STANDARD EL PASO COUNTY GRADING & EROSION CONTROL PLAN STANDARD EL PASO COUNTY CONSTRUCTION PLAN NOTES 1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE

1. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.

2. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED FL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.

3. A SEPARATE STORMWATER MANAGEMENT PLAN (SMWP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.

4. ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY

5. CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.

6. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT

7. TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.

8. FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES, FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.

APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.

10. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL FROSION AND RESULTING SEDIMENTATION, ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.

11. COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).

12. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.

13. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM.

14. DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.

15. EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.

16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS, NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.

17. WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.

18. TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.

19. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT

20. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED. AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.

21. NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ONSITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.

22. BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ONSITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.

23. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.

24. OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.

25. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.

26. PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.

27. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.

28. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY AND SHALL BE CONSIDERED A PART OF THESE PLANS.

29. AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION. FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP). OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT WATER QUALITY CONTROL DIVISION WQCD – PERMITS 4300 CHERRY CREEK DRIVE SOUTH

DENVER, CO 80246-1530 ATTN: PERMITS UNIT

- CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL. 2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING
- UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- 3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING: a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
- b. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2 c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION d. CDOT M & S STANDARDS
- 4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- 5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- 6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION. 7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- 8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- 9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD. 10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT
- 11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- 9. ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE 12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES. 13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY PCD AND MUTCD CRITERIA. [IF APPLICABLE,
 - ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.] 14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY PCD, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS
 - 15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.
 - STANDARD EL PASO COUNTY SIGNING AND STRIPING NOTES
 - 1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - 2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
 - 3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT
 - 4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS. 5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
 - 6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
 - 7. ALL STREET NAME SIGNS SHALL HAVE "C" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND COLLECTOR ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH 1/2" WHITE BORDER THAT IS NOT RECESSED
 - 8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
 - 9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN

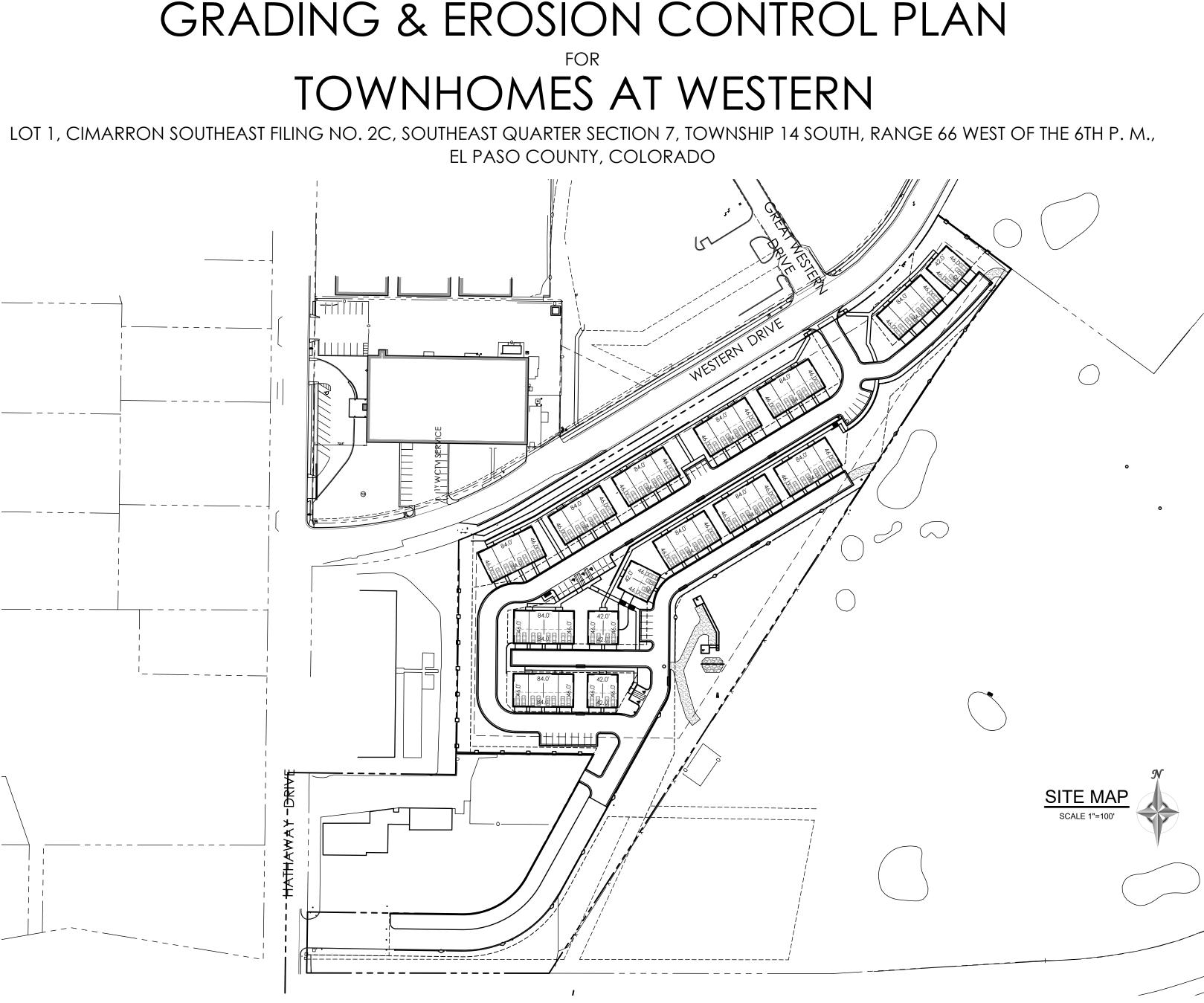
10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.

- 11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
- 12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL residential roadways shall include both right and left edge line striping and any additional STRIPING AS REQUIRED BY CDOT S-627-1.
- 13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
- 14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT OF TRANSPORTATION PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

