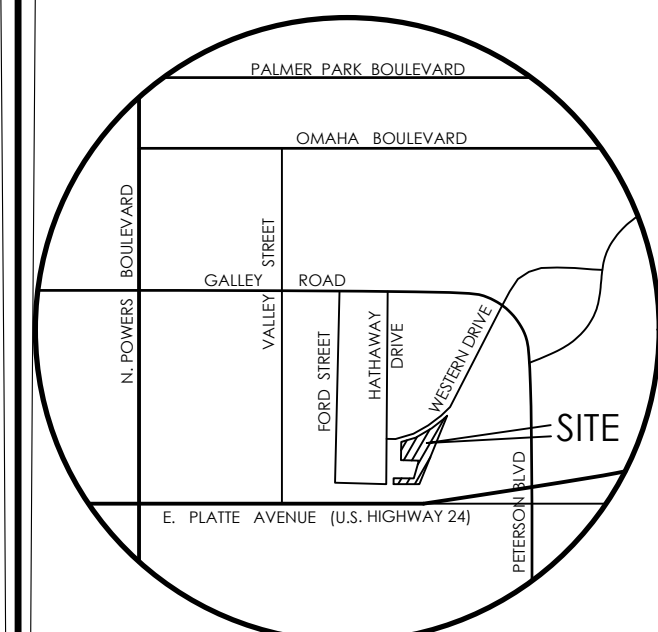


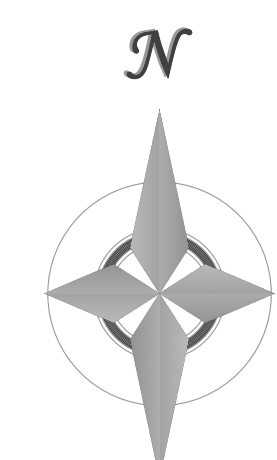
SITE DEVELOPMENT PLAN FOR TOWNHOMES AT WESTERN

LOT 1, CIMARRON SOUTHEAST FILING NO. 2C
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN,
EL PASO COUNTY, COLORADO



VICINITY MAP
NOT TO SCALE

BENCHMARK
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD '88.



1" = 100' 1:1,200



REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

TOWNHOMES AT WESTERN

LOT 1, CIMARRON SOUTHEAST FILING NO. 2C

COVER SHEET

DP-1 MVE PROJECT 61203
MVE DRAWING DEV-CS

JULY 11, 2024
SHEET 1 OF 6

PCD FILE # PPR-24-15

SITE DATA

OWNER / DEVELOPER J. ELLIOTT HOMES, INC. 13761 BANDANERO DRIVE PEYTON, CO 80831 PH (719) 499-8214	COVERAGE DATA
	52 TOWNHOME UNITS (966 EA) 50,232 SF 16.2%
	PAVEMENT (PARKING/WALK) 107,647 SF 34.7%
	LANDSCAPING 152,190 SF 49.1%
	TOTAL AREA 310,069 SF 100.0% = 7.118± ACRES
CONSULTANT/ENGINEER M.V.E. INC. 1903 LELARAY STREET, SUITE 200 COLORADO SPRINGS, CO 80909 (719) 635-5736	PARKING DATA
	52 MULTI-FAMILY RESIDENTIAL UNITS (3 BEDROOM)
	REQUIRED PARKING: 2.0 SPACES / 3 BEDROOM UNIT = 2.0 X 52 = 104
	GUEST REQUIRED: 1 SPACE / 4 UNITS = 52 / 4 = 5
	ADA SPACES REQUIRED: = 122
SURVEYOR POLARIS SURVEYING, INC. 1903 LELARAY STREET, SUITE 102 COLORADO SPRINGS, CO 80909 (719) 448-0844	PROVIDED:
	GARAGES: = 104
	OUTSIDE PARKING (GUEST): (9' x 18' SPACES) = 33
	ADA SPACES: (8'x18' w/ 8' AISLE OR 9'x18' w/ 5' AISLE) = 5
	TOTAL SPACES PROVIDED: = 142 SPACES
ZONING RESIDENTIAL MULTI-DWELLING (RM-30)	BUILDING TYPE
	BUILDING AREA - 3,864 SF
	TWO / THREE STORY - TYPE II-B
	NOT FIRE SPRINKLED / NO FIRE WALLS
BUILDING USE TOWN HOMES	BUILDING HEIGHT
	40 FT MAX. (THREE STORY)
CONSTRUCTION SCHEDULE START: FALL 2024 FINISH: FALL 2025	SET BACKS
	25' FRONT (WESTERN DRIVE)
	15' REAR
	15' SIDE
	25' PERIMETER BOUNDARY
TAX SCHEDULE NO. 5407401016	
PROPERTY ADDRESS 721 WESTERN DRIVE COLORADO SPRINGS, CO 80915	

LEGAL DESCRIPTION
LOT 1, CIMARRON SOUTHEAST FILING NO. 2C AS RECORDED IN PLAT BOOK H-3 AT PAGE 89 OF THE RECORDS OF EL PASO COUNTY, COLORADO
CONTAINING A CALCULATED AREA OF 7.118 ACRES, MORE OR LESS.

- DEVELOPMENT NOTES:**
1. WATER SERVICE PROVIDED BY CHEROKEE METROPOLITAN DISTRICT.
 2. SEWER SERVICE PROVIDED BY CHEROKEE METROPOLITAN DISTRICT.
 3. GAS AND ELECTRIC SERVICE PROVIDED BY COLORADO SPRINGS UTILITIES.
 4. OWNERSHIP AND MAINTENANCE OF THE GENERAL COMMON ELEMENT (GCE), TRACT A SHALL BE VESTED TO THE TOWNHOMES AT WESTERN HOME OWNERS ASSOCIATION. THIS INCLUDES THE MAINTENANCE OF THE PRIVATE ROADS, COMMON AREAS, ETC.
 5. TRASH COLLECTION SHALL BE VIA INDIVIDUAL COLLECTION BINS STORED IN EACH UNIT. THERE IS NO COMMON COLLECTION POINT OR COMMUNAL GARBAGE RECEPTACLES IN THIS DEVELOPMENT.

ADA NOTE
THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

FLOODPLAIN STATEMENT
A PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA'S) ZONE AE AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0754 G, EFFECTIVE DECEMBER 7, 2018.
PORTION OF THE PROPERTY SHOWN WITHIN THE ZONE AE FLOODPLAIN WAS REMOVED PER LOMA CASE NO. 24-08-0470A.

- MAP NOTES**
1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR N00°44'42"E.
 2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD88.
 3. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.

LEGEND

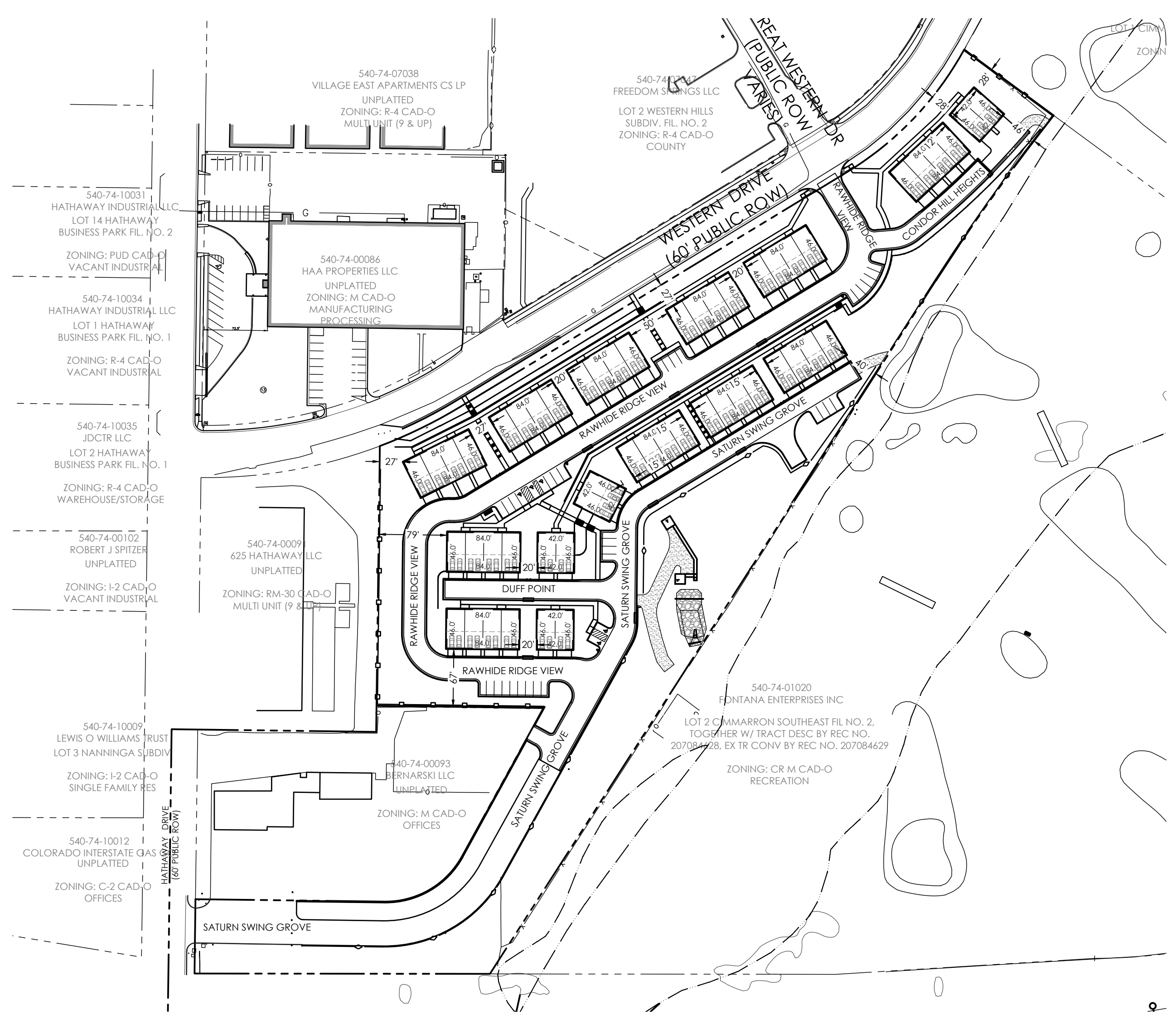
-----	PROPERTY LINE	-----	INDEX CONTOUR
-----	EASEMENT LINE	-----	INTERMEDIATE CONTOUR
-----	LOT LINE	-----	CONCRETE AREA
-----	BUILDING SETBACK LINE	-----	ASPHALT AREA
-----	ADJACENT PROPERTY LINE	-----	CURB AND GUTTER
-----		-----	BUILDING/ BUILDING OVERHANG
-----		-----	DECK
-----		-----	RETAINING WALL - SOLID/ ROCK
-----		-----	SIGN
-----		-----	BOLLARD
-----		-----	WOOD FENCE
-----		-----	CHAIN LINK FENCE
-----		-----	BARBED WIRE FENCE
-----		-----	TREE (EVERGREEN/DECIDUOUS)
-----		-----	SHRUB
-----		-----	ROCK

