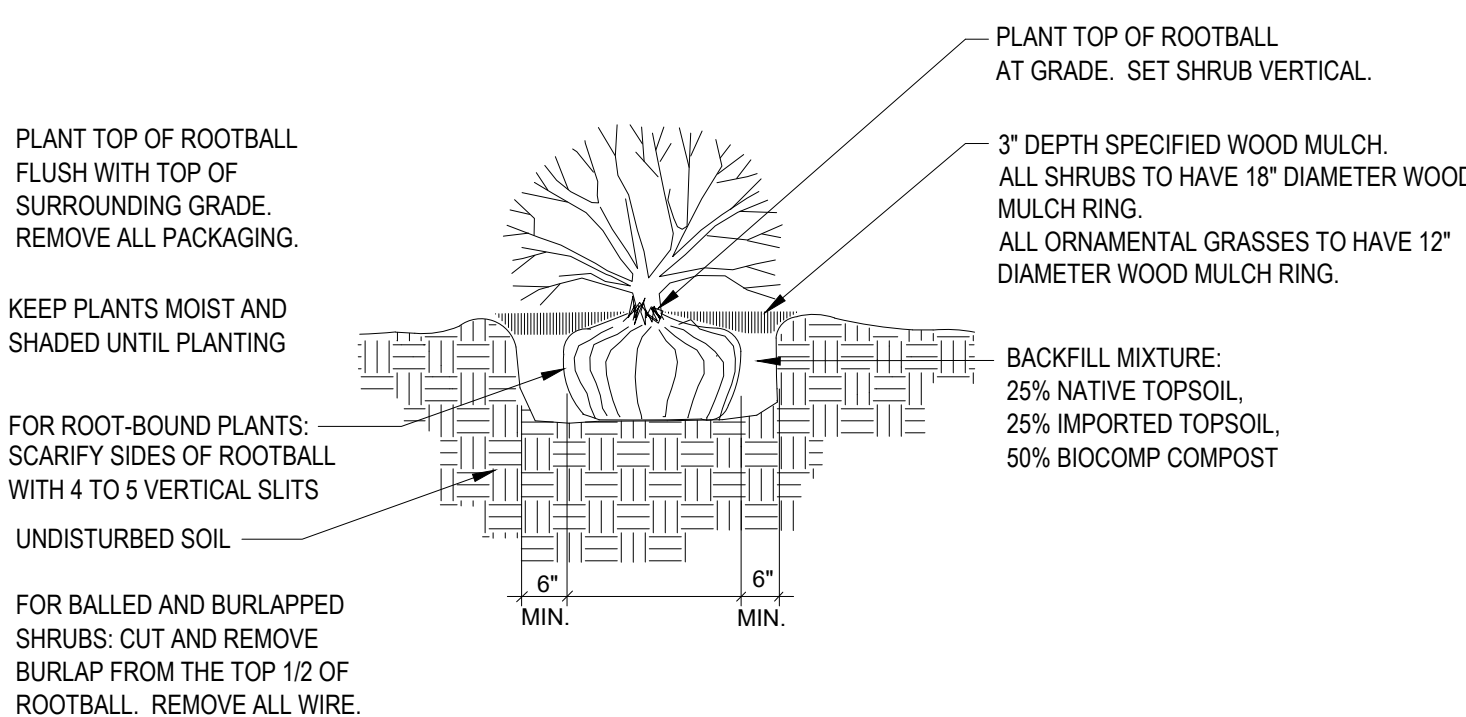
- NOTES:
- DO NOT REMOVE OR CUT LEADER.
  - PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
  - DO NOT REMOVE LOWER LIMBS AND SPROUTS FOR AT LEAST TWO GROWING SEASONS.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTED.
  - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
  - WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE NOT TWINE. WRAP OCTOBER 15 AND REMOVE BY MARCH 31.



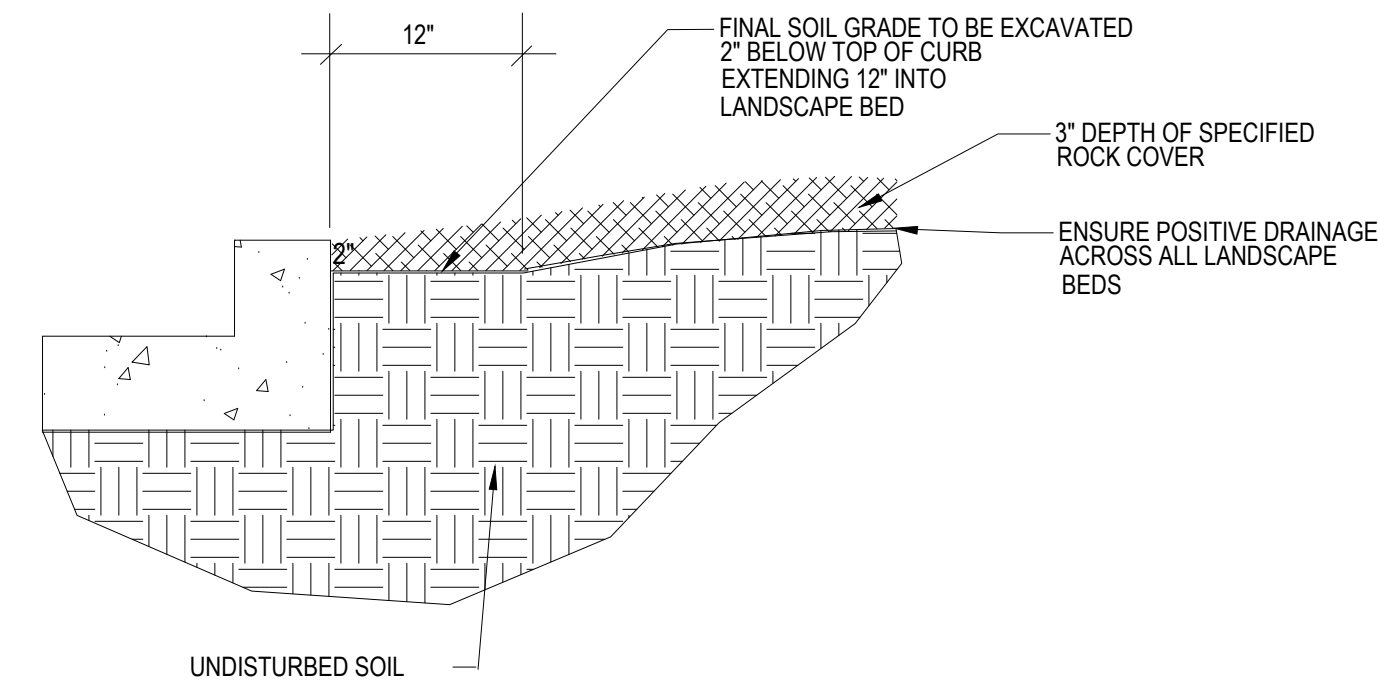
**1** Deciduous Tree Planting Detail  
SCALE: NOT TO SCALE



**2** Coniferous Tree Planting Detail  
SCALE: NOT TO SCALE



**3** Shrub Planting Detail  
SCALE: NOT TO SCALE



**4** Rock Cover / Mulch Bed Excavation  
SCALE: NOT TO SCALE

# NATIVE SEED ESTABLISHMENT

**INITIAL PLANTING**  
STOCKPILED TOPSOIL SHOULD BE SPREAD EVENLY OVER ALL AREAS TO RECEIVE NATIVE SEED. SEED BED IS TO BE WEED-FREE. SPECIFIED SOIL AMENDMENTS SHOULD BE SPREAD AND INCORPORATED INTO TOP 6" OF SOIL. SEED BED IS TO BE RAKED SMOOTH AND FREE OF DEBRIS LARGER THAN 1" IN DIAMETER. ANY AREAS THAT THE CONTRACTOR BELIEVES TO BE SUSCEPTIBLE TO EROSION ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND/OR GENERAL CONTRACTOR PRIOR TO SEEDING. THE SPECIFIED SEED MIX IS TO BE APPLIED BY HYDRO-MULCH SEEDING AT THE RATE SPECIFIED. SEED IS TO BE APPLIED BETWEEN APRIL 15 AND SEPTEMBER 15. SEED SHALL NOT BE SOWN IF GROUND IS IN A FROZEN STATE. SPECIFIED EROSION CONTROL BLANKET IS TO BE INSTALLED IMMEDIATELY AFTER SEEDING. BLANKET SHALL BE LAID AND SECURED WITH 6" METAL STAPLES AS PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR IS TO PROVIDE INCIDENTAL WATERING OF ALL SEEDED AREAS THREE TIMES A WEEK DURING GROWING SEASON FOR A MINIMUM OF 8 WEEKS, OR UNTIL ESTABLISHED AND MEETING COVERAGE REQUIREMENTS. MOWING MAY BE NECESSARY DURING THE FIRST GROWING SEASON TO KEEP INVASIVE WEEDS FROM SETTING SEEDS. CONTRACTOR IS RESPONSIBLE FOR KEEPING BROADLEAF WEEDS UNDER CONTROL FOR 12 MONTHS AFTER INITIAL SEEDING AND IS ALSO RESPONSIBLE FOR OVER SEEDING BARE AREAS UNTIL SPECIFIED NATIVE GRASSES COVER ALL AREAS AND AREAS WITHOUT SPECIFIED NATIVE GRASS DO NOT EXCEED 6" X 6".

**OVER SEEDING**  
SIX WEEKS AFTER THE INITIAL SEEDING DURING THE FIRST GROWING SEASON AND/OR DURING THE SPRING OF THE SECOND GROWING SEASON CONTRACTOR IS TO REPAIR ANY ERODED AREAS AND OVER SEED ALL BARE NATIVE GRASS AREAS. CONTRACTOR IS TO USE SPECIFIED SEED MIX BY BROADCAST AND RAKING INTO TOP 1/4" TO 1/2" OF SOIL. INCIDENTAL WATERING IS TO BE PROVIDED TO ESTABLISH OVER-SEEDED AREAS. BROADLEAF WEEDS ARE TO BE KEPT UNDER CONTROL BY MANUALLY PULLING OR CUTTING WEEDS OR SPRAYING OF BROADLEAF WEED HERBICIDE. HERBICIDE AND APPLICATION SHALL CONFORM TO ALL APPLICABLE LAWS OF THE STATE OF COLORADO AND MANUFACTURERS INSTRUCTIONS.

# NATIVE SEED MIX

SEED MIX IS TO CONSIST OF 'EL PASO LOW GROW GRASS SEED MIX'-  
27% WESTERN WHEATGRASS  
18% BLUE GRAMA  
15% BUFFALOGRASS  
13% SIDEOATS GRAMA  
12% SHEEP FESCUE  
10% GREEN NEEDLEGRASS  
5% SAND DROPSEED

El Paso County Conservation District  
**El Paso Low Grow Seed Mix**

Seed (lb)					Land	
Irrigated		Non-Irrigated			Acres	Feet <sup>2</sup>
Broadcast, HSeed	Drilled	Broadcast, HSeed	Drilled			
10.50	5.25	5.25	1.97	0.25	10,890	
21.00	10.50	10.50	5.25	0.50	21,780	
31.50	15.75	15.75	7.88	0.75	32,670	
42.00	21.00	21.00	10.50	1.00	43,560	
84.00	42.00	42.00	21.00	2.00	87,120	
210.00	105.00	105.00	52.50	5.00	217,800	

# GENERAL NOTES

- ALL REFERENCES TO 'CONTRACTOR' REFER TO LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR GETTING ALL UTILITY LOCATES PRIOR TO STARTING ANY WORK ON SITE AND ALSO HAVING UTILITIES RELOCATED AS NECESSARY FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS SHALL REQUIRE APPROVAL FROM THE EL PASO COUNTY PLANNING DEPARTMENT AND MAY DELAY COMPLETION OF PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY OWNER'S REPRESENTATIVE OF DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF LANDSCAPE MATERIALS ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. NOTIFY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION IF LANDSCAPE MATERIAL LOCATIONS NEED TO BE ALTERED DUE TO ON-SITE CONDITIONS.
- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS, IRRIGATION COMPONENTS, NATIVE GRASS, AND WORKMANSHIP. CONTRACTOR IS TO PROVIDE OWNER WITH WARRANTY CONDITIONS AND COMMENCE WARRANTY PERIOD UPON FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION.
- THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, PRUNING, AND PLANT MATERIAL REPLACEMENT.

# PROJECT NOTES

- FINE GRADING TO BE PERFORMED BY LANDSCAPE CONTRACTOR TO REFLECT FINISHED GRADES SHOWN ON THE PROJECT GRADING PLANS. ALL FINISHED GRADES ARE TO HAVE A MINIMUM 2% SLOPE. CONTRACTOR IS TO REPORT POOR DRAINAGE CONDITIONS OR ANY GRADES IN LANDSCAPE AREAS LESS THAN 2% TO GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT PRIOR TO LANDSCAPE CONSTRUCTION WORK.
- CONTRACTOR IS TO PROVIDE FINAL GRADES ADJACENT TO HARDSCAPE SURFACES AT THE FOLLOWING SPECIFICATIONS:  
2" BELOW TOP OF CONCRETE OR ASPHALT FOR ALL ROCK COVER BEDS.  
1" BELOW TOP OF CONCRETE OR ASPHALT FOR NATIVE SEED AREAS.  
CONTRACTOR IS TO COORDINATE THESE GRADING SPECIFICATIONS WITH GENERAL CONTRACTOR AND/OR WHOEVER IS PROVIDING ROUGH GRADING. FINAL GRADES IN ALL LANDSCAPE AREAS ARE TO BE ESTABLISHED USING ON-SITE STOCKPILED TOPSOIL.
- ALL DISTURBED NATIVE GRASS AREAS ARE TO BE SEEDED WITH SPECIFIED SEED MIX BY HYDRO-MULCHING OR DRILL SEEDING (WHERE ACCESSIBLE) AT SEEDING RATE SHOWN IN TABLE. EROSION CONTROL BLANKET TO BE INSTALLED ON ALL DISTURBED SLOPES GREATER THAN 4:1. REFER TO NATIVE SEED ESTABLISHMENT SPECIFICATIONS FOR MORE DETAILED INSTRUCTIONS.
- ROCK COVER AREAS INSIDE PROPERTY BOUNDARIES TO CONSIST OF 1.5" DIAMETER 'ROYAL GRANITE' CRUSHED GRANITE (C&C SAND), SPREAD 3" DEPTH OVER LANDSCAPE FABRIC. LANDSCAPE FABRIC TO CONSIST OF A WOVEN FIBER FABRIC (MIRAFI OR EQUAL). FABRIC TO OVERLAP 6" MINIMUM AT ALL SEAMS. 6" STEEL ANCHOR PINS TO BE INSTALLED 8" O.C. MAX.
- STEEL EDGING IS TO CONSIST OF 14 GAUGE PERFORATED GALVANIZED ROLLED-TOP STEEL EDGING. EDGING IS TO BE USED TO SEPARATE GRASS AND ROCK COVER AREAS, UNLESS OTHERWISE NOTED ON PLAN. EDGING IS TO BE PARTIALLY BURIED SO THAT HALF OF EDGING HEIGHT IS BELOW FINISHED SOIL GRADE. 12" STEEL EDGING PINS TO BE INSTALLED EVERY 4' O.C. MAX. ENDS OF STEEL EDGING TO OVERLAP 6" MINIMUM WITH AND HAVE TWO PINS SECURING OVERLAPPED ENDS.
- 'CASCADE CEDAR' (C&C SAND) WOOD MULCH IS TO BE PROVIDED AROUND THE BASE OF ALL PLANTINGS. 3" DEPTH (NO FABRIC BENEATH). REFER TO PLANTING DETAILS.

# SOIL PREPARATION NOTES

- NATIVE GRASS AREAS:** ALL DISTURBED NATIVE GRASS AREAS TO RECEIVE 2 CU. YDS. PER 1,000 SQ. FT. OF 'BIOCOMP' SOIL AMENDMENTS (C&C SAND) INCORPORATED INTO EXISTING SOIL AND ROTO-TILLED TO A 6" DEPTH.
- PROPOSED TREES AND SHRUBS:** ALL PROPOSED TREES ARE TO BE BACKFILLED WITH A MIXTURE OF 'BIOCOMP' SOIL AMENDMENT AND IMPORTED GRADE A TOPSOIL (C&C SAND). REFER TO PLANTING DETAIL.