GENERAL GRADING NOTES

- UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN DRAWN FROM AVAILABLE RECORDS ANO/OR SURFACE EVIDENCE. THE LOCATION OF ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND LOCATIONS HAVE NOT BEEN PERFORMED. THEREFORE, THE RELATIONSHIP BETWEEN PROPOSED WORK AND EXISTING FACILITIES, STRUCTURES AND UTILITIES MUST BE CONSIDERED APPROXIMATE. ALL UTILITIES SHALL BE LOCATED PRIOR TO ANY EARTH WORK OR DIGGING (1-800-922-1987). THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE
- occasioned by the contractor's failure to exactly locate and preserve any and all utilities. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL SUBSURFACE UTILITY OWNERS PRIOR TO BEGINNING WORK TO DETERMINE LOCATION OF UTILITY FACILITIES
- EXISTING CONDITIONS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR. DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION. M.V.E., INC. OR THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR USE OF THIS GRADING PLAN FOR ANY OTHER PURPOSE THAN OVER LOT GRADING OPERATION:
- ALL WEEDS, TRASH, DEBRIS, RUBBLE, BROKEN ASPHALT, ORGANIC MATERIAL (EXCLUDING TOPSOIL) AND REFUSE, OR ANY OTHER MATERIAL WHICH WOULD NOT BE DELETERIOUS AS FUL MATERIAL OR INCAPABLE OF SUPPORTING THE BUILDING, VEHICULAR AND/OR OVERBURDEN LOADS TO BE IMPOSED SHALL BE CLEARED, GRUBBED OR EXCAVATED AS THE CASE MAY DICTATE PRIOR TO GRADING AND SHALL BE REMOVED FROM SITE AND DISPOSED OF LEGALLY
- CONTOUR INTERVAL FOR EXISTING AND PROPOSED CONTOUR LINES IS 1.0'. PROPOSED CONTOURS SHOWN ARE FINISH GRADES AND READ TO TOP OF PAVEMENT AND FINISH SOIL GRADE. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT GRADED AREAS FROM, AND AS NECESSARY RESTORE TO GRADE, ANY RUTS, WASHES OR OTHER
- CHANGES FROM THE DESIGN ELEVATIONS SHOWN HEREON, UNTIL GRADING WORK IS ACCEPTED BY THE OWNER OR OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ENDEAVOR NOT TO DISTURB ANY OFFSITE AREAS. THE CONTRACTOR SHALL RESTORE TO THE ORIGINAL CONDITION, ADJACENT (OFF-SITE) PROPERTY DISTURBED BY HIS OPERATIONS.
- 10. THE GENERAL CONTRACTOR SHALL STRIP TOPSOIL FROM CONSTRUCTION AREAS AND STOCKPILE TOPSOIL AT AREA SHOWN ON THIS PLAN. PLACE TOPSOIL WITH APPROPRIATE EROSION CONTROL AND IN A MANNER SO AS TO NOT CONFLICT WITH OTHER TRADES AND CONSTRUCTION PROCESS.
- ALL GRADING SHALL BE DONE TO INSURE POSITIVE DRAINAGE AWAY FROM FOUNDATIONS AND STRUCTURES. FINISHED GRADE OF ALL PERVIOUS EARTH SURFACES THAT CONTACT FOUNDATION WALLS SHALL BE A MINIMUM OF 6" BELOW ANY UNTREATED WOOD
- . Pervious earth surfaces shall slope away from all foundation walls at a minimum rate of 6" in 10 feet (5%) for the first 10 feet adjacent to THE FOUNDATION OR IN ACCORDANCE WITH APPLICABLE CODES AND THE RECOMMENDATIONS OF THE OWNER'S GEOTECHNICAL ENGINEERING REPORT OR
- DESIGN 14. CONCRETE OR OTHER IMPERVOIUS SURFACES THAT CONTACT FOUNDATION WALLS SHALL SLOPE AWAY FROM ALL FOUNDATION WALLS AT A MINIMUM RATE OF 1/4" PER FOOT (2.00%) OR IN ACCORDANCE WITH APPLICABLE CODES AND THE RECOMMENDATIONS OF THE OWNER'S GEOTECHNICAL ENGINEERING REPORT OR DESIGN
- . ANY FILL MATERIAL REQUIRED TO BRING GRADES UP TO PROPOSED ELEVATIONS SHALL BE PROVIDED BY THE CONTRACTOR. 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTING TOPSOIL THROUGHOUT THE LAWN AND PLANTING AREAS ACCORDING TO APPROVED
- LANDSCAPE PLANS, BY OTHERS 17. THE NATURE OF WORK PROPOSED BY THIS PLAN IS GRADING AND THE EXTENT OF SAID PROPOSED GRADING IS SHOWN BY THE EXISTING AND PROPOSED
- CONTOURS HEREON 18. CONTRACTOR SHALL USE MECHANICAL METHODS TO GO FROM THE EXISTING TO PROPOSED CONTOURS IN ACCORDANCE WITH THIS GRADING PLAN. QUALITY CONTROL OF SOILS AND GRADING OPERATION WILL BE AS DIRECTED BY OWNERS GEOTECHNICAL ENGINEER.ALL NEW CONSTRUCTION IN THE PUBLIC
- RIGHT-OF-WAY IS TO CONFORM TO THE SPECIFICATIONS OF EL PASO COUNTY. 19. ALL NEW CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY IS TO CONFORM TO THE SPECIFICATIONS OF EL PASO COUNTY. 20. ALL STORM DRAIN OUTSIDE OF THE PUBLIC RIGHT-OF-WAY SHALL BE HDPE WITH SMOOTH INTERIOR AND CORRUGATED EXTERIOR WITH PVC FITTINGS. ALL STORM DRAIN INLETS SHALL BE BE PRE-CAST. ALL STORM DRAIN CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL BE PLACED IN ACCORDANCE WITH EL
- PASO COUNTY SPECIFICATIONS 21. CONTRACTOR WILL BE RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING HELD PRIOR TO CONSTRUCTION WITH EPC-PCD, ENGINEER, AND CONTRACTOR IN ATTENDANCE.
- 22. CONTRACTOR IS RESPONSIBLE FOR ALL OF HIS OPERATIONS ON THE SITE. CONTRACTOR SHALL OBSERVE ALL SAFETY AND OSHA REGULATIONS DURING CONSTRUCTION OPERATIONS. TRENCH WIDTHS AND SLOPE ANGLES SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD AND ACCORDING TO SAFETY AND OSHA REGULATIONS.

MATERIAL OR IN ACCORDANCE WITH APPLICABLE CODES AND THE RECOMMENDATIONS OF THE OWNER'S GEOTECHNICAL ENGINEERING REPORT OR DESIGN.



FLOODPLAIN STATEMENT

A PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA'S) ZONE AE AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0754 G, EFFECTIVE DECEMBER 7, 2018.

MAP NOTES

1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR N00°44'42"E.

2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD88.

3. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.



SHEET INDEX

SHEET	TITLE	DRAWING
GRADING &	EROSION CONTROL PLAN SET	
C1.1	COVER SHEET	61179-GEC-CS
C1.2	GRADING PLAN (OVERALL)	61179-GEC-GP
C1.3	GRADING PLAN (NORTH)	61179-GEC-GP
C1.4	GRADING PLAN (MIDDLE)	61179-GEC-GP
C1.5	GRADING PLAN (SOUTH)	61179-GEC-GP
C1.6	EROSION CONTROL	61179-GEC-EC
C1.7	EROSION DETAILS 1	61179-GEC-ED1
C1.8	EROSION DETAILS 2	61179-GEC-ED2

CONTROL PLAN.

TITLE: PH (719) 499-8214

JOSHUA PALMER, P.E. COUNTY ENGINEER / ECM ADMINISTRATOR

OWNER/DEVELOPER STATEMENT

I, JORDON GUINANE, THE OWNER/DEVELOPER HAVE READ AND WITH THE REQUIREMENTS OF THE GRADING AND EROSION

DATE

JORDON GUINANE PRESIDENT J. ELLIOTT HOMES, INC. 13761 BANDANERO DRIVE PEYTON, CO 80831

DESIGN ENGINEER'S STATEMENT

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

DAVID R. GORMAN, P.E COLORADO NO. 31672 FOR AND ON BEHALF OF M.V.E., INC.

