

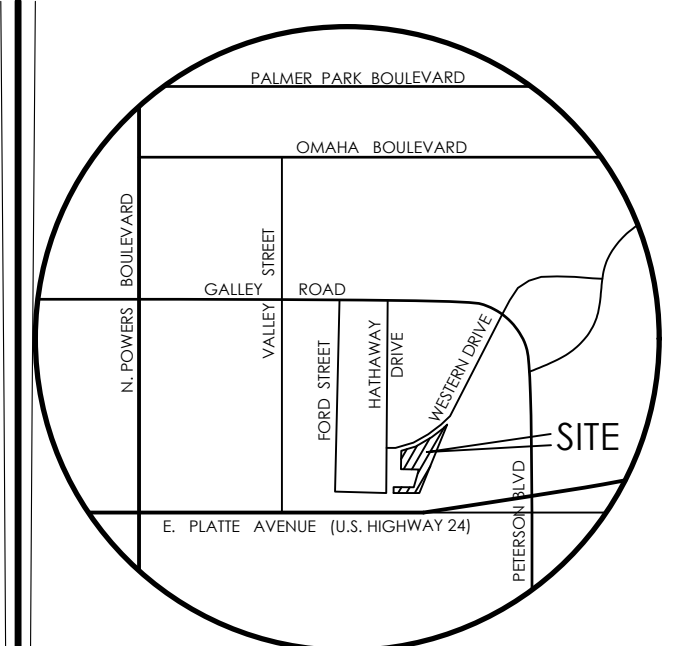
**SITE PLAN SPECIFIC NOTES**

- 1 INSTALL 6' CROSS PAN (EPC DET SD\_2-26)
- 2 INSTALL PEDESTRIAN CURB RAMP (EPC DET SD\_2-41)
- 3 INSTALL 5' WIDE SIDEWALK (SEE DETAIL)
- 4 EXISTING EPC TYPE A CURB & GUTTER TO REMAIN
- 5 INSTALL EPC TYPE A CURB & GUTTER (PUBLIC) (EPC DET SD\_2-20)
- 6 INSTALL EPC TYPE A CURB & GUTTER (PRIVATE) (EPC DET SD\_2-20)
- 7 INSTALL EPC TYPE C CURB & GUTTER (EPC DET SD\_2-20)
- 8 INSTALL CONCRETE PAVEMENT (SEE DETAIL)
- 9 INSTALL ASPHALT PAVEMENT (SEE DETAIL)
- 10 INSTALL 4' HIGH MAX HEIGHT CONCRETE RETAINING WALL (SEE DETAIL)
- 11 INSTALL INTERIOR PEDESTRIAN CURB RAMP (SEE DETAIL)
- 12 INSTALL ADA PAVEMENT STRIPES (SEE DETAIL)
- 13 INSTALL 6' HIGH OPAQUE WOOD FENCE (SEE DETAIL)
- 14 INSTALL SPLIT RAIL WOOD FENCE
- 15 INSTALL GRAVEL ACCESS DRIVE
- 16 INSTALL CONCRETE PRIVACY WALL (SEE DETAIL)
- 17 INSTALL FULL SPECTRUM EXTENDED DETENTION BASIN (SEE CONSTRUCTION PLANS)
- 18 INSTALL STORM INLET / MANHOLE (PRIVATE) (SEE CONSTRUCTION PLANS)
- 19 4 CURB OPENING (SEE DETAIL)

NOTE: SEE CONSTRUCTION PLANS FOR NON-EROSION CONTROL DETAILS

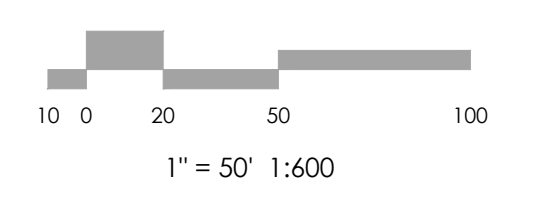
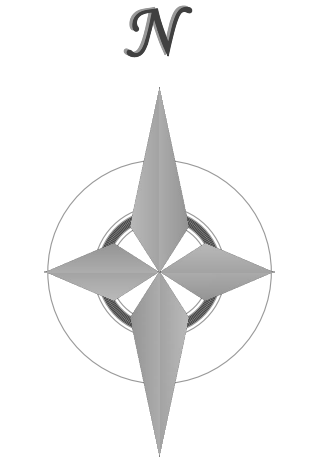
**LEGEND**

---	PROPERTY LINE	---	PROPERTY LINE
- - - -	EASEMENT LINE - PUBLIC UTILITY & DRAINAGE 10' FRONT, 5' SIDE, 7' REAR (TYP)	---	EASEMENT LINE - PUBLIC UTILITY & DRAINAGE 10' FRONT, 5' SIDE, 7' REAR (TYP)
---	LOT LINE	---	LOT LINE
---	BUILDING SETBACK LINE	---	BUILDING SETBACK LINE
---	ADJACENT PROPERTY LINE	---	ADJACENT PROPERTY LINE
<b>EXISTING</b>			
---	INDEX CONTOUR	---	INDEX CONTOUR
---	INTERMEDIATE CONTOUR	---	INTERMEDIATE CONTOUR
[Pattern]	CONCRETE AREA	[Pattern]	CONCRETE AREA
[Pattern]	ASPHALT AREA	[Pattern]	ASPHALT AREA
[Pattern]	CURB AND GUTTER	[Pattern]	CURB AND GUTTER
[Pattern]	BUILDING/ BUILDING OVERHANG	[Pattern]	BUILDING/ BUILDING OVERHANG
[Pattern]	DECK	[Pattern]	DECK
[Pattern]	RETAINING WALL - SOLID/ ROCK	[Pattern]	RETAINING WALL - SOLID/ ROCK
[Symbol]	SIGN	[Symbol]	SIGN
[Symbol]	BOLLARD	[Symbol]	BOLLARD
[Symbol]	WOOD FENCE	[Symbol]	WOOD FENCE
[Symbol]	CHAIN LINK FENCE	[Symbol]	CHAIN LINK FENCE
[Symbol]	BARBED WIRE FENCE	[Symbol]	BARBED WIRE FENCE
[Symbol]	TREE (EVERGREEN/DECIDUOUS)	[Symbol]	TREE (EVERGREEN/DECIDUOUS)
[Symbol]	SHRUB	[Symbol]	SHRUB
[Symbol]	ROCK	[Symbol]	ROCK
[Symbol]	P.B., PG. (PLAT BOOK, PAGE)	[Symbol]	P.B., PG. (PLAT BOOK, PAGE)
<b>PROPOSED</b>			
---	INDEX CONTOUR	---	INDEX CONTOUR
---	INTERMEDIATE CONTOUR	---	INTERMEDIATE CONTOUR
[Pattern]	CONCRETE AREA	[Pattern]	CONCRETE AREA
[Pattern]	ASPHALT AREA	[Pattern]	ASPHALT AREA
[Pattern]	CURB AND GUTTER	[Pattern]	CURB AND GUTTER
[Pattern]	BUILDING/ BUILDING OVERHANG	[Pattern]	BUILDING/ BUILDING OVERHANG
[Pattern]	DECK	[Pattern]	DECK
[Pattern]	RETAINING WALL - SOLID/ ROCK	[Pattern]	RETAINING WALL - SOLID/ ROCK
[Symbol]	SIGN	[Symbol]	SIGN
[Symbol]	BOLLARD	[Symbol]	BOLLARD
[Symbol]	TOP OF WALL/GRADE AT BOTTOM OF WALL	[Symbol]	TOP OF WALL/GRADE AT BOTTOM OF WALL
[Symbol]	TOP OF CURB/FLOWLINE	[Symbol]	TOP OF CURB/FLOWLINE
[Symbol]	SPOT ELEVATION	[Symbol]	SPOT ELEVATION
[Symbol]	FF = 5986.00	[Symbol]	FF = 5986.00
[Symbol]	FLOW DIRECTION	[Symbol]	FLOW DIRECTION



**VICINITY MAP**  
NOT TO SCALE

BENCHMARK  
1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR N00°44'42"E.  
2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD88.



**MVE, INC.**  
ENGINEERS / SURVEYORS

1903 Leamy Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

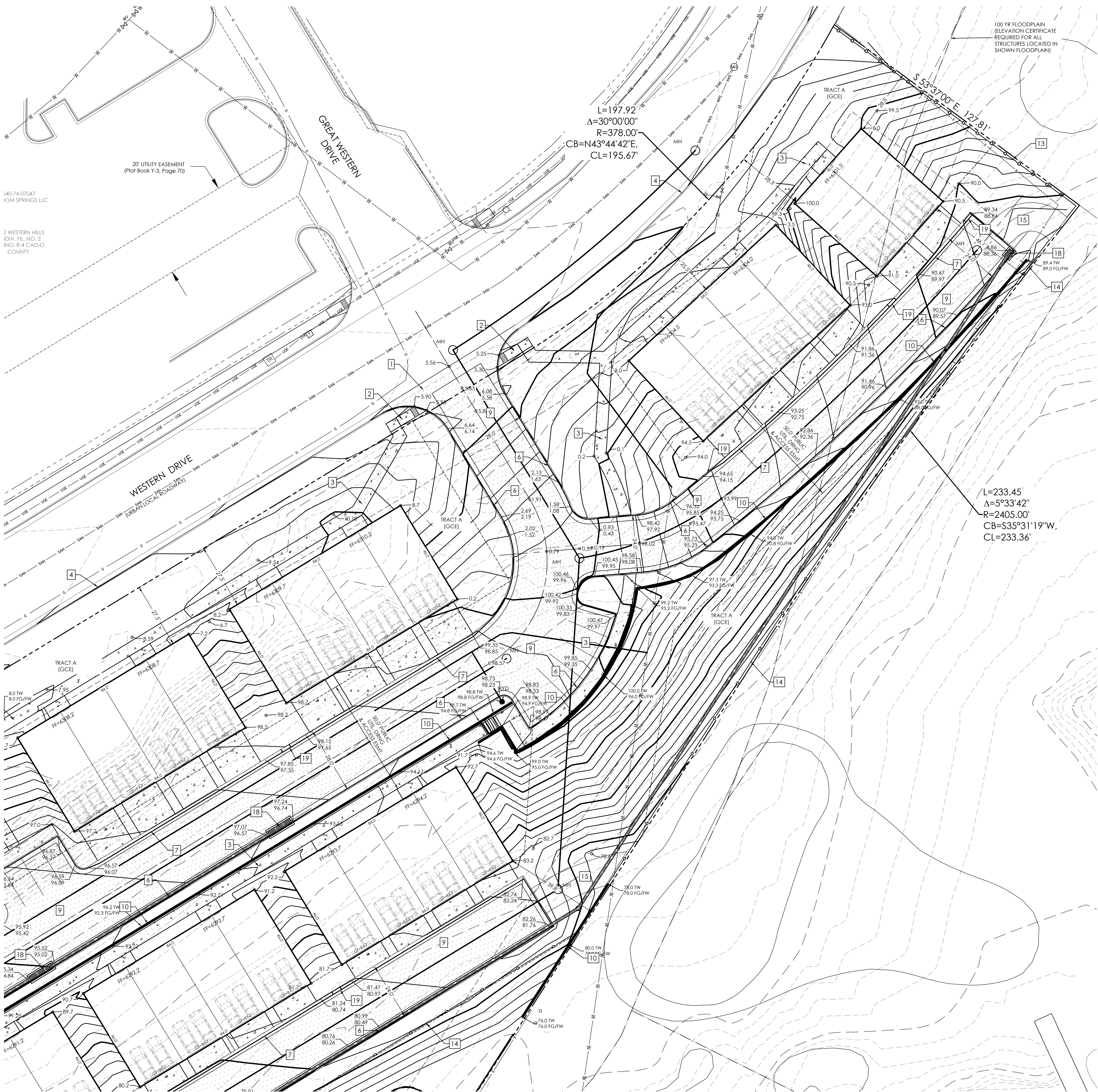
**TOWNHOMES AT WESTERN**  
LOT I, CIMARRON SOUTHEAST FILLING NO - 2C

**GRADING & EROSION CONTROL PLAN**  
**GRADING PLAN**

**C1.2** MVE PROJECT 61203  
MVE DRAWING DEV-GP

**MARCH 21, 2024**  
**SHEET 2 OF 8**

PCD FILE #



140-74-07047  
IONA SPRINGS LLC

2 WESTERN HILLS  
IDIV. PL. NO. 2  
INCL. R-4 CAD-O  
COUNTY

L=197.92  
Δ=30°00'00"  
R=378.00'  
CB=N43°44'42"E,  
CL=195.67'