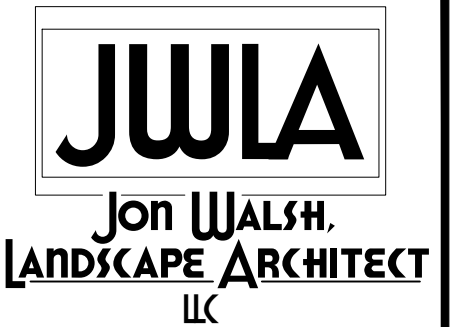
# IRRIGATION NOTES

- ALL PROPOSED PLANT MATERIALS ARE TO BE WATERED BY A PROPOSED PERMANENT AUTOMATIC DRIP IRRIGATION SYSTEM. ALL SHRUBS TO HAVE (2) 1 GPH EMITTERS PLACED AT EDGE OF ROOTBALL ON OPPOSITE SIDES. ALL TREES TO HAVE (4) 1 GPH EMITTERS PLACED 90 DEGREES APART AROUND EDGE OF ROOTBALL.
- ALL SEEDED NATIVE GRASS AREAS TO BE ESTABLISHED BY A TEMPORARY SPRAY IRRIGATION ZONES CONNECTED TO THE AUTOMATIC IRRIGATION SYSTEM OR WITH PORTABLE SPRINKLER HEADS AND HOSES CONNECTED TO IRRIGATION SYSTEM QUICK COUPLERS AND/OR BUILDING HOSE BIB(S).

# GRADING / DRAINAGE NOTES

- LANDSCAPE CONTRACTOR IS TO VERIFY THAT ALL FINISHED GRADES COMPLY WITH GRADING PLAN PREPARED BY CIVIL ENGINEER. VERIFY THAT ALL SLOPES DRAIN AWAY FROM BUILDING(S) AND THAT DRAINAGE SWALES ARE CORRECTLY LOCATED AND CARRY WATER AS INTENDED. NOTIFY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION IF STANDING WATER IS PRESENT (OTHER THAN DETENTION FACILITIES) OR IF SLOPES ARE NOT GRADED AS PER APPROVED GRADING PLAN.
- LANDSCAPE CONTRACTOR IS TO LOCATE ALL DOWNSPOUTS AND DOWNSPOUT EXTENSIONS AND VERIFY THAT NO OBSTRUCTIONS ARE IMPEDING THE FLOW OF WATER AWAY FROM THE BUILDING.
- LANDSCAPE CONTRACTOR IS TO PROVIDE TEMPORARY EROSION MITIGATION MEASURES FOR THE DURATION OF LANDSCAPE CONSTRUCTION. THIS INCLUDES PLACEMENT OF WATTLES AND/OR EROSION BLANKET WHEREVER DRAINAGE ERODES BARE SOIL AND RUNOFF CAN POTENTIALLY DAMAGE NEIGHBORING PROPERTIES OR SEDIMENT COULD POTENTIALLY FLOW OUTSIDE OF PROPERTY LINES.

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May 28, 2024

SHEET NO.

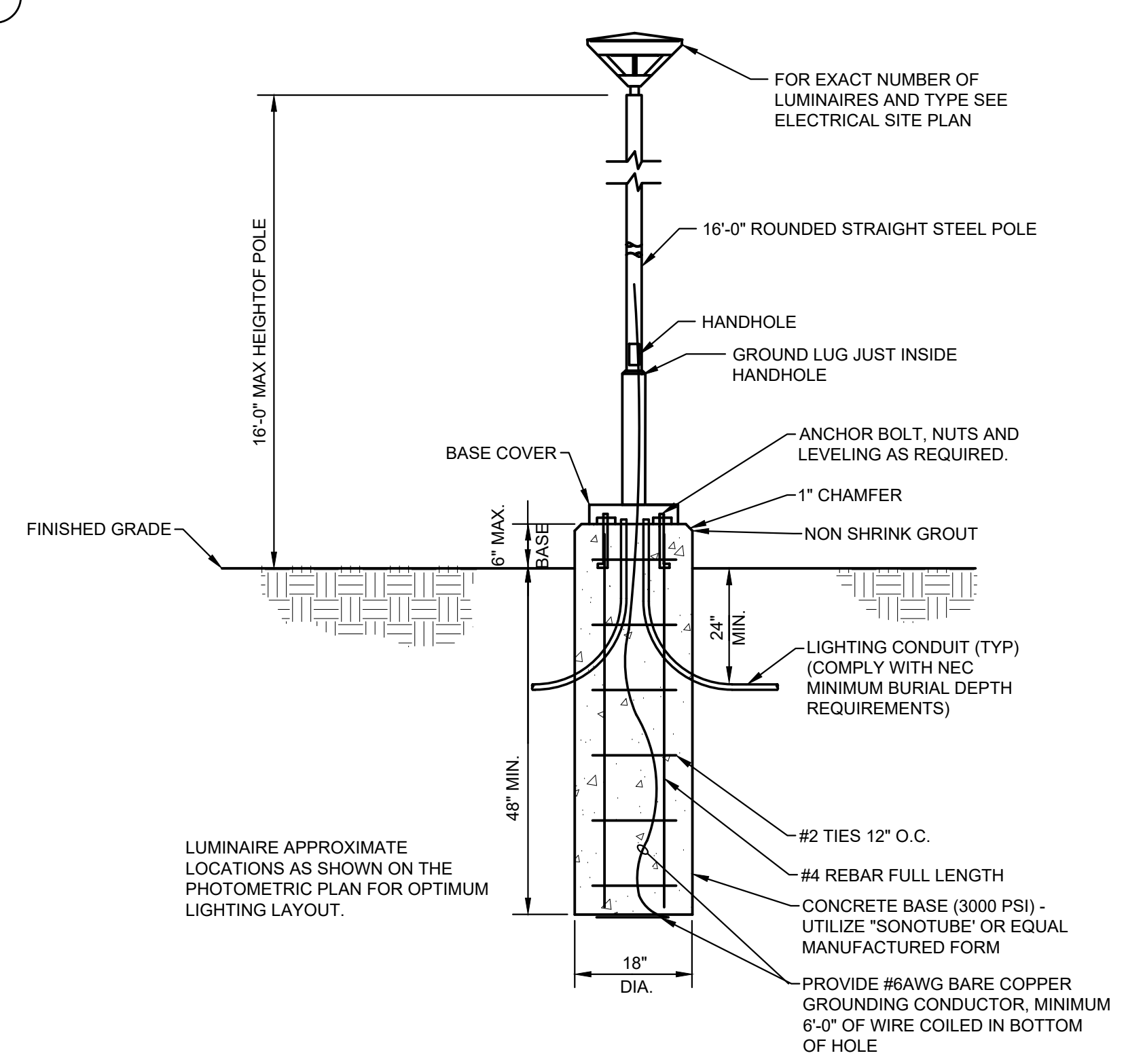
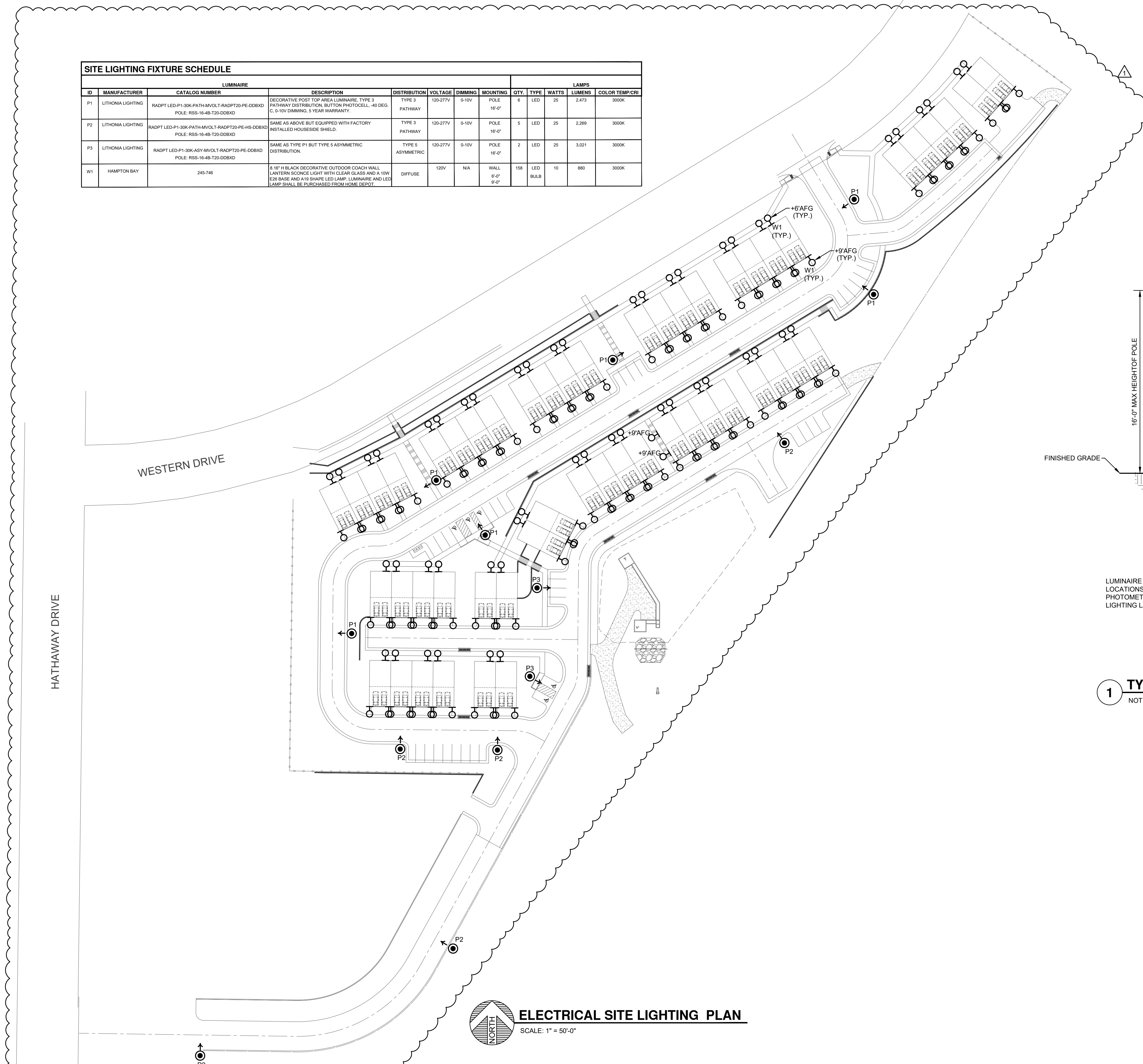
**L5**

Sheet 5 of 5



SITE LIGHTING FIXTURE SCHEDULE												
ID	MANUFACTURER	CATALOG NUMBER	LUMINAIRE				LAMPS					
			DESCRIPTION	DISTRIBUTION	VOLTAGE	DIMMING	MOUNTING	QTY	TYPE	WATTS	LUMENS	COLOR TEMP./CRI
P1	LITHONIA LIGHTING	RADPT LED-P1-30K-PATH-MVOLT-RADPT20-PE-DBXKD POLE: RSS-16-4B-T20-DBXKD	DECORATIVE POST TOP AREA LUMINAIRE, TYPE 3 PATHWAY DISTRIBUTION, BUTTON PHOTOCELL, 40 DEG. C, 0-10V DIMMING, 5 YEAR WARRANTY.	TYPE 3 PATHWAY	120-277V	0-10V	POLE 16'-0"	6	LED	25	2,473	3000K
P2	LITHONIA LIGHTING	RADPT LED-P1-30K-PATH-MVOLT-RADPT20-PE-DBXKD POLE: RSS-16-4B-T20-DBXKD	SAME AS ABOVE BUT EQUIPPED WITH FACTORY INSTALLED HOUSESIDE SHIELD.	TYPE 3 PATHWAY	120-277V	0-10V	POLE 16'-0"	5	LED	25	2,269	3000K
P3	LITHONIA LIGHTING	RADPT LED-P1-30K-ASY-MVOLT-RADPT20-PE-DBXKD POLE: RSS-16-4B-T20-DBXKD	SAME AS TYPE P1 BUT TYPE 5 ASYMMETRIC DISTRIBUTION.	TYPE 5 ASYMMETRIC	120-277V	0-10V	POLE 16'-0"	2	LED	25	3,021	3000K
W1	HAMPTON BAY	245-746	8'18" H BLACK DECORATIVE OUTDOOR COACH WALL LANTERN SOURCE LIGHT WITH CLEAR GLASS AND A 10W E26 BASE AND A19 SHAPE LED LAMP. LUMINAIRE AND LED LAMP SHALL BE PURCHASED FROM HOME DEPOT.	DIFFUSE	120V	N/A	WALL 6'-0" 9'-0"	158	LED BULB	10	880	3000K

**KEYED NOTES**  
 ① NOT USED.



**1 TYPICAL FIXTURE TYPE P1,P2,P3 POLE BASE DETAIL**  
 NOT TO SCALE

**ELECTRICAL SITE LIGHTING PLAN**  
 SCALE: 1" = 50'-0"



**721 WESTERN DR. TOWNHOMES**  
 SITE DEVELOPMENT PLAN PHOTOMETRY  
 721 WESTERN DRIVE, COLORADO SPRINGS, CO 80915

REVISIONS	MARK	DATE	COMMENT
1	Δ	09/18/2023	COORDINATION SET
2	Δ	05/23/2024	CITY REVIEW COMMENTS

**ELECTRICAL SITE DEVELOPMENT PLAN**

PROJECT	23080
DATE	05/23/2024
DRAWN	CAO
CHECKED	MP

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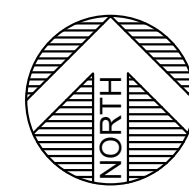
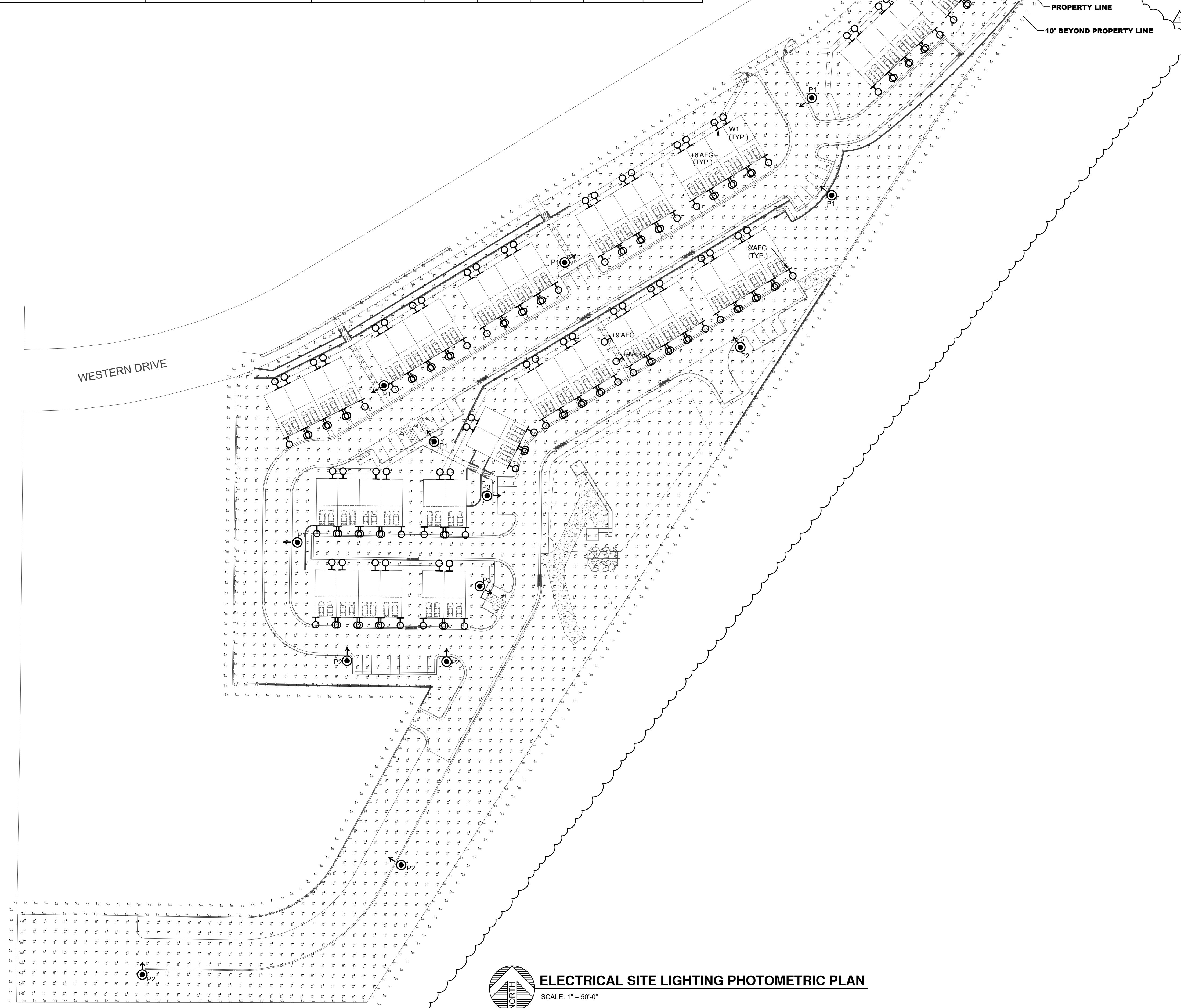
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
10' Beyond Property Line	Illuminance	Fc	0.00	0.1	0.0	N.A.	N.A.
Property Line	Illuminance	Fc	0.01	0.1	0.0	N.A.	N.A.
Site	Illuminance	Fc	0.29	3.0	0.0	N.A.	N.A.

