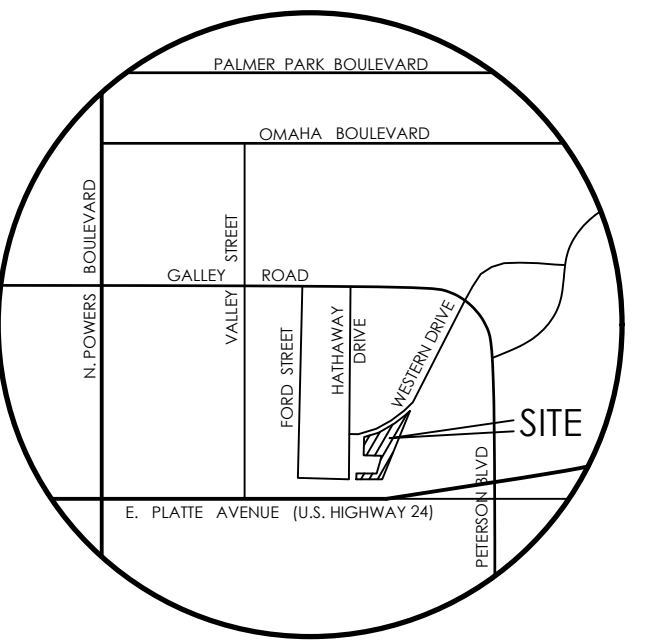


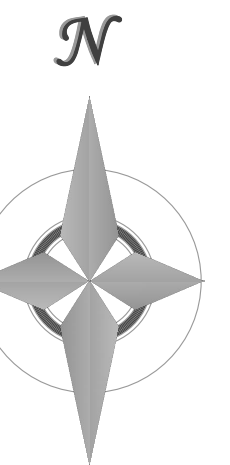
SITE DEVELOPMENT PLAN FOR TOWNHOMES AT WESTERN

LOT 1, CIMARRON SOUTHEAST FILING NO. 2C
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN,
EL PASO COUNTY, COLORADO



VICINITY MAP
NOT TO SCALE

BENCHMARK
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD '88.