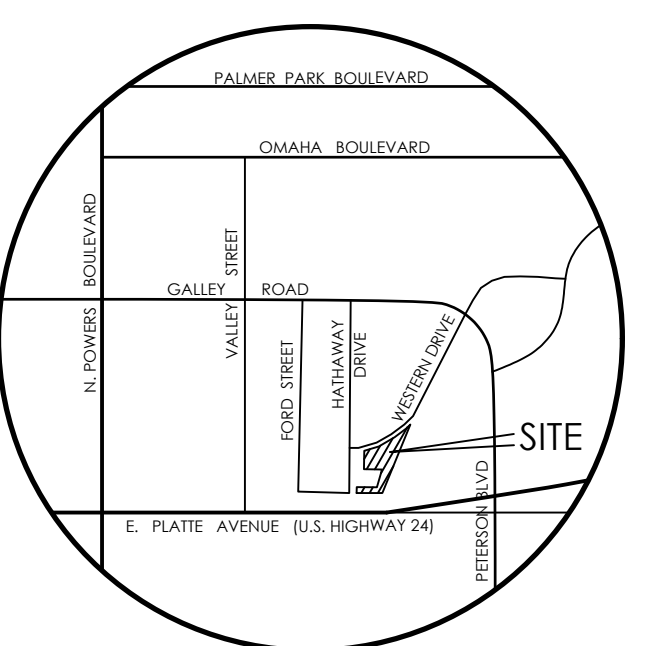
L=233.45  
Δ=5°33'42"  
R=2405.00'  
CB=S35°31'19"W,  
CL=233.36'

100 YR FLOODPLAIN  
(ELEVATION CERTIFICATE  
REQUIRED FOR ALL  
STRUCTURES LOCATED IN  
SHOWN FLOODPLAIN)

**SITE PLAN SPECIFIC NOTES**

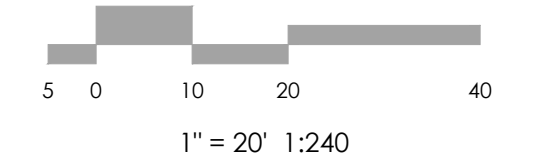
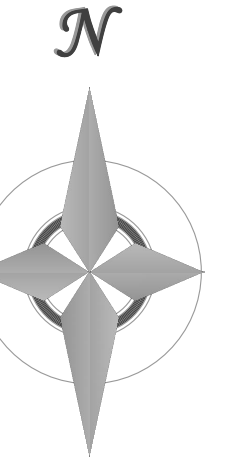
- 1 INSTALL 6' CROSS PAN (EPC DET SD\_2-24)
- 2 INSTALL PEDESTRIAN CURB RAMP (EPC DET SD\_2-41)
- 3 INSTALL 5' WIDE SIDEWALK (SEE DETAIL)
- 4 EXISTING EPC TYPE A CURB & GUTTER TO REMAIN
- 5 INSTALL EPC TYPE A CURB & GUTTER (PUBLIC) (EPC DET SD\_2-20)
- 6 INSTALL EPC TYPE A CURB & GUTTER (PRIVATE) (EPC DET SD\_2-20)
- 7 INSTALL EPC TYPE C CURB & GUTTER (EPC DET SD\_2-20)
- 8 INSTALL CONCRETE PAVEMENT (SEE DETAIL)
- 9 INSTALL ASPHALT PAVEMENT (SEE DETAIL)
- 10 INSTALL 4' HIGH MAX HEIGHT CONCRETE RETAINING WALL (SEE DETAIL)
- 11 INSTALL INTERIOR PEDESTRIAN CURB RAMP (SEE DETAIL)
- 12 INSTALL ADA PAVEMENT STRIPES (SEE DETAIL)
- 13 INSTALL 6' HIGH OPAQUE WOOD FENCE (SEE DETAIL)
- 14 INSTALL SPLIT RAIL WOOD FENCE
- 15 INSTALL GRAVEL ACCESS DRIVE
- 16 INSTALL CONCRETE PRIVACY WALL (SEE DETAIL)
- 17 INSTALL FULL SPECTRUM EXTENDED DETENTION BASIN (SEE CONSTRUCTION PLANS)
- 18 INSTALL STORM INLET / MANHOLE (PRIVATE) (SEE CONSTRUCTION PLANS)
- 19 4' CURB OPENING (SEE DETAIL)

NOTE: SEE CONSTRUCTION PLANS FOR NON-EROSION CONTROL DETAILS



**VICINITY MAP**  
NOT TO SCALE

BENCHMARK  
1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR N00°44'42"E.  
2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD88.