ABBREVIATION LEGEND

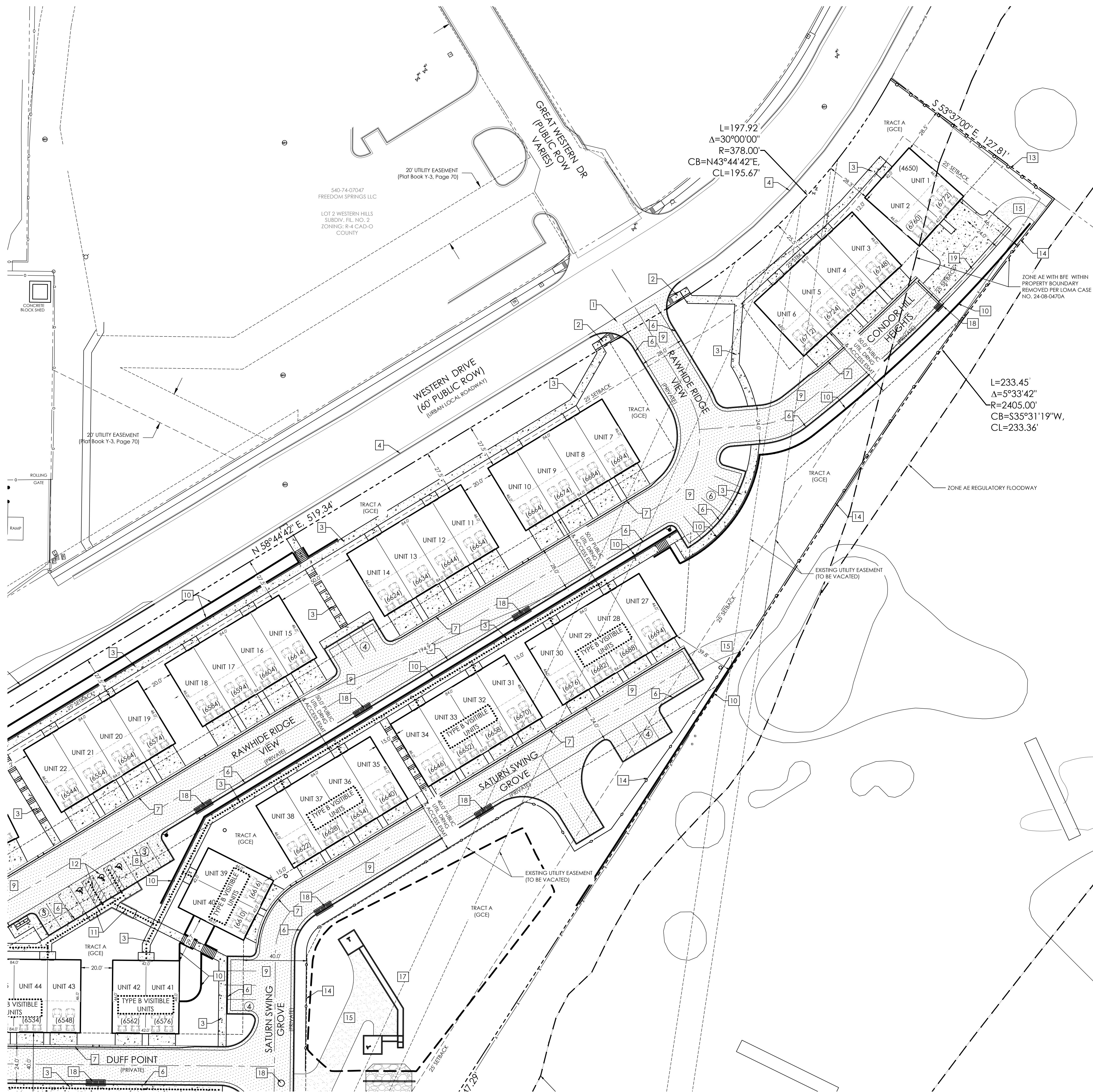
ASPH	ASPHALT
CONC	CONCRETE
C & G	CURB & GUTTER
DET.	DETAIL
ESMT	EASEMENT
ME	MATCH EXISTING
P.B., PG.	PLAT BOOK, PAGE
PVMT	PAVEMENT
RET. WALL	RETAINING WALL
REC. NO.	RECEPTION NUMBER
R.O.W.	RIGHT-OF-WAY
SF	SQUARE FOOT
STBK	SETBACK
SW	SIDEWALK
UTIL	UTILITY
Ⓢ	CATCH CURB
Ⓣ	SPILL CURB

SHEET INDEX

SITE DEVELOPMENT PLAN	
DP-1	COVER SHEET
DP-2	SITE PLAN (NORTH)
DP-3	SITE PLAN (SOUTH)
DP-4	PRELIMINARY GRADING PLAN
DP-5	PRELIMINARY UTILITY PLAN
DP-6	SITE DETAILS



DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____



SITE PLAN SPECIFIC NOTES

- 1 INSTALL 6' CROSS PAN (EPC DET SD_2-26)
- 2 INSTALL PEDESTRIAN CURB RAMP (EPC DET SD_2-41)
- 3 INSTALL 5' WIDE SIDEWALK (SEE DETAIL)
- 4 EXISTING EPC TYPE A CURB & GUTTER TO REMAIN
- 5 INSTALL EPC TYPE A CURB & GUTTER (PUBLIC) (EPC DET SD_2-20)
- 6 INSTALL EPC TYPE A CURB & GUTTER (PRIVATE) (EPC DET SD_2-20)
- 7 INSTALL EPC TYPE C CURB & GUTTER (EPC DET SD_2-20)
- 8 INSTALL CONCRETE PAVEMENT (SEE DETAIL)
- 9 INSTALL ASPHALT PAVEMENT (SEE DETAIL)
- 10 INSTALL 6' HIGH MAX HEIGHT CONCRETE RETAINING WALL (SEE DETAIL)
- 11 INSTALL INTERIOR PEDESTRIAN CURB RAMP (SEE DETAIL)
- 12 INSTALL ADA PAVEMENT STRIPES (SEE DETAIL)
- 13 INSTALL 6' HIGH OPAQUE WOOD FENCE (SEE DETAIL)
- 14 INSTALL SPLIT RAIL WOOD FENCE
- 15 INSTALL GRAVEL ACCESS DRIVE
- 16 INSTALL CONCRETE PRIVACY WALL (SEE DETAIL)
- 17 INSTALL FULL SPECTRUM EXTENDED DETENTION BASIN
- 18 INSTALL STORM INLET / MANHOLE (PRIVATE)
- 19 INSTALL CONCRETE PAN

ADA ACCESSIBILITY POINT CALCULATION:

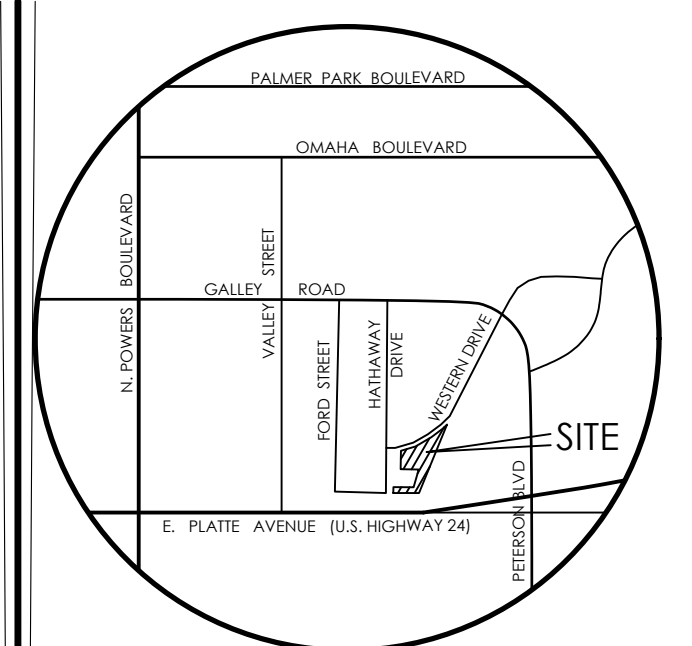
REQUIRED:
 PER CRC 9-5-105, 24 POINTS ARE NEEDED FOR THIS SITE (43-57 = 24 UNITS).

PROVIDED:
 PROPOSED UNITS ARE TO BE TYPE B VISITABLE, WHICH CARRY 1 POINT PER UNIT.
 26 UNITS (TYPE B VISITABLE) = 26 UNITS @ 1 PT/UNIT = 26 POINTS PROVIDED
 26 POINTS > 24 POINTS REQUIRED.

INTERIOR OF UNITS COMPLY WITH SECTION 1003 OF ICC A117.1-2009 AND IBC 1107.6

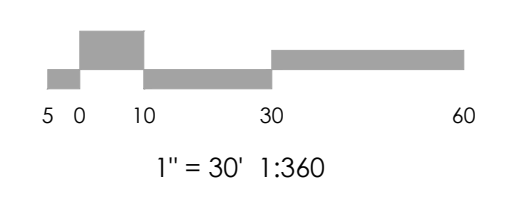
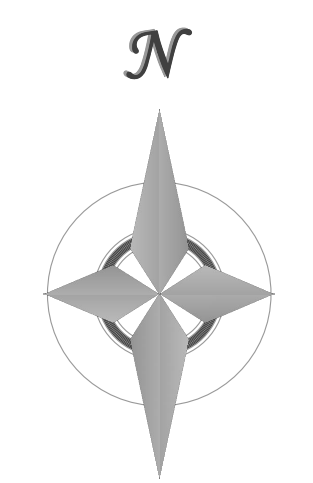
ADA NOTE