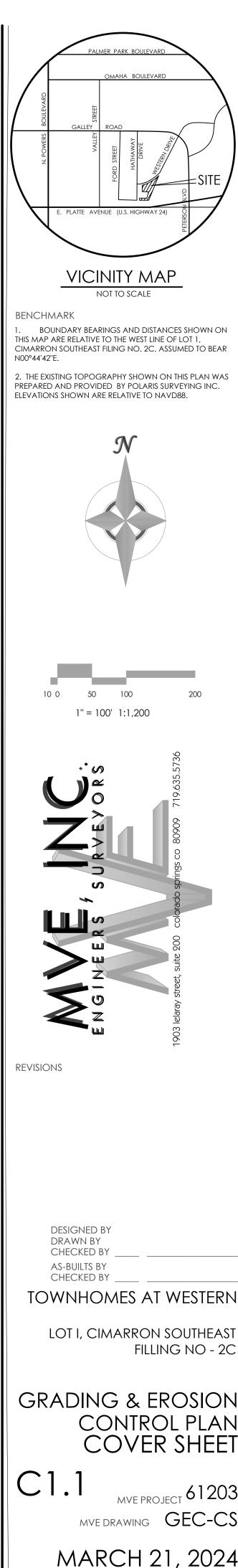
EL PASO COUNTY

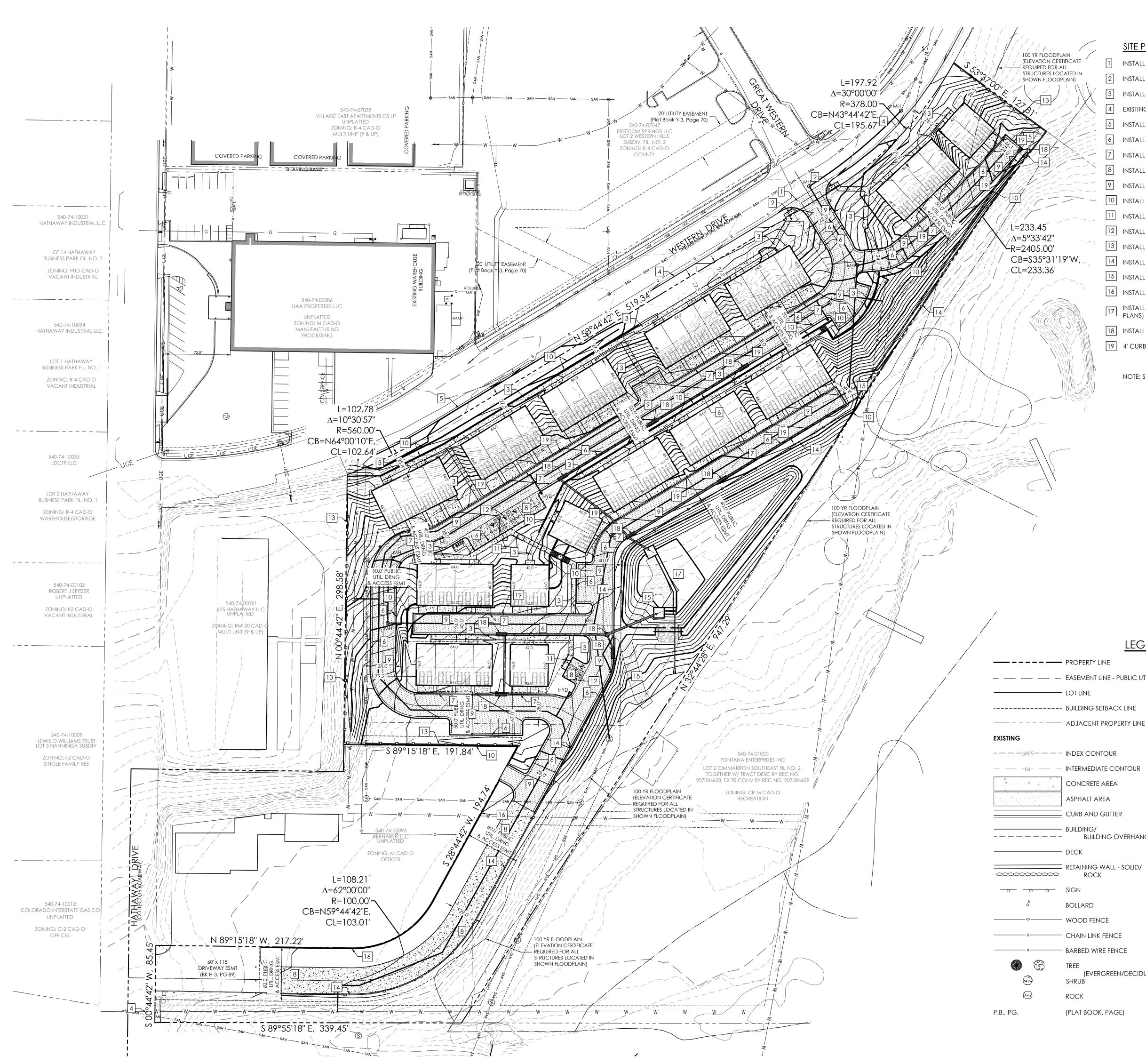
COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

DATE





- I INSTALL 6' CROSS PAN (EPC DET SD_2-26)
- 2 INSTALL PEDESTRIAN CURB RAMP (EPC DET SD_2-41)
- 3 INSTALL 5' WIDE SIDEWALK (SEE DETAIL)
- 4 EXISTING EPC TYPE A CURB & GUTTER TO REMAIN
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- 19 4' CURB OPENING (SEE DETAIL)