1" = 100' 1:1,200



REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

TOWNHOMES AT WESTERN

LOT 1, CIMARRON SOUTHEAST FILING NO. 2C

COVER SHEET

DP-1 MVE PROJECT 61203
MVE DRAWING DEV-CS

JUNE 7, 2024
SHEET 1 OF 6

LEGEND

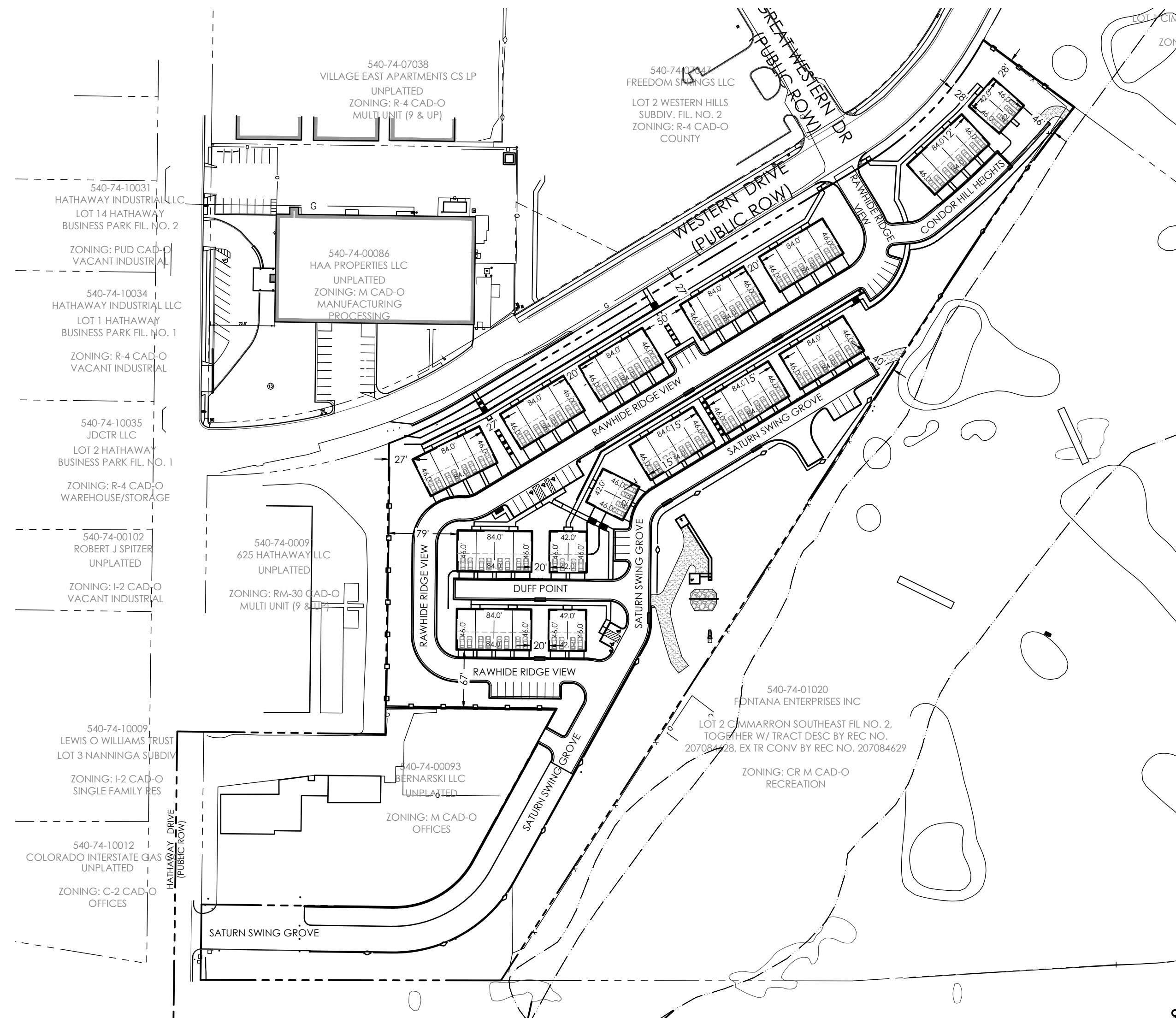
| | | | |
|-----------|---------------------------------|----------|--------------------------------|
| ----- | PROPERTY LINE | ----- | INDEX CONTOUR |
| - - - - - | EASEMENT LINE | ----- | INTERMEDIATE CONTOUR |
| ----- | LOT LINE | ----- | CONCRETE AREA |
| ----- | BUILDING SETBACK LINE | ----- | ASPHALT AREA |
| ----- | ADJACENT PROPERTY LINE | ----- | CURB AND GUTTER |
| EXISTING | | PROPOSED | |
| ----- | INDEX CONTOUR | ----- | INDEX CONTOUR |
| ----- | INTERMEDIATE CONTOUR | ----- | INTERMEDIATE CONTOUR |
| ----- | CONCRETE AREA | ----- | CONCRETE AREA |
| ----- | ASPHALT AREA | ----- | ASPHALT AREA |
| ----- | CURB AND GUTTER | ----- | CURB AND GUTTER |
| ----- | BUILDING/ BUILDING OVERHANG | ----- | BUILDING/ BUILDING OVERHANG |
| ----- | DECK | ----- | DECK |
| ----- | RETAINING WALL - SOLID/ ROCK | ----- | RETAINING WALL |
| ----- | SIGN | ----- | SIGN |
| ----- | BOLLARD | ----- | BOLLARD |
| ----- | WOOD FENCE | ----- | (100) UNIT ADDRESS |
| ----- | CHAIN LINK FENCE | ----- | FIRE LANE |
| ----- | BARBED WIRE FENCE | ----- | ADA ROUTE |
| ----- | TREE (EVERGREEN/DECIDUOUS) | | |
| ----- | SHRUB | | |
| ----- | ROCK | | |

ABBREVIATION LEGEND

| | |
|-----------|------------------|
| ASPH | ASPHALT |
| CONC | CONCRETE |
| C & G | CURB & GUTTER |
| DET. | DETAIL |
| ESMT | EASEMENT |
| ME | MATCH EXISTING |
| P.B., PG. | PLAT BOOK, PAGE |
| PVMT | PAVEMENT |
| RET. WALL | RETAINING WALL |
| REC. NO. | RECEPTION NUMBER |
| R.O.W. | RIGHT-OF-WAY |
| SF | SQUARE FOOT |
| STBK | SETBACK |
| SW | SIDEWALK |
| UTIL | UTILITY |
| Ⓢ | CATCH CURB |
| Ⓣ | SPILL CURB |

SHEET INDEX

| SITE DEVELOPMENT PLAN | |
|-----------------------|--------------------------|
| DP-1 | COVER SHEET |
| DP-2 | SITE PLAN (NORTH) |
| DP-3 | SITE PLAN (SOUTH) |
| DP-4 | PRELIMINARY GRADING PLAN |
| DP-5 | PRELIMINARY UTILITY PLAN |
| DP-6 | SITE DETAILS |



Site Development Plan needs to be updated to match updated FDR.