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VICINITY MAP
 NOT TO SCALE

BENCHMARK
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REVISIONS

DESIGNED BY _____
 DRAWN BY _____
 CHECKED BY _____
 AS-BUILT BY _____
 CHECKED BY _____

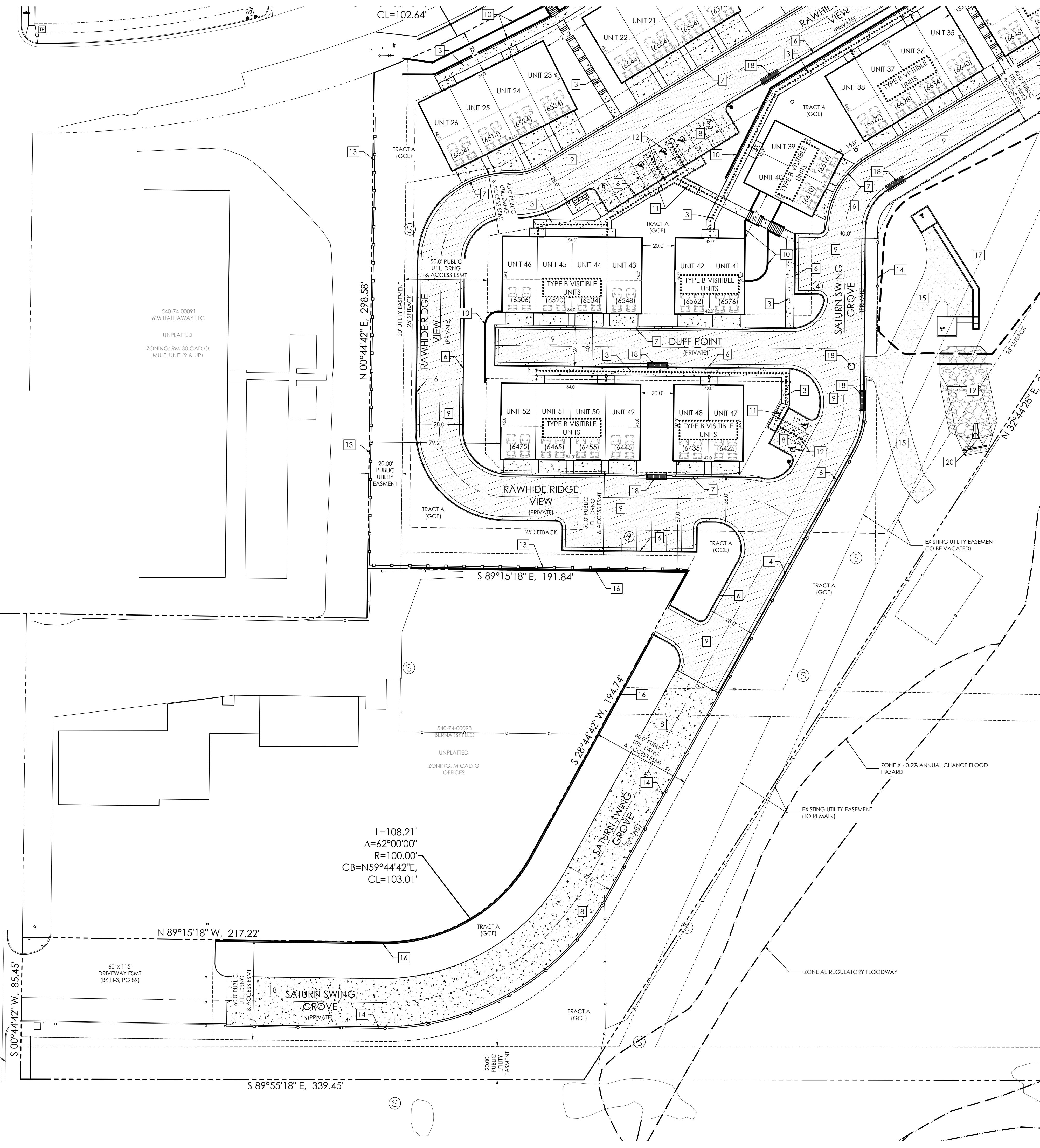
TOWNHOMES AT WESTERN
 LOT I, CIMARRON SOUTHEAST
 FILLING NO - 2C

**SITE DEVELOPMENT
 PLAN
 SITE PLAN**

DP-2 MVE PROJECT 61203
 MVE DRAWING DEV-SP

JULY 11, 2024
SHEET 2 OF 6

PCD FILE # PPR-24-15



SITE PLAN SPECIFIC NOTES

- 1 INSTALL 6' CROSS PAN (EPC DET SD_2-26)
- 2 INSTALL PEDESTRIAN CURB RAMP (EPC DET SD_2-41)
- 3 INSTALL 5' WIDE SIDEWALK (SEE DETAIL)
- 4 EXISTING EPC TYPE A CURB & GUTTER TO REMAIN
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- 7 INSTALL EPC TYPE C CURB & GUTTER (EPC DET SD_2-20)
- 8 INSTALL CONCRETE PAVEMENT (SEE DETAIL)
- 9 INSTALL ASPHALT PAVEMENT (SEE DETAIL)
- 10 INSTALL 4' HIGH MAX HEIGHT CONCRETE RETAINING WALL (SEE DETAIL)
- 11 INSTALL INTERIOR PEDESTRIAN CURB RAMP (SEE DETAIL)
- 12 INSTALL ADA PAVEMENT STRIPES (SEE DETAIL)
- 13 INSTALL 6' HIGH OPAQUE WOOD FENCE (SEE DETAIL)
- 14 INSTALL SPLIT RAIL WOOD FENCE
- 15 INSTALL GRAVEL ACCESS DRIVE
- 16 INSTALL CONCRETE PRIVACY WALL (SEE DETAIL)
- 17 INSTALL FULL SPECTRUM EXTENDED DETENTION BASIN
- 18 INSTALL STORM INLET / MANHOLE (PRIVATE)
- 19 INSTALL RIPRAP / CONCRETE EMERGENCY SPILLWAY
- 20 INSTALL STILLING BASIN / LEVEL SPREADER

ADA ACCESSIBILITY POINT CALCULATION:

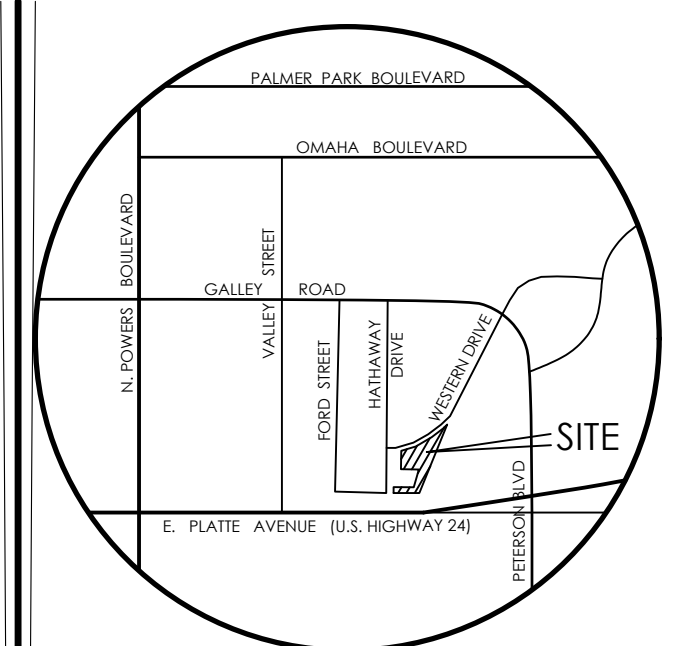
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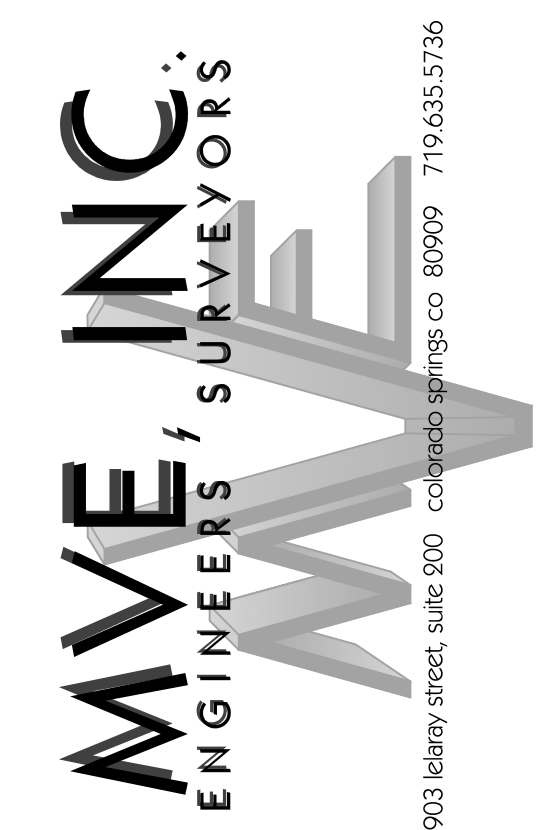
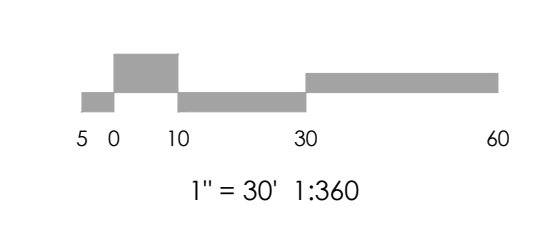
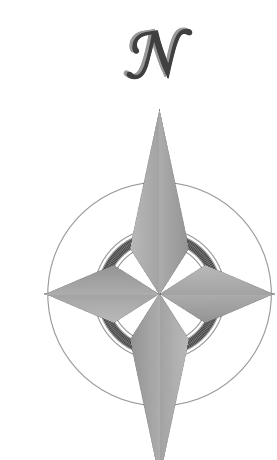
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VICINITY MAP
 NOT TO SCALE

BENCHMARK
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 ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD '88.