**MVE, INC.**  
ENGINEERS / SURVEYORS

1903 Leary Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

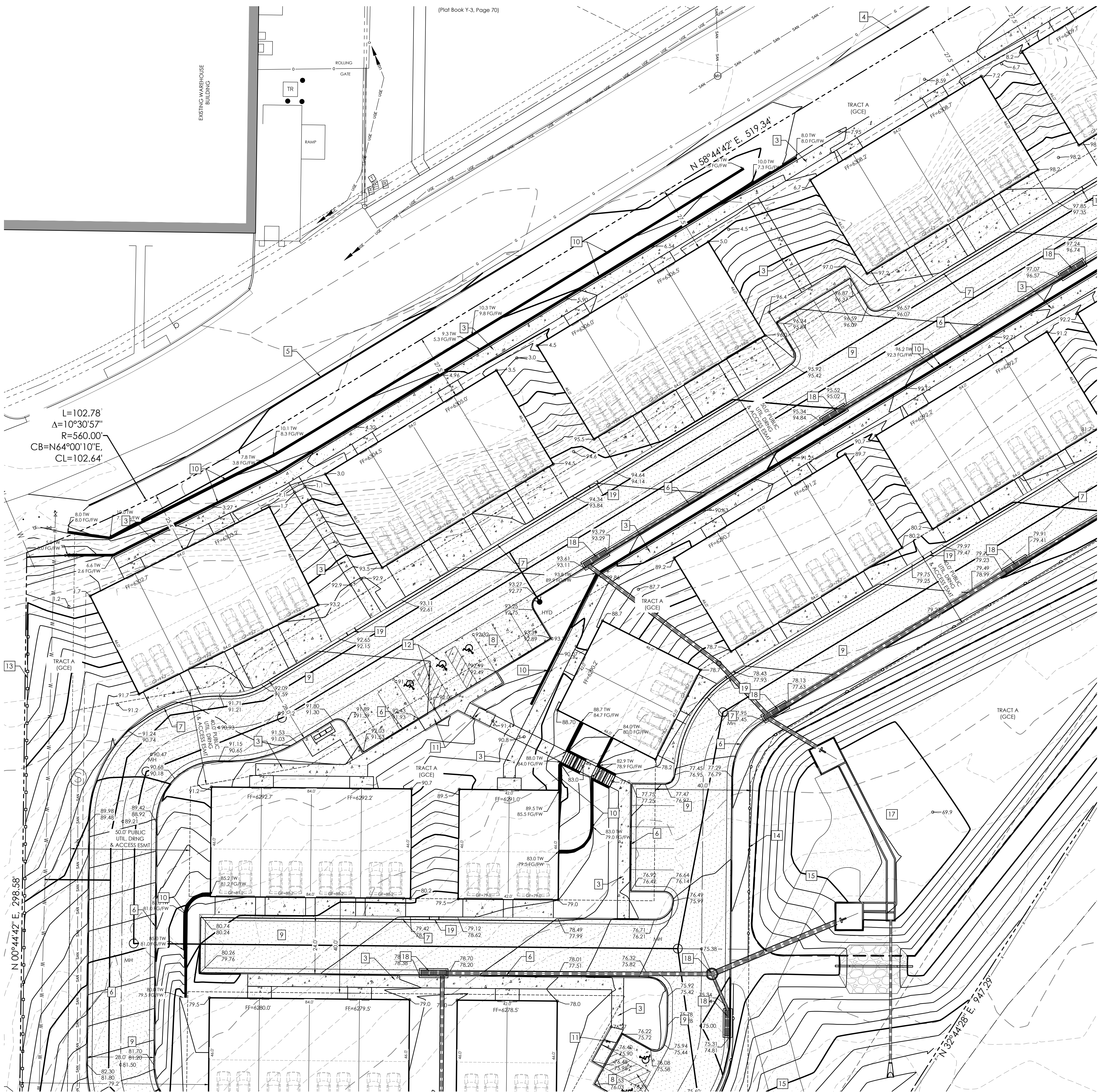
TOWNHOMES AT WESTERN  
LOT I, CIMARRON SOUTHEAST  
FILLING NO - 2C

GRADING & EROSION  
CONTROL PLAN  
GRADING PLAN

C1.3 MVE PROJECT 61203  
MVE DRAWING DEV-GP

MARCH 21, 2024  
SHEET 3 OF 8

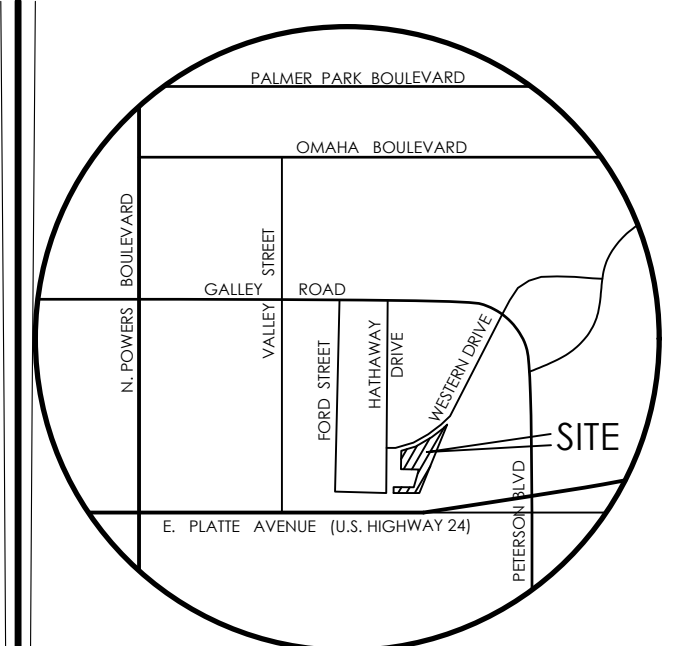
PCD FILE #



**SITE PLAN SPECIFIC NOTES**

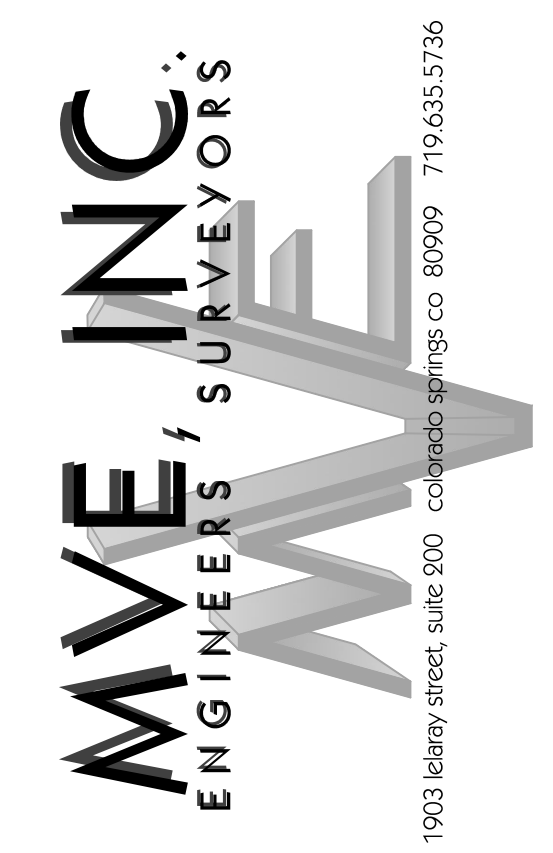
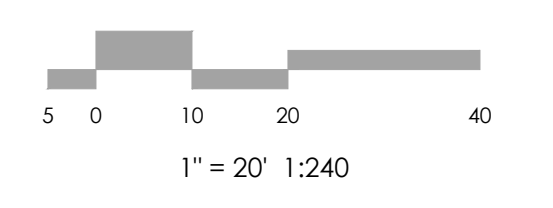
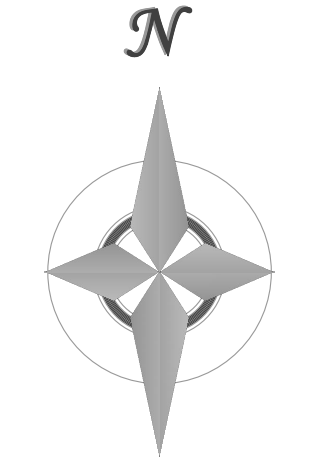
- 1 INSTALL 6' CROSS PAN (EPC DET SD\_2-26)
- 2 INSTALL PEDESTRIAN CURB RAMP (EPC DET SD\_2-41)
- 3 INSTALL 5' WIDE SIDEWALK (SEE DETAIL)
- 4 EXISTING EPC TYPE A CURB & GUTTER TO REMAIN
- 5 INSTALL EPC TYPE A CURB & GUTTER (PUBLIC) (EPC DET SD\_2-20)
- 6 INSTALL EPC TYPE A CURB & GUTTER (PRIVATE) (EPC DET SD\_2-20)
- 7 INSTALL EPC TYPE C CURB & GUTTER (EPC DET SD\_2-20)
- 8 INSTALL CONCRETE PAVEMENT (SEE DETAIL)
- 9 INSTALL ASPHALT PAVEMENT (SEE DETAIL)
- 10 INSTALL 4' HIGH MAX HEIGHT CONCRETE RETAINING WALL (SEE DETAIL)
- 11 INSTALL INTERIOR PEDESTRIAN CURB RAMP (SEE DETAIL)
- 12 INSTALL ADA PAVEMENT STRIPES (SEE DETAIL)
- 13 INSTALL 6' HIGH OPAQUE WOOD FENCE (SEE DETAIL)
- 14 INSTALL SPLIT RAIL WOOD FENCE
- 15 INSTALL GRAVEL ACCESS DRIVE
- 16 INSTALL CONCRETE PRIVACY WALL (SEE DETAIL)
- 17 INSTALL FULL SPECTRUM EXTENDED DETENTION BASIN (SEE CONSTRUCTION PLANS)
- 18 INSTALL STORM INLET / MANHOLE (PRIVATE) (SEE CONSTRUCTION PLANS)
- 19 4' CURB OPENING (SEE DETAIL)

NOTE: SEE CONSTRUCTION PLANS FOR NON-EROSION CONTROL DETAILS



**VICINITY MAP**  
NOT TO SCALE

BENCHMARK  
 1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR N00°44'42"E.  
 2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD88.



REVISIONS

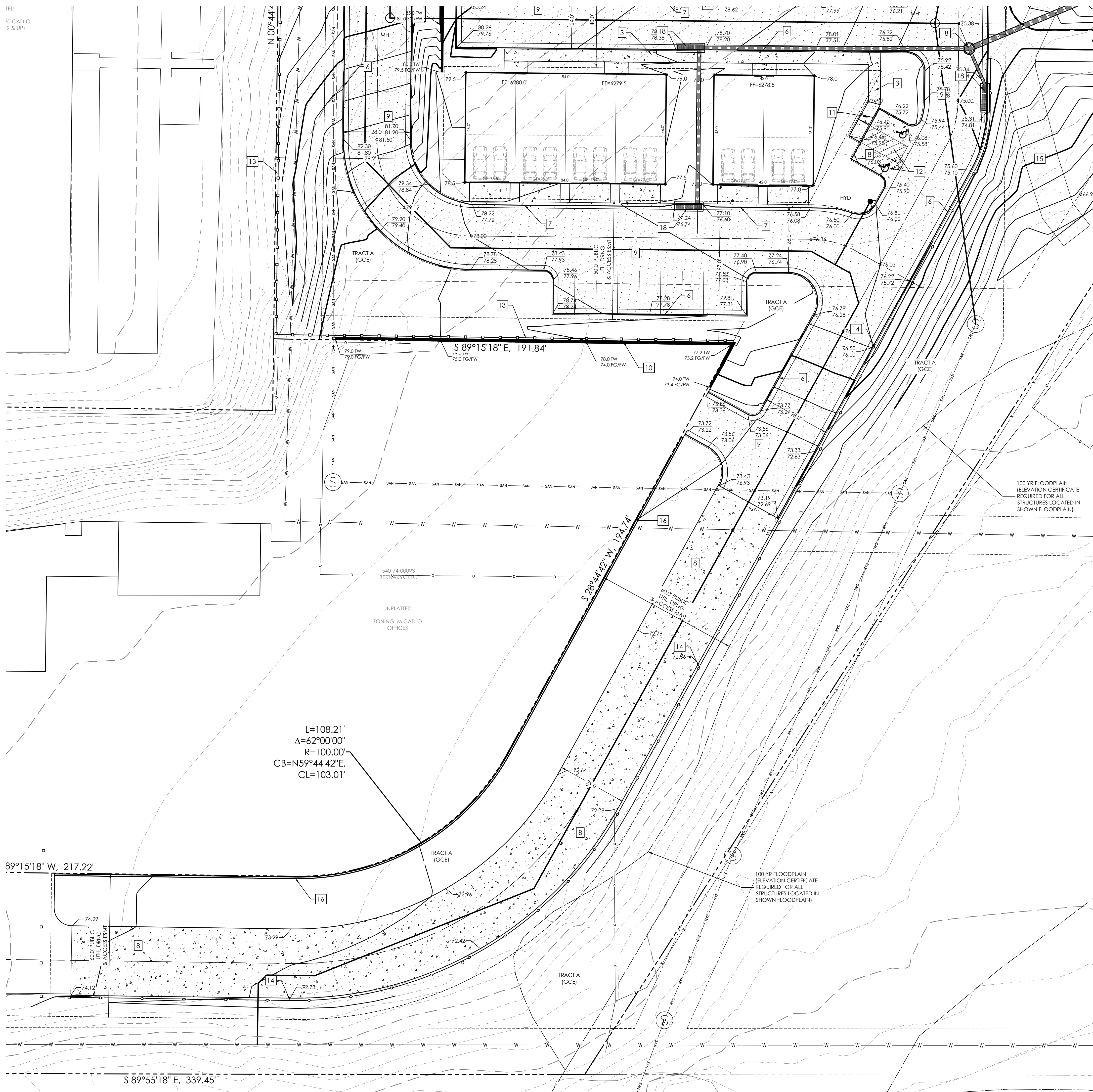
DESIGNED BY \_\_\_\_\_  
 DRAWN BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_  
 AS-BUILTS BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_