NOTE: SEE CONSTRUCTION PLANS FOR NON-EROSION CONTROL DETAILS

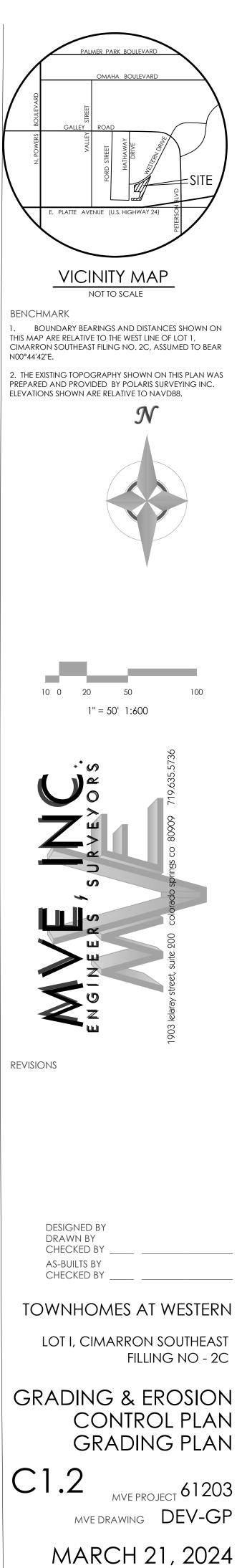
LEGEND

- - EASEMENT LINE - PUBLIC UTILITY & DRAINAGE 10' FRONT, 5' SIDE, 7' REAR (TYP) LOT LINE

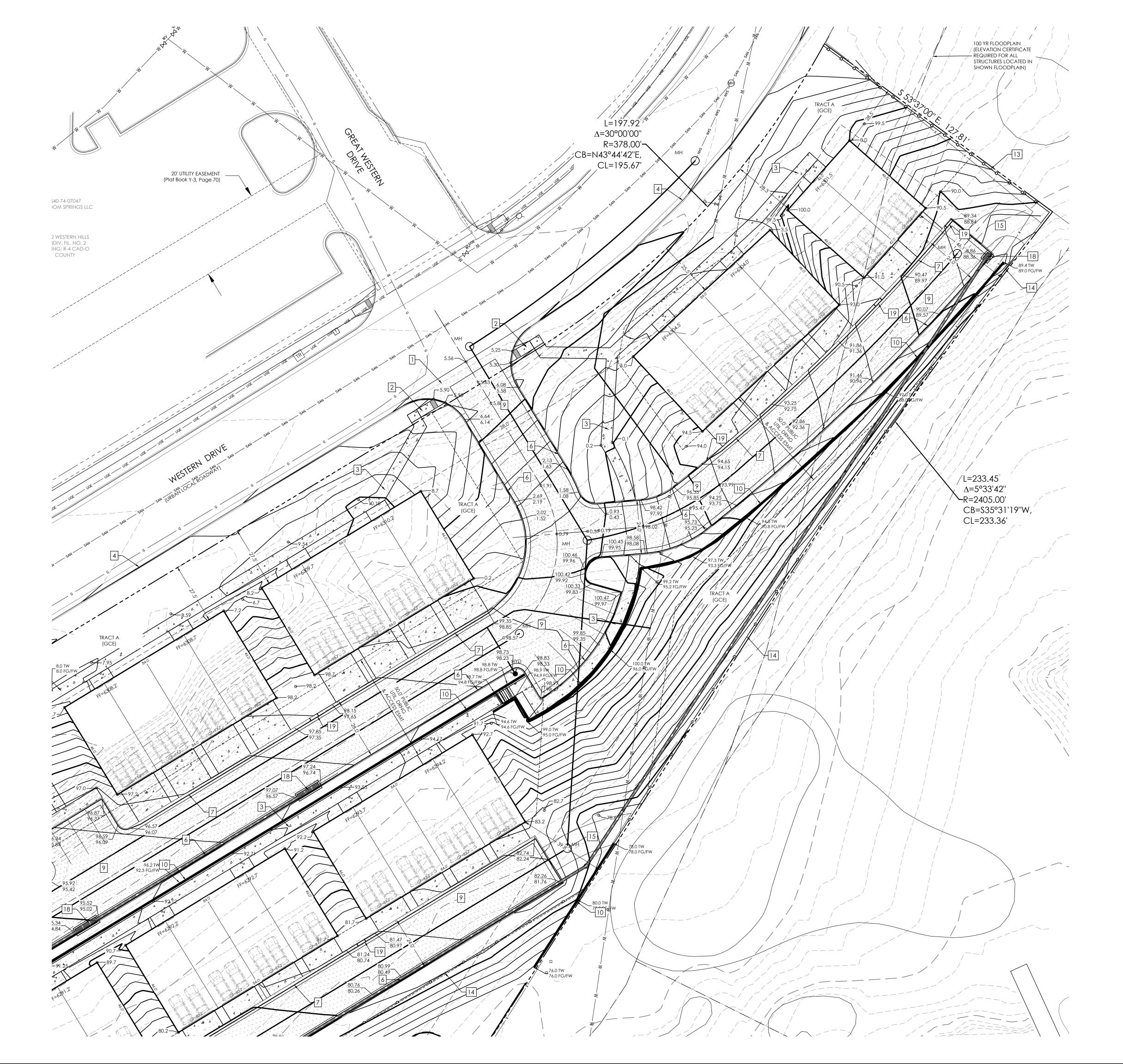
PROPOSED

_	INDEX CONTOUR		5	INDEX CONTOUR
_	INTERMEDIATE CONTOUR			INTERMEDIATE CONTOUR
	CONCRETE AREA			CONCRETE AREA
•	ASPHALT AREA	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	ASPHALT AREA
_	CURB AND GUTTER			CURB AND GUTTER
_	BUILDING/ BUILDING OVERHANG			BUILDING/ BUILDING OVERHANG
_	DECK			DECK
	RETAINING WALL - SOLID/ ROCK	·		RETAINING WALL - SOLID ROCK
	SIGN	-o- -o		SIGN
	BOLLARD	o B		BOLLARD
	WOOD FENCE	86.0 T 83.0 F	<u>W</u> G	TOP OF WALL/GRADE AT BOTTON
_	CHAIN LINK FENCE	<u> </u>		OF WALL TOP OF CURB/FLOWLINE
	BARBED WIRE FENCE	<u>84.96</u> TSW		
	TREE (EVERGREEN/DECIDUOUS) SHRUB	FF = 598	36.00	FL = FLOWLINE TSW = TOP OF SIDEWALK FINISHED FLOOR ELEVATION
	ROCK		>	FLOW DIRECTION
	(PLAT BOOK, PAGE)			