REVISIONS

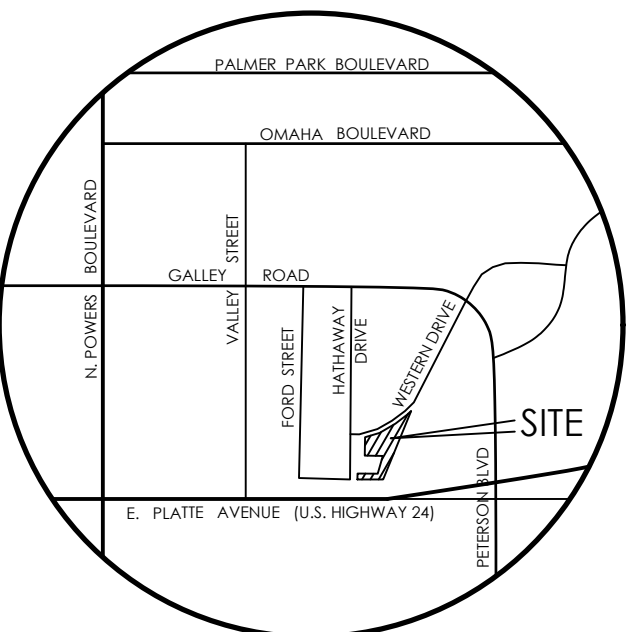
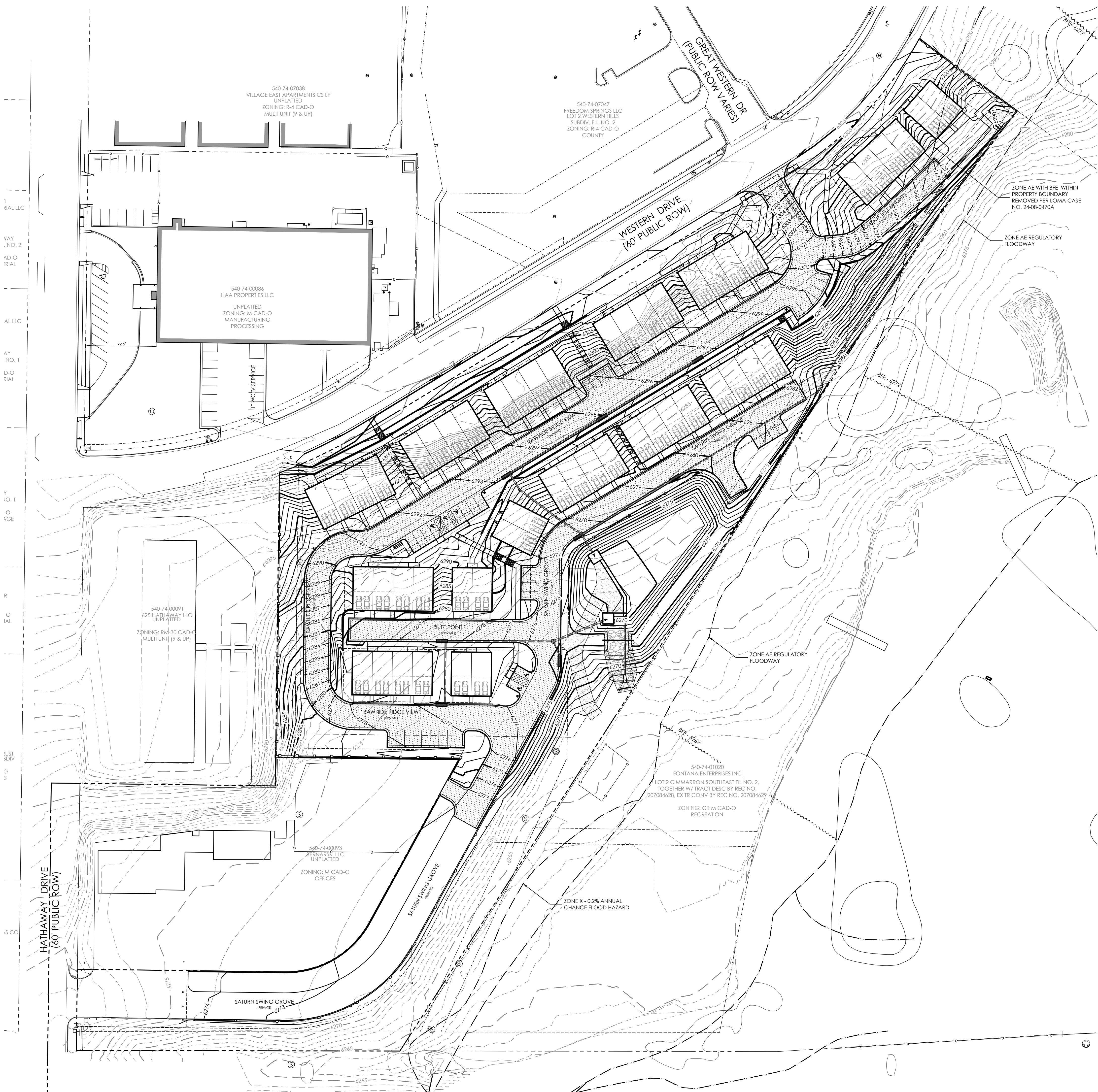
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 CHECKED BY _____
 AS-BUILTS BY _____
 CHECKED BY _____

TOWNHOMES AT WESTERN
 LOT I, CIMARRON SOUTHEAST
 FILLING NO - 2C

**SITE DEVELOPMENT
 PLAN
 SITE PLAN**

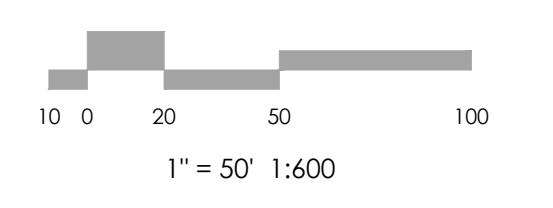
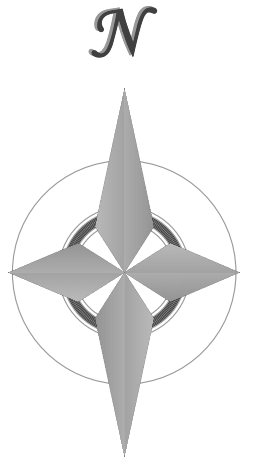
DP-3 MVE PROJECT 61203
 MVE DRAWING DEV-SP

JULY 11, 2024
SHEET 3 OF 6



VICINITY MAP
NOT TO SCALE

BENCHMARK
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REVISIONS

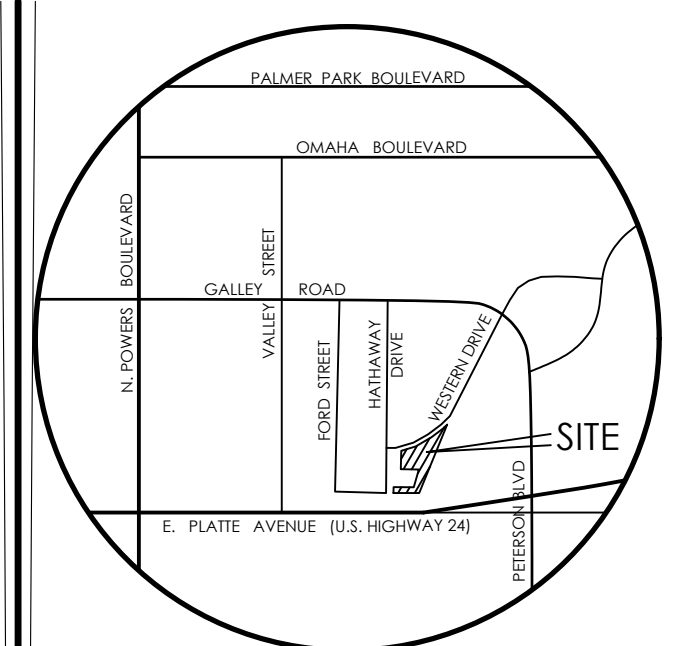
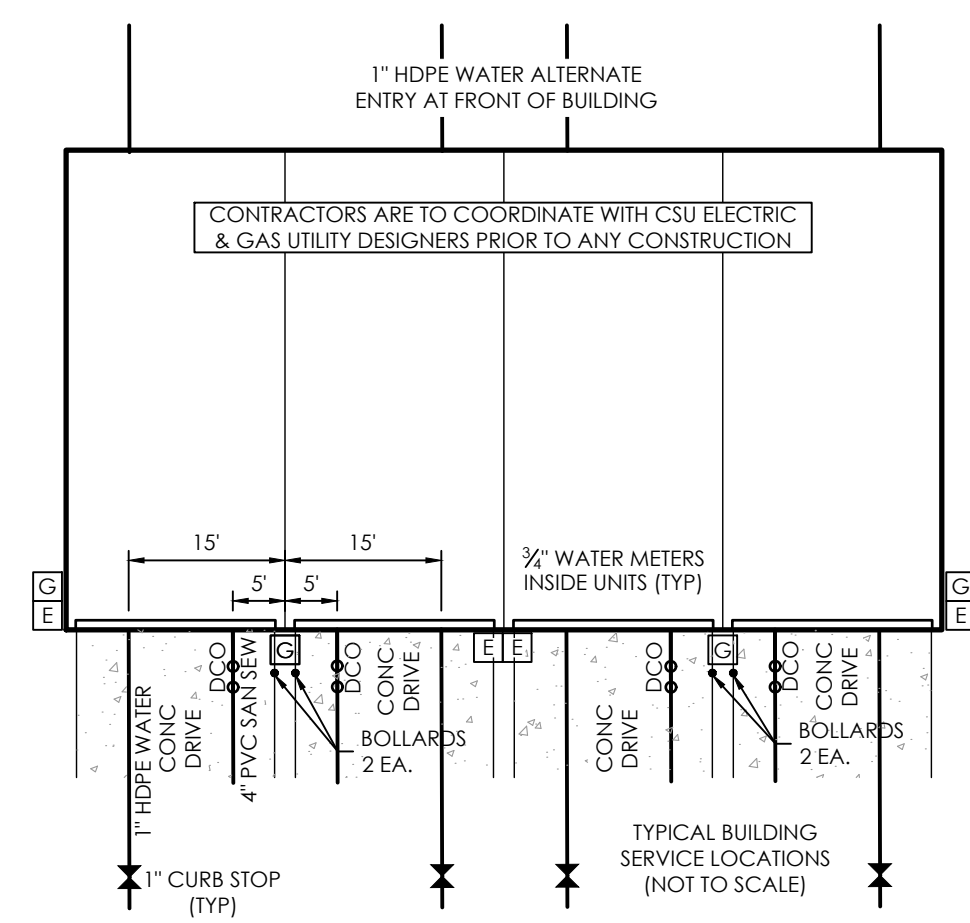
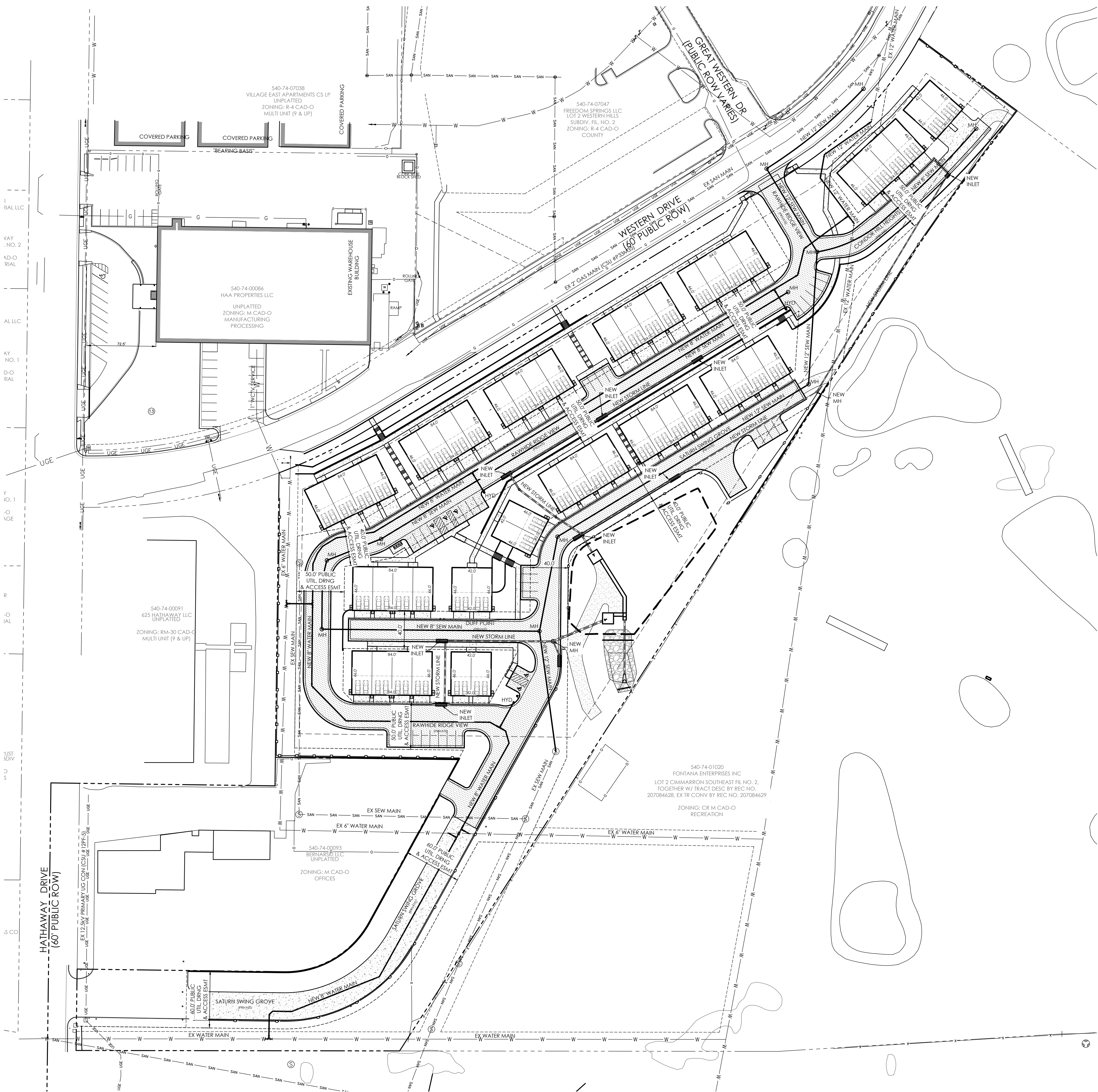
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AS-BUILT BY _____
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TOWNHOMES AT WESTERN
LOT I, CIMARRON SOUTHEAST
FILLING NO - 2C