SITE DATA

| | |
|--|--|
| OWNER / DEVELOPER J. ELLIOTT HOMES, INC. 13761 BANDANERO DRIVE PEYTON, CO 80831 PH (719) 499-8214 | COVERAGE DATA |
| CONSULTANT/ENGINEER M.V.E., INC. 1903 LELARAY STREET, SUITE 200 COLORADO SPRINGS, CO 80909 (719) 635-5736 | 52 TOWNHOME UNITS (966 EA) 50,232 SF 16.2% PAVEMENT (PARKING/WALK) 107,647 SF 34.7% LANDSCAPING 152,190 SF 49.1% |
| SURVEYOR POLARIS SURVEYING, INC. 1903 LELARAY STREET, SUITE 102 COLORADO SPRINGS, CO 80909 (719) 448-0844 | TOTAL AREA 310,069 SF 100.0% = 7.118± ACRES |
| ZONING RESIDENTIAL MULTI-DWELLING (RM-30) | PARKING DATA 52 MULTI-FAMILY RESIDENTIAL UNITS (3 BEDROOM) REQUIRED PARKING: 2.0 SPACES / 3 BEDROOM UNIT = 2.0 X 52 = 104 GUEST REQUIRED: 1 SPACE / 4 UNITS = 52 / 4 = 5 ADA SPACES REQUIRED: = 122 |
| BUILDING USE TOWN HOMES | PROVIDED: GARAGES: = 104 OUTSIDE PARKING (GUEST): (9' x 18' SPACES) = 33 ADA SPACES: (8'x18' w/ 8' AISLE OR 9'x18' w/ 5' AISLE) = 5 |
| CONSTRUCTION SCHEDULE START: FALL 2024 FINISH: FALL 2025 | TOTAL SPACES PROVIDED: = 142 SPACES |
| TAX SCHEDULE NO. 5407401016 | BUILDING TYPE BUILDING AREA - 3,864 SF TWO / THREE STORY - TYPE II-B NOT FIRE SPRINKLED / NO FIRE WALLS |
| PROPERTY ADDRESS 721 WESTERN DRIVE COLORADO SPRINGS, CO 80915 | BUILDING HEIGHT 40 FT MAX. (THREE STORY) |
| LEGAL DESCRIPTION LOT 1, CIMARRON SOUTHEAST FILING NO. 2C AS RECORDED IN PLAT BOOK H-3 AT PAGE 89 OF THE RECORDS OF EL PASO COUNTY, COLORADO CONTAINING A CALCULATED AREA OF 7.118 ACRES, MORE OR LESS. | SET BACKS 25' FRONT (WESTERN DRIVE) 15' REAR 15' SIDE 25' PERIMETER BOUNDARY |

DEVELOPMENT NOTES:

1. WATER SERVICE PROVIDED BY CHEROKEE METROPOLITAN DISTRICT.
2. SEWER SERVICE PROVIDED BY CHEROKEE METROPOLITAN DISTRICT.
3. GAS AND ELECTRIC SERVICE PROVIDED BY COLORADO SPRINGS UTILITIES.
4. OWNERSHIP AND MAINTENANCE OF THE GENERAL COMMON ELEMENT (GCE) TRACT A SHALL BE VESTED TO THE TOWNHOMES AT WESTERN HOME OWNERS ASSOCIATION. THIS INCLUDES THE MAINTENANCE OF THE PRIVATE ROADS, COMMON AREAS, ETC.
5. TRASH COLLECTION SHALL BE VIA INDIVIDUAL COLLECTION BINS STORED IN EACH UNIT. THERE IS NO COMMON COLLECTION POINT OR COMMUNAL GARBAGE RECEPTACLES IN THIS DEVELOPMENT.