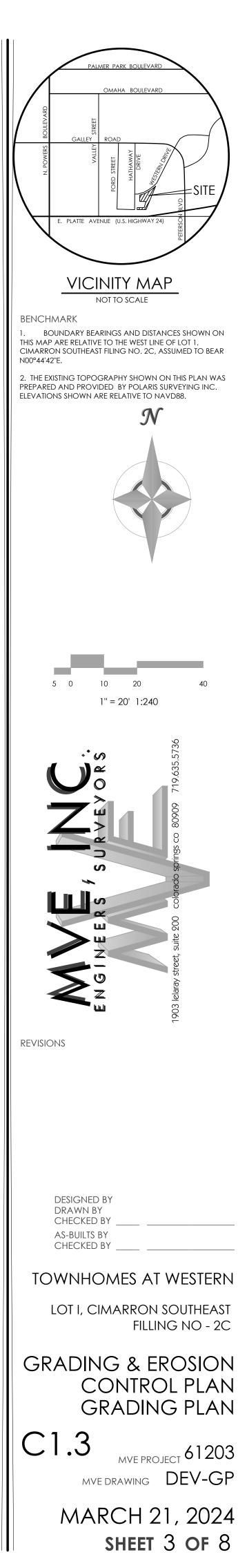


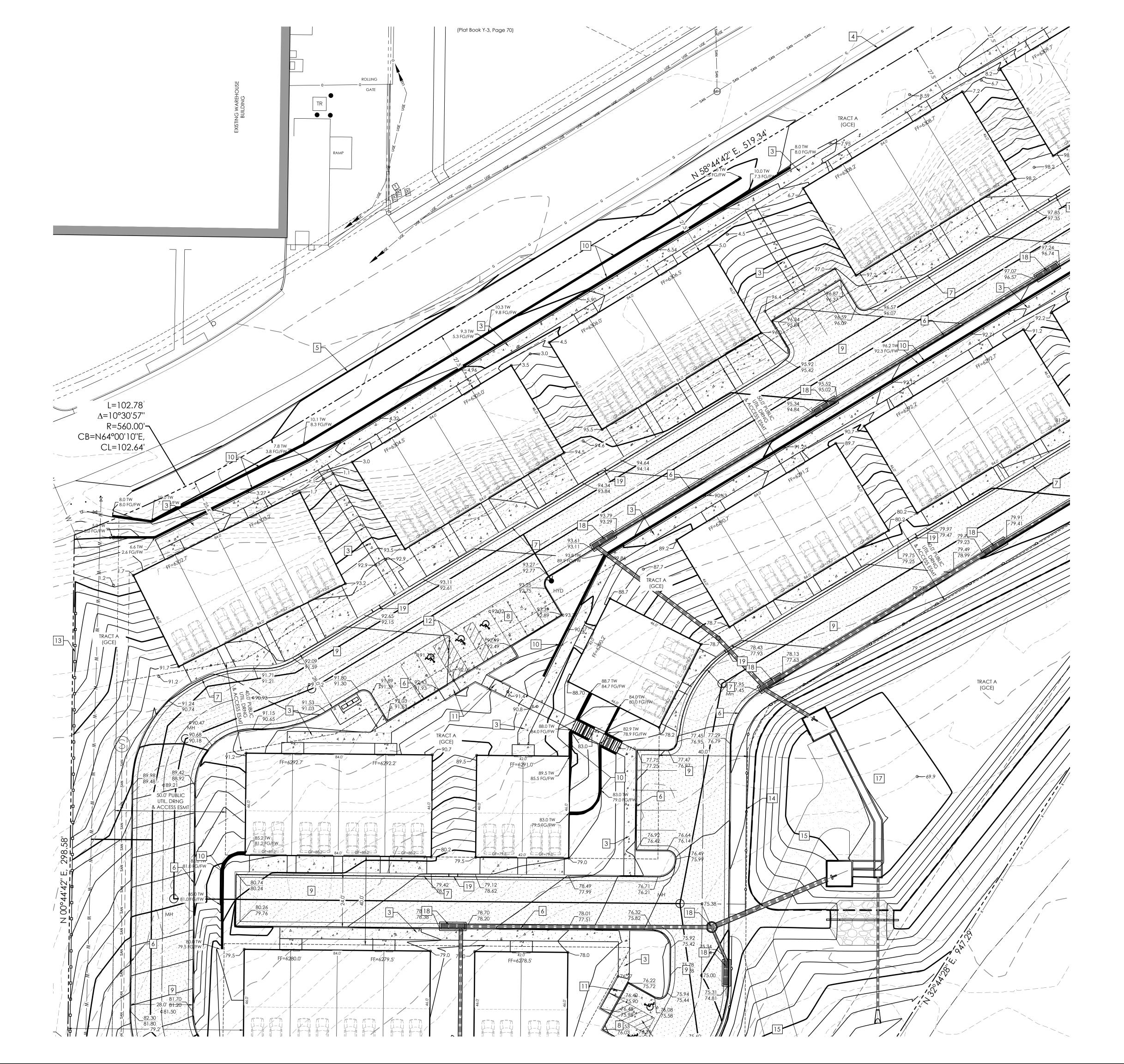
SHEET 2 OF 8



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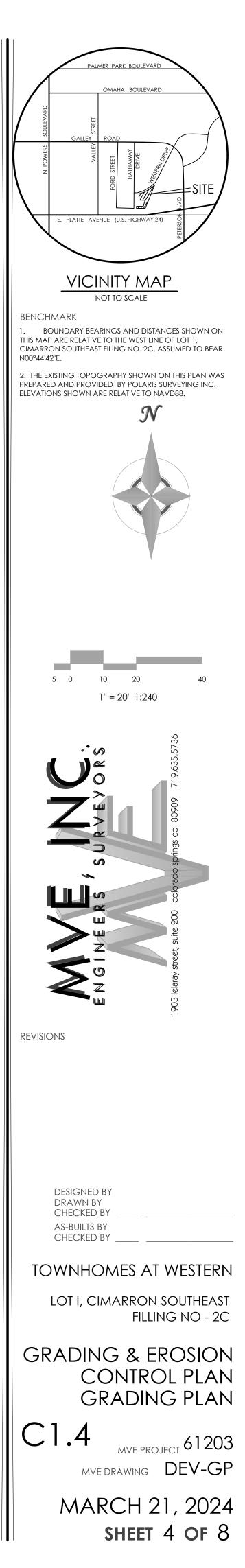
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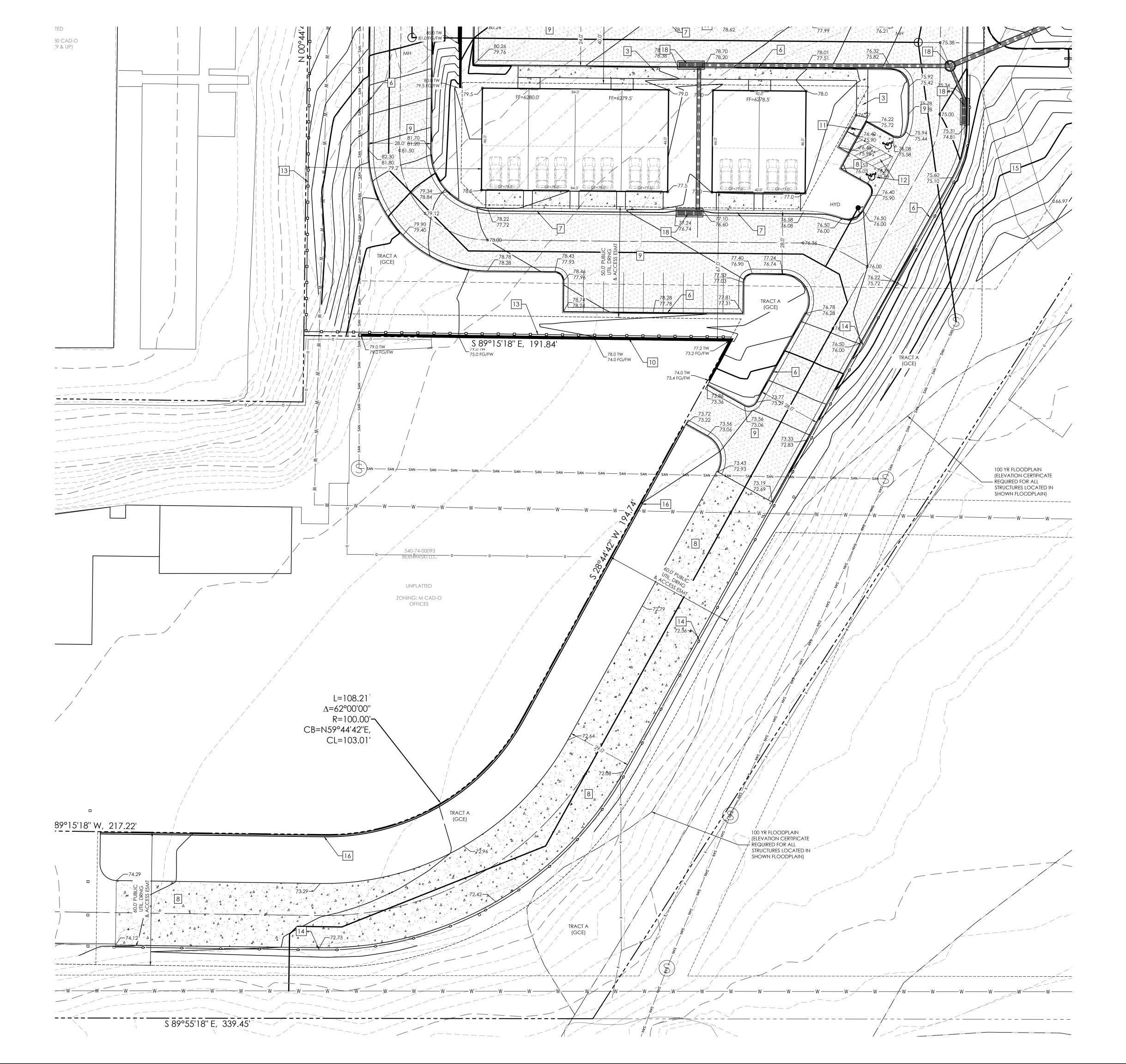