SITE DEVELOPMENT
PLAN
PRELIMINARY GRADING

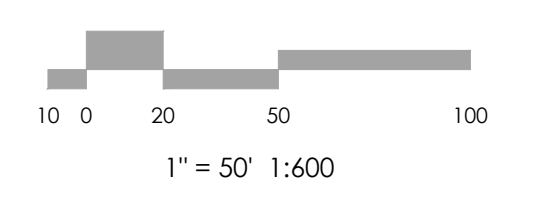
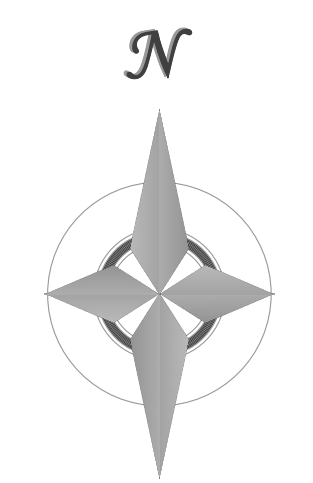
DP-4 MVE PROJECT 61203
MVE DRAWING DEV-PG

JULY 11, 2024
SHEET 4 OF 6



VICINITY MAP
NOT TO SCALE

BENCHMARK
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD '88.



- COLORADO SPRINGS UTILITIES NOTES:**
- GAS METERS MUST BE A MINIMUM OF 3- FEET AWAY FROM ANY OPENING IN WALLS.
 - SIX-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.
- THE DEVELOPER ACKNOWLEDGES THE FOLLOWING INFORMATION ITEMS:**
- PLEASE CONTACT UTILITIES DEVELOPMENT SERVICES (UDS) AT 719.668.8111 FOR AN ESTIMATE OF DEVELOPMENT CHARGES, FEES, RECOVERY AGREEMENT CHARGES OR OTHER UTILITY RELATED COSTS THAT MAY APPLY TO THIS DEVELOPMENT. ON INSTANCES WHERE METERED WATER AND/OR WASTEWATER CONNECTIONS EXISTED ON THE PROPERTY, PLEASE CONTACT UDS TO DISCUSS DISTRIBUTION OF WATER AND/OR WASTEWATER DEVELOPMENT CHARGES TO ELIGIBLE LOTS.
 - WHEN NEW WATER METERS ARE PROPOSED TO SERVE THE PROJECT OR ADDITIONAL DEMAND ADDED TO EXISTING WATER METERS, A COMMERCIAL WATER METER SIZING FORM WILL BE REQUIRED TO BE SUBMITTED TO CSU PRIOR TO SERVICE CONTRACT ISSUANCE AND PLAN SET APPROVAL.
 - CSU REQUIRES AN APPLICATION FOR GAS AND ELECTRIC LINE EXTENSION TO BE SUBMITTED ALONG WITH A LOAD DATA FORM OR AN APPLICATION FOR GAS SERVICE LINE APPROVAL AND/OR APPLICATION FOR ELEVATED PRESSURE APPROVAL PRIOR TO ELECTRIC AND NATURAL GAS SYSTEM DESIGN FOR SERVICE TO THE PROJECT. REFER TO THE CSU LINE EXTENSION AND SERVICE STANDARDS OR CONTACT FIELD ENGINEERING AT 719-668-4985.
 - CSU MAY REQUIRE AN EXTENSION CONTRACT AND PAYMENT OF CONTRIBUTIONS-IN-AID OF CONSTRUCTION (OR A REVENUE GUARANTEE CONTRACT) FOR THE EXTENSION OF ELECTRIC FACILITIES NEEDED TO SERVE THE DEVELOPMENT. WITH REGARD TO NATURAL GAS EXTENSIONS, CSU MAY REQUIRE AN EXTENSION CONTRACT AND ADVANCE PAYMENT FOR THE ESTIMATED COSTS TO CONSTRUCT THE NECESSARY GAS EXTENSIONS.
 - IMPROVEMENTS, STRUCTURES AND TREES MUST NOT BE LOCATED DIRECTLY OVER OR WITHIN 6 FEET OF ANY UNDERGROUND GAS OR ELECTRIC DISTRIBUTION FACILITIES AND SHALL NOT VIOLATE ANY PROVISION OF THE NATIONAL ELECTRIC SAFETY CODE (NESC) OR ANY APPLICABLE NATURAL GAS REGULATIONS OR CSU'S POLICIES.
 - IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED UNDER ANY OVERHEAD UTILITY FACILITY, SHALL NOT VIOLATE NESC CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
 - LANDSCAPING SHALL BE DESIGNED TO PROVIDE THE REQUIRED CLEARANCES FOR UTILITY FACILITIES, TO ALLOW CONTINUOUS ACCESS FOR UTILITY EQUIPMENT, AND TO MINIMIZE CONFLICTS WITH SUCH FACILITIES.
 - CSU REQUIRES WASTEWATER AND WATER CONSTRUCTION DRAWINGS WHEN NEW WASTEWATER AND WATER FACILITIES ARE PROPOSED. PLANS CAN BE SUBMITTED ELECTRONICALLY TO UDS VIA WWW.CSU.ORG.