ADA NOTE

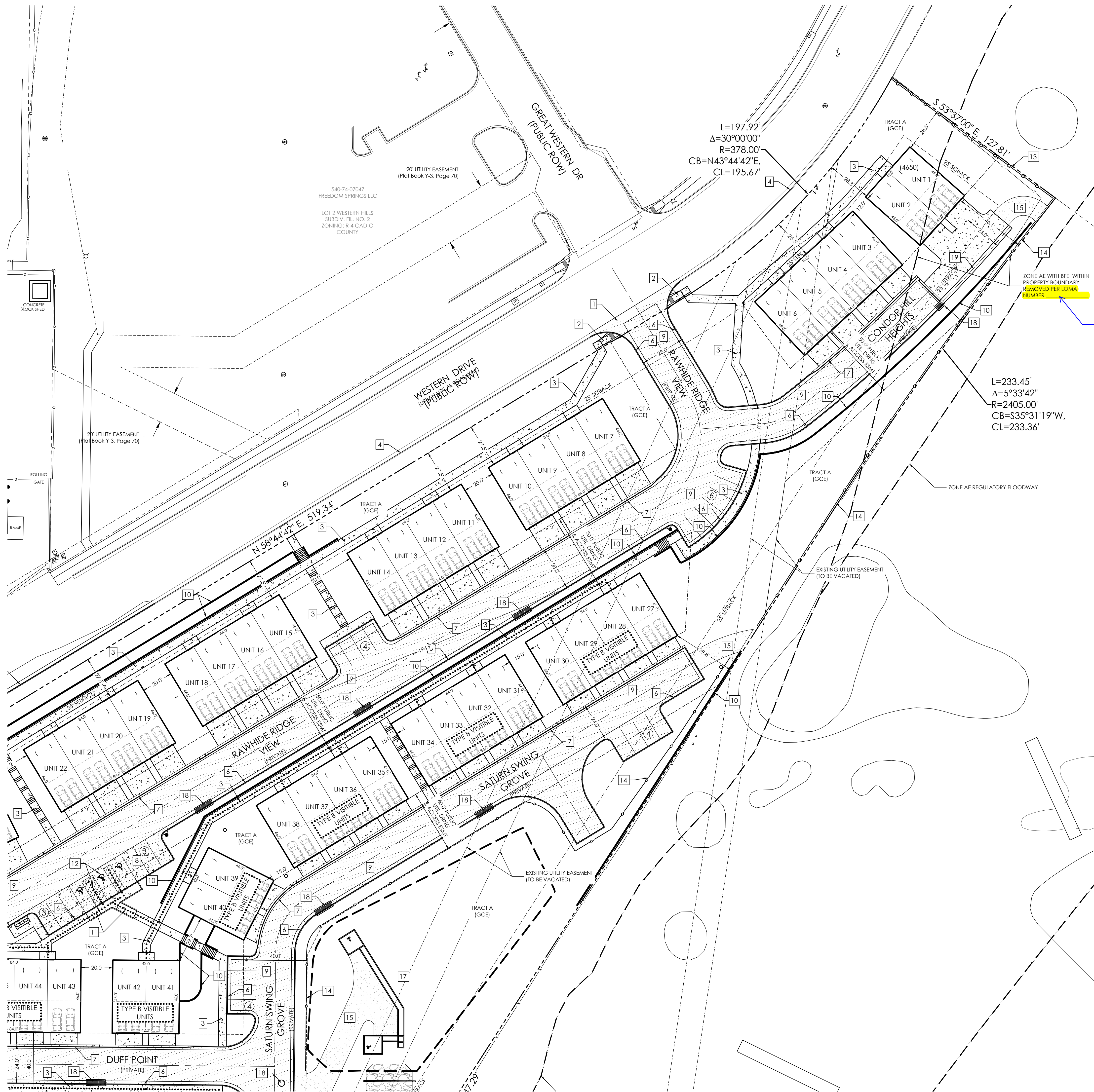
THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

FLOODPLAIN STATEMENT

A PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA'S) ZONE AE AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0754 G, EFFECTIVE DECEMBER 7, 2018.

MAP NOTES

1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR N00°44'42"E.
2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD88.
3. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.



SITE PLAN SPECIFIC NOTES

- 1 INSTALL 6' CROSS PAN (EPC DET SD_2-26)
- 2 INSTALL PEDESTRIAN CURB RAMP (EPC DET SD_2-41)
- 3 INSTALL 5' WIDE SIDEWALK (SEE DETAIL)
- 4 EXISTING EPC TYPE A CURB & GUTTER TO REMAIN
- 5 INSTALL EPC TYPE A CURB & GUTTER (PUBLIC) (EPC DET SD_2-20)
- 6 INSTALL EPC TYPE A CURB & GUTTER (PRIVATE) (EPC DET SD_2-20)
- 7 INSTALL EPC TYPE C CURB & GUTTER (EPC DET SD_2-20)
- 8 INSTALL CONCRETE PAVEMENT (SEE DETAIL)
- 9 INSTALL ASPHALT PAVEMENT (SEE DETAIL)
- 10 INSTALL 6' HIGH MAX HEIGHT CONCRETE RETAINING WALL (SEE DETAIL)
- 11 INSTALL INTERIOR PEDESTRIAN CURB RAMP (SEE DETAIL)
- 12 INSTALL ADA PAVEMENT STRIPES (SEE DETAIL)
- 13 INSTALL 6' HIGH OPAQUE WOOD FENCE (SEE DETAIL)
- 14 INSTALL SPLIT RAIL WOOD FENCE
- 15 INSTALL GRAVEL ACCESS DRIVE
- 16 INSTALL CONCRETE PRIVACY WALL (SEE DETAIL)
- 17 INSTALL FULL SPECTRUM EXTENDED DETENTION BASIN
- 18 INSTALL STORM INLET / MANHOLE (PRIVATE)
- 19 INSTALL CONCRETE PAN