**GENERAL NOTES**

- A. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY EXCAVATION. NOT ALL EXISTING CONDITIONS ARE SHOWN FOR CLARITY.
- B. CONTRACTOR SHALL PROVIDE ALL REQUIRED CUTTING, TRENCHING, BACKFILLING, AND RESTORATION.
- C. THESE PHOTOMETRIC CALCULATIONS ARE BASED ON MANUFACTURER'S IES FILES AND 0.85 LIGHT DEPRECIATION FACTOR.
- D. ACTUAL ILLUMINANCE LEVELS MAY DIFFER FROM THE FOOT CANDLE LEVELS SHOWN DUE TO VARIABLE FIELD CONDITIONS, SUCH AS NEARBY EXISTING LUMINAIRES, LUMINAIRE DIRT DEPRECIATION, LANDSCAPING, AND FUTURE DEVELOPMENTS.

HATHAWAY DRIVE

WESTERN DRIVE



**ELECTRICAL SITE LIGHTING PHOTOMETRIC PLAN**

SCALE: 1" = 50'-0"

**PLANT**  
ENGINEERING CONSULTANTS  
320 WEST FILLMORE STREET COLORADO SPRINGS CO 80907  
719-473-7077  
www.plantec.com



**721 WESTERN DR. TOWNHOMES**  
SITE DEVELOPMENT PLAN PHOTOMETRY  
721 WESTERN DRIVE, COLORADO SPRINGS, CO 80915

REVISIONS	MARK	DATE	COMMENT
	△	09/18/2023	COORDINATION SET
	△	05/23/2024	CITY REVIEW COMMENTS

SHEET TITLE  
**DEVELOPMENTAL  
SITE  
PHOTOMETRIC  
PLAN**

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PROJECT	23080
DATE	05/23/2024
DRAWN	CAO
CHECKED	MP

SHEET  
**DP2**

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### Radean Post Top LED Area Luminaire



Catalog Number	
Notes	
Type	P1,P2,P3

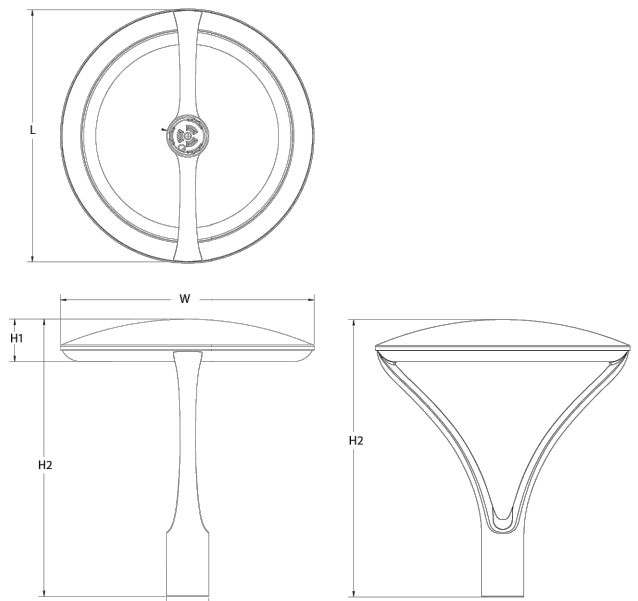
Hit the Tab key or mouse over the page to see all interactive elements.

#### Introduction

The architecturally-inspired shape of the RADEAN™ post top area luminaire embodies the grace and strength of the RADEAN family. The twin copper-core cast aluminum arms support the slender superstructure, creating a beautiful sculpture by day transforming into a beacon of comfort by night. Triangular arms redirect reflection maintaining its visually quiet appearance. With sleek lines and simple silhouettes, these LED luminaires use specialized lighting and visual comfort to transform common areas like courtyards, outdoor retail locations, universities and corporate campuses into pedestrian-friendly nighttime environments.

#### Specifications

**EPA:** 1.02 ft<sup>2</sup> (0.105 m<sup>2</sup>)  
**Length:** 24" (61 cm)  
**Width:** 24" (61 cm)  
**H1 Luminaire Height:** 4" (10.16 cm)  
**H2 Luminaire Height:** 26" (66.04 cm)  
**Weight:** 38lbs (17.24 kg)



#### Ordering Information

EXAMPLE: RADPT LED P3 30K SYM MVOLT P4 PE DNAXD

Series	Performance package	Color temperature	Distribution	Voltage	Mounting required	
RADPT LED	P1	3,000 Lumens	27K 2700K	SYM Symmetric type V	MVOLT 277V	PT4*
	P2	5,000 Lumens	30K 3000K	ASY Asymmetric type IV	120V 347	RADPT25
	P3	7,000 Lumens	35K 3500K	PATH Pathway type III	208V 480	RADPT25
	P4	10,000 Lumens	40K 4000K		240V	
	P5	15,000 Lumens	50K 5000K			

#### Control Options

Control Options	Other options	Finish options
<b>Shipped installed</b> NLMUR Night NR 2.0 enabled* PE Button photocell* FAO Field adjustable output*	SF Single Fuse* DF Double Fuse* ROO Retained optics*	<b>Shipped installed</b> HIS Hiveside Hybrid*
		DDRD Dark bronze DRXD Black DNALD Natural aluminum DNWLD White
		DDRBD Textured dark bronze DRBBD Textured black DNALBD Textured natural aluminum DNWRBD Textured white

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#### Performance Data

**Lumen Output**  
 Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Contact factory for performance data on any configurations not shown here.

Performance Package	Input Watts	Distribution	2700K					3500K					4000K									
			Lumens	U	I	C	LM79	Lumens	U	I	C	LM79	Lumens	U	I	C	LM79					
P1	25	ASY	3,234	2	1	1	116	3,022	2	1	2	119	3,095	2	1	1	122	3,368	2	1	1	125
		PNH	3,520	2	1	2	100	2,613	2	2	2	103	2,676	2	2	2	105	2,739	2	2	2	108
		SYM	3,086	2	1	1	121	3,189	2	1	1	126	3,266	2	1	1	129	3,344	2	1	1	132
P2	38	ASY	4,521	3	2	3	119	4,672	3	2	3	123	4,785	3	2	3	126	4,898	3	2	3	129
		PNH	3,909	2	2	2	103	4,940	2	2	2	106	4,137	2	2	2	109	4,235	3	2	3	111
		SYM	4,772	2	2	1	126	4,931	3	2	1	130	5,050	3	2	1	133	5,169	3	2	1	136
P3	54	ASY	6,387	3	2	3	119	6,600	3	2	3	123	6,760	3	2	3	126	6,919	3	2	3	129
		PNH	5,523	3	2	3	103	5,707	3	2	3	106	5,845	3	2	3	109	5,983	3	2	3	112
		SYM	6,741	3	2	2	126	6,966	3	2	2	130	7,191	3	2	2	133	7,363	3	2	2	136
P4	86	ASY	10,150	4	2	4	118	10,489	4	2	4	122	10,742	4	2	4	125	10,996	4	2	4	128
		PNH	8,772	3	2	3	102	9,878	3	2	3	106	9,289	3	2	3	108	9,559	3	2	3	111
		SYM	10,713	3	2	2	125	11,071	3	2	2	129	11,338	3	2	2	132	11,606	3	2	2	135
P5	122	ASY	14,250	4	2	4	116	14,724	4	2	4	120	15,081	4	3	4	123	15,437	4	3	4	126
		PNH	12,222	4	2	4	101	12,733	4	3	4	104	13,041	4	3	4	106	13,349	4	3	4	109
		SYM	15,040	4	2	3	123	15,541	4	2	3	127	15,917	4	2	3	130	16,293	4	2	3	133

#### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 54°F to 104°F.

Ambient	Lat Factor	Lat Factor
90°	1.00	1.00
95°	0.98	0.98
100°	0.97	0.97
105°	0.96	0.96
110°	0.95	0.95
115°	0.94	0.94
120°	0.93	0.93
125°	0.92	0.92
130°	0.91	0.91
135°	0.90	0.90
140°	0.89	0.89

#### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the RADPT LED perform in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-15).

To calculate LLM use the Lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	25,000	50,000	100,000
P1	1.00	0.96	0.91
P2	1.00	0.96	0.91
P3	1.00	0.96	0.91
P4	1.00	0.96	0.91
P5	1.00	0.95	0.89

#### Electrical Load

Lumen Package	LED Input Current	Voltage	Wattage	Summed (A)						
				120	208	240	277	347	480	
P1	500	42.8	21.4	Input Current	0.22	0.13	0.11	0.1	0.08	0.06
				System Watts	26	26	26	27	25	26
P2	770	43	33.1	Input Current	0.33	0.19	0.16	0.16	0.11	0.08
				System Watts	39	39	39	39	38	38
P3	1100	43.2	47.5	Input Current	0.46	0.26	0.23	0.2	0.16	0.12
				System Watts	55	54	54	54	54	54
P4	900	87.3	76.6	Input Current	0.73	0.42	0.36	0.32	0.25	0.18
				System Watts	87	86	86	86	86	86
P5	1220	88.2	110.2	Input Current	1	0.58	0.5	0.44	0.35	0.25
				System Watts	120	119	119	119	120	120

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#### Ordering Information

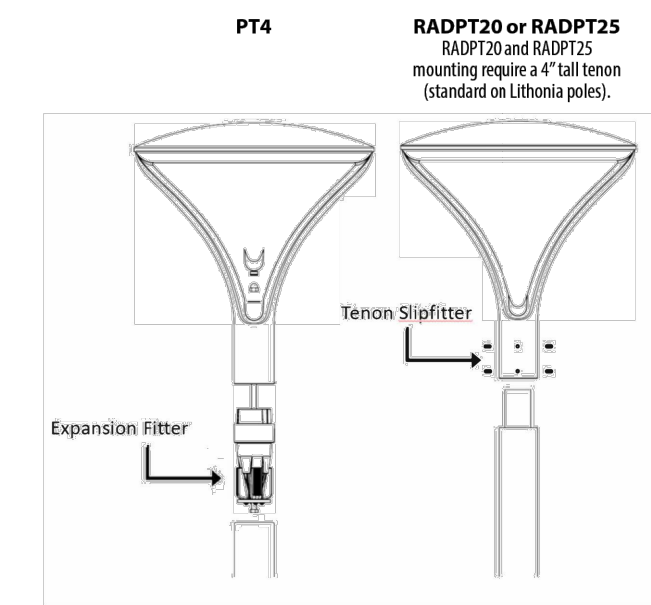
##### Accessories

- WMS Round-shield (HMI & white)
- MW50000 Double combi-lens for 4" pole (HMI & white)
- MW50000 Half-lens cover for 4" pole (HMI & white)

For more control options, see 100 and 1000 series.

- NOTES**
- 2700K and 3500K may require extended lead times.
  - MW50000 double combi-lens only on line voltage from 120-277V (50/60 Hz). Single lens (SL) requires 120, 277 or 347 voltage option. Double lens (DL) requires 208, 240 or 480 voltage option.
  - Requires minimal 4" round weight metal pole.
  - WZ2492 not available with PE or FAO. Mount link to external Light Air network. Does not include occupancy sensor. For more information refer to JSD03 pole mount sensor.
  - For left rotation, select R90 and rotate luminaires 180° on pole.
  - Also available as a separate accessory, see Accessories information at left. IS not available with R90. Shield is field-replaceable shield in 180° increments.

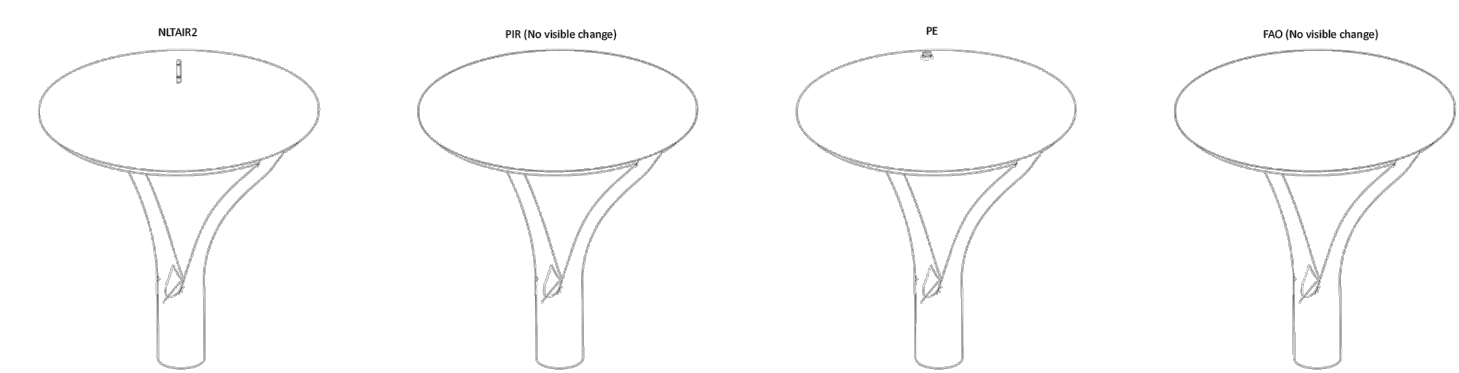
#### Mounting



Acuity Part Number	Description	For luminaires	Used with Mounting
BS1148PT D08D	10" Round Straight Steel - 4" O.D. - Open Top	RADPT LED	PT4
BS1248PT D08D	12" Round Straight Steel - 4" O.D. - Open Top	RADPT LED	PT4
BS1448PT D08D	14" Round Straight Steel - 4" O.D. - Open Top	RADPT LED	PT4
BS1648PT D08D	16" Round Straight Steel - 4" O.D. - Open Top	RADPT LED	PT4
BS1848PT D08D	18" Round Straight Steel - 4" O.D. - Open Top	RADPT LED	PT4
BS2048PT D08D	20" Round Straight Steel - 4" O.D. - Open Top	RADPT LED	PT4
BS2548PT D08D	25" Round Straight Steel - 4" O.D. - Open Top	RADPT LED	PT4
BS1148T20 D08D	10" Round Straight Steel - 4" O.D. - Tenon Top	RADPT LED	RADPT20
BS1248T20 D08D	12" Round Straight Steel - 4" O.D. - Tenon Top	RADPT LED	RADPT20
BS1448T20 D08D	14" Round Straight Steel - 4" O.D. - Tenon Top	RADPT LED	RADPT20
BS1648T20 D08D	16" Round Straight Steel - 4" O.D. - Tenon Top	RADPT LED	RADPT20
BS1848T20 D08D	18" Round Straight Steel - 4" O.D. - Tenon Top	RADPT LED	RADPT20
BS2048T20 D08D	20" Round Straight Steel - 4" O.D. - Tenon Top	RADPT LED	RADPT20
BS2548T20 D08D	25" Round Straight Steel - 4" O.D. - Tenon Top	RADPT LED	RADPT20

\*Customer must verify pole loading per required design criteria and specified wind speed. Consult pole specification sheet for additional details.

#### Control Options



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## 245 746

**CAUTION** - Risk of Fire. Consult a Qualified Electrician to Ensure Correct Branch Circuit Conductors. Min. 15' (4.57 m) Clearance from Combustibles. Always use proper clearance from combustibles. Do not use in areas with flammable vapors or gases. Do not use in areas with flammable liquids. Do not use in areas with flammable dust. Do not use in areas with flammable gases.

### Polished Brass Finish

Acabado en latón pulido  
**249 897**

### White Finish

Acabado en blanco  
**250 399**

Other finishes also available in stores or online at [homedepot.com](#).  
 Otros acabados están disponibles en las tiendas o por internet en [homedepot.com](#).

**For Wet Locations**  
 Use (1) Wet Location  
 Para lugares húmedos, Use (1) Wet Location (1) Wet Location

Use (1) Standard 3/4" to 1" (19 to 25.4 mm) for CFL Equipment that is not for use in wet locations. Use (1) Standard 3/4" to 1" (19 to 25.4 mm) for CFL equipment that is not for use in wet locations.