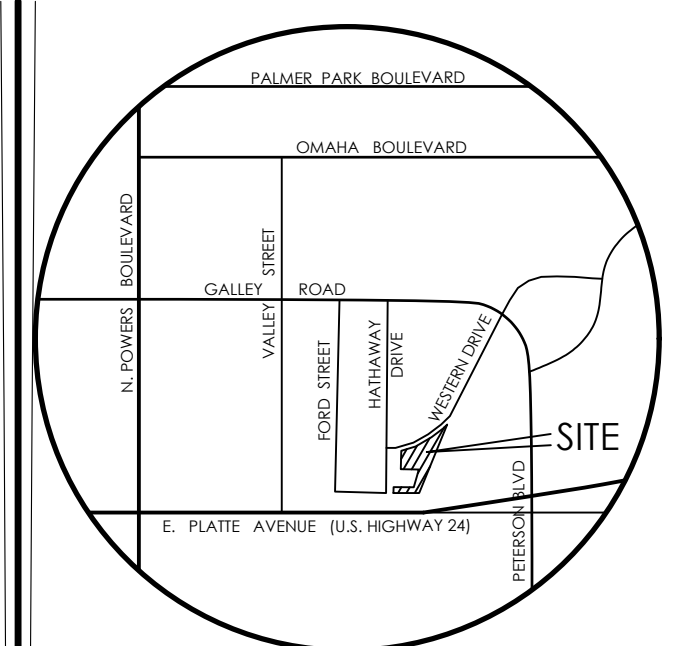
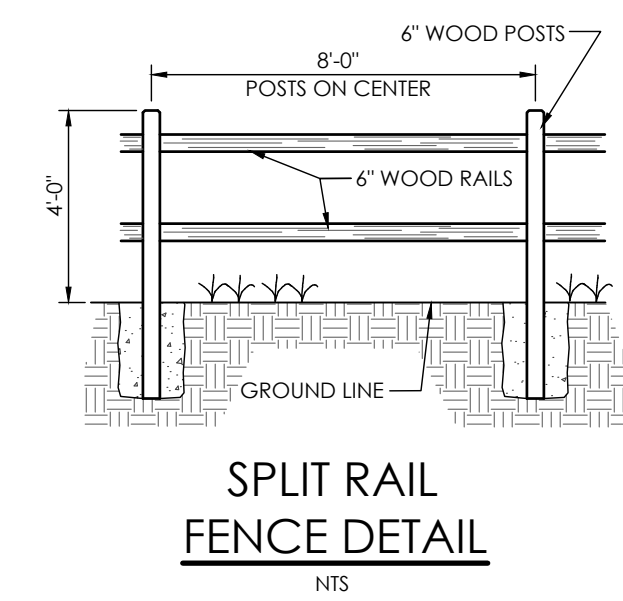
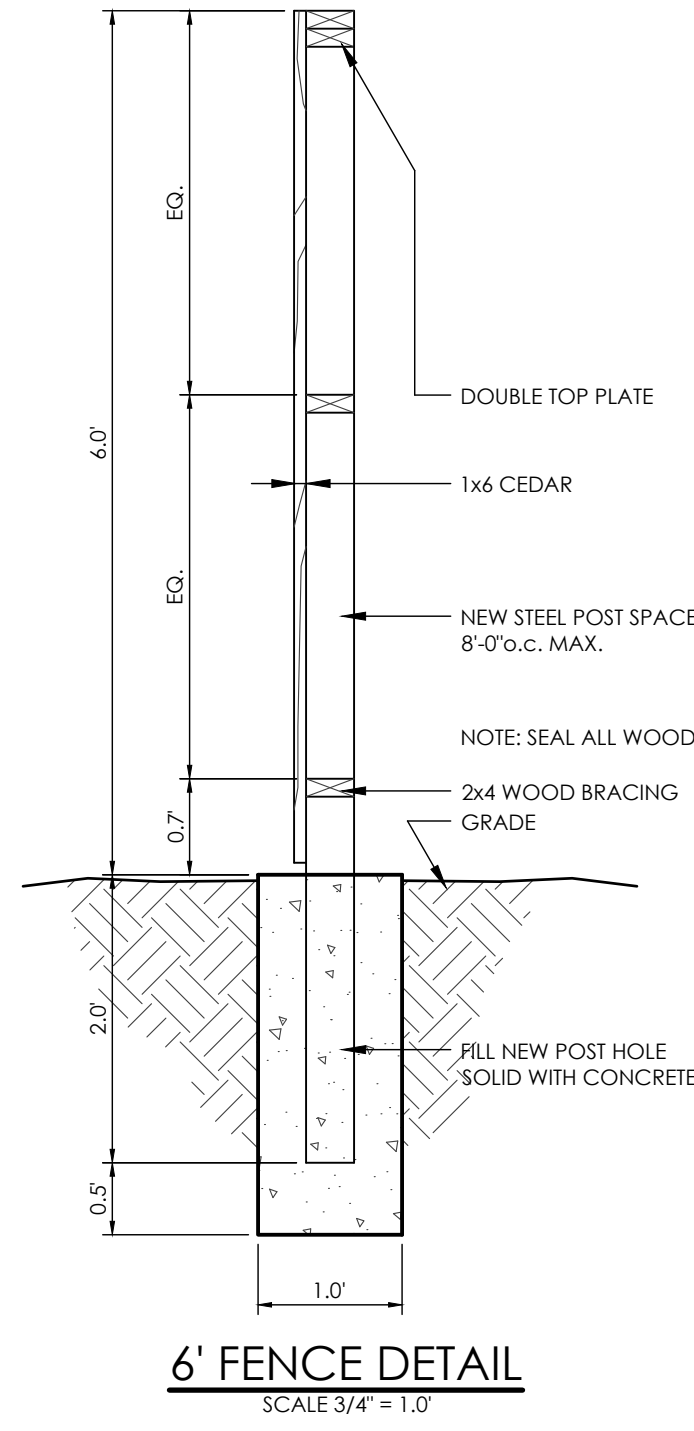
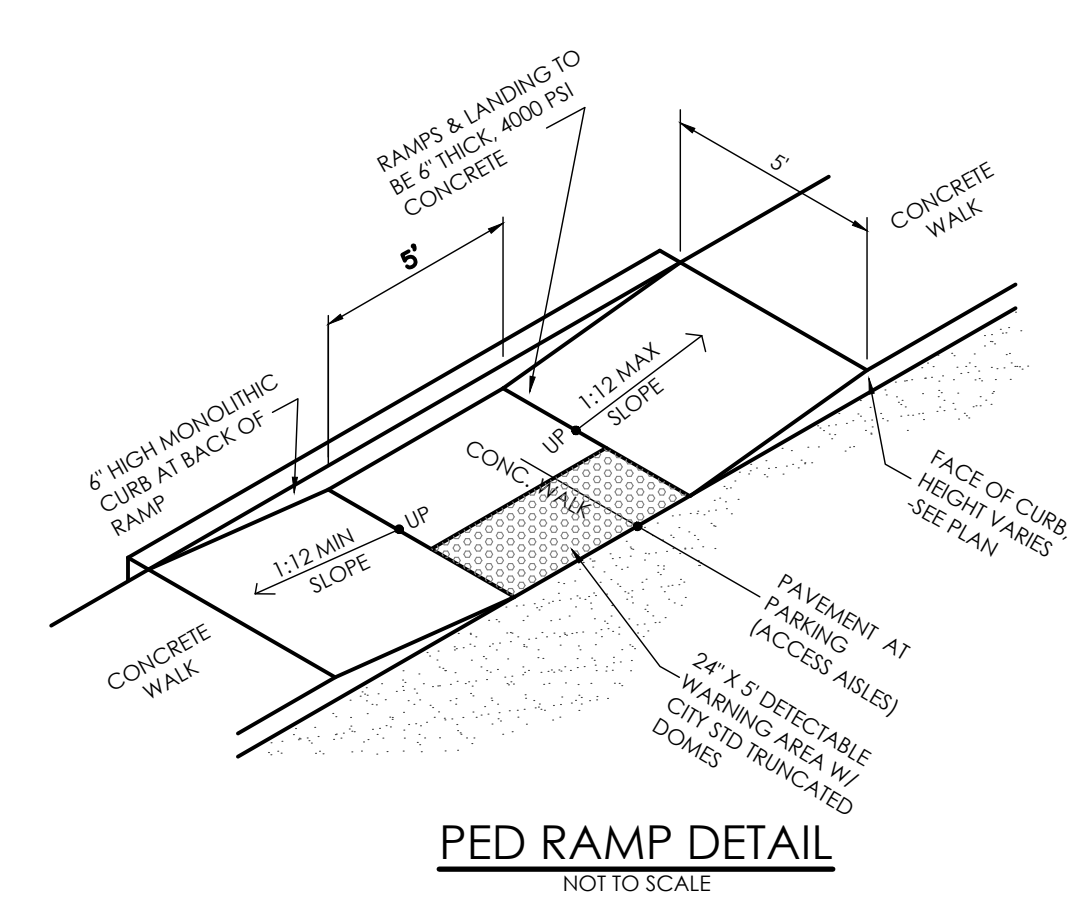
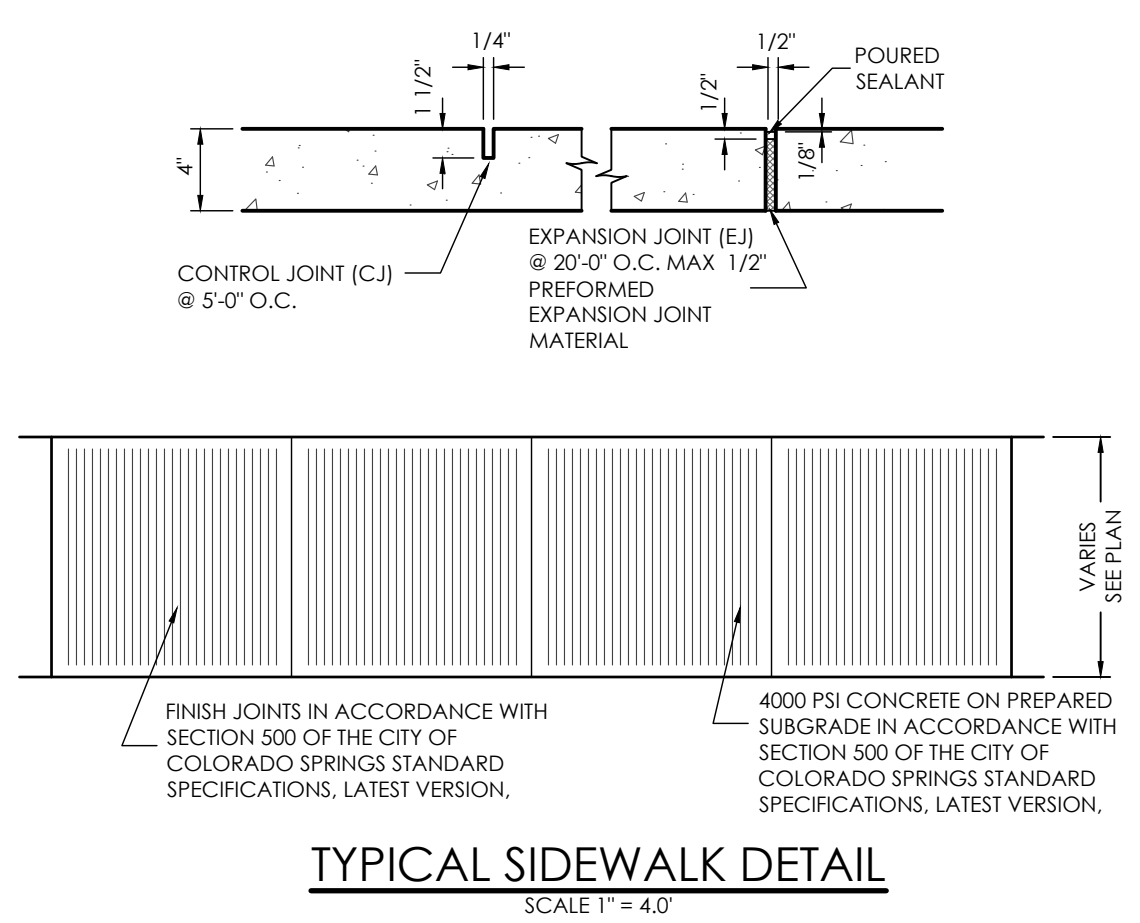
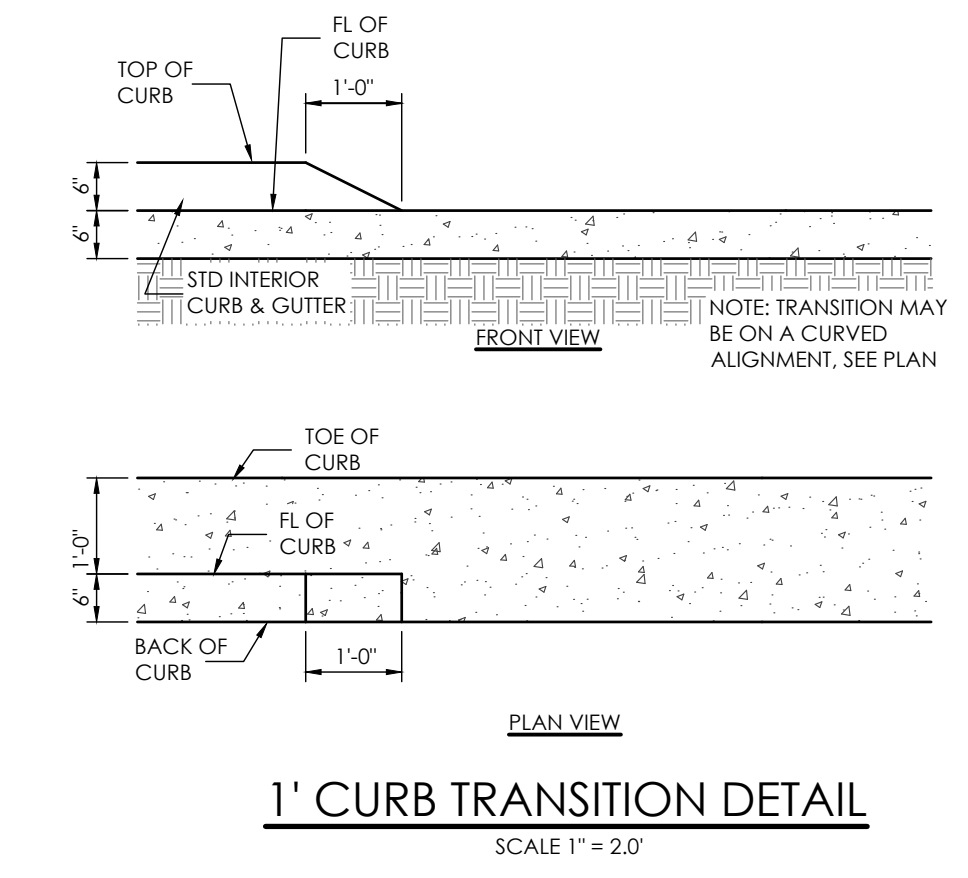
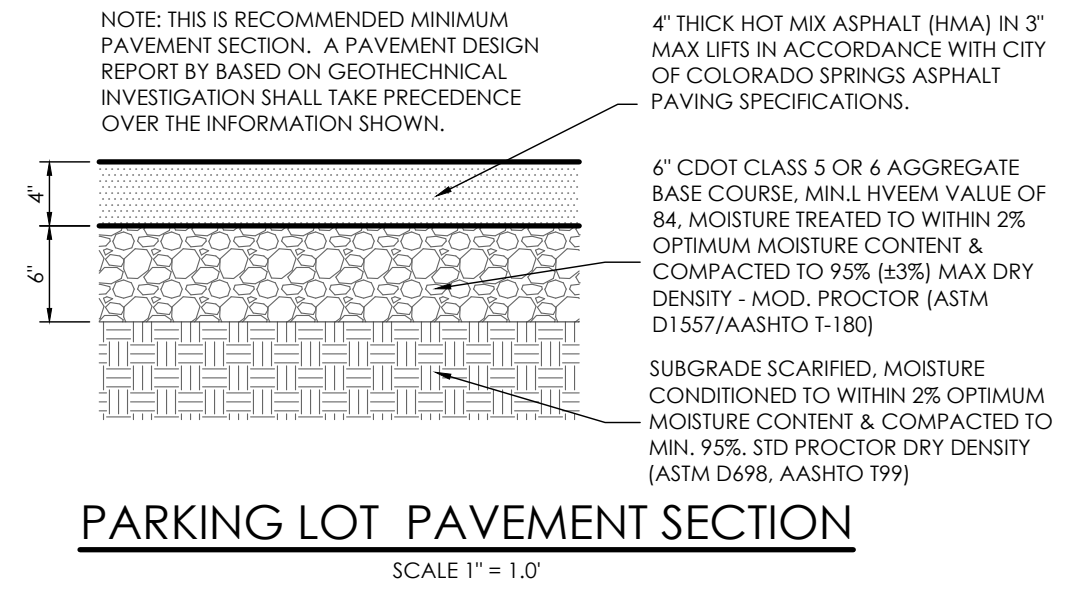
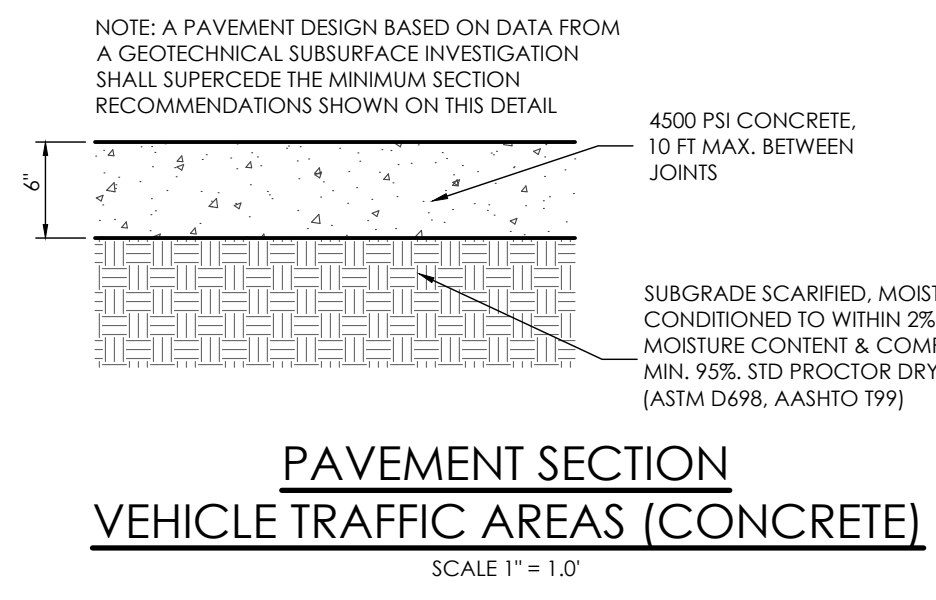
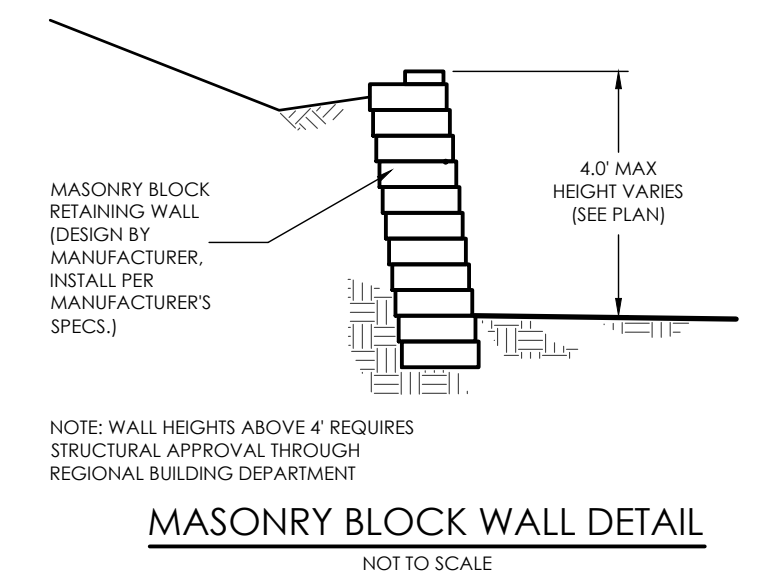