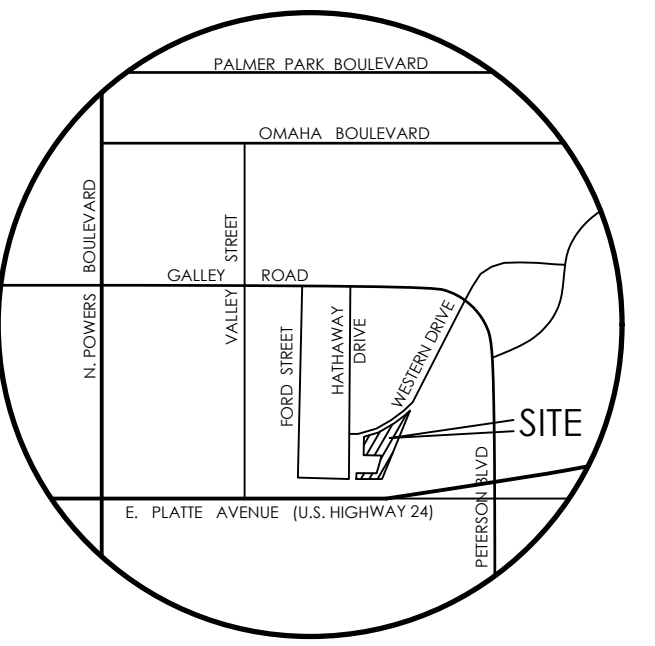
Please verify LOMA or EC

ADA ACCESSIBILITY POINT CALCULATION:

REQUIRED:
 PER CRC 9-5-105, 24 POINTS ARE NEEDED FOR THIS SITE (43-57 = 24 UNITS).
PROVIDED:
 PROPOSED UNITS ARE TO BE TYPE B VISITABLE, WHICH CARRY 1 POINT PER UNIT.
 26 UNITS (TYPE B VISITABLE) = 26 UNITS @ 1 PT/UNIT = 26 POINTS PROVIDED
 26 POINTS > 24 POINTS REQUIRED.
 INTERIOR OF UNITS COMPLY WITH SECTION 1003 OF ICC A117.1-2009 AND IBC 1107.6

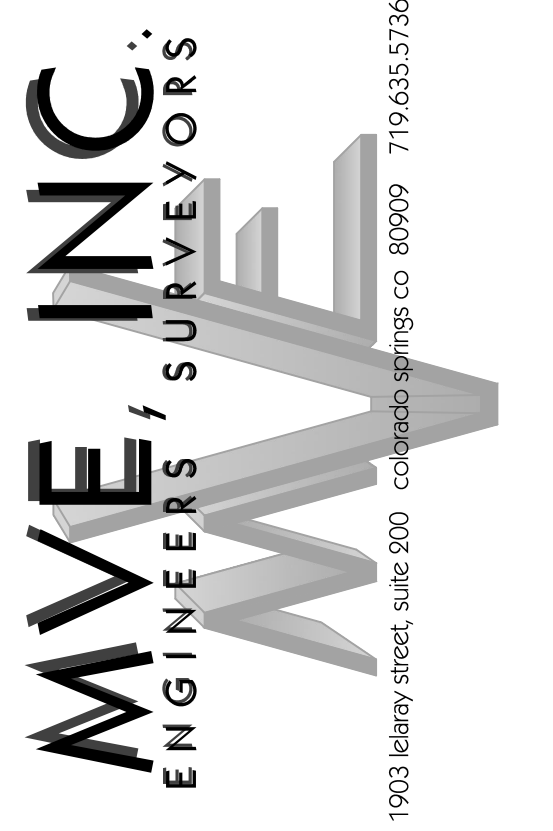
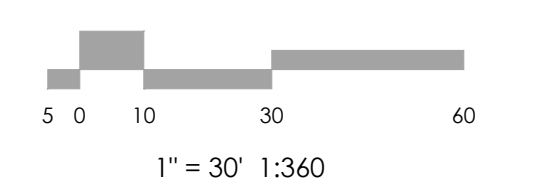
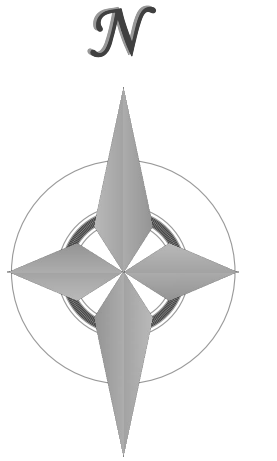
ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.