**TOWNHOMES AT WESTERN**  
 LOT I, CIMARRON SOUTHEAST  
 FILLING NO - 2C

**GRADING & EROSION  
 CONTROL PLAN  
 GRADING PLAN**

**C1.4** MVE PROJECT 61203  
 MVE DRAWING DEV-GP

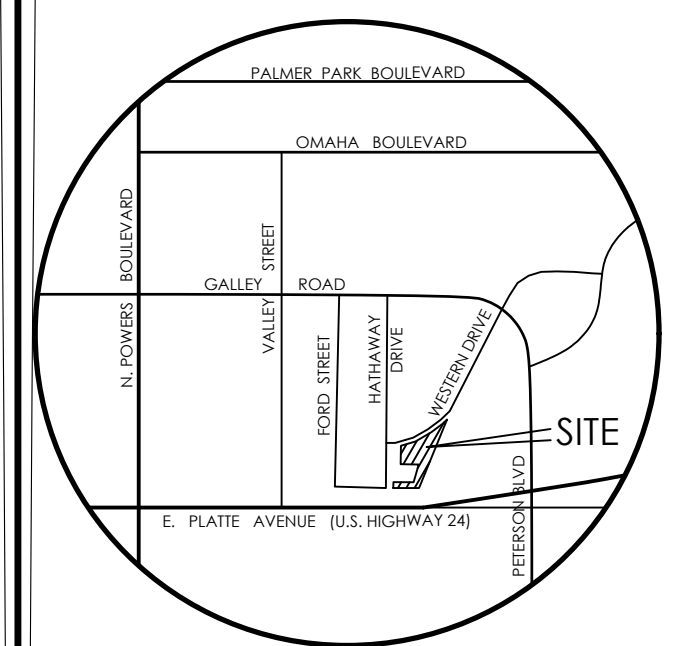
**MARCH 21, 2024**  
**SHEET 4 OF 8**



**SITE PLAN SPECIFIC NOTES**

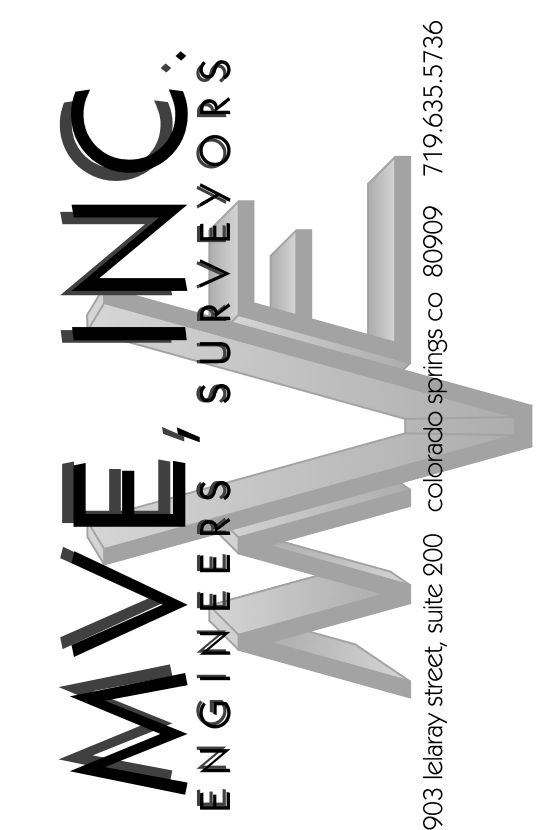
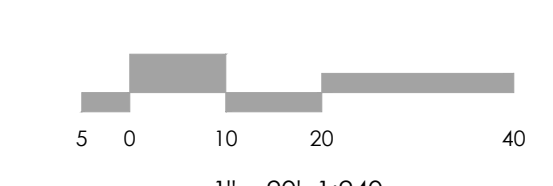
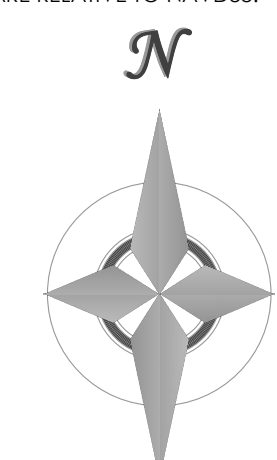
- 1 INSTALL 6' CROSS PAN (EPC DET SD\_2-26)
- 2 INSTALL PEDESTRIAN CURB RAMP (EPC DET SD\_2-41)
- 3 INSTALL 5' WIDE SIDEWALK (SEE DETAIL)
- 4 EXISTING EPC TYPE A CURB & GUTTER TO REMAIN
- 5 INSTALL EPC TYPE A CURB & GUTTER (PUBLIC) (EPC DET SD\_2-20)
- 6 INSTALL EPC TYPE A CURB & GUTTER (PRIVATE) (EPC DET SD\_2-20)
- 7 INSTALL EPC TYPE C CURB & GUTTER (EPC DET SD\_2-20)
- 8 INSTALL CONCRETE PAVEMENT (SEE DETAIL)
- 9 INSTALL ASPHALT PAVEMENT (SEE DETAIL)
- 10 INSTALL 4' HIGH MAX HEIGHT CONCRETE RETAINING WALL (SEE DETAIL)
- 11 INSTALL INTERIOR PEDESTRIAN CURB RAMP (SEE DETAIL)
- 12 INSTALL ADA PAVEMENT STRIPES (SEE DETAIL)
- 13 INSTALL 6' HIGH OPAQUE WOOD FENCE (SEE DETAIL)
- 14 INSTALL SPLIT RAIL WOOD FENCE
- 15 INSTALL GRAVEL ACCESS DRIVE
- 16 INSTALL CONCRETE PRIVACY WALL (SEE DETAIL)
- 17 INSTALL FULL SPECTRUM EXTENDED DETENTION BASIN (SEE CONSTRUCTION PLANS)
- 18 INSTALL STORM INLET / MANHOLE (PRIVATE) (SEE CONSTRUCTION PLANS)
- 19 4' CURB OPENING (SEE DETAIL)

NOTE: SEE CONSTRUCTION PLANS FOR NON-EROSION CONTROL DETAILS



**VICINITY MAP**  
NOT TO SCALE

BENCHMARK  
1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR N00°44'42"E.  
2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD88.



REVISIONS

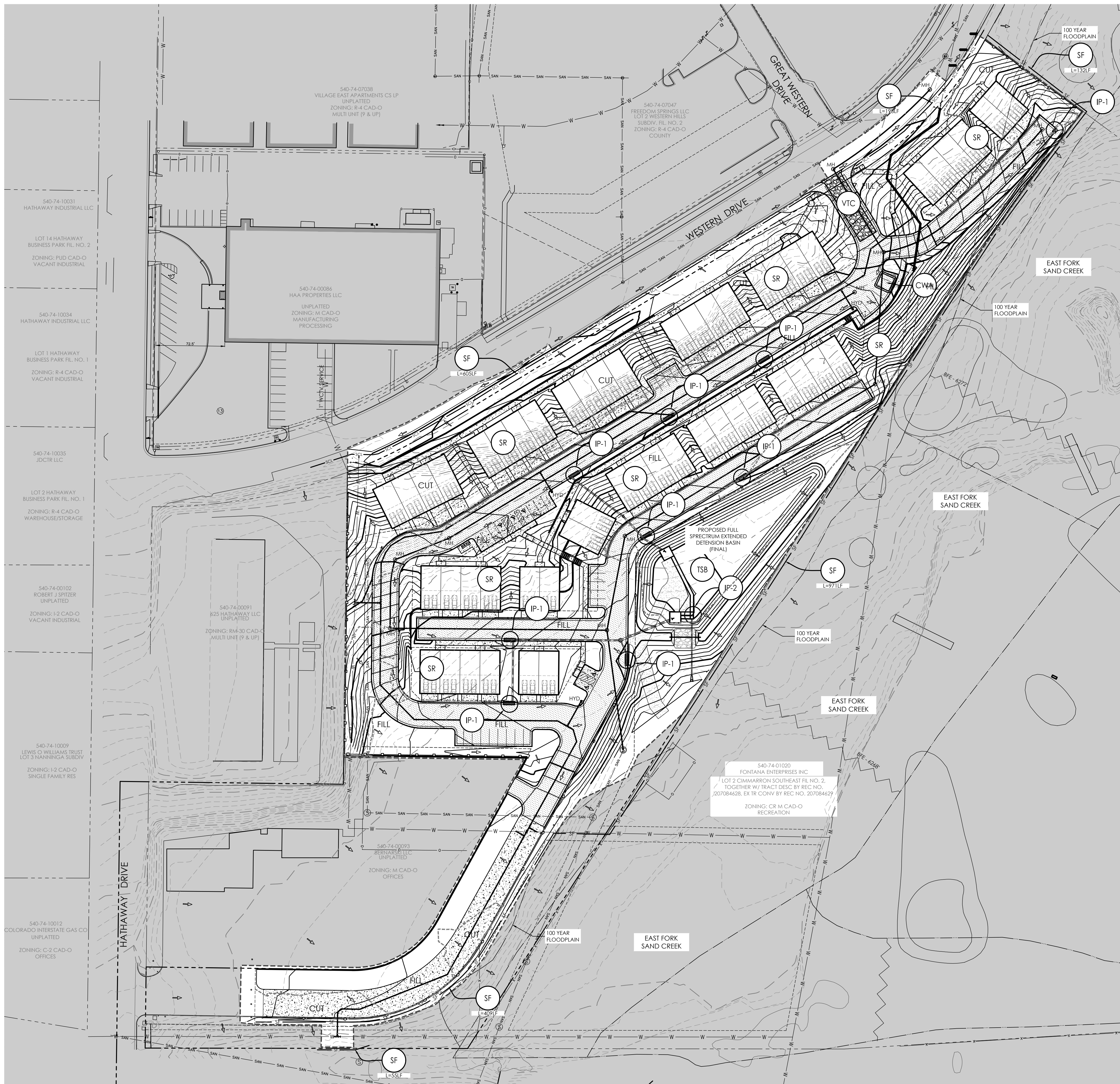
DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

**TOWNHOMES AT WESTERN**  
LOT I, CIMARRON SOUTHEAST  
FILING NO - 2C

**GRADING & EROSION  
CONTROL PLAN  
GRADING PLAN**

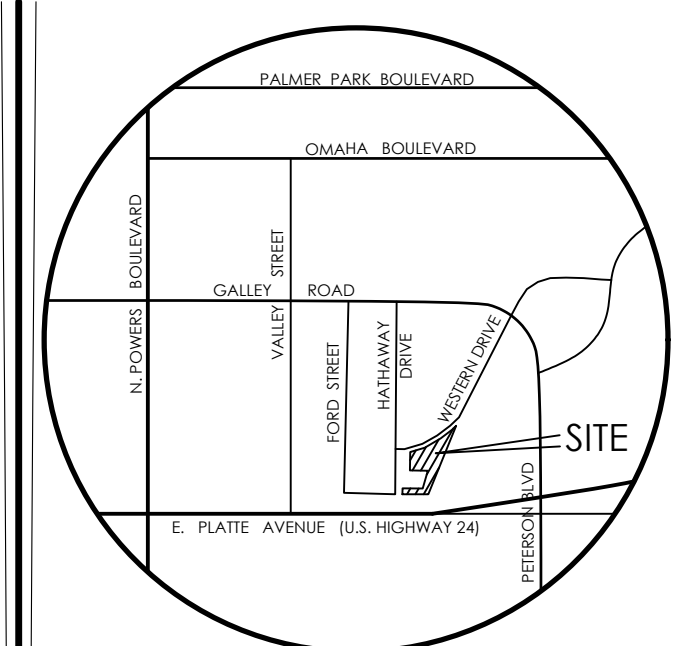
**C1.5** MVE PROJECT 61203  
MVE DRAWING DEV-GP

**MARCH 21, 2024**  
**SHEET 5 OF 8**



HYDROLOGIC SOIL GROUP	
MAP UNIT NUMBER	DESCRIPTION
8	BLAKELAND LOAMY SAND, 1 TO 9 PERCENT SLOPES

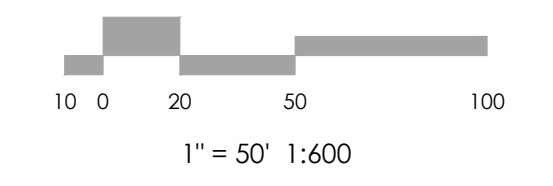
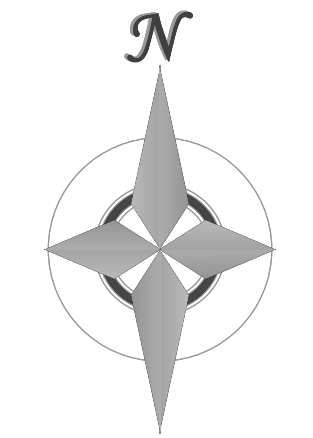
EROSION CONTROL DATA	
<b>TIMING</b>	ANTICIPATED START & COMPLETION TIME PERIOD OF SITE GRADING: FALL 2024 TO SPRING 2025
	EXPECTED DATE ON WHICH FINAL STABILIZATION WILL BE COMPLETED: SUMMER 2025
<b>AREAS</b>	TOTAL AREA OF SITE: 7.12
	AREA OF THE SITE TO BE CLEARED, EXCAVATED OR GRADED: 6.81 ACRES
<b>RECEIVING WATERS</b>	NAME OF RECEIVING WATERS: EAST FORK SAND CREEK
<b>SOIL DATA</b>	PRIMARY SOIL DESCRIPTION: SEE TABLE
	PERMEABILITY: RAPID
	SURFACE RUNOFF: SLOW
	HAZARD OF EROSION: MODERATE
	HYDROLOGIC SOIL GROUP: A
	EXISTING PERCENT IMPERVIOUS: 14.0%
	DEVELOPED PERCENT IMPERVIOUS: 50.2%



**VICINITY MAP**  
NOT TO SCALE

BENCHMARK  
1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR N00°44'42"E.

2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD88.