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REVISIONS	DATE	COMMENT
MARK	09/18/2023	COORDINATION SET
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#### CUT SHEETS

PROJECT	23080
DATE	05/23/2024
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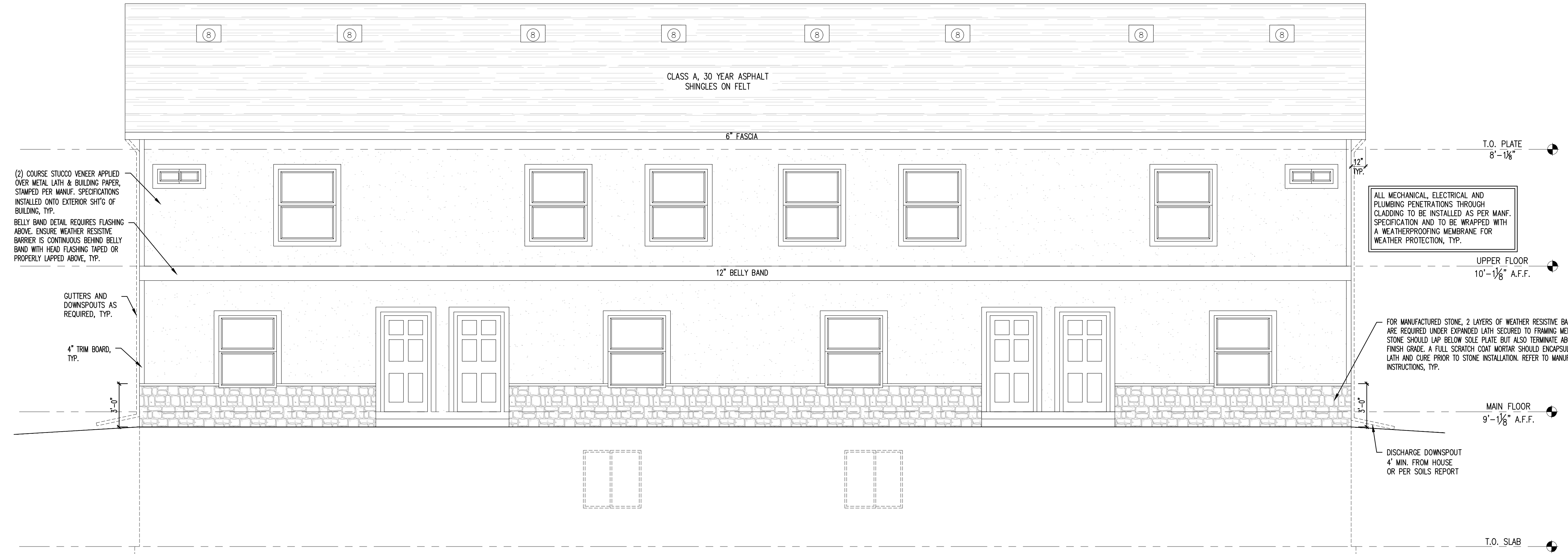
**JAC**  
Drafting Services

*J. Delicat*

12218 Crystal Downs Rd.  
719-499-8214

**ELEVATION VIEWS  
FOR  
4-PLEX MASTER PLAN**

DATE: 03/10/24  
SCALE: 1/4"=1'-0"  
JOB NO.: 1100  
SHEET:  
**A 1.0**



**FRONT VIEW**



**REAR VIEW**

**GENERAL NOTES**

HARDWARE AND LINK ALL SMOKE DETECTORS AT ALL LEVELS WITH BATTERY BACKUP.

LP GAS BURNING APPLIANCES ARE NOT PERMITTED IN BASEMENTS OR CRAWL SPACES

ALL FOUNDATION PADS TO BE SIZED PER ENGINEERED FOUNDATION DESIGN

SOILS REPORT AND FOUNDATION DESIGN BY LICENSED COLORADO ENGINEER TO BE ON HAND AT FIRST INSPECTION.

WINDOW WELLS ARE TO HAVE A MIN. DIMENSION OF 36" FROM HOUSE W/ A MIN. NET CLEAR OPENING OF 9 S.F. WINDOW WELLS MORE THAN 44" DEEP ARE TO HAVE A PERMANENTLY AFFIXED LADDER OR STAIRS THAT IS ACCESSIBLE WITH THE WINDOW FULLY OPENED AND DOES NOT ENCRUMB MORE THAN 6" INTO REQUIRED WELL DIMS. LADDER IS TO BE MIN. 12" WIDE AND IS TO HAVE A RUNG SPACING OF 18" FOR FULL HEIGHT OF WINDOW WELL.

ICC/UL LISTED ZERO CLEARANCE GAS FIREPLACE WITH TAGS VISIBLE FOR INSPECTION AT TIME OF INSPECTION.

FLOOR DRAIN IS TO HAVE A 6" GRATE MIN.

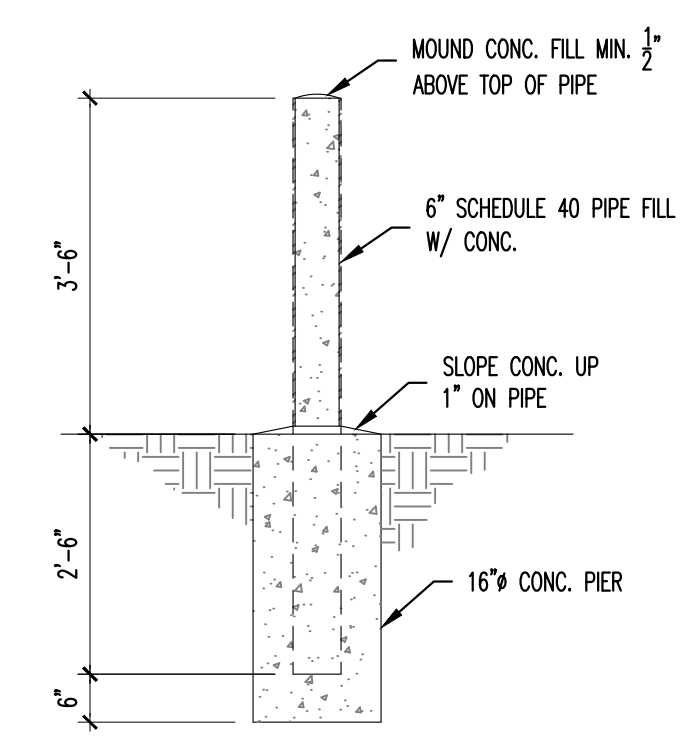
LOW RESISTANCE RETURN AIR PATHWAYS ARE TO BE PROVIDED FOR CLOSED ROOMS WITH SUPPLY AIR.

ALL GLASS WITHIN 24" ARC OF A DOOR OR 18" OF THE FLOOR SHALL BE TEMPERED

ALL GLAZING IN BATHROOMS SHALL COMPLY WITH THE CURRENT PPRBD APPROVED CODES

FRAMER SHALL PROVIDE ADEQUATE SOFFIT/ATTIC AND CRAWLSPACE VENTILATION PER THE CURRENT PPRBD APPROVED CODE. (1/150 OF VENTED SPACE)

ICE & WATER SHIELD REQUIRED FOR ROOFS > 7000' MUST EXTEND FROM LOWEST EDGE OF ROOF TO A MIN. OF 24" INSIDE THE EXTERIOR WALL LINE



**BOLLARD DETAIL**  
N.T.S.



**GENERAL NOTES**

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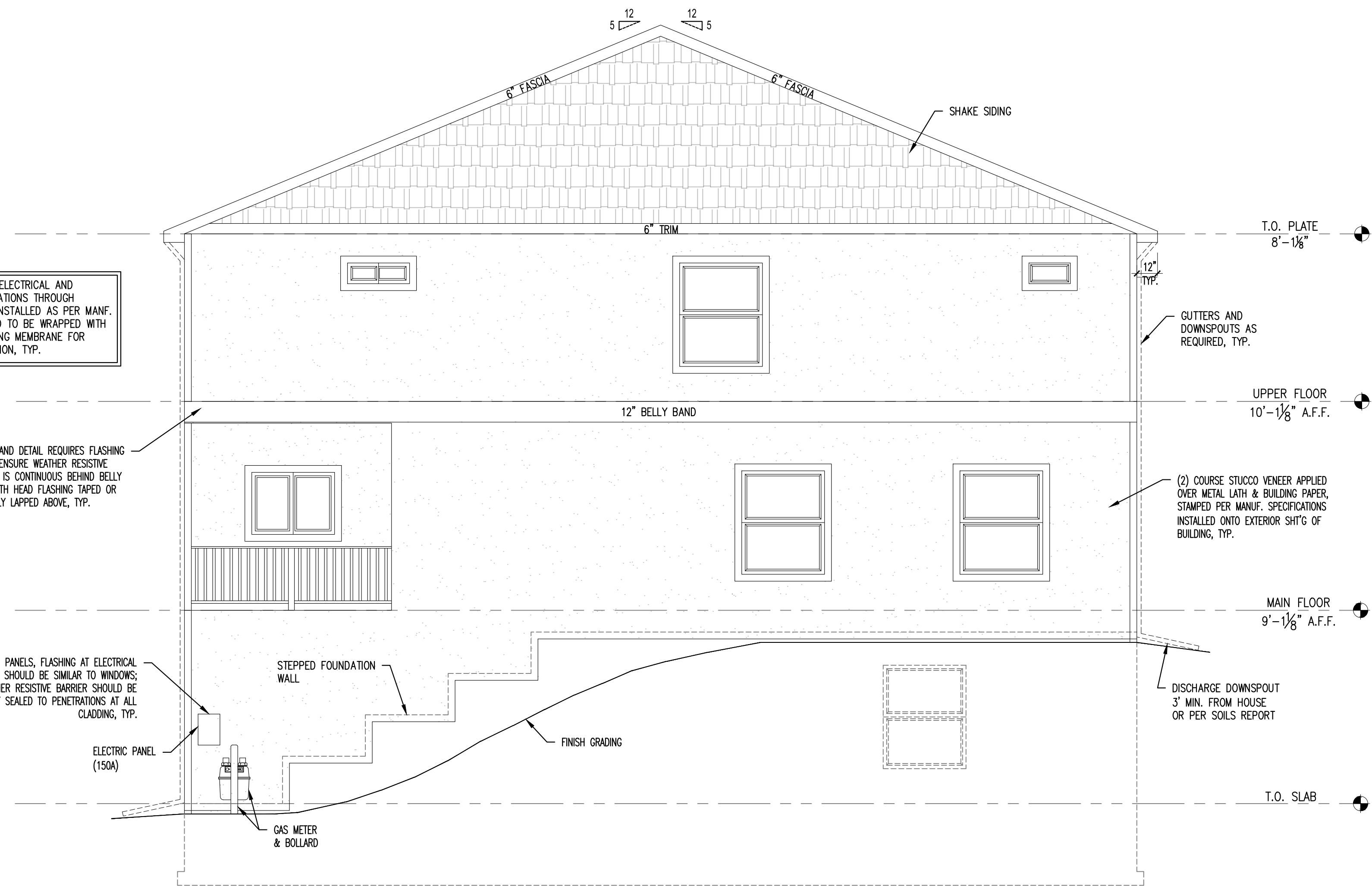
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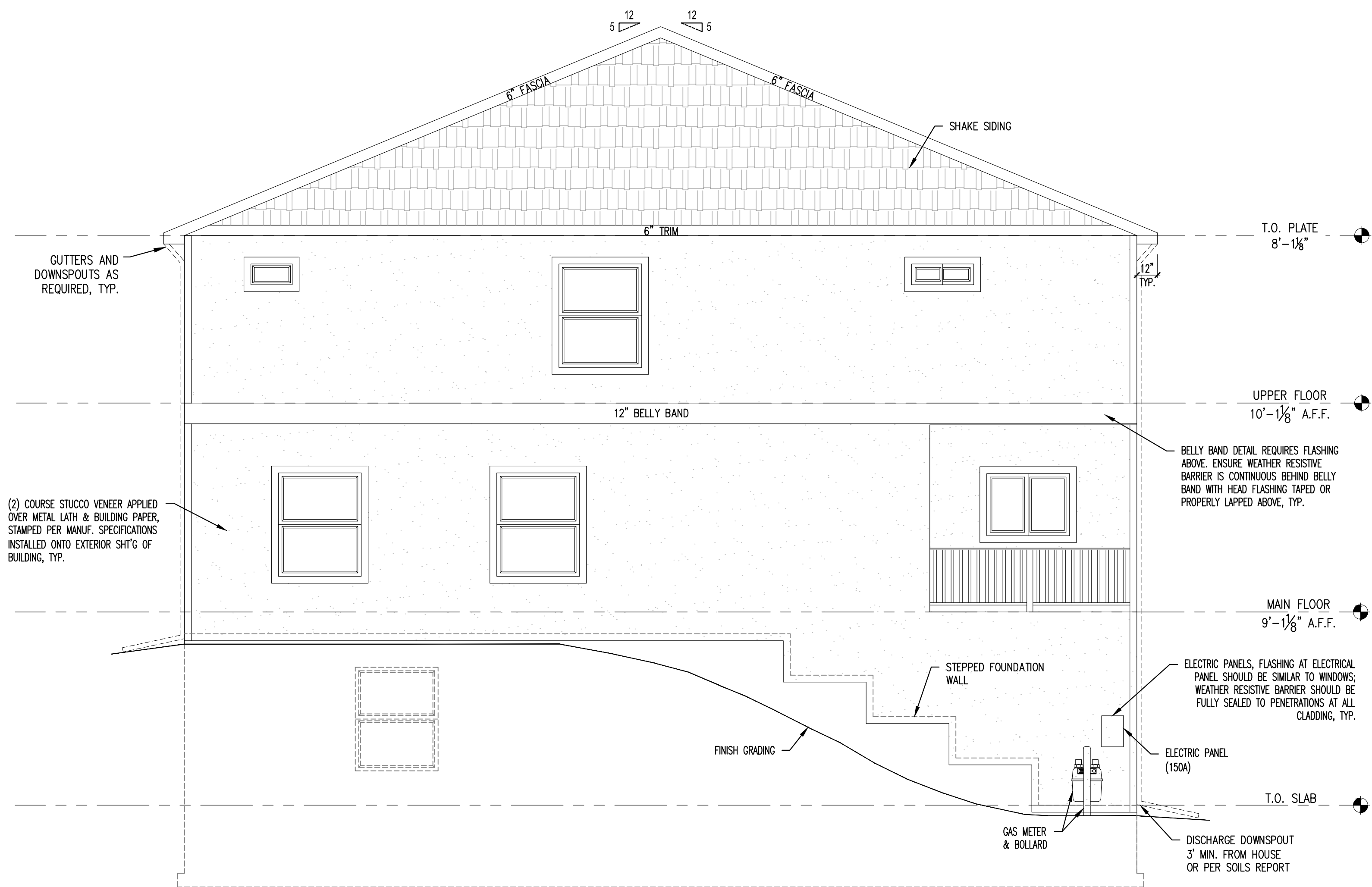
ALL MECHANICAL, ELECTRICAL AND PLUMBING PENETRATIONS THROUGH CLADDING TO BE INSTALLED AS PER MANUF. SPECIFICATION AND TO BE WRAPPED WITH A WEATHERPROOFING MEMBRANE FOR WEATHER PROTECTION, TYP.

BELLY BAND DETAIL REQUIRES FLASHING ABOVE. ENSURE WEATHER RESISTIVE BARRIER IS CONTINUOUS BEHIND BELLY BAND WITH HEAD FLASHING TAPED OR PROPERLY LAPPED ABOVE, TYP.

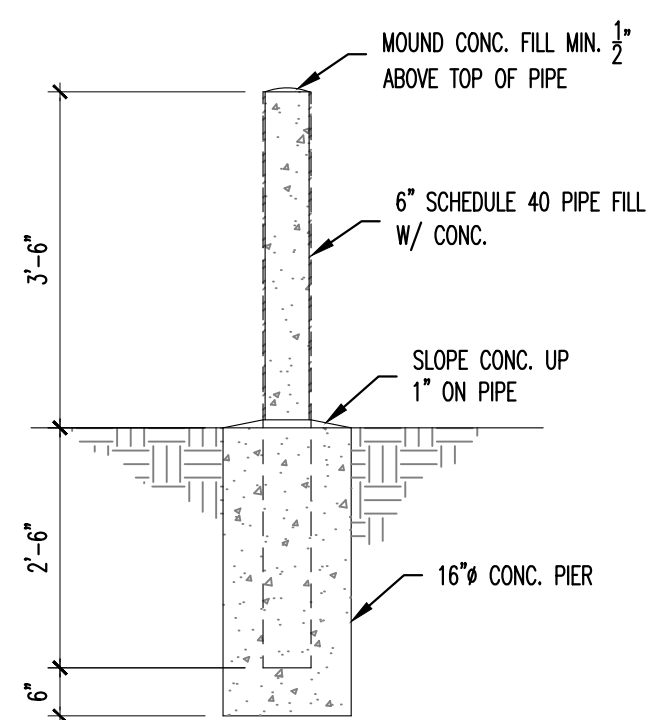
ELECTRIC PANELS, FLASHING AT ELECTRICAL PANEL SHOULD BE SIMILAR TO WINDOWS; WEATHER RESISTIVE BARRIER SHOULD BE FULLY SEALED TO PENETRATIONS AT ALL CLADDING, TYP.