VICINITY MAP
NOT TO SCALE

BENCHMARK
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REVISIONS

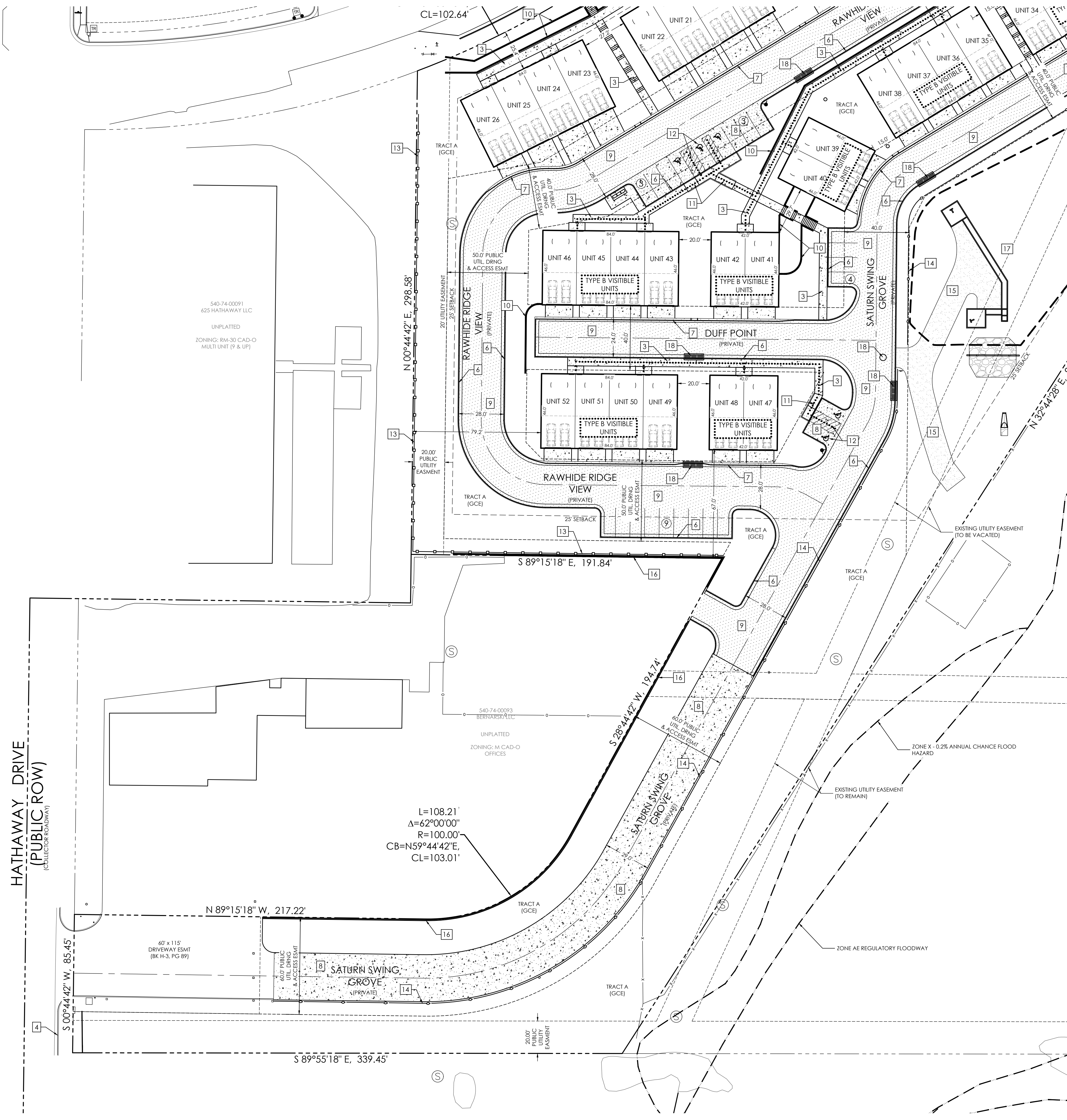
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TOWNHOMES AT WESTERN
 LOT I, CIMARRON SOUTHEAST
 FILLING NO - 2C
**SITE DEVELOPMENT
 PLAN
 SITE PLAN**