BMP LEGEND	
MAP SYMBOL	KEY DESCRIPTION
<b>INITIAL BMPs</b>	
	STABILIZED STAGING AREA (Initial BMP)
	SEDIMENT CONTROL LOG (Initial BMP)
	VEHICLE TRACKING CONTROL (Initial BMP)
	CONCRETE WASHOUT AREA (INITIAL BMP)
<b>INTERIM BMPs</b>	
	SURFACE ROUGHENING (INTERIM BMP)
	INLET PROTECTION (INTERIM BMP)
	TEMPORARY SEDIMENT BASIN (INTERIM BMP)
<b>FINAL BMPs</b>	
	MULCHING (Final BMP)
	PERMANENT SEEDING (Final BMP)
	SLOPE DIRECTION AND GRADE
	DRAINAGE FLOW ARROW
	LIMITS OF CONSTRUCTION/DISTURBANCE
	AREAS OF CUT / FILL

**GENERAL NOTES**

THERE IS NO SIGNIFICANT VEGETATION IN THE AREA OF DISTURBANCE. SEE LANDSCAPE PLANS FOR PROPOSED VEGETATION AND RESEEDING.

THERE ARE NOT ANY NO-BUILD AREAS INDICATED ON THIS PLAN.

STOCKPILE AND STAGING AREA WILL RELOCATE AS THE PROJECT MOVES FROM INITIAL TO FINAL STAGES. THE LOCATIONS FOR THESE AREAS SHALL BE ANNOTATED ON THIS PLAN BY THE SWMP ADMINISTRATOR.

**MVE, INC.**  
ENGINEERS / SURVEYORS

1903 Leary Street, Suite 200 Colorado Springs CO 80909 719.635.5736

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

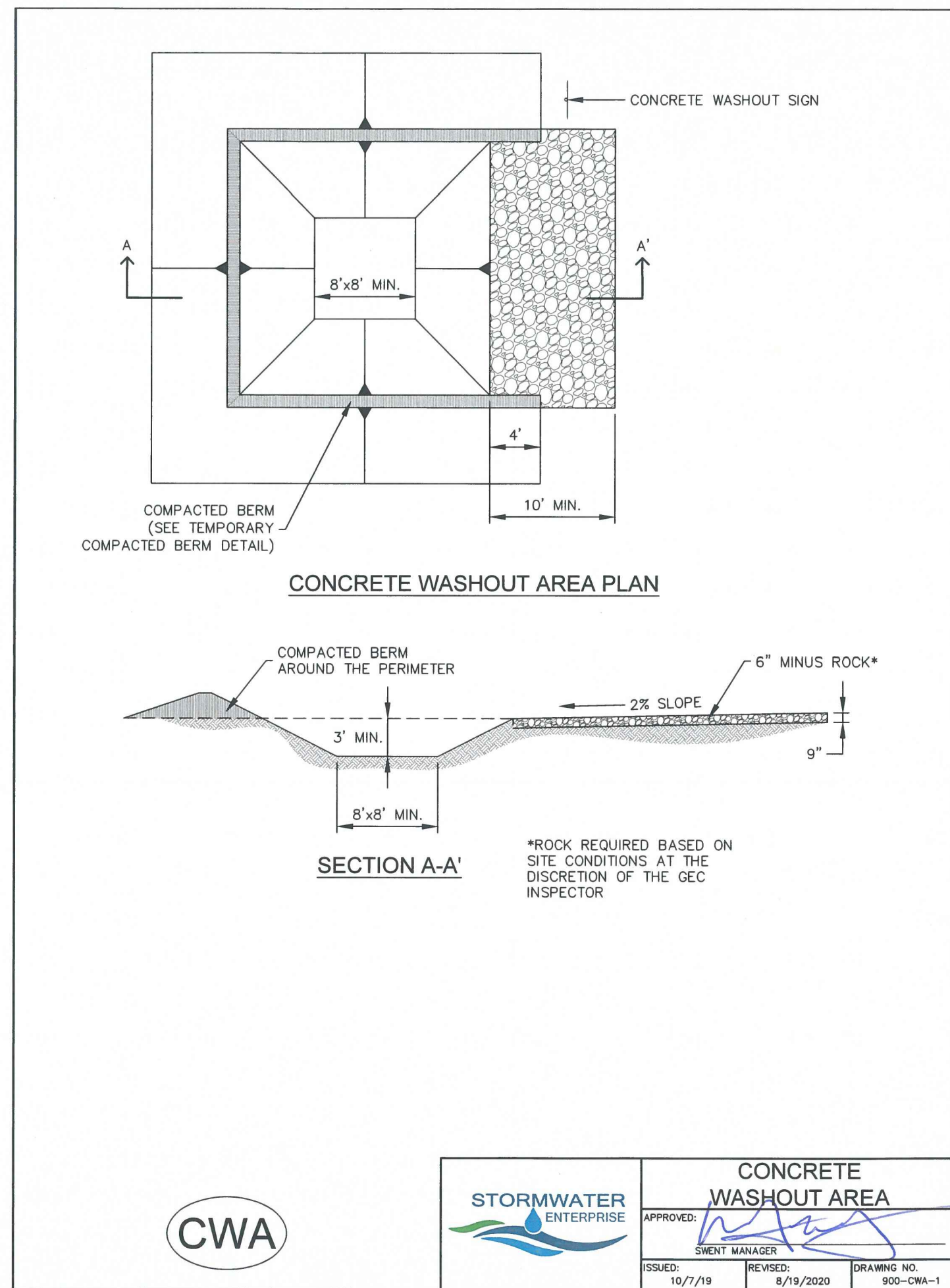
**TOWNHOMES AT WESTERN**  
LOT 1, CIMARRON SOUTHEAST FILLING NO - 2C

**GRADING & EROSION CONTROL PLAN**  
**EROSION CONTROL**

**C1.6** MVE PROJECT 61203  
MVE DRAWING GEC-EC

**MARCH 21, 2024**  
**SHEET 6 OF 8**

PCD PROJ. NO. :



CWA

**STORMWATER ENTERPRISE**

**CONCRETE WASHOUT AREA**

APPROVED: *[Signature]*

ISSUED: 10/7/19    REVISION: 8/19/2020    DRAWING NO. 900-CWA-1

**INSTALLATION NOTES**

- SEE PLAN VIEW FOR:
  - LOCATION OF CONCRETE WASHOUT AREA
  - LOCATE AT LEAST 50' AWAY FROM STATE WATERS MEASURED HORIZONTALLY.
  - AN IMPERMEABLE LINER (16 MIL. MINIMUM THICKNESS) IS REQUIRED IF CONCRETE WASH AREA IS LOCATED WITHIN 400' OF STATE WATERS OR 1000' OF WELLS OR DRINKING WATER SOURCES.
  - DO NOT LOCATE IN AREAS WHERE SHALLOW GROUNDWATER MAY BE PRESENT.
- CONCRETE WASH AREA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
- CONCRETE WASH AREA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8'.
- BERM SURROUNDING SIDES AND BACK OF CONCRETE WASH AREA SHALL HAVE A MINIMUM HEIGHT OF 2 FEET.
- CONCRETE WASH AREA ENTRANCE SHALL BE SLOPED 2% TOWARDS THE CONCRETE WASH AREA.
- SIGNS SHALL BE PLACED AT THE CONCRETE WASH AREA.
- USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

**MAINTENANCE NOTES**

- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- THE CONCRETE WASH AREA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS ACCUMULATED IN THE PIT SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 1/2 THE HEIGHT OF THE CONCRETE WASH AREA.
- CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE, AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
- THE CONCRETE WASH AREA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
- PERMANENTLY STABILIZE AREA AFTER CONCRETE WASH AREA IS REMOVED.

CWA

**STORMWATER ENTERPRISE**

**CONCRETE WASHOUT AREA**

APPROVED: *[Signature]*

ISSUED: 10/7/19    REVISION: 8/19/2020    DRAWING NO. 900-CWA-2

**MULCHING NOTES**

**INSTALLATION REQUIREMENTS**

- ALL DISTURBED AREAS MUST BE MULCHED WITHIN 21 DAYS AFTER FINAL GRADE AND SEEDED AREAS ARE TO BE MULCHED WITHIN 24 HOURS AFTER SEEDING.
- MATERIAL USED FOR MULCH CAN BE CERTIFIED CLEAN, WEED- AND SEED-FREE LONG STEMMED FIELD OR MARSH HAY, OR STRAW OF OATS, BARLEY, WHEAT, RYE, OR TRITICALE CERTIFIED BY THE COLORADO DEPARTMENT OF AGRICULTURE WEED FREE FORAGE CERTIFICATION PROGRAM.
- HYDRAULIC MULCHING MATERIAL SHALL CONSIST OF VIRGIN WOOD FIBER MANUFACTURED FROM CLEAN WHOLE WOOD CHIPS. WOOD CHIPS CANNOT CONTAIN ANY GROWTH OR GERMINATION INHIBITORS OR BE PRODUCED FROM RECYCLED MATERIAL. GRAVEL CAN ALSO BE USED.
- MULCH IS TO BE APPLIED EVENLY AT A RATE OF 2 TONS PER ACRE.
- MULCH IS TO BE ANCHORED EITHER BY CRIMPING (TUCKING MULCH FIBERS 4 INCHES INTO THE SOIL), USING NETTING (USED ON SMALL AREAS WITH STEEP SLOPES), OR WITH A TACKIFIER.
- HYDRAULIC MULCHING AND TACKIFIERS ARE NOT TO BE USED IN THE PRESENCE OF FREE SURFACE WATER.

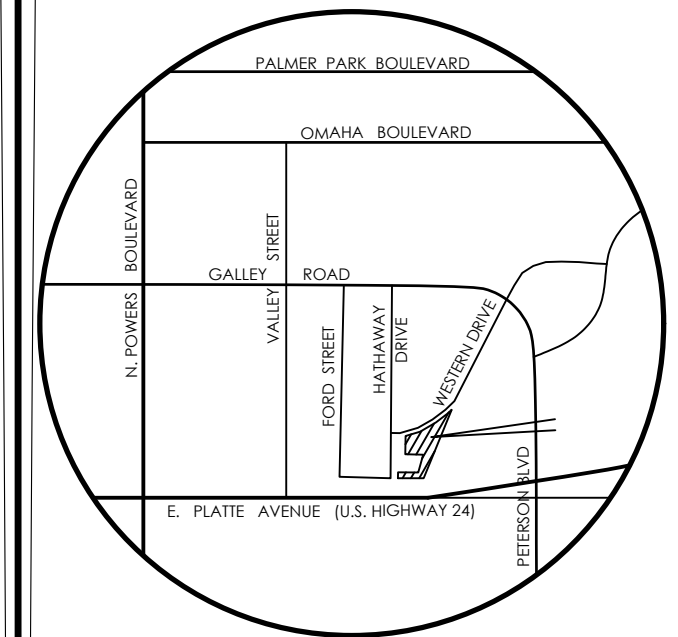
**MAINTENANCE REQUIREMENTS**

- REGULAR INSPECTIONS ARE TO BE MADE OF ALL MULCHED AREAS.
- MULCH IS TO BE REPLACED IMMEDIATELY IN THOSE AREAS IT HAS BEEN REMOVED, AND IF NECESSARY THE AREA SHOULD BE RESEDED.

MU

City of Colorado Springs  
Stormwater Quality

Figure MU-1  
Mulching  
Construction Detail and Maintenance  
Requirements



VICINITY MAP  
NOT TO SCALE

BENCHMARK  
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD 88.