LEFT VIEW



RIGHT VIEW



BOLLARD DETAIL  
N.T.S.

NO: REVISIONS

**JAC**  
Drafting Services

719-499-8214  
*J. DeJicot*

12218 Crystal Downs Rd.

ELEVATION VIEWS  
FOR  
4-PLEX MASTER PLAN

DATE: 03/10/24  
SCALE: 1/4"=1'-0"  
JOB NO.: 1100  
SHEET:

**A 2.0**



**GENERAL NOTES**

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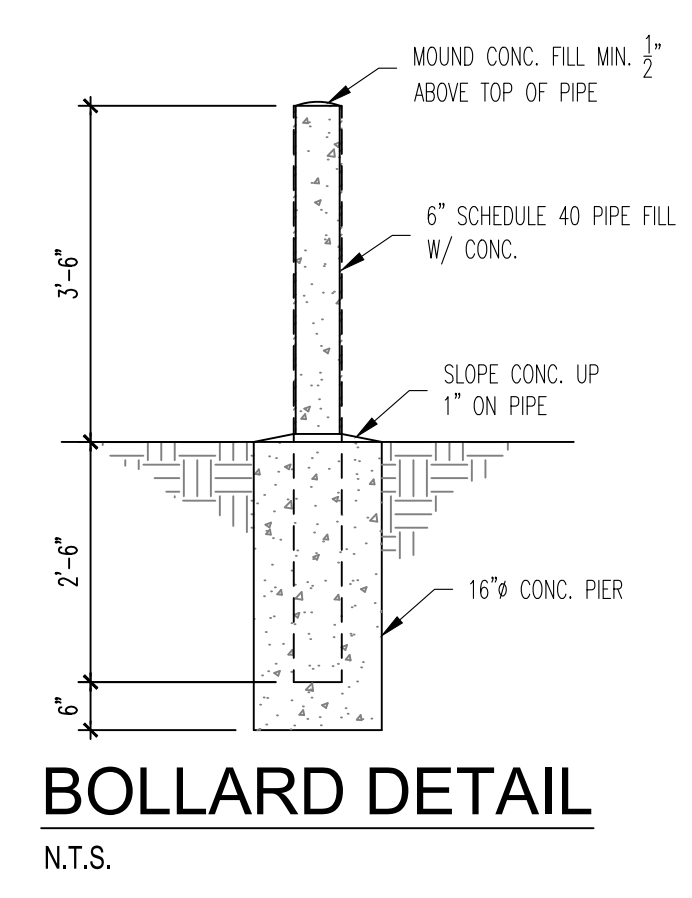
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**FRONT VIEW**



**REAR VIEW**



**BOLLARD DETAIL**  
N.T.S.

NO.	REVISIONS

**JAC**  
Drafting Services

719-499-8214

*J. DeJicot*

12218 Crystal Downs Rd.

**ELEVATION VIEWS  
FOR  
2-PLEX MASTER PLAN**

DATE: 03/17/24  
 SCALE: 1/4"=1'-0"  
 JOB NO.: 1200  
 SHEET:  
**A 1.0**



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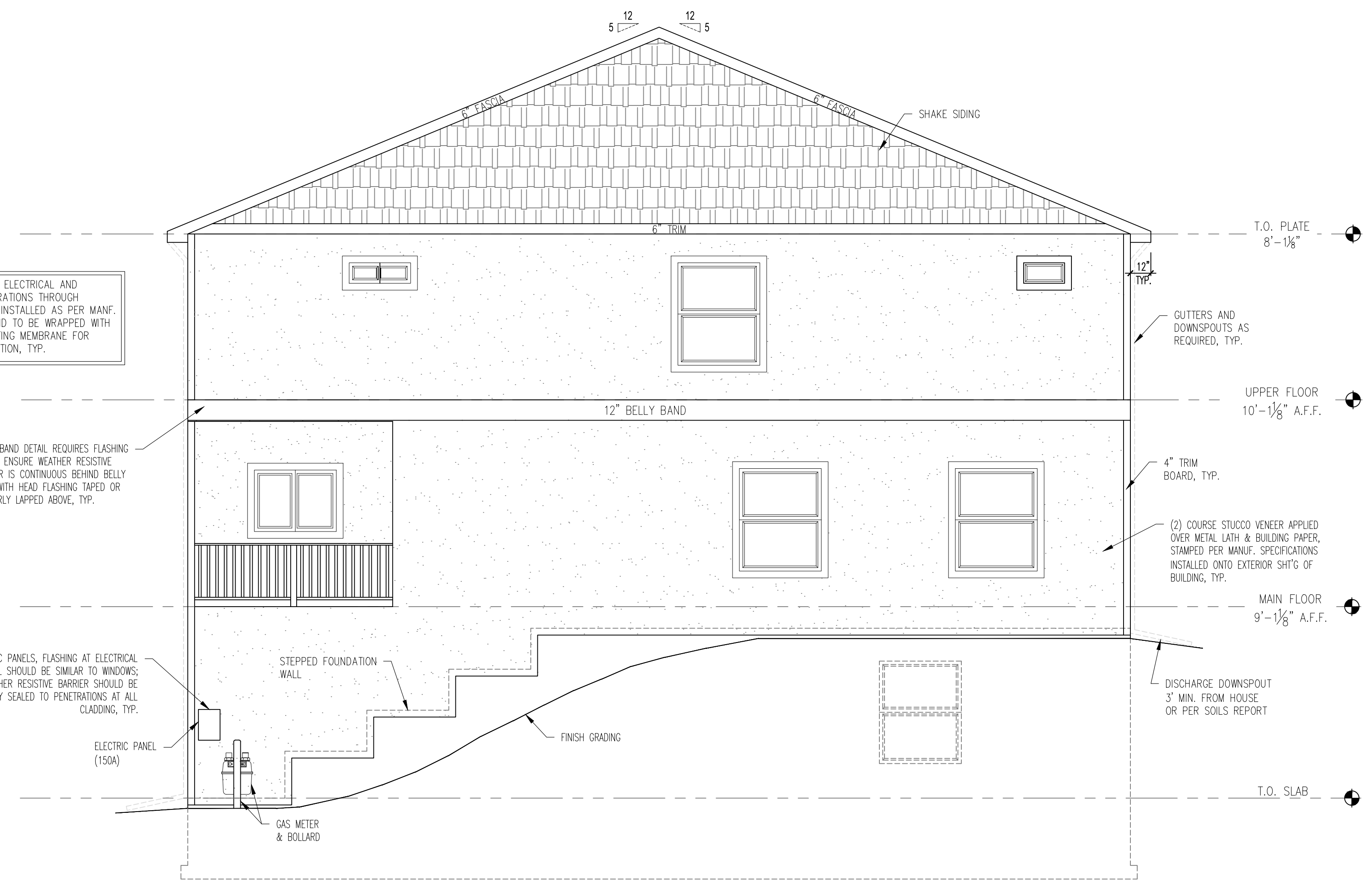
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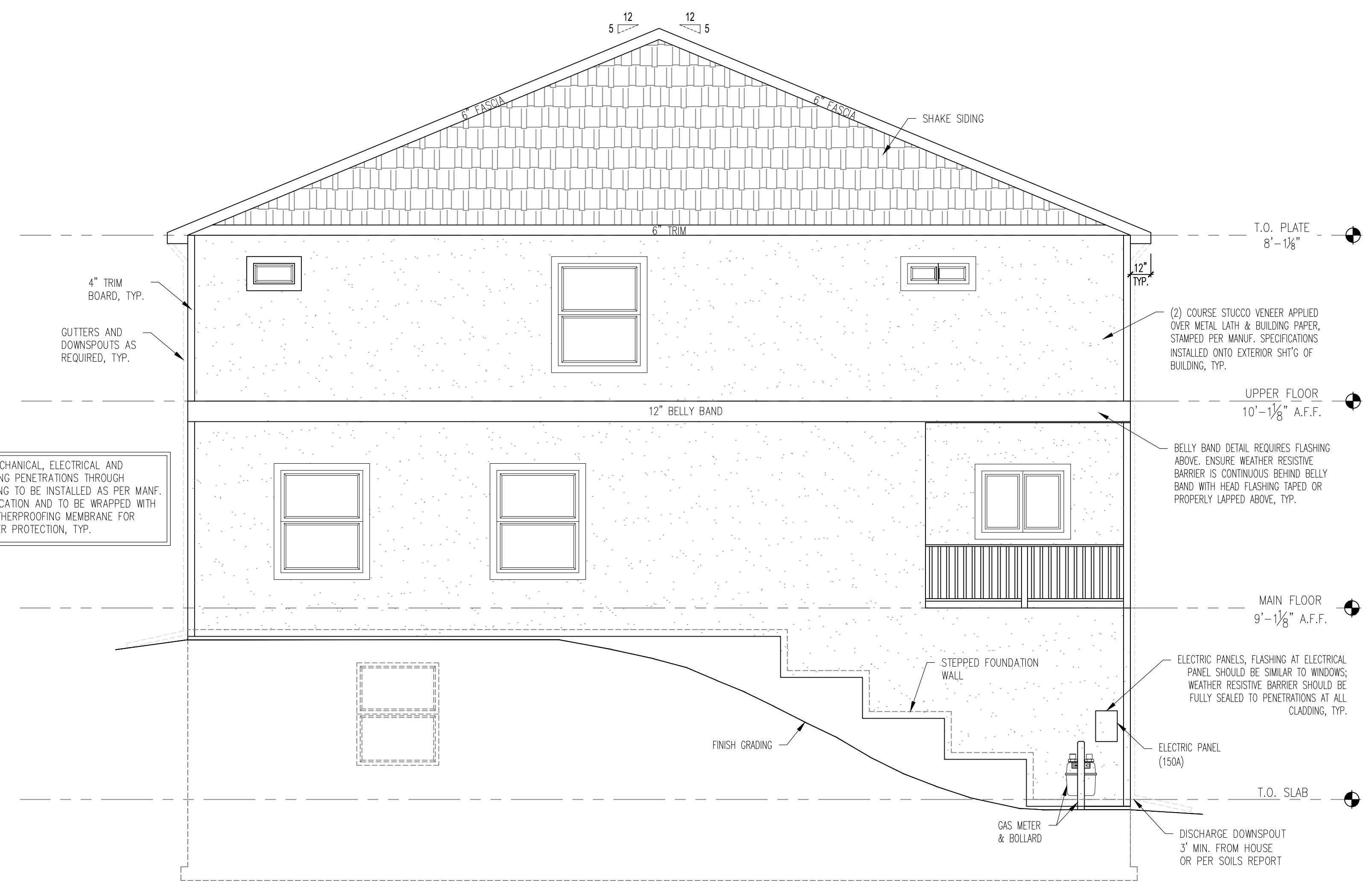
ALL MECHANICAL, ELECTRICAL AND PLUMBING PENETRATIONS THROUGH CLADDING TO BE INSTALLED AS PER MANF. SPECIFICATION AND TO BE WRAPPED WITH A WEATHERPROOFING MEMBRANE FOR WEATHER PROTECTION, TYP.

BELLY BAND DETAIL REQUIRES FLASHING ABOVE. ENSURE WEATHER RESISTIVE BARRIER IS CONTINUOUS BEHIND BELLY BAND WITH HEAD FLASHING TAPED OR PROPERLY LAPPED ABOVE, TYP.

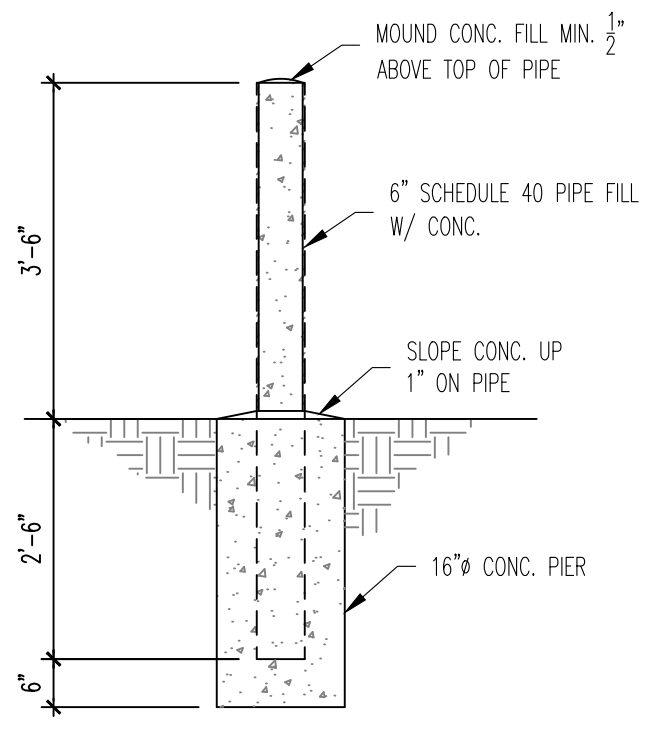
ELECTRIC PANELS, FLASHING AT ELECTRICAL PANEL SHOULD BE SIMILAR TO WINDOWS. WEATHER RESISTIVE BARRIER SHOULD BE FULLY SEALED TO PENETRATIONS AT ALL CLADDING, TYP.



LEFT VIEW



RIGHT VIEW



BOLLARD DETAIL  
N.T.S.

NO.	REVISIONS

**JAC**  
Drafting Services

719-499-8214  
*J. DeJicot*  
12218 Crystal Downs Rd.

**ELEVATION VIEWS  
FOR  
2-PLEX MASTER PLAN**

DATE: 03/17/24  
SCALE: 1/4"=1'-0"  
JOB NO.: 1200  
SHEET:  
**A 2.0**







NO:	REVISIONS

**JAC**  
Drafting Services

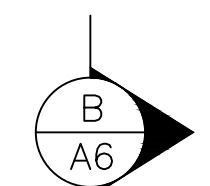
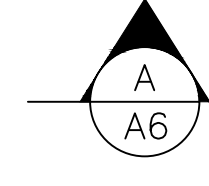
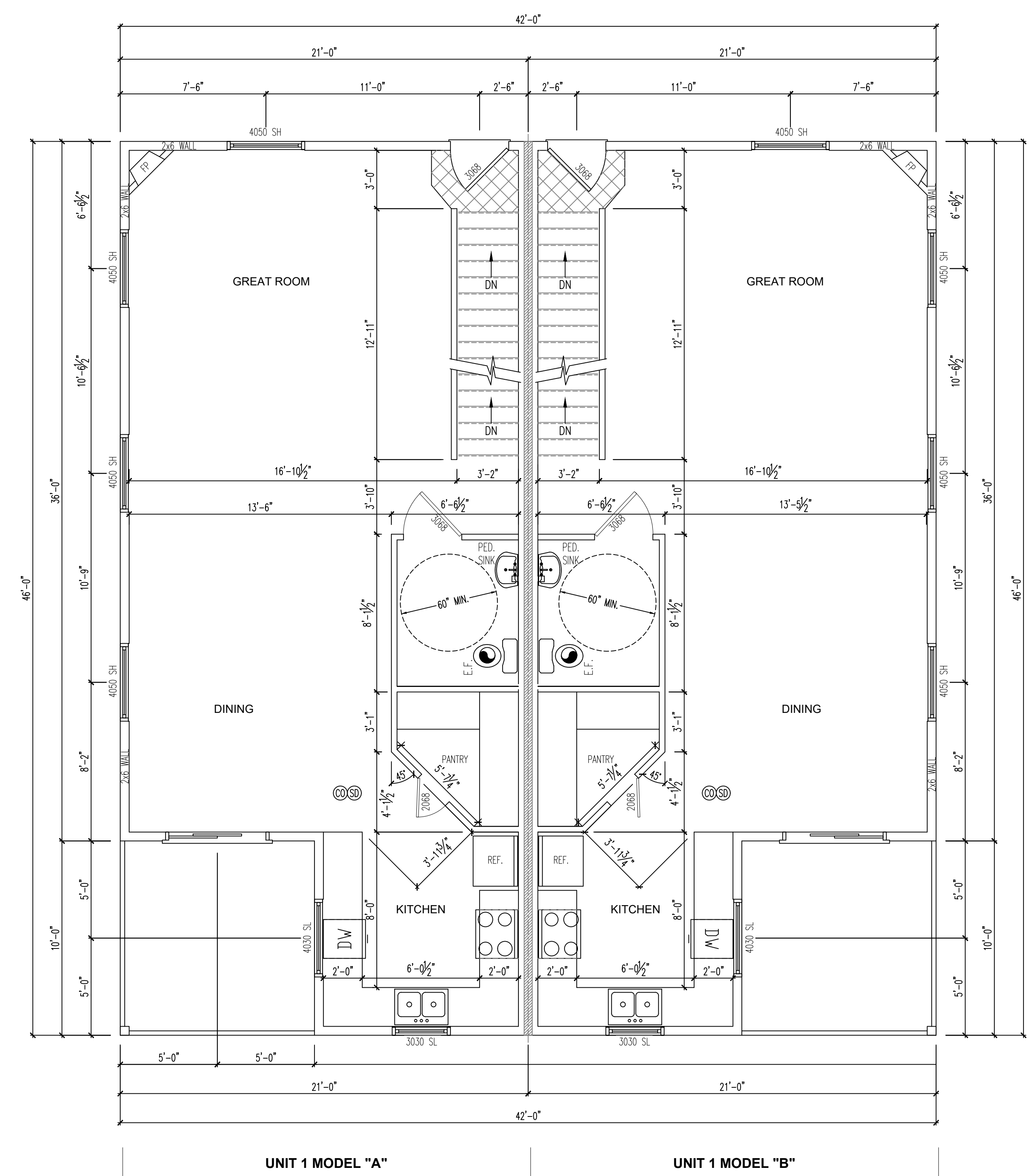
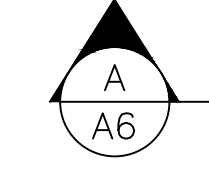
12218 Crystal Downs Rd.  
719-499-8214  
*J. DeJicot*