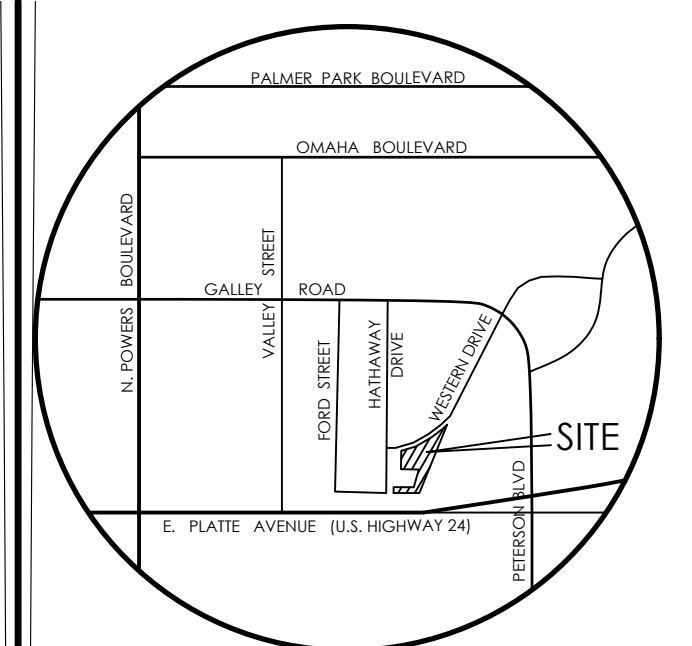
DP-2 MVE PROJECT 61203
 MVE DRAWING DEV-SP

JUNE 7, 2024
SHEET 2 OF 6

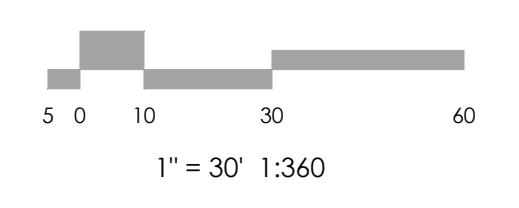
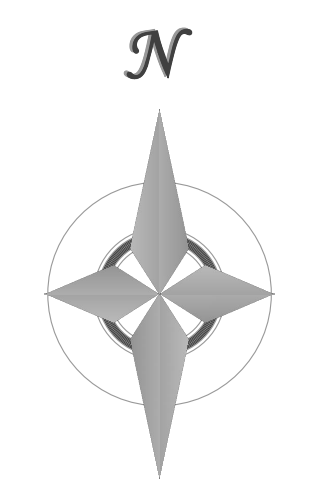
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- SITE PLAN SPECIFIC NOTES**
- 1 INSTALL 6' CROSS PAN (EPC DET SD_2-26)
 - 2 INSTALL PEDESTRIAN CURB RAMP (EPC DET SD_2-41)
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 - 7 INSTALL EPC TYPE C CURB & GUTTER (EPC DET SD_2-20)
 - 8 INSTALL CONCRETE PAVEMENT (SEE DETAIL)
 - 9 INSTALL ASPHALT PAVEMENT (SEE DETAIL)
 - 10 INSTALL 4' HIGH MAX HEIGHT CONCRETE RETAINING WALL (SEE DETAIL)
 - 11 INSTALL INTERIOR PEDESTRIAN CURB RAMP (SEE DETAIL)
 - 12 INSTALL ADA PAVEMENT STRIPES (SEE DETAIL)
 - 13 INSTALL 6' HIGH OPAQUE WOOD FENCE (SEE DETAIL)
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BENCHMARK
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REVISIONS