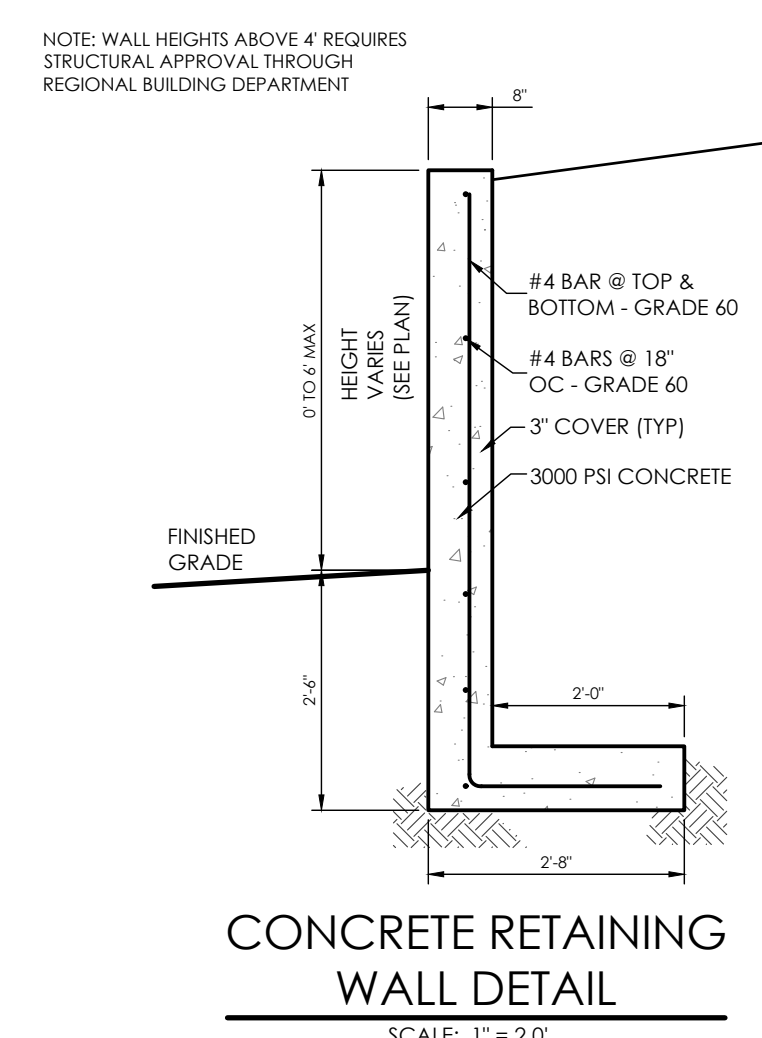
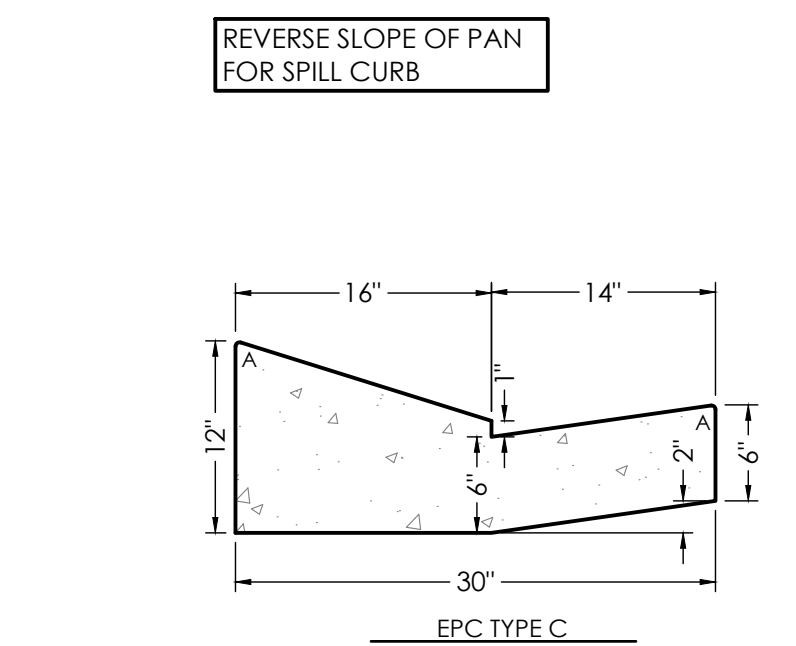
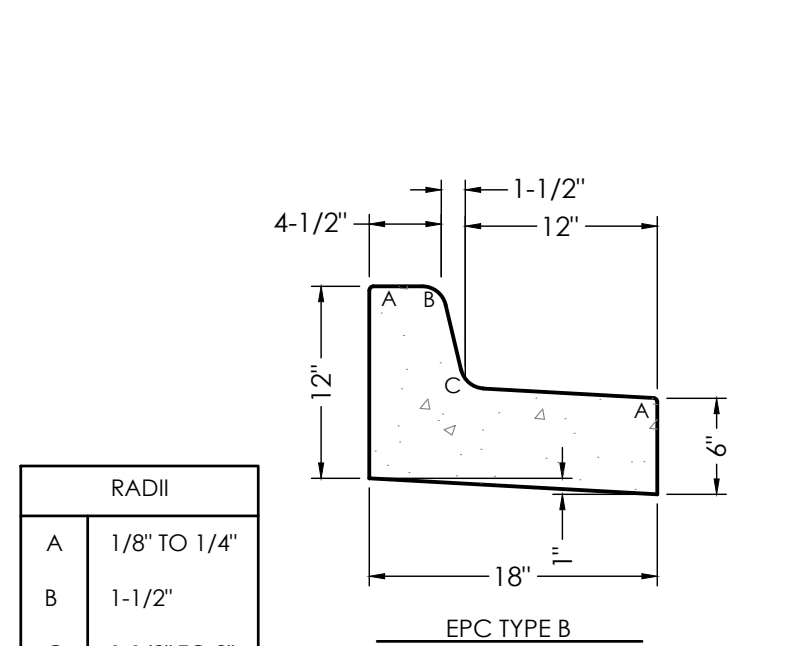
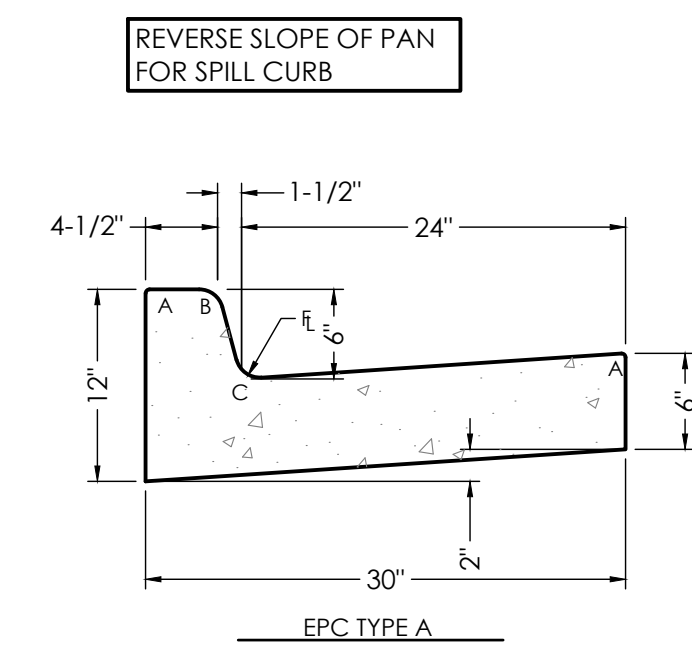
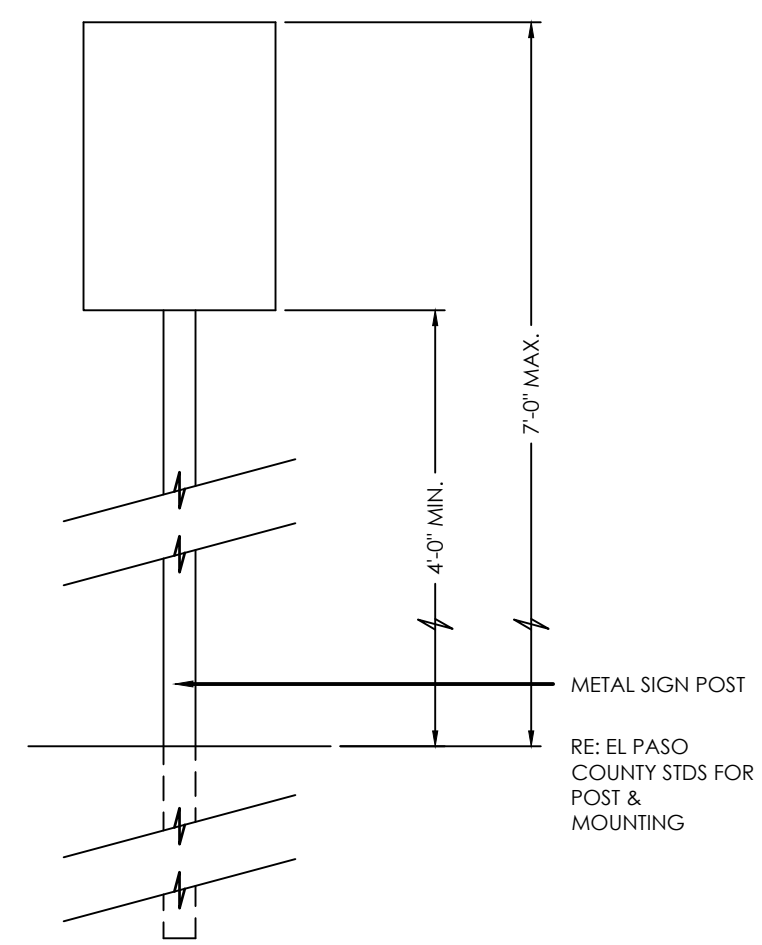
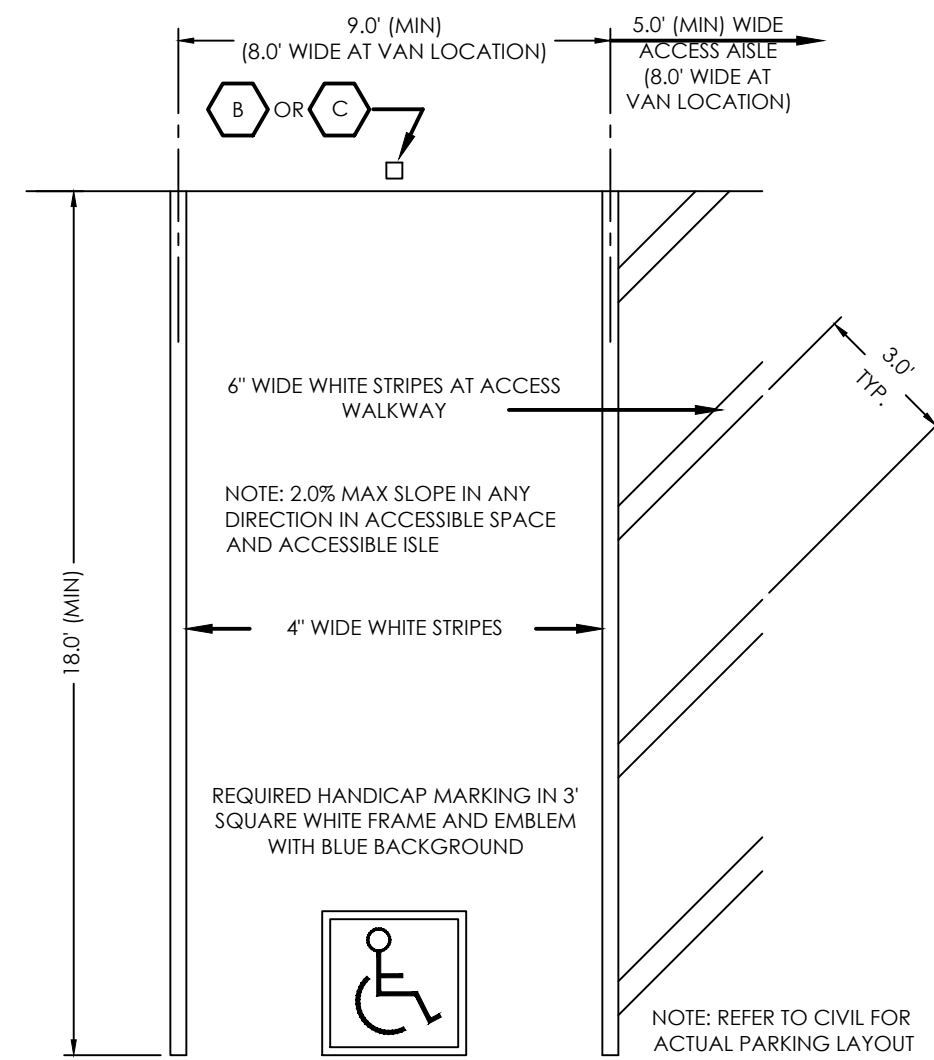
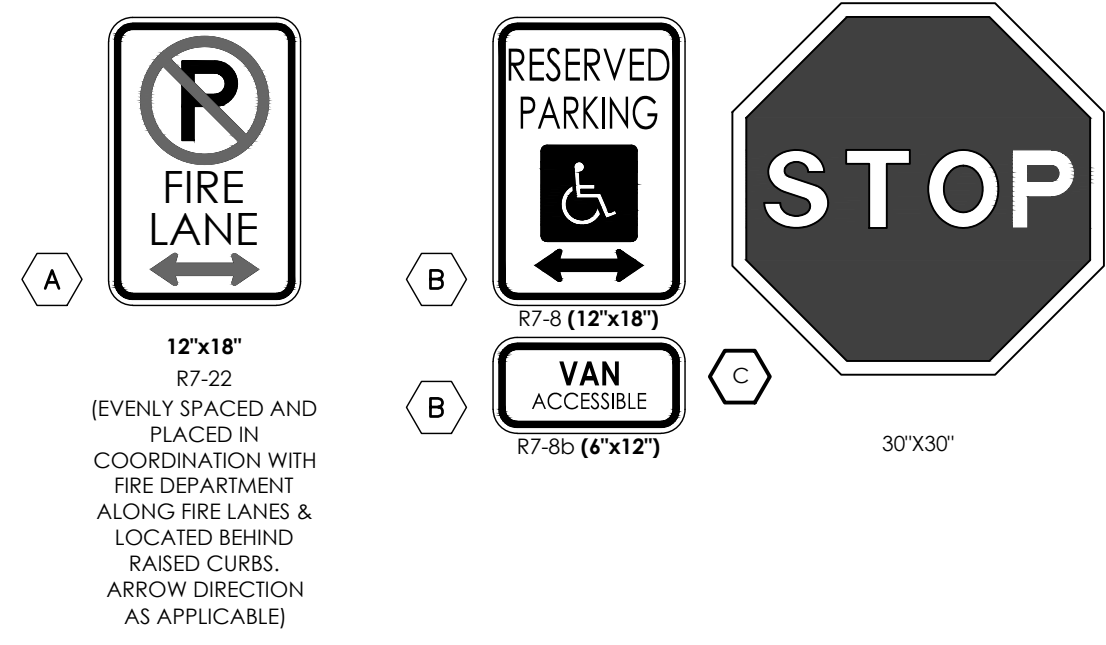
DESIGNED BY _____
 DRAWN BY _____
 CHECKED BY _____
 AS-BUILTS BY _____
 CHECKED BY _____