**MAIN LEVEL FLOORPLAN  
FOR  
4-PLEX MASTER PLAN**

DATE: 03/10/24  
SCALE: 1/4"=1'-0"  
JOB NO.: 1100  
SHEET:  
**A 4.0**

- LEDGEND:**
- ① 150A ELECTRICAL PANEL
  - ② GAS METER LOCATION
  - ③ CONDENSING UNIT PLACEMENT
  - ④ WATER METER LOCATION
  - ⑤ FLOOR DRAIN
  - Ⓢ SMOKE DETECTOR
  - Ⓢ CARBON MONOXIDE DETECTOR

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**MAIN LEVEL (BASEMENT OPTION)**

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SEPARATION	MATERIAL
From the residence and attics	Not less than 1/2-inch gypsum board or equivalent applied to the garage side
From habitable rooms above the garage	Not less than 5/8-inch Type X gypsum board or equivalent
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NO:	REVISIONS

**JAC**  
Drafting Services

*J. DeJicot*  
12218 Crystal Downs Rd.  
719-499-8214

**BASEMENT LEVEL FLOORPLAN  
FOR  
4-PLEX MASTER PLAN**

DATE: 03/10/24  
SCALE: 1/4"=1'-0"  
JOB NO.: 1100  
SHEET:  
**A 5.0**

- LEGEND:**
- ① 150A ELECTRICAL PANEL
  - ② GAS METER LOCATION
  - ③ CONDENSING UNIT PLACEMENT
  - ④ WATER METER LOCATION
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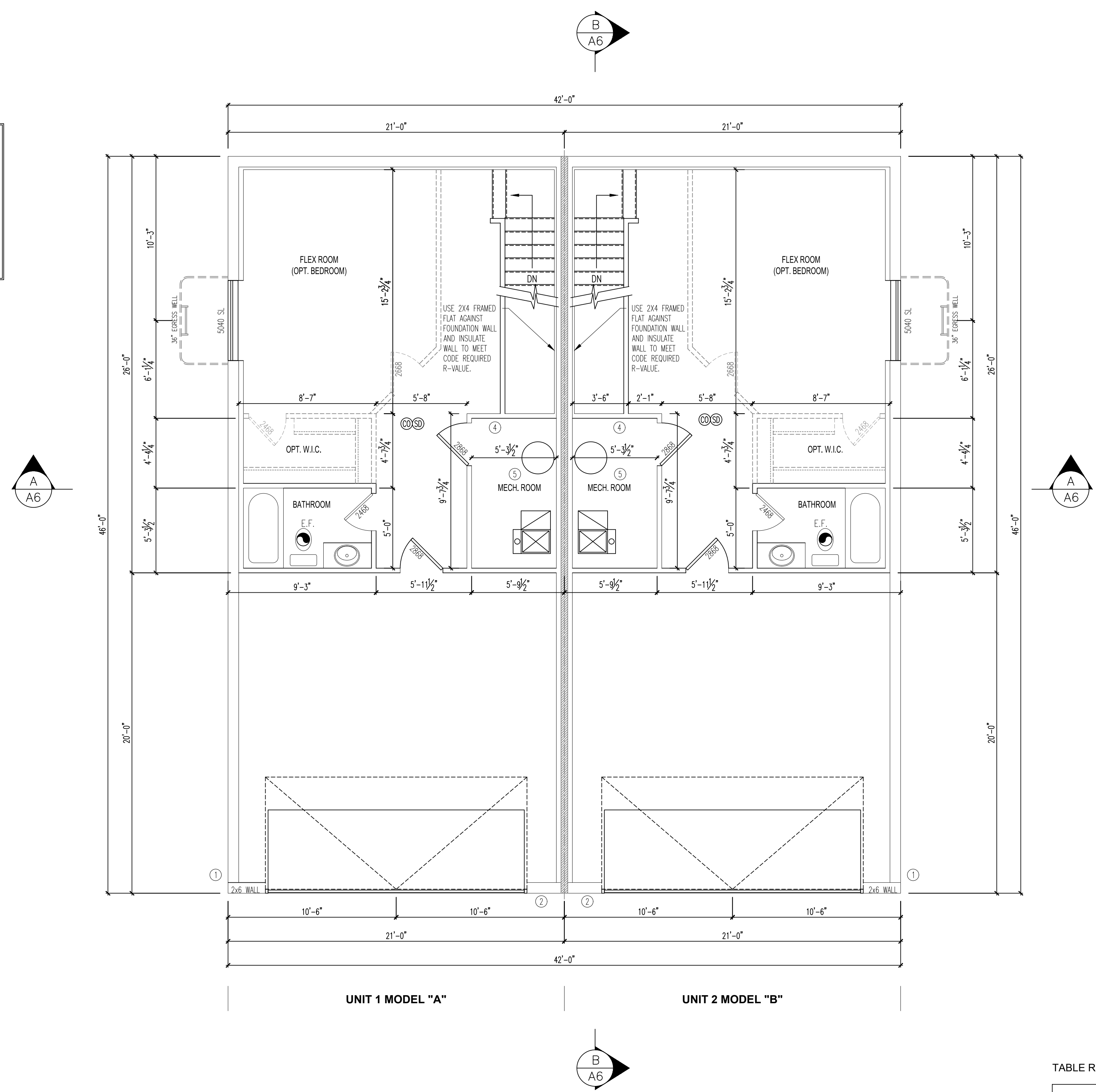
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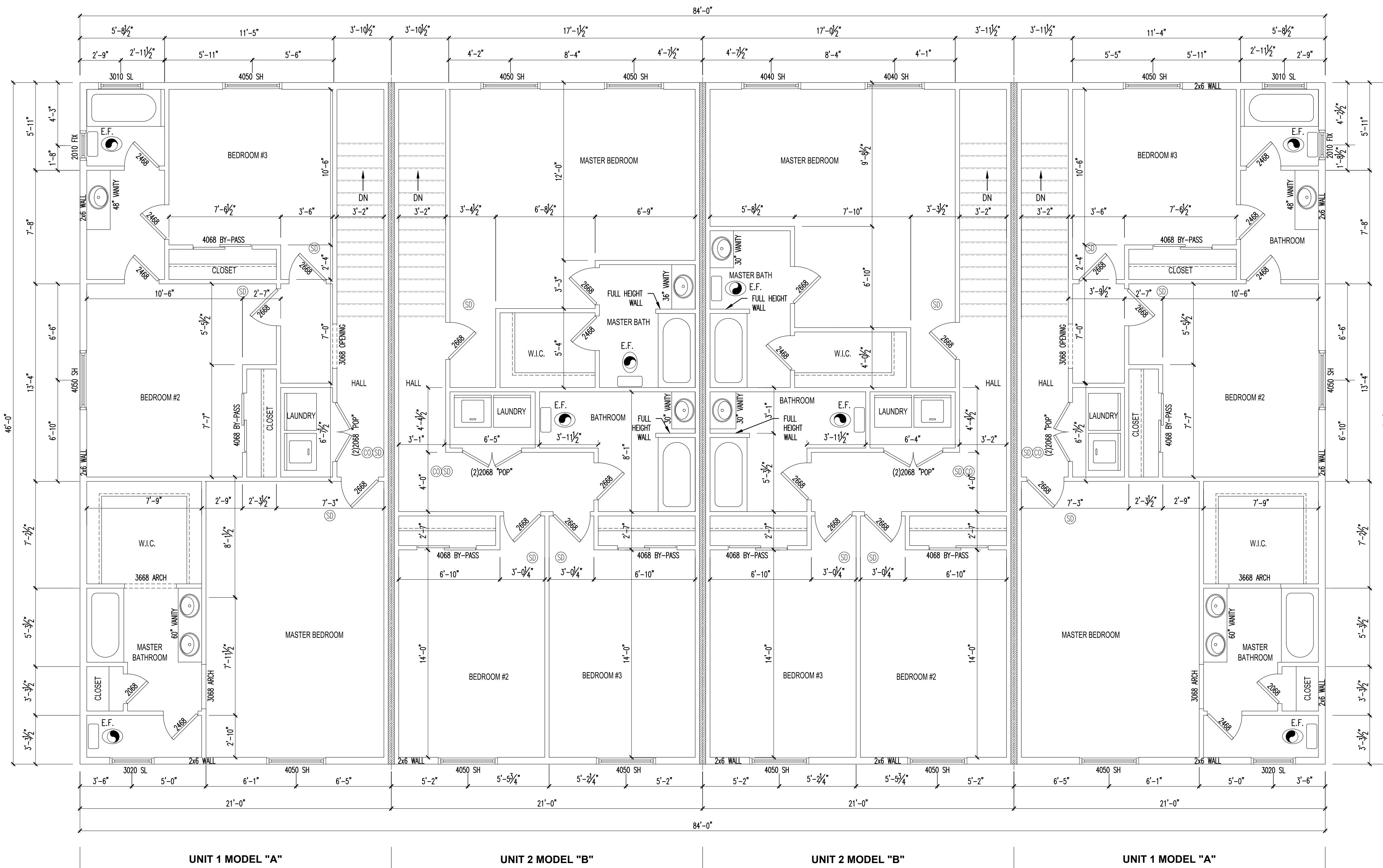
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**SQUARE FOOTAGE(BASEMENT MODEL)**

**UPPER FLOOR: 966**  
**MAIN FLOOR: 866**  
**OPEN DECK: 100**  
**U/F BSMT: 546**  
**TOTAL LIVING: 2474**

**2 CAR GARAGE: 420**



**UPPER LEVEL (BASEMENT OPTION)**

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NO: REVISIONS

**JAC**  
Drafting Services

*J. J. Jot*  
12218 Crystal Downs Rd.  
719-499-8214

**UPPER LEVEL FLOORPLAN  
FOR  
4-PLEX MASTER PLAN**

DATE: 03/10/24  
 SCALE: 1/4"=1'-0"  
 JOB NO.: 1100  
 SHEET:

**A 3.0**



**LEDGEND:**

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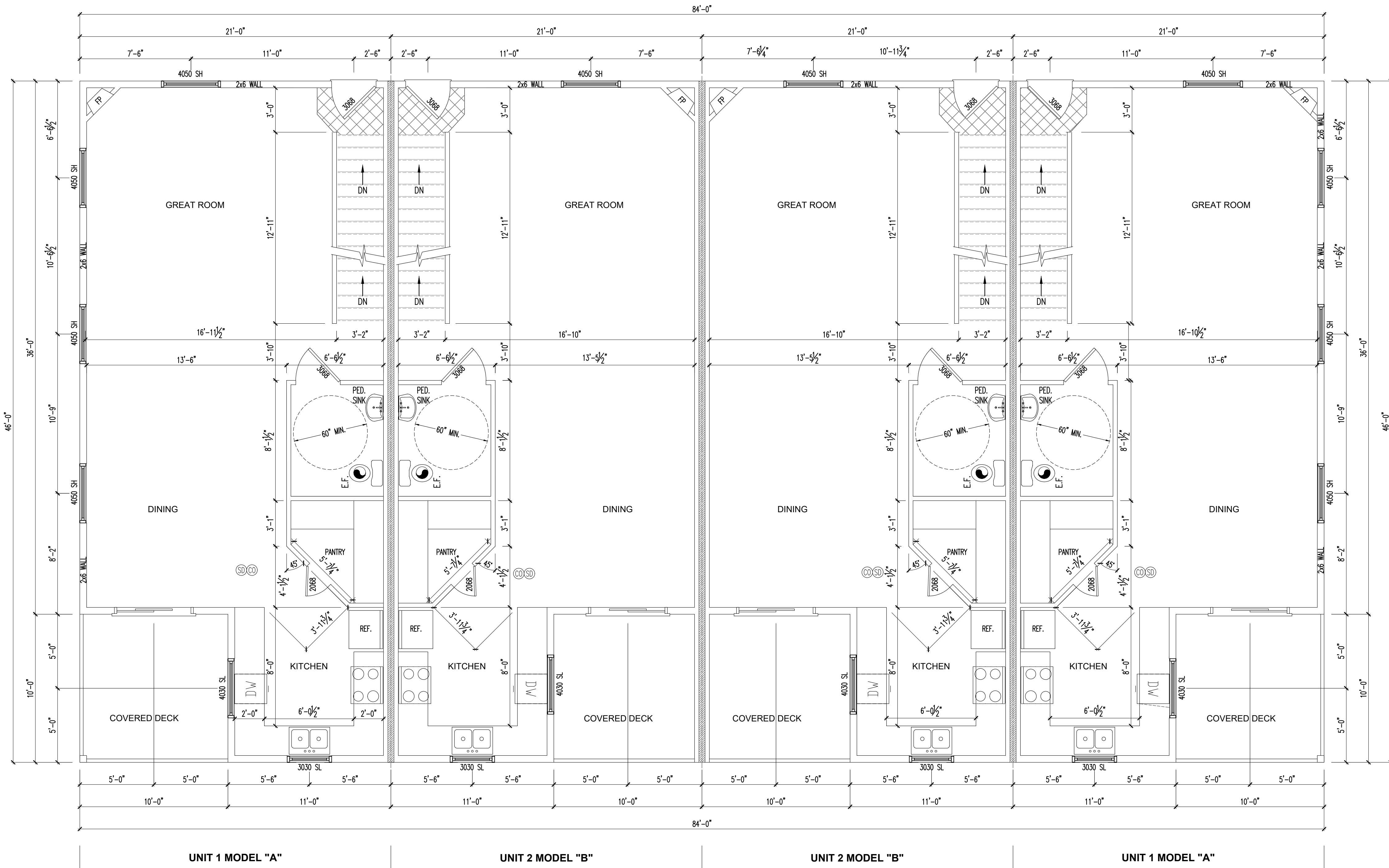
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**JAC**  
Drafting Services