**MVE, INC.**  
ENGINEERS / SURVEYORS

1903 Leary Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

TOWNHOMES AT WESTERN  
LOT 1, CIMARRON SOUTHEAST  
FILLING NO - 2C

GRADING & EROSION  
CONTROL PLAN  
EROSION DETAILS 1

C1.7 MVE PROJECT 61203  
MVE DRAWING GEC-ED1

MARCH 21, 2024  
SHEET 7 OF 8

**RECOMMENDED ANNUAL GRASSES**

SPECIES (COMMON NAME)	GROWTH SEASON	SEEDING DATE	POUNDS OF PURE LIVE SEED (PLS) (PLS/ACRE)	PLANTING DEPTH (INCHES)
1. OATS	COOL	MARCH 16 - APRIL 30	35-50	1-2
2. SPRING WHEAT	COOL	MARCH 16 - APRIL 30	25-35	1-2
3. SPRING BARLEY	COOL	MARCH 16 - APRIL 30	25-35	1-2
4. ANNUAL RYEGRASS	COOL	MARCH 16 - JUNE 30	10-15	1/2
5. MILLET	WARM	MAY 16 - JULY 15	3-15	1/2-3/4
6. SUDANGRASS	WARM	MAY 16 - JULY 15	5-10	1/2-3/4
7. SORGHUM	WARM	MAY 16 - JULY 15	5-10	1/2-3/4
8. WINTER WHEAT	COOL	SEPTEMBER 1 - 30	20-35	1-2
9. WINTER BARLEY	COOL	SEPTEMBER 1 - 30	20-35	1-2
10. WINTER RYE	COOL	SEPTEMBER 1 - 30	20-35	1-2
11. TRITICALE	COOL	SEPTEMBER 1 - 30	25-40	1-2

THIS TABLE WAS TAKEN FROM UDFCD FOR RECOMMENDED ANNUAL GRASSES FOR THE DENVER METROPOLITAN AREA. THIS TABLE MAY BE USED UNLESS A SITE-SPECIFIC SEED MIX IS REQUESTED AND APPROVED.

**TABLE TS-1**

**TEMPORARY SEEDING NOTES**

**INSTALLATION REQUIREMENTS**

- DISTURBED AREAS ARE TO BE SEEDED WITHIN 21 DAYS AFTER CONSTRUCTION ACTIVITY OR GRADING ENDS IF SEASON ALLOWS.
- IF NECESSARY, SOIL IS TO BE CONDITIONED FOR PLANT GROWTH BY APPLYING TOPSOIL, FERTILIZER, OR LIME.
- SOIL IS TO BE TILLED IMMEDIATELY PRIOR TO APPLYING SEEDS. COMPACT SOILS ESPECIALLY NEED TO BE LOOSENEED.
- SEEDBED DEPTH IS TO BE 4 INCHES FOR SLOPES FLATTER THAN 2:1, AND 1 INCH FOR SLOPES STEEPER THAN 2:1.
- ANNUAL GRASSES LISTED IN TABLE TS-1 ARE TO BE USED FOR TEMPORARY SEEDING. SEED MIXES ARE NOT TO CONTAIN ANY NOXIOUS WEED SEEDS INCLUDING RUSSIAN OR CANADIAN THISTLE, KNAPWEED, PURPLE LOOSESTRIPE, EUROPEAN BINDWEED, JOHNSON GRASS, AND LEAFY SPURGE.
- TABLE TS-1 ALSO PROVIDES REQUIREMENTS FOR SEEDING RATES, SEEDING DATES, AND PLANTING DEPTHS FOR THE APPROVED TYPES OF ANNUAL GRASSES.
- SEEDING IS TO BE APPLIED USING MECHANICAL TYPE DRILLS EXCEPT WHERE SLOPES ARE STEEP OR ACCESS IS LIMITED THEN HYDRAULIC SEEDING MAY BE USED.
- ALL SEEDED AREAS ARE TO BE MULCHED (SEE FACTSHEET ON MULCHING).
- IF HYDRAULIC SEEDING IS USED THEN HYDRAULIC MULCHING SHALL BE DONE SEPARATELY TO AVOID SEEDS BECOMING ENCAPSULATED IN THE MULCH.

**MAINTENANCE REQUIREMENTS**

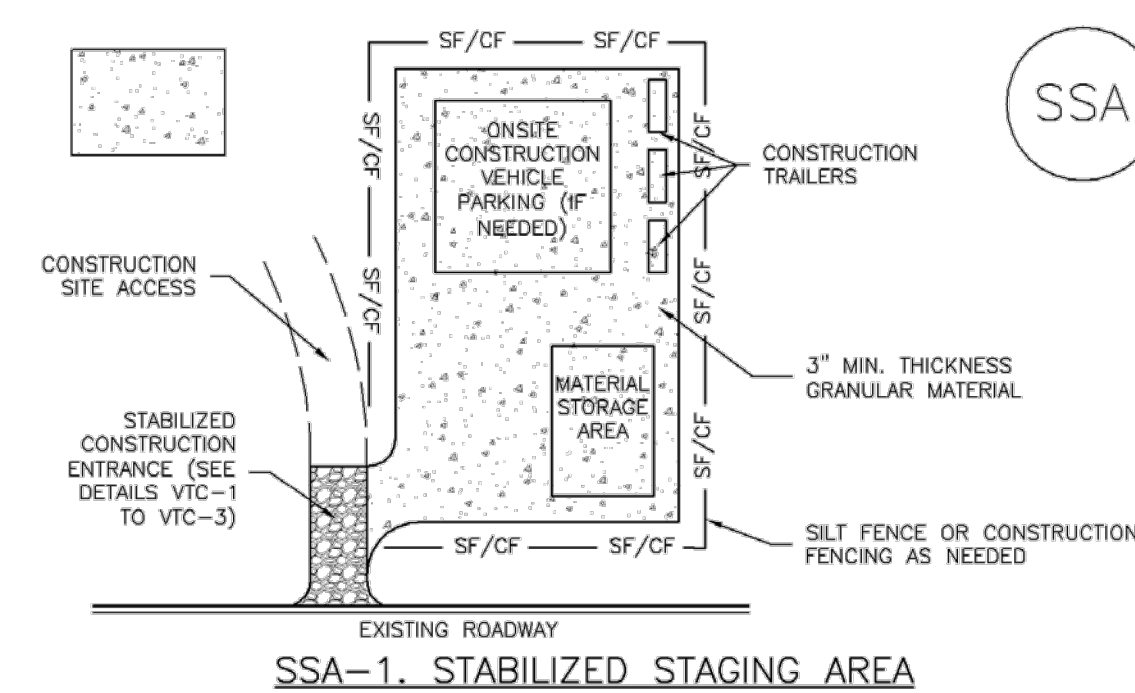
- REGULAR INSPECTIONS ARE TO BE MADE OF ALL SEEDED AREAS TO ENSURE GROWTH.
- AREAS WHERE GROWTH IS NOT OCCURRING QUICKLY OR THE MULCH HAS BEEN REMOVED SHALL BE RE-SEEDED AS SOON AS POSSIBLE AND RE-MULCHED IF NEEDED.
- SEEDED AREAS ARE NOT TO BE DRIVEN OVER WITH CONSTRUCTION EQUIPMENT OR VEHICLES.

PS

City of Colorado Springs  
Stormwater Quality

Figure TS-1  
Temporary Seeding  
Construction Detail and Maintenance  
Requirements

**Stabilized Staging Area (SSA) SM-6**



SSA

SSA-1. STABILIZED STAGING AREA

**STABILIZED STAGING AREA INSTALLATION NOTES**

- SEE PLAN VIEW FOR:
  - LOCATION OF STAGING AREA(S).
  - CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
- STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
- STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
- THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
- ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

**STABILIZED STAGING AREA MAINTENANCE NOTES**

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.

November 2010    Urban Drainage and Flood Control District    SSA-3  
Urban Storm Drainage Criteria Manual Volume 3