TOWNHOMES AT WESTERN
 LOT I, CIMARRON SOUTHEAST
 FILLING NO - 2C

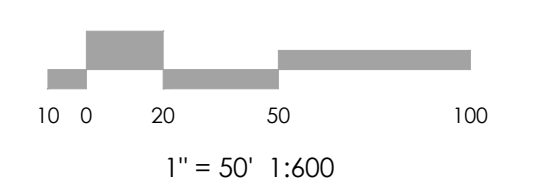
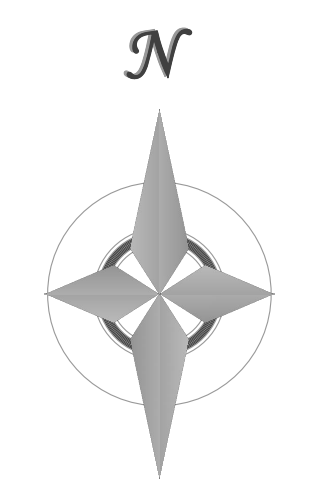
SITE DEVELOPMENT PLAN
PRELIMINARY UTILITIES

DP-5 MVE PROJECT 61203
 MVE DRAWING DEV-PU

JULY 11, 2024
SHEET 5 OF 6



BENCHMARK
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD 88.



MVE, INC.
ENGINEERS & SURVEYORS

1903 Leary Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

TOWNHOMES AT WESTERN

LOT I, CIMARRON SOUTHEAST FILLING NO. 2C

DETAILS
DP-6

MVE PROJECT 61203
MVE DRAWING DEV-DS

JULY 11, 2024
SHEET 6 OF 6