*J. J. J. J.*

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FOR  
4-PLEX MASTER PLAN**

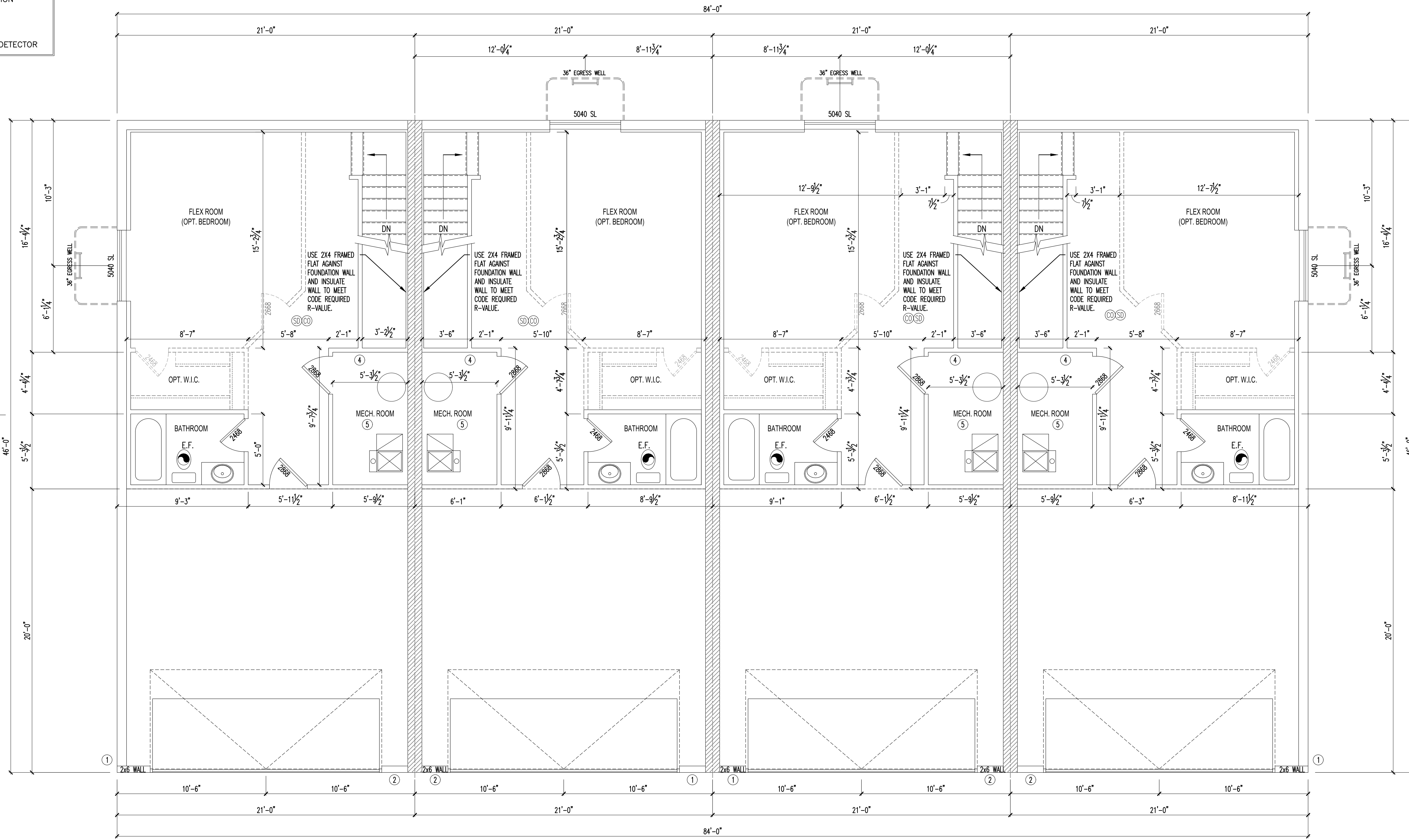
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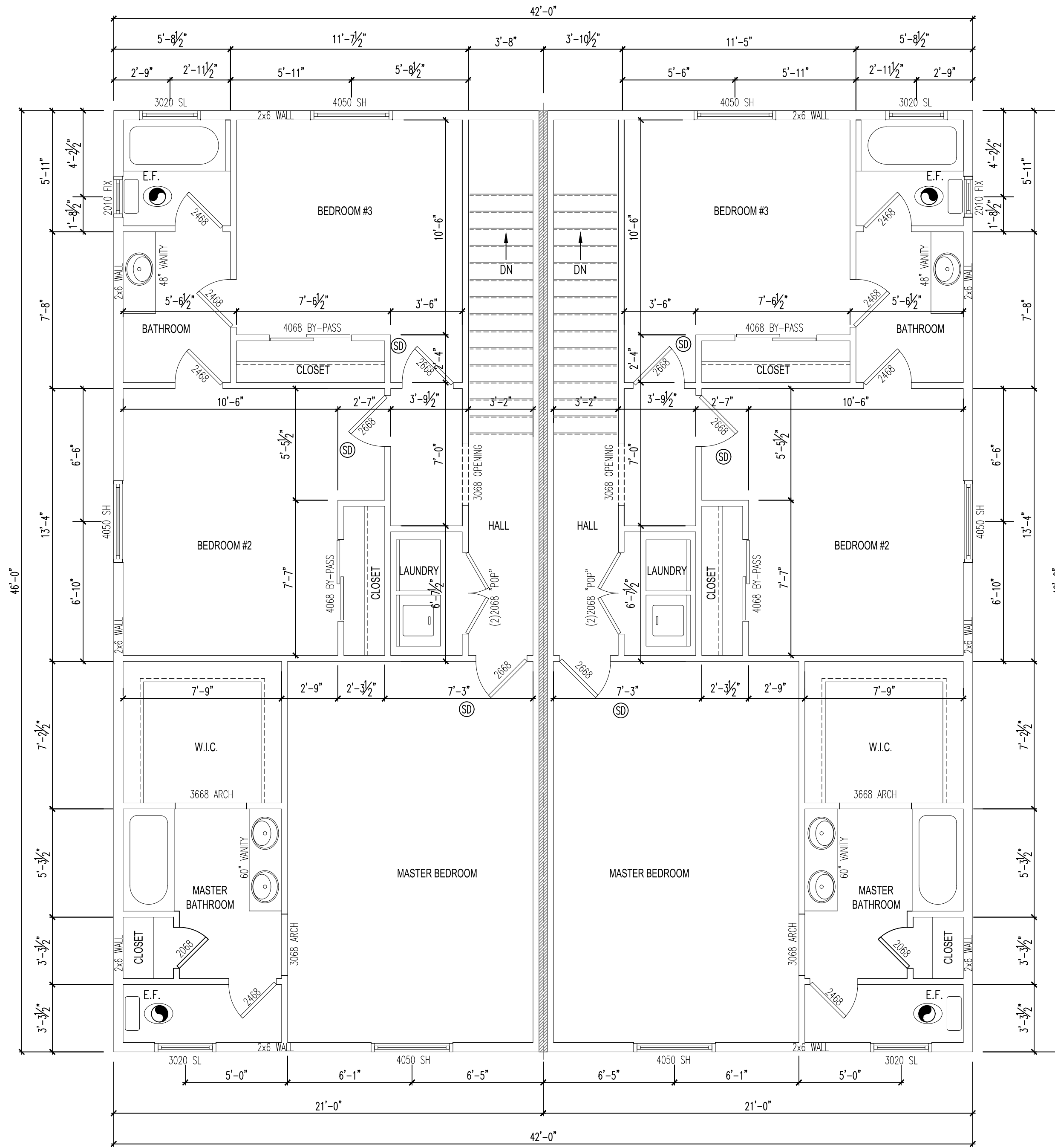
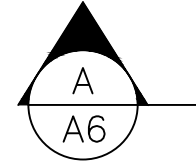
**BASEMENT LEVEL FLOORPLAN FOR 4-PLEX MASTER PLAN**

DATE: 03/10/24  
SCALE: 1/4"=1'-0"  
JOB NO.: 1100  
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**A 5.0**



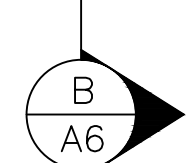
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UNIT 1 MODEL "A"

UNIT 2 MODEL "B"



**UPPER LEVEL (BASEMENT OPTION)**

SQUARE FOOTAGE(BASEMENT MODEL)	
UPPER FLOOR:	966
MAIN FLOOR:	866
OPEN DECK:	100
U/F BSMT:	546
TOTAL LIVING:	2474
2 CAR GARAGE:	420

TABLE R302.6 DWELLING/GARAGE SEPARATION

SEPARATION	MATERIAL
From the residence and attics	Not less than 1/2-inch gypsum board or equivalent applied to the garage side
From habitable rooms above the garage	Not less than 5/8-inch Type X gypsum board or equivalent
Structure(s) supporting floor/ceiling assemblies used for separation required by this section	Not less than 1/2-inch gypsum board or equivalent
Garages located less than 3 feet from a dwelling unit on the same lot	Not less than 1/2-inch gypsum board or equivalent applied to the interior side of exterior walls that are within this area

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

NO: REVISIONS

**JAC**  
Drafting Services

719-499-8214  
*J. DeJicot*  
12218 Crystal Downs Rd.

**UPPER LEVEL FLOORPLAN  
FOR  
4-PLEX MASTER PLAN**

DATE: 03/10/24  
 SCALE: 1/4"=1'-0"  
 JOB NO.: 1100  
 SHEET:

**A 3.0**



NO:	REVISIONS

**JAC**  
Drafting Services

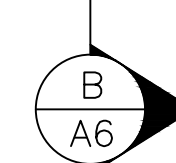
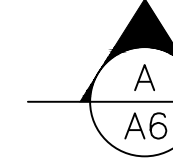
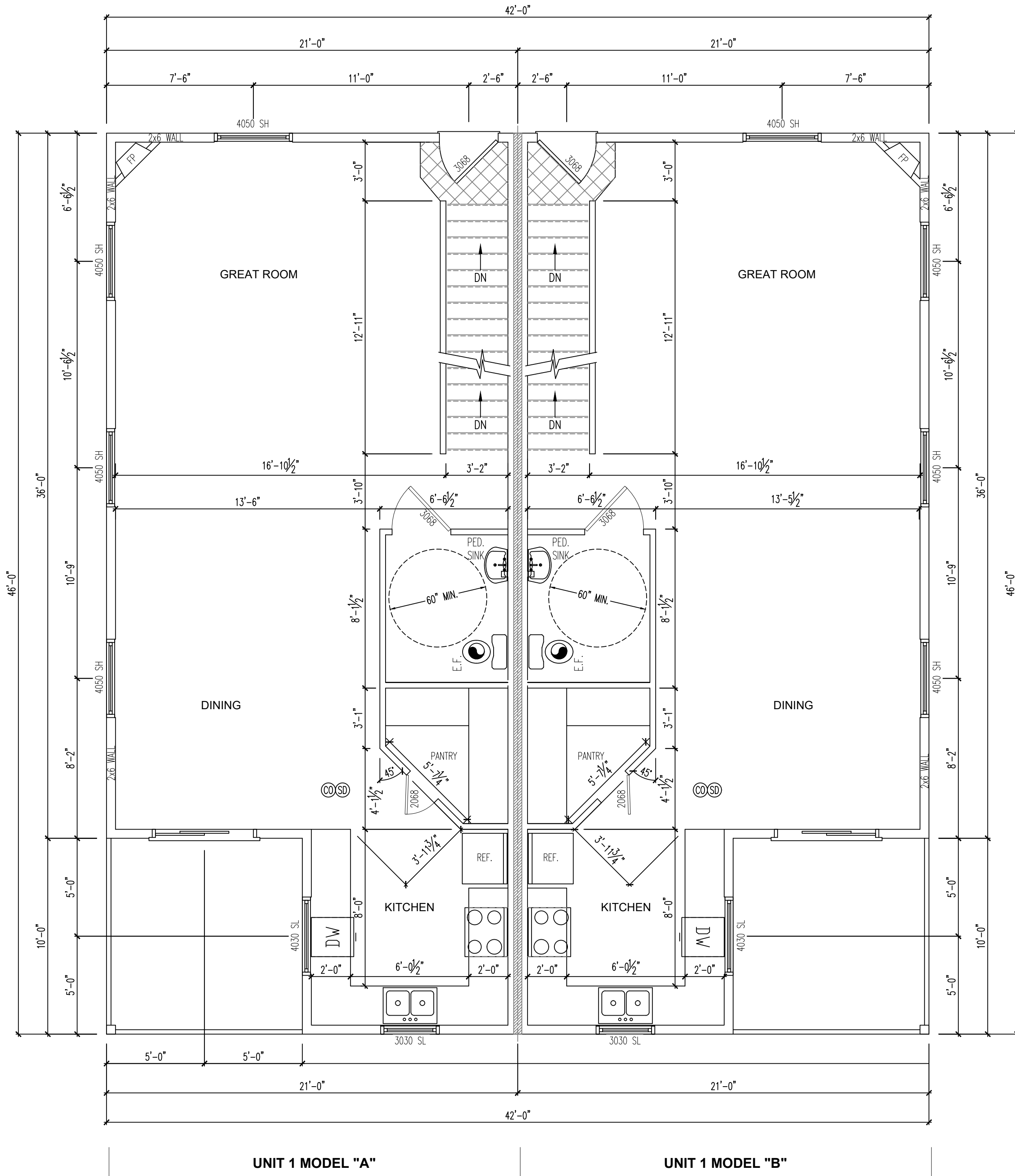
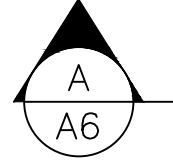
12218 Crystal Downs Rd.  
719-499-8214  
*J. DeJicot*

**MAIN LEVEL FLOORPLAN  
FOR  
4-PLEX MASTER PLAN**

DATE: 03/10/24  
SCALE: 1/4"=1'-0"  
JOB NO.: 1100  
SHEET:  
**A 4.0**

- LEDGEND:**
- ① 150A ELECTRICAL PANEL
  - ② GAS METER LOCATION
  - ③ CONDENSING UNIT PLACEMENT
  - ④ WATER METER LOCATION
  - ⑤ FLOOR DRAIN
  - Ⓢ SMOKE DETECTOR
  - Ⓢ CARBON MONOXIDE DETECTOR

**GENERAL NOTES**  
HARDWIRE AND LINK ALL SMOKE DETECTORS AT ALL LEVELS WITH BATTERY BACKUP.  
LP GAS BURNING APPLIANCES ARE NOT PERMITTED IN BASEMENTS OR CRAWL SPACES  
ALL FOUNDATION PADS TO BE SIZED PER ENGINEER FOUNDATION DESIGN  
SOILS REPORT AND FOUNDATION DESIGN BY LICENSED COLORADO ENGINEER TO BE ON HAND AT FIRST INSPECTION.  
WINDOW WELLS ARE TO HAVE A MIN. DIMENSION OF 36" FROM HOUSE W/ A MIN. NET CLEAR OPENING OF 9 S.F. WINDOW WELLS MORE THAN 44" DEEP ARE TO HAVE A PERMANENTLY AFFIXED LADDER OR STAIRS THAT IS ACCESSIBLE WITH THE WINDOW FULLY OPENED AND DOES NOT ENCRONCH MORE THAN 6" INTO REQUIRED WELL DIMS. LADDER IS TO BE MIN. 12" WIDE AND IS TO HAVE A RUNG SPACING OF 18" FOR FULL HEIGHT OF WINDOW WELL.  
ICC/UL LISTED ZERO CLEARANCE, GAS FIREPLACE WITH TAGS VISIBLE FOR INSPECTION AT TIME OF INSPECTION.  
FLOOR DRAIN IS TO HAVE A 6" GRATE MIN.  
LOW RESISTANCE RETURN AIR PATHWAYS ARE TO BE PROVIDED FOR CLOSED ROOMS WITH SUPPLY AIR.  
ALL GLASS WITHIN 24" ARC OF A DOOR OR 18" OF THE FLOOR SHALL BE TEMPERED  
ALL GLAZING IN BATHROOMS SHALL COMPLY WITH THE CURRENT PFRBD APPROVED CODES  
FRAMER SHALL PROVIDE ADEQUATE SOFTI/ATTIC AND CRAWLSPACE VENTILATION PER THE CURRENT PFRBD APPROVED CODE. (1/150 OF VENTED SPACE)  
ICE & WATER SHIELD REQUIRED FOR ROOFS > 7000' MUST EXTEND FROM LOWEST EDGE OF ROOF TO A MIN. OF 24" INSIDE THE EXTERIOR WALL LINE



**MAIN LEVEL (BASEMENT OPTION)**

TABLE R302.6 DWELLING/GARAGE SEPARATION

SEPARATION	MATERIAL
From the residence and attics	Not less than 1/2-inch gypsum board or equivalent applied to the garage side
From habitable rooms above the garage	Not less than 5/8-inch Type X gypsum board or equivalent
Structure(s) supporting floor/ceiling assemblies used for separation required by this section	Not less than 1/2-inch gypsum board or equivalent
Garages located less than 3 feet from a dwelling unit on the same lot	Not less than 1/2-inch gypsum board or equivalent applied to the interior side of exterior walls that are within this area

For Sl: 1 inch = 25.4 mm, 1 foot = 304.8 mm.



NO.	REVISIONS

**JAC**  
Drafting Services

*J. DeJicot*  
12218 Crystal Downs Rd.  
719-499-8214

**BASEMENT LEVEL FLOORPLAN  
FOR  
4-PLEX MASTER PLAN**

DATE: 03/10/24  
SCALE: 1/4"=1'-0"  
JOB NO.: 1100  
SHEET:  
**A 5.0**

- LEGEND:**
- ① 150A ELECTRICAL PANEL
  - ② GAS METER LOCATION
  - ③ CONDENSING UNIT PLACEMENT
  - ④ WATER METER LOCATION
  - ⑤ FLOOR DRAIN
  - Ⓢ SMOKE DETECTOR
  - Ⓢ CARBON MONOXIDE DETECTOR

**GENERAL NOTES**  
HARDWARE AND LINK ALL SMOKE DETECTORS AT ALL LEVELS WITH BATTERY BACKUP.

LP GAS BURNING APPLIANCES ARE NOT PERMITTED IN BASEMENTS OR CRAWL SPACES

ALL FOUNDATION PADS TO BE SIZED PER ENGINEERED FOUNDATION DESIGN

SOILS REPORT AND FOUNDATION DESIGN BY LICENSED COLORADO ENGINEER TO BE ON HAND AT FIRST INSPECTION.