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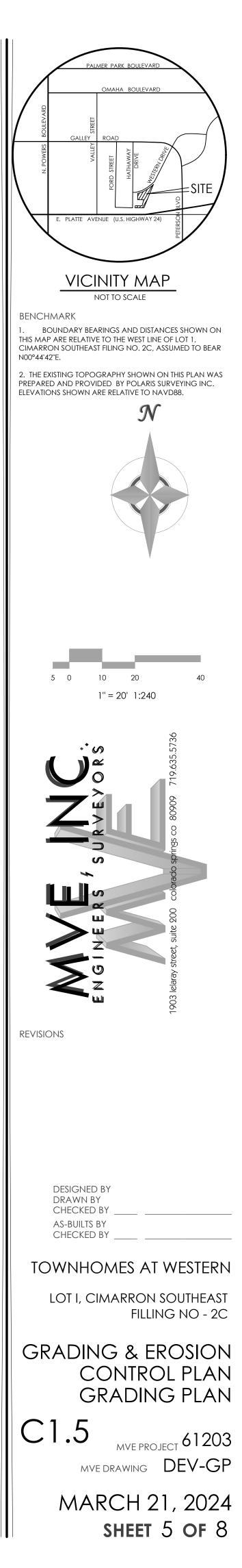
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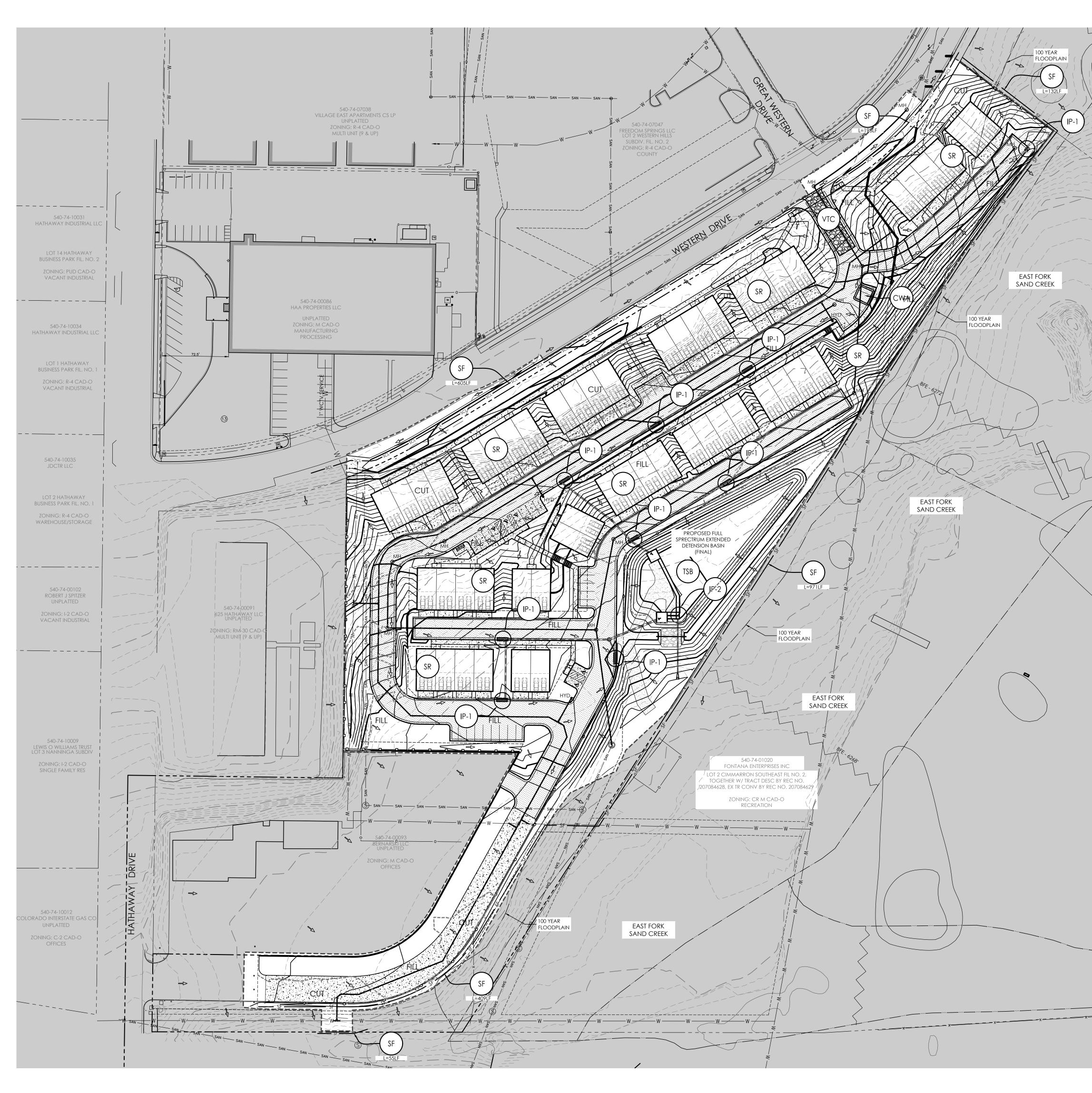