**SM-6 Stabilized Staging Area (SSA)**

SSA

**STABILIZED STAGING AREA MAINTENANCE NOTES**

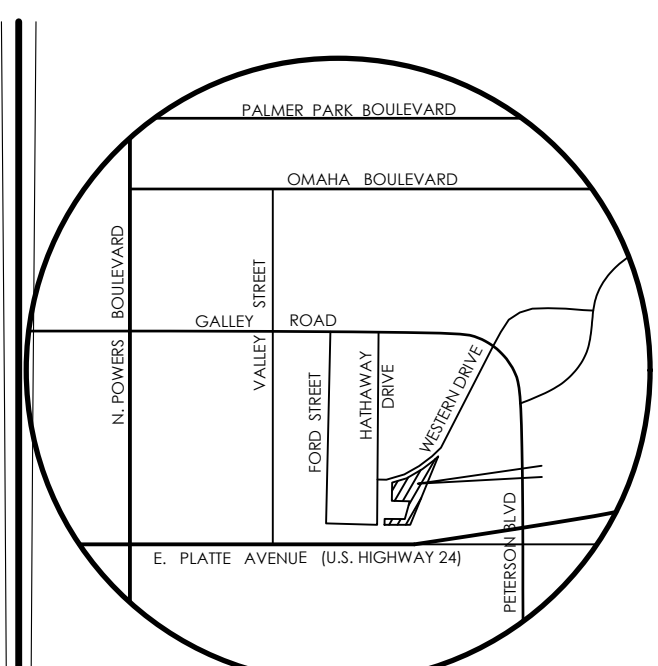
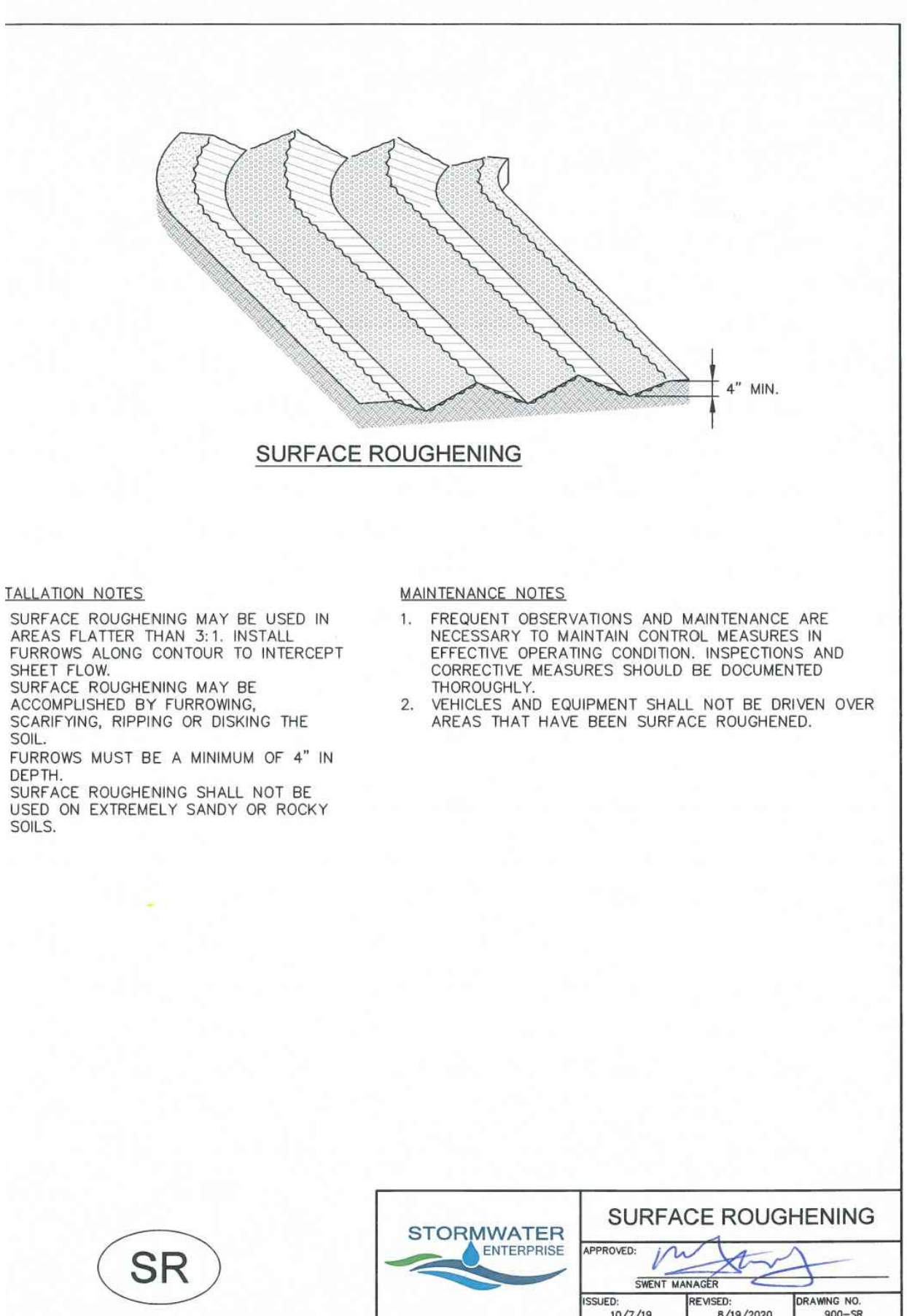
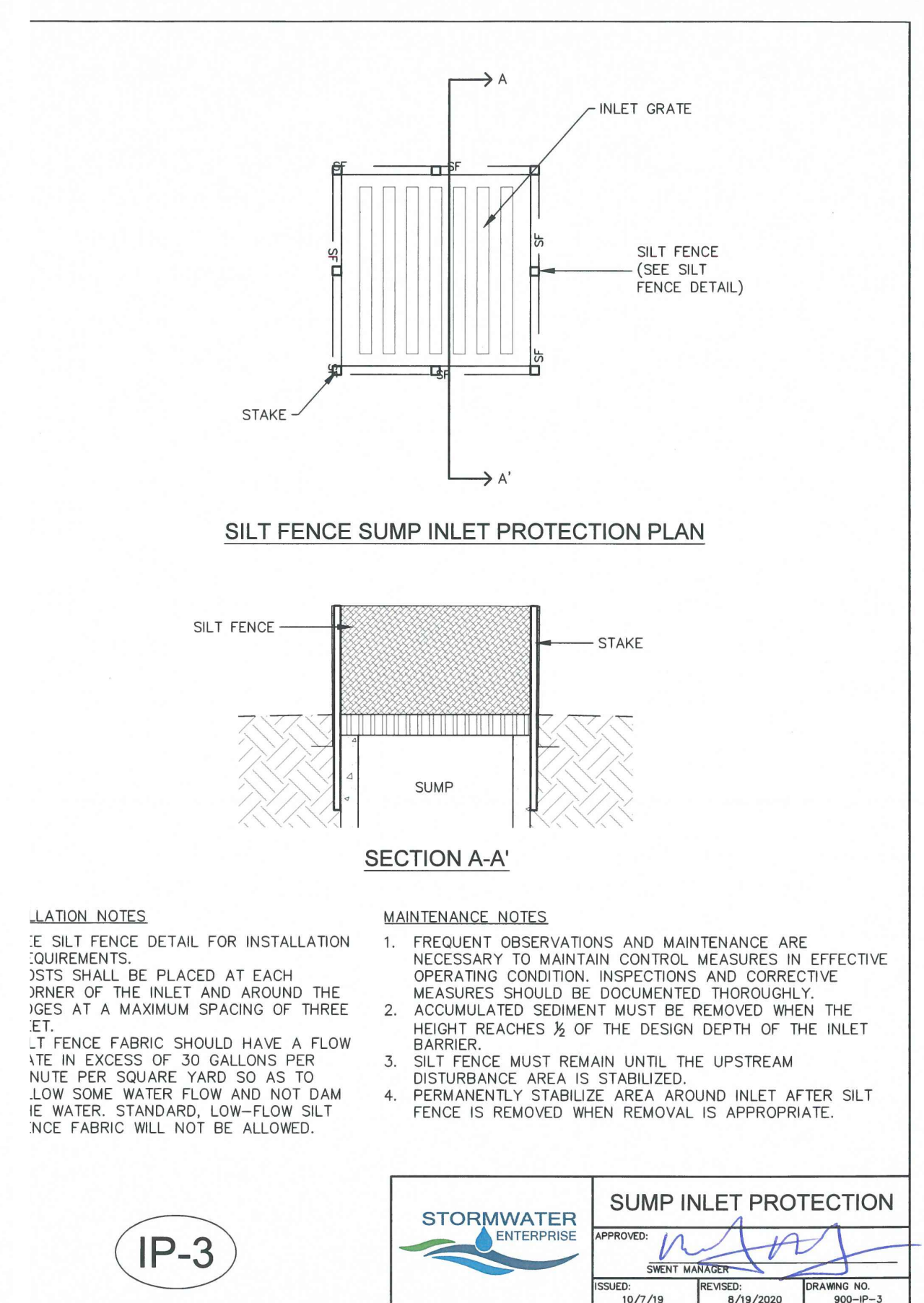
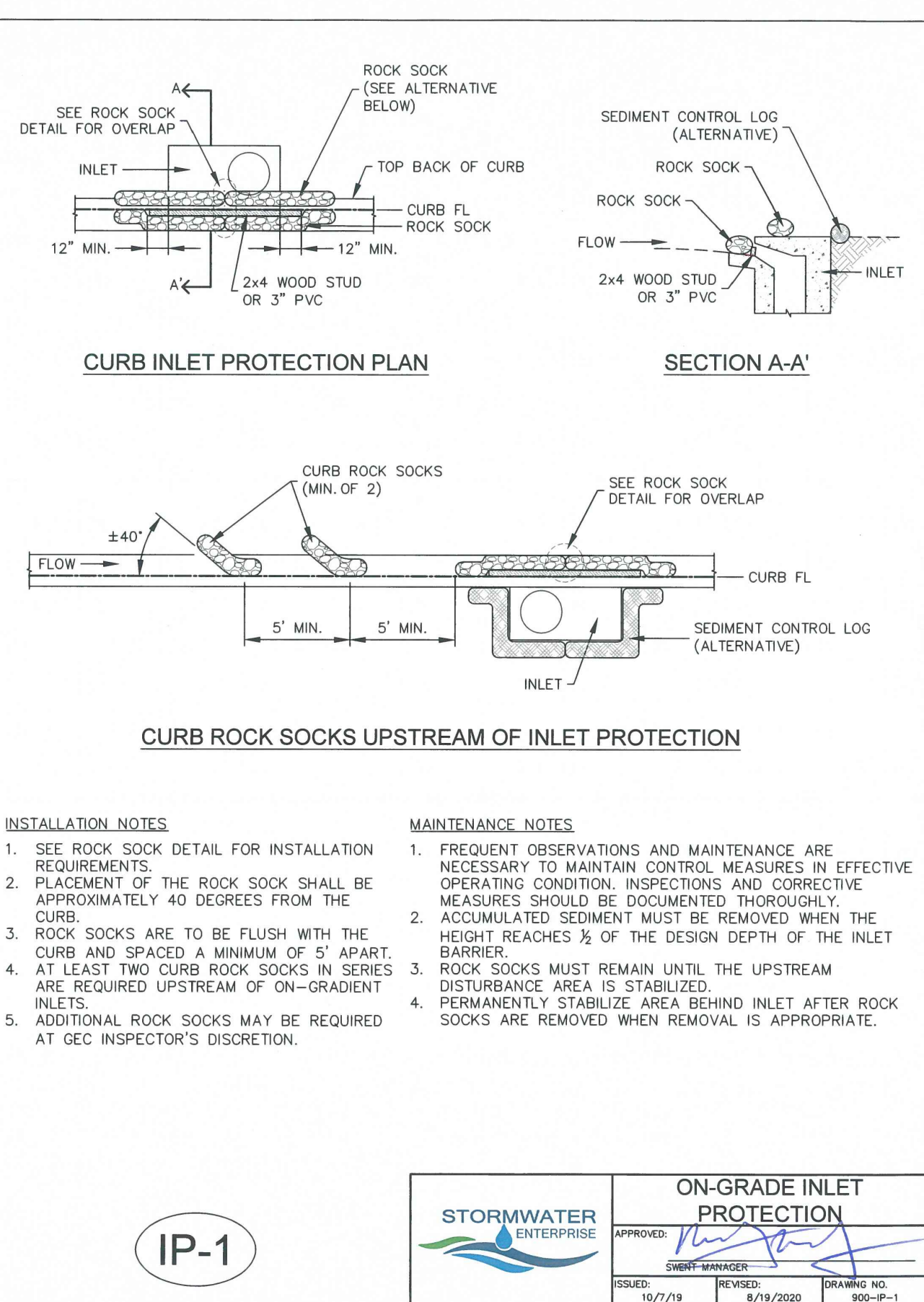
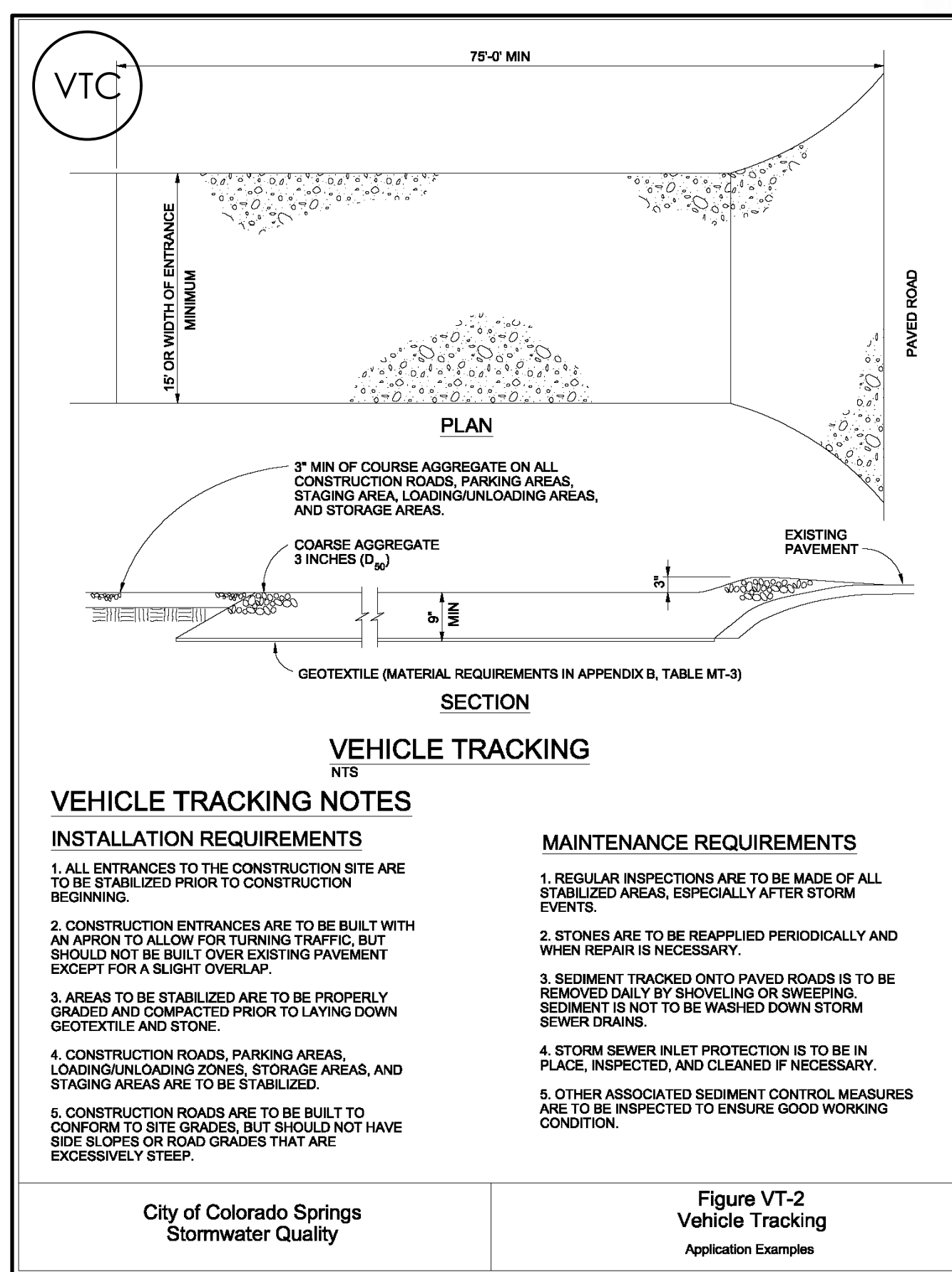
- STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS.
- THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION.