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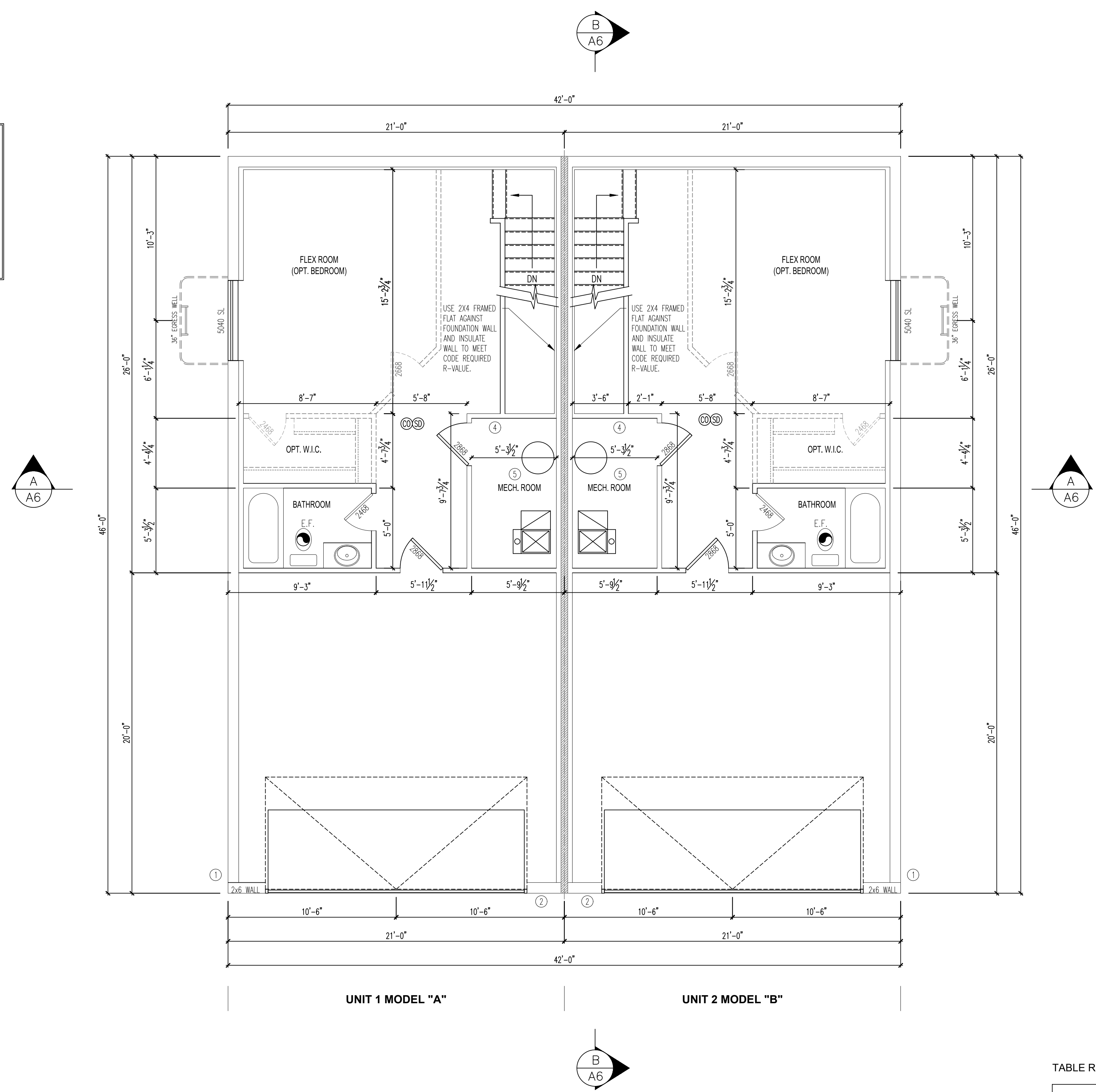
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ALL GLASS WITHIN 24" ARC OF A DOOR OR 18" OF THE FLOOR SHALL BE TEMPERED

ALL GLAZING IN BATHROOMS SHALL COMPLY WITH THE CURRENT PPRBD APPROVED CODES

FRAMER SHALL PROVIDE ADEQUATE SOFFIT/ATTIC AND CRAWLSPACE VENTILATION PER THE CURRENT PPRBD APPROVED CODE. (1/150 OF VENTED SPACE)

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**BASEMENT LEVEL**

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**LEDGEND:**

- ① 150A ELECTRICAL PANEL
- ② GAS METER LOCATION
- ③ CONDENSING UNIT PLACEMENT
- ④ WATER METER LOCATION
- ⑤ FLOOR DRAIN
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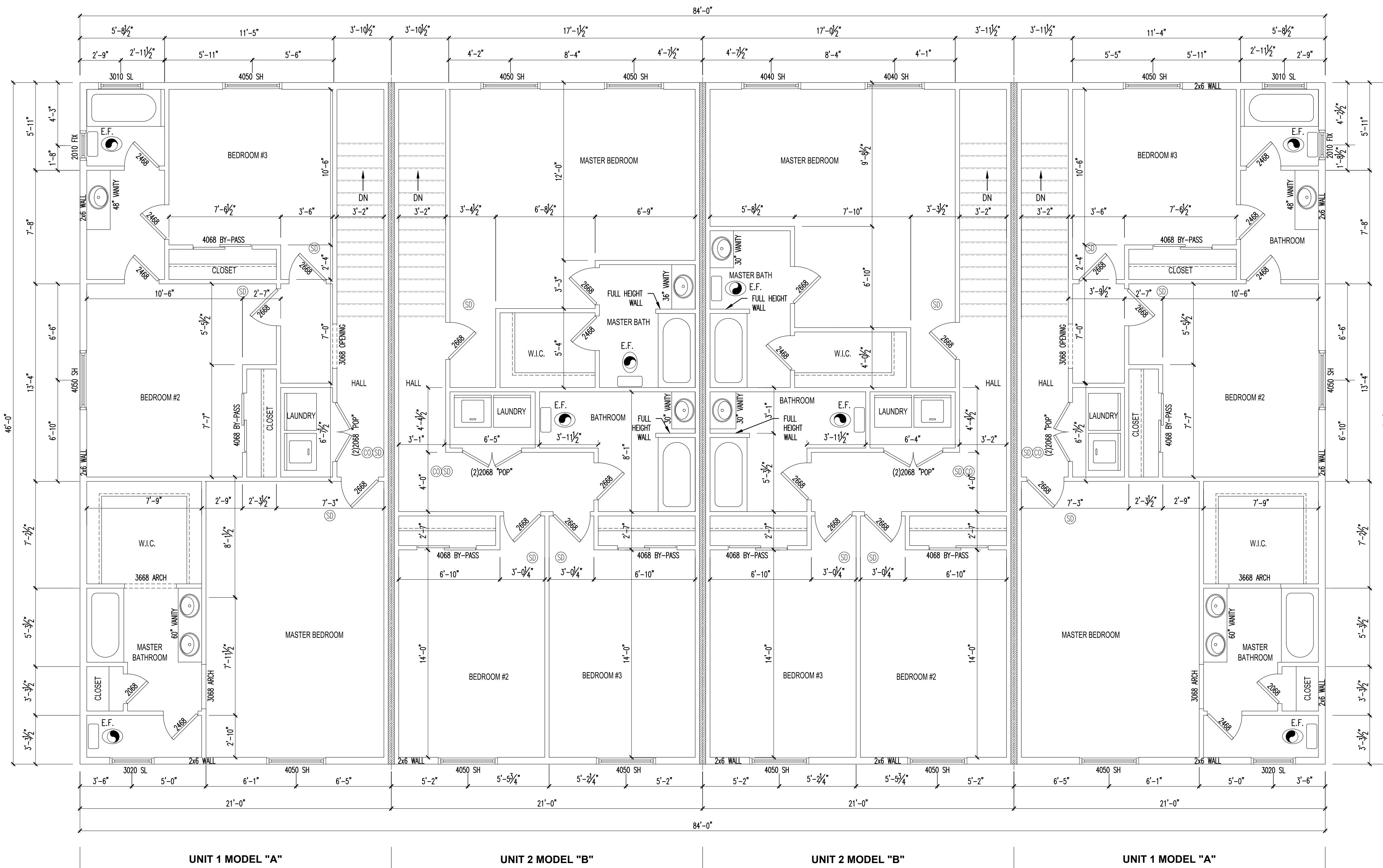
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**SQUARE FOOTAGE(BASEMENT MODEL)**

**UPPER FLOOR: 966**  
**MAIN FLOOR: 866**  
**OPEN DECK: 100**  
**U/F BSMT: 546**  
**TOTAL LIVING: 2474**

**2 CAR GARAGE: 420**



**UPPER LEVEL (BASEMENT OPTION)**

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**NO: REVISIONS**

**JAC**  
Drafting Services

*J. J. Jot*  
12218 Crystal Downs Rd.  
719-499-8214

**UPPER LEVEL FLOORPLAN FOR 4-PLEX MASTER PLAN**

DATE: 03/10/24  
 SCALE: 1/4"=1'-0"  
 JOB NO.: 1100  
 SHEET:

**A 3.0**



**LEDGEND:**

- ① 150A ELECTRICAL PANEL
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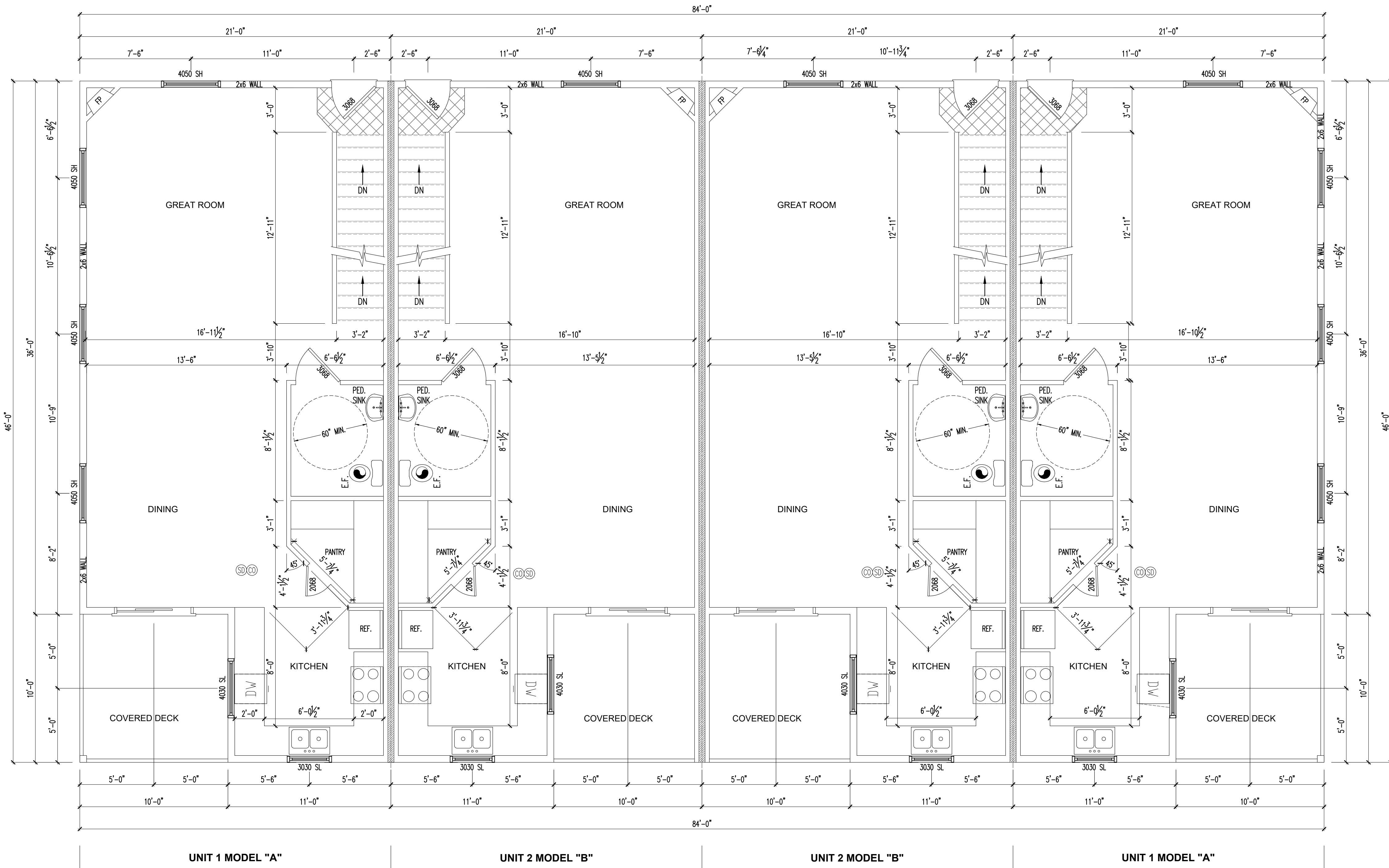
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**NO: REVISIONS**

**JAC**  
Drafting Services

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**MAIN LEVEL FLOORPLAN  
FOR  
4-PLEX MASTER PLAN**

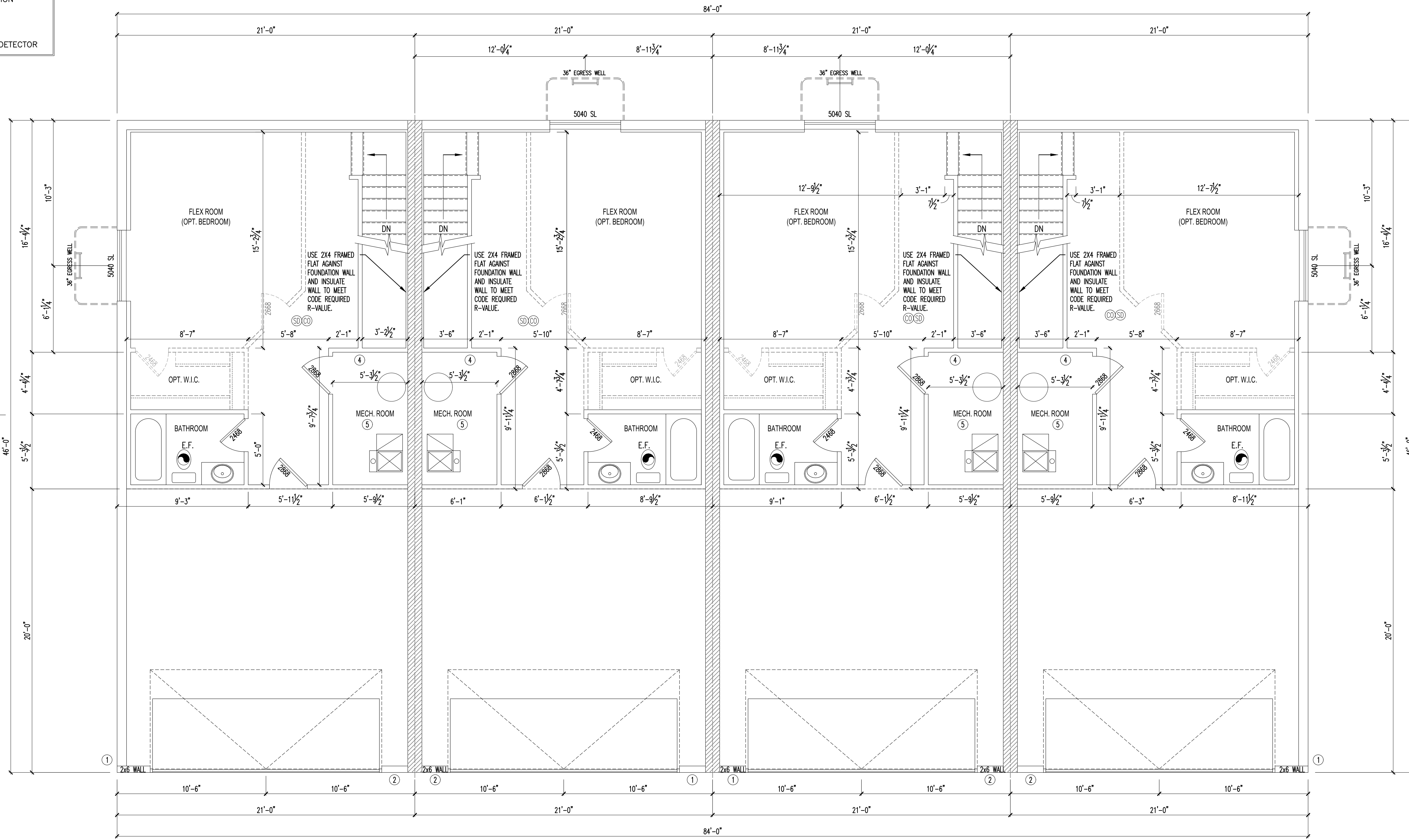
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**LEDGEND:**

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NO:	REVISIONS

**JAC**  
Drafting Services

*J. J. Jot*

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**BASEMENT LEVEL FLOORPLAN  
FOR  
4-PLEX MASTER PLAN**

DATE: 03/10/24  
SCALE: 1/4"=1'-0"  
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