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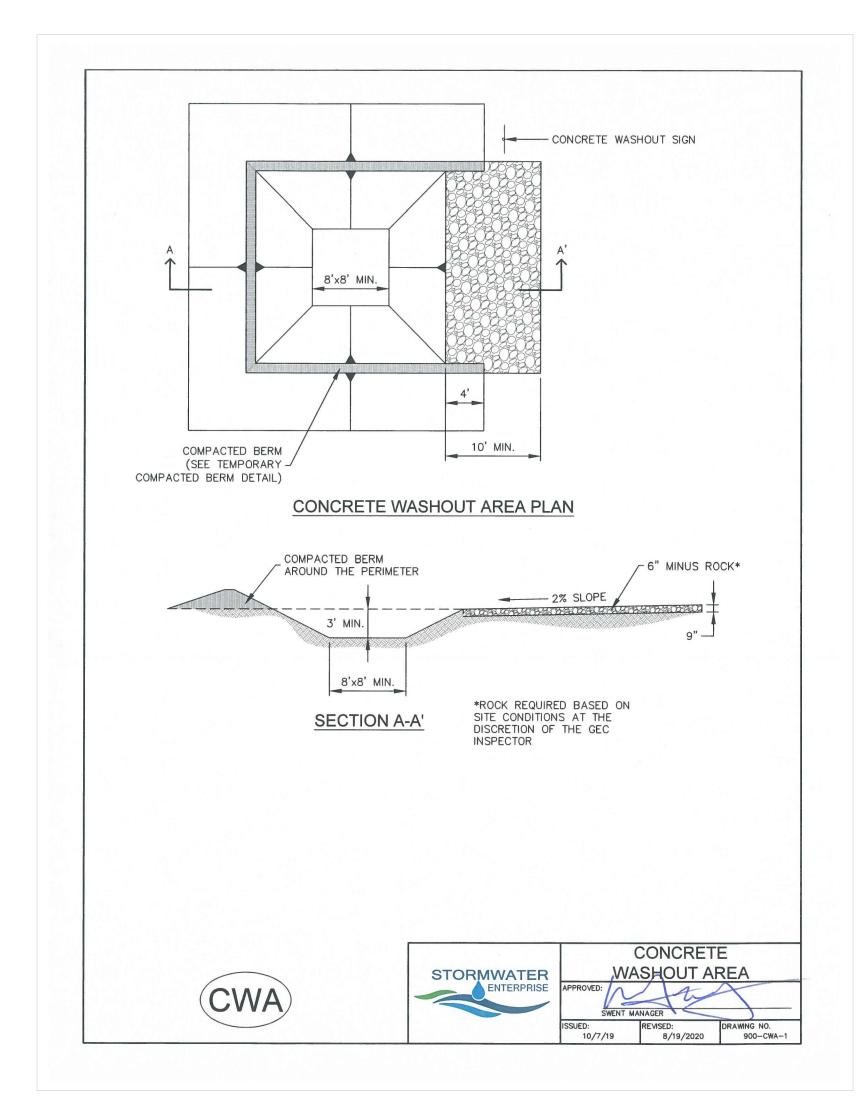
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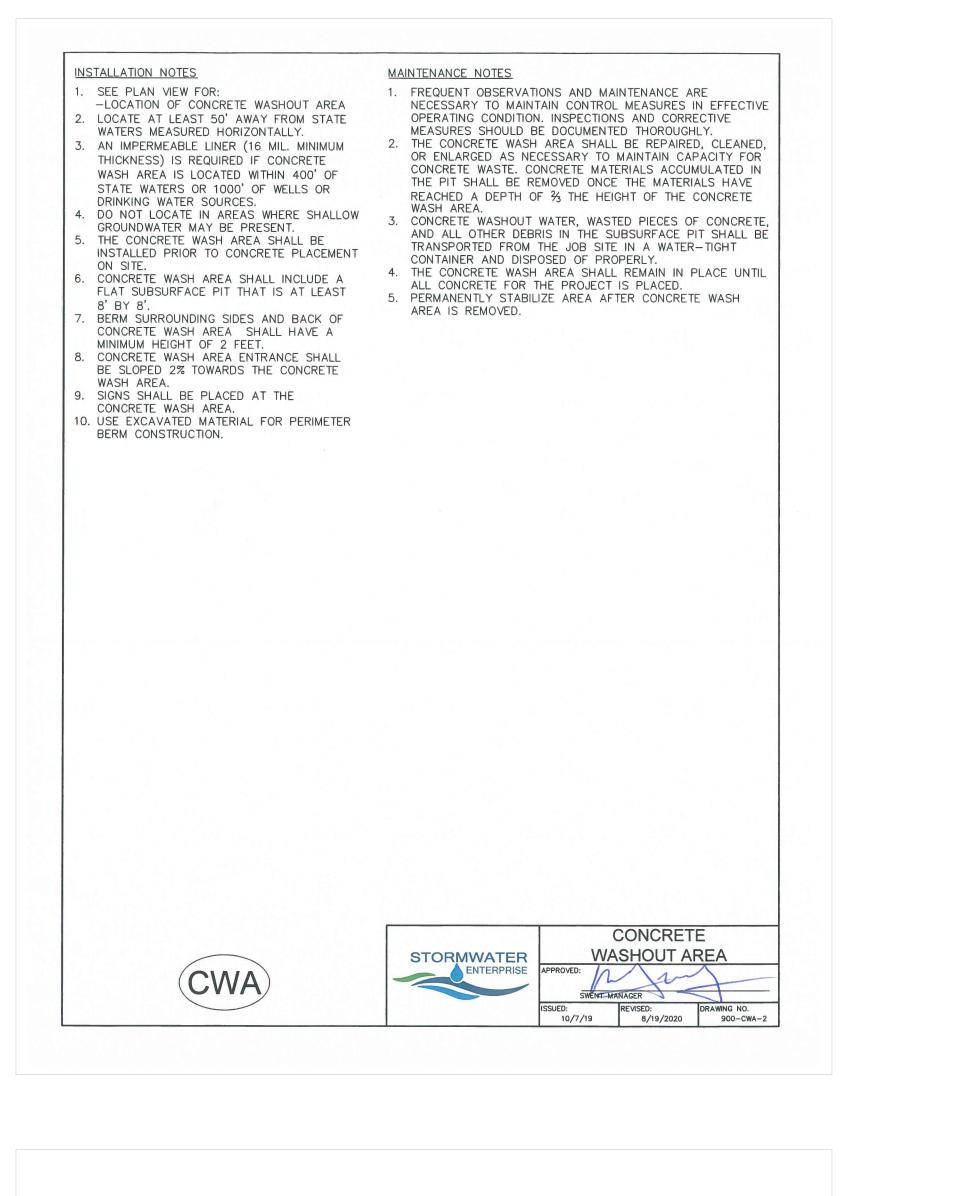


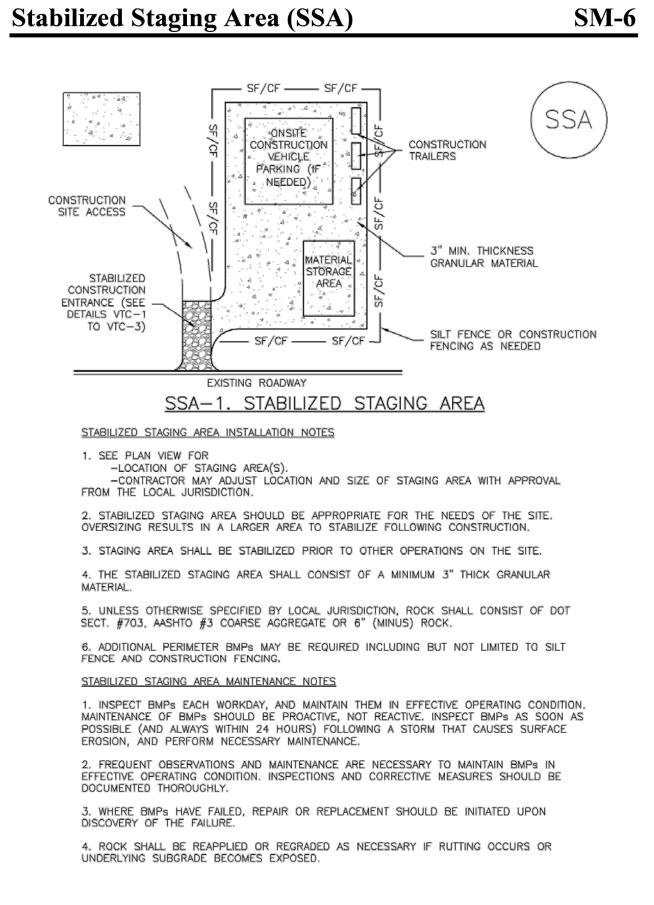
	OGIC SOIL GROU		A	
			_	PALMER PARK BOULEVARD
MAP UNIT NUMBER	DESCRIPTION	ANTICIPATED START & COMPLETION TIME PERIOD OF SITE GRADING	fall 2024 to spring 2025	OMAHA BOULEVARD
		EXPTECTED DATE ON WHICH FINAL STABILIZATION WILL BE	SUMMER 2025	GALLEY ROAD
8	BLAKELAND LOAMY SAN TO 9 PERCENT SLOPE			LE E A HITEK
		TOTAL AREA OF SITE	7.12	
		AREA OF THE SITE TO BE CLEARED, EXCAVATED OR	6.81 ACRES	
				E. PLATTE AVENUE (U.S. HIGHWAY 24)
		NAME OF RECEIVING WATERS		
		SOIL DATA		VICINITY MAP
		PRIMARY SOIL DESCRIPTION PERMEABILITY	SEE TABLE RAPID	NOT TO SCALE
		SURFACE RUNOFF	SLOW	BENCHMARK 1. BOUNDARY BEARINGS AND DISTANCES SHOWN OF
			MODERATE	THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAN N00°44'42"E.
		HYDROLOGIC SOIL GROUP EXISTING PERCENT IMPERVIOUS	A 14.0%	2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WA PREPARED AND PROVIDED BY POLARIS SURVEYING INC.
		DEVELOPED PERCENT IMPERVIOUS	50.2%	ELEVATIONS SHOWN ARE RELATIVE TO NAVD88.
				\mathcal{N}
E	3MP LEGEND			
/AP SYMBC		CRIPTION		
		INITIAL BMPs		
		ILIZED STAGING AREA al BMP)		
	\sim	MENT CONTROL LOG		
SF		al BMP)		
		CLE TRACKING CONTROL al BMP)		
		, ICRETE WASHOUT AREA		
		AL BMP)		10 0 20 50 100
				1" = 50' 1:600
		INTERIM BMPs		
		ACE ROUGHENING RIM BMP)		39
	<i>i i i i i i i i i i</i>			719.635.5736
		RIM BMP) PORARY SEDIMENT BASIN		
	1 1 1 1 1 1 1	RIM BMP)		
				tings co
				S S
		FINAL BMPs		Colorado Colorado
	(MU) (Final	CHING BMP)		
		ANENT SEEDING		E N G I N E 1903 lelaray street, suite 200
	(PS) (Final			G G
1	F007			
-	.50% SLOP	E DIRECTION AND GRADE		
-		NAGE FLOW ARROW		REVISIONS
	LIMIT	S OF CONSTRUCTION/DISTURBANG	CE	
CU	JT FILL AREA	NS OF CUT / FILL		
				DESIGNED BY
GENERAL	. NOTES			DRAWN BY CHECKED BY
		HE AREA OF DISTURBANCE.		AS-BUILTS BY CHECKED BY
	ANY NO-BUILD AREAS INDI			TOWNHOMES AT WESTER
		CATE AS THE PROJECT MOVES FROM INITIAL TO INOTATED ON THIS PLAN BY THE SWMP ADMINI		
				LOT I, CIMARRON SOUTHEAS FILLING NO - 2
				GRADING & EROSIO
				GRADING & EROSIO CONTROL PLA EROSION CONTRO
				CONTROL PLA EROSION CONTRO
				CONTROL PLA