NOTE: MANY MUNICIPALITIES PROHIBIT THE USE OF RECYCLED CONCRETE AS GRANULAR MATERIAL FOR STABILIZED STAGING AREAS DUE TO DIFFICULTIES WITH RE-ESTABLISHMENT OF VEGETATION IN AREAS WHERE RECYCLED CONCRETE WAS PLACED.

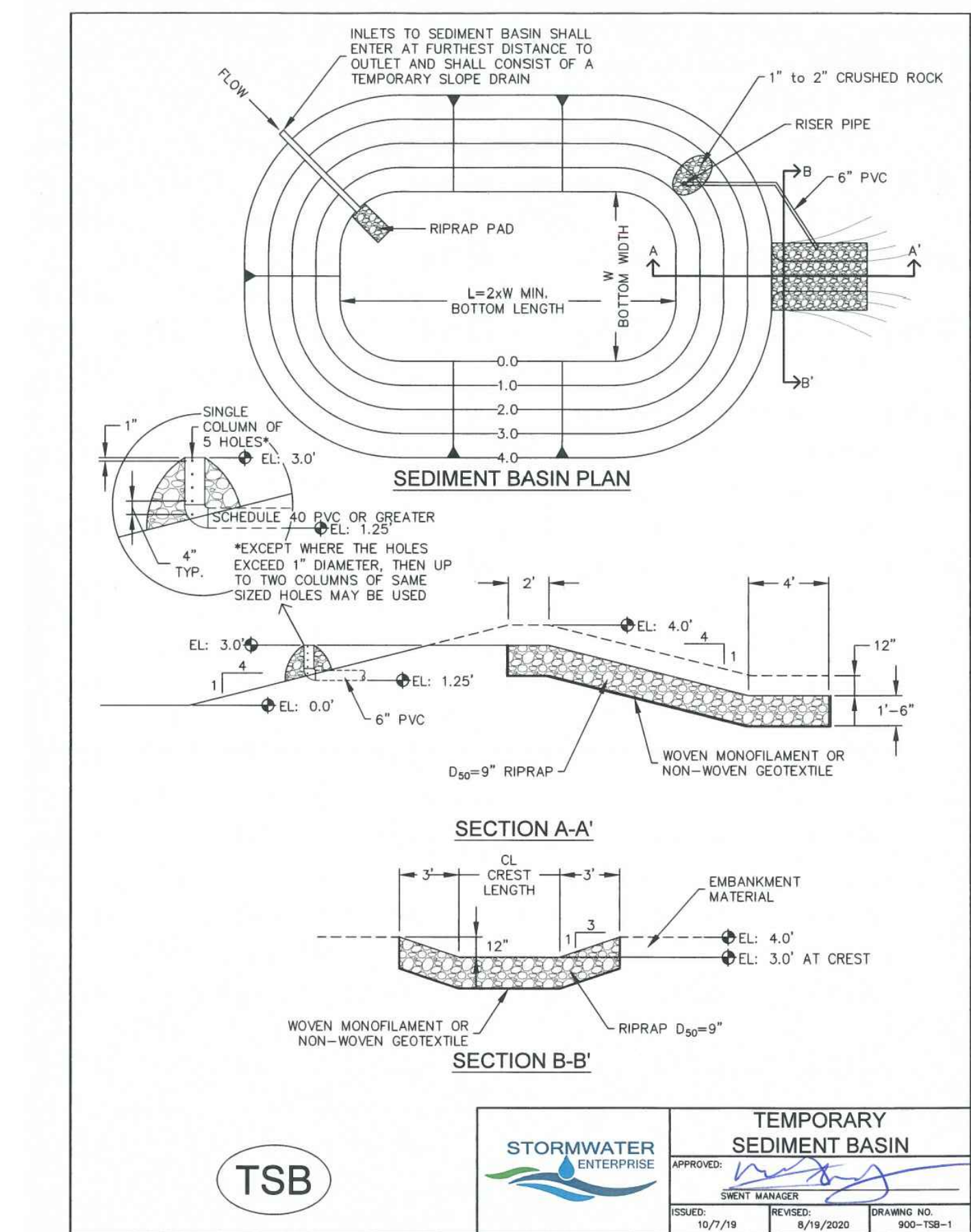
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO, NOT AVAILABLE IN AUTOCAD)

SSA-4    Urban Drainage and Flood Control District    November 2010  
Urban Storm Drainage Criteria Manual Volume 3



BENCHMARK



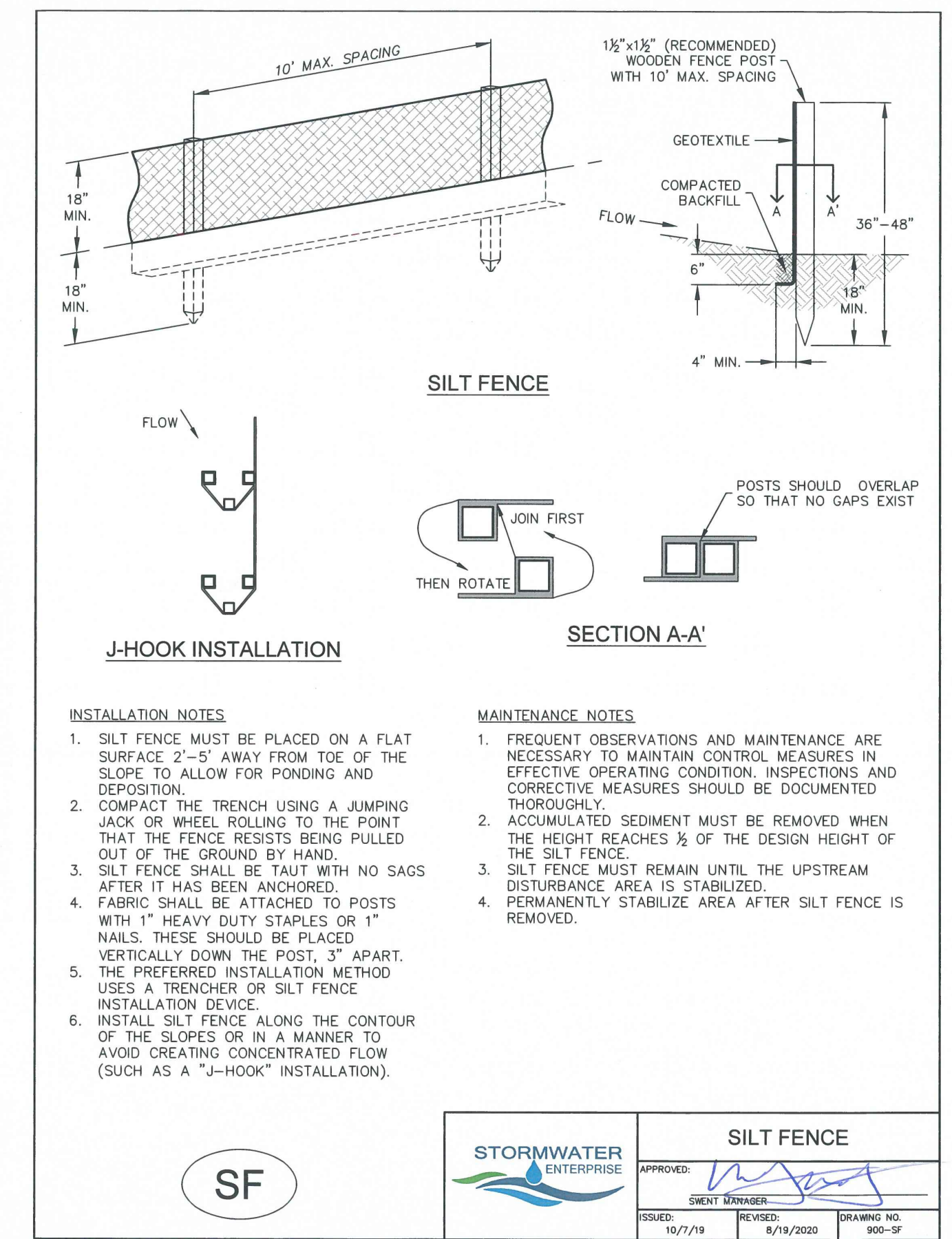
**TABLE SB-1, SIZING INFORMATION FOR STANDARD SEDIMENT BASIN**

UPSTREAM DRAINAGE AREA (ROUNDED TO NEAREST ACRE), (AC)	BASIN BOTTOM WIDTH (W), (FT)	SPILLWAY CREST LENGTH (L), (FT)	HOLE DIAMETER (HD), (IN)
1	12 1/2	2	3/4
2	21	3	1
3	28	5	1 1/4
4	33 1/2	6	1 1/2
5	39 1/2	8	1 3/4
6	43	9	1 3/4
7	47 1/4	11	1 3/4
8	51	12	1 3/4
9	55	13	1 3/4
10	58 1/4	15	1 3/4
11	61	16	1 3/4
12	64	18	1 3/4
13	67 1/2	19	1 3/4
14	70 1/2	21	1 3/4
15	73 1/2	22	1 3/4

STORMWATER ENTERPRISE

TEMPORARY SEDIMENT BASIN

ISSUED: 10/7/19 REVISED: 6/19/2020 DRAWING NO: 900-TSB-2



DESIGNED BY  
DRAWN BY  
CHECKED BY  
AS-BUILTS BY  
CHECKED BY

TOWNHOMES AT WESTERN  
LOT 1, CIMARRON SOUTHEAST  
FILLING NO - 2C

GRADING & EROSION  
CONTROL PLAN  
EROSION DETAILS 2

C1.8 MVE PROJECT 61203  
MVE DRAWING GEC-ED2

MARCH 21, 2024  
SHEET 8 OF 8