MARCH 21, 2024 SHEET 6 OF 8



			NUAL GRASSES		
SPECIES	GROWTH	SEEDING	POUNDS OF		PLANTING
(COMMON NAME)	SEASON	DATE	LIVE SEED		DEPTH
1.0470			(PLS/AC	,	(INCHES)
	COOL	MARCH 16 - APRI			1-2
2. SPRING WHEAT 3. SPRING BARLEY	COOL	MARCH 16 - APRI MARCH 16 - APRI			<u>1-2</u> 1-2
4. ANNUAL RYEGRASS		MARCH 16 - JUNE			1/2
5. MILLET	WARM	MARCH 10-JULY			1/2-3/4
6. SUDANGRASS	WARM	MAY 16-JULY			1/2-3/4
7. SORGHUM	WARM	MAY 16 - JULY			1/2-3/4
8. WINTER WHEAT	COOL	SEPTEMBER 1 -			1-2
9. WINTER BARLEY	COOL	SEPTEMBER 1 -			1-2
10. WINTER RYE		SEPTEMBER 1 -			1-2
11. TRITICALE	COOL	SEPTEMBER 1 -			1-2
		TABLE T	<u>S-1</u>		
	<u>TEMPO</u>	RARY SEEI	DING NOTES	_	
INSTALLATION REC	QUIREMEN	<u>TS_</u>	MAINTENAN	<u>CE REQUIRI</u>	EMENTS
. DISTURBED AREAS ARE TO 1 DAYS AFTER CONSTRUCTIO RADING ENDS IF SEASON AL . IF NECESSARY, SOIL IS TO FOR PLANT GROWTH BY APPL	ON ACTIVITY OF LOWS. BE CONDITIONE	ED	1. REGULAR INSPECTI SEEDED AREAS TO EN 2. AREAS WHERE GRC QUICKLY OR THE MULC SHALL BE RE-SEEDED	SURE GROWTH. WTH IS NOT OCC CH HAS BEEN REM	URRING
ERTILIZER, OR LIME. . SOIL IS TO BE TILLED IMME PPLYING SEEDS. COMPACT IEED TO BE LOOSENED.	DIATELY PRIOR	то	AND RE-MULCHED IF N 3. SEEDED AREAS ARE WITH CONSTRUCTION	EEDED. E NOT TO BE DRIV	EN OVER
. SEEDBED DEPTH IS TO BE LOPES FLATTER THAN 2:1, AI LOPES STEEPER THAN 2:1.	4 INCHES FOR ND 1 INCH FOR				
. ANNUAL GRASSES LISTED O BE USED FOR TEMPORARY IIXES ARE NOT TO CONTAIN A EEDS INCLUDING RUSSIAN C NAPWEED, PURPLE LOOSES INDWEED, JOHNSON GRASS,	/ SEEDING. SEE ANY NOXIOUS V DR CANADIAN TH TRIFE, EUROPE	ED VEED HISTLE, AN			
. TABLE TS-1 ALSO PROVIDE EEDING RATES, SEEDING DA	TES, AND PLAN	TING			
RASSES. . SEEDING IS TO BE APPLIED YPE DRILLS EXCEPT WHERE CCESS IS LIMITED THEN HYD	SLOPES ARE S	TEEP OR			
RASSES. . SEEDING IS TO BE APPLIED YPE DRILLS EXCEPT WHERE CCESS IS LIMITED THEN HYD E USED. . ALL SEEDED AREAS ARE TO	SLOPES ARE S RAULIC SEEDIN	TEEP OR NG MAY		\frown	
DEPTHS FOR THE APPROVED RASSES. . SEEDING IS TO BE APPLIED YPE DRILLS EXCEPT WHERE CCESS IS LIMITED THEN HYD E USED. . ALL SEEDED AREAS ARE TO ACTSHEET ON MULCHING). . IF HYDRAULIC SEEDING IS I MULCHING SHALL BE DONE SE EEDS BECOMING ENCAPSUL	SLOPES ARE S DRAULIC SEEDIN D BE MULCHED USED THEN HYI EPARATELY TO	TEEP OR IG MAY (SEE DRAULIC AVOID		PS	





SM-6

SSA-3

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City of Colorado Springs Stormwater Quality Figure MU ¹ Mulching Construction Detail and Maintenance Requirements SM-6 Stabilized Staging Area (SSA) SM-7 Stabilized Staging Area (SSA) SM-8 Stabilized Staging Area (SMA) SM-	RERIZICIAL STATES AND ADD ADD ADD ADD ADD ADD ADD ADD ADD
SA-4 Urban Drainage and Flood Control District November 2010 Urban Storm Drainage Criteria Manual Volume 3	DESIGNED BY DRAWIN BY CHECKED BY AS-BUILTS BY CHECKED BY TOWNHOMES AT WESTERN LOT I, CIMARRON SOUTHEAST FILLING NO - 2C GRADING & EROSION NO - 2C GRADING & EROSION CONTROL PLAN EROSION DETAILS 1 (C1.7) MVE PROJECT 61203 MVE DRAWING GEC-ED1 MARCH 21, 2024 SHEET 7 OF 8