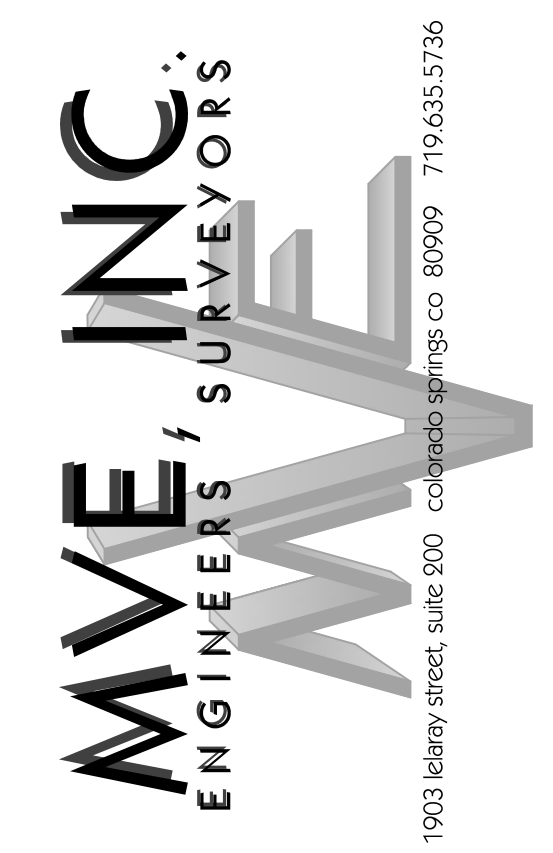
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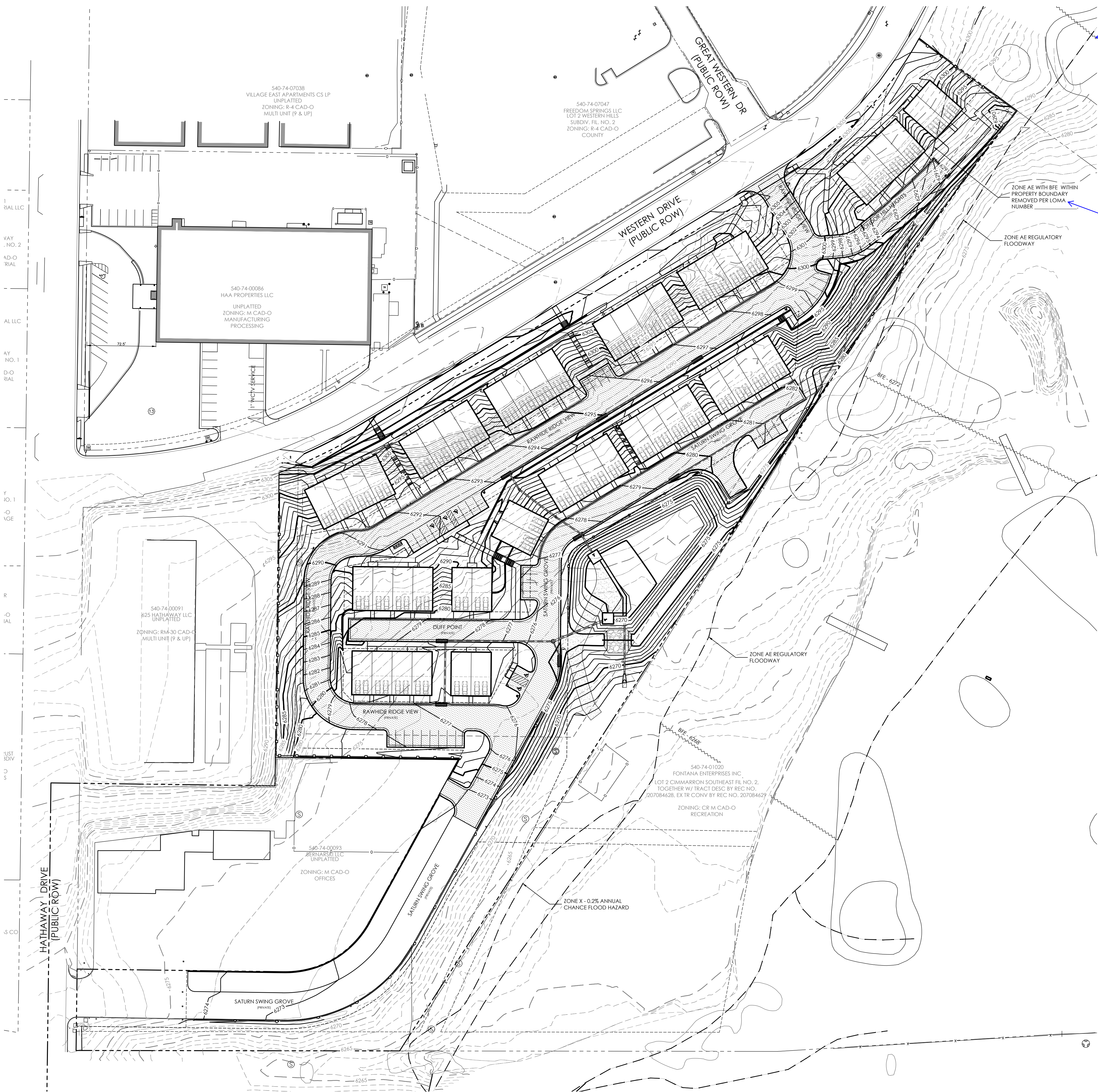
TOWNHOMES AT WESTERN
LOT I, CIMARRON SOUTHEAST
FILLING NO - 2C

**SITE DEVELOPMENT
PLAN
SITE PLAN**

DP-3 MVE PROJECT 61203
MVE DRAWING DEV-SP

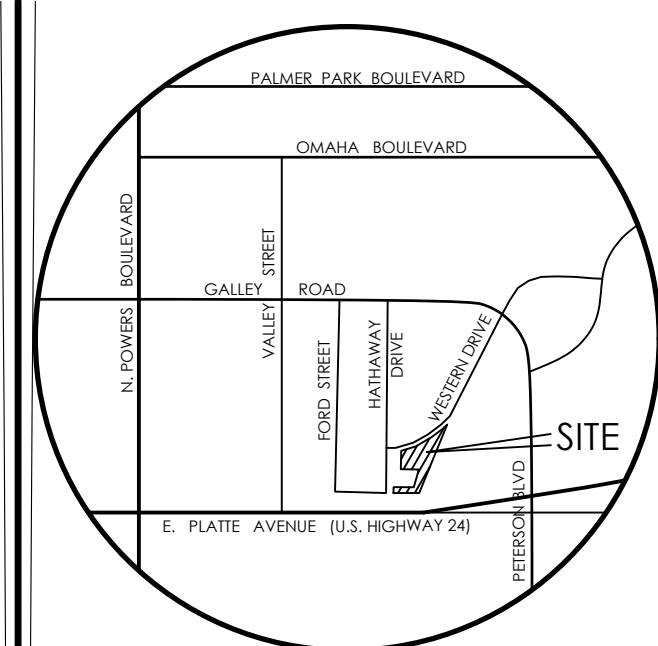
JUNE 7, 2024
SHEET 3 OF 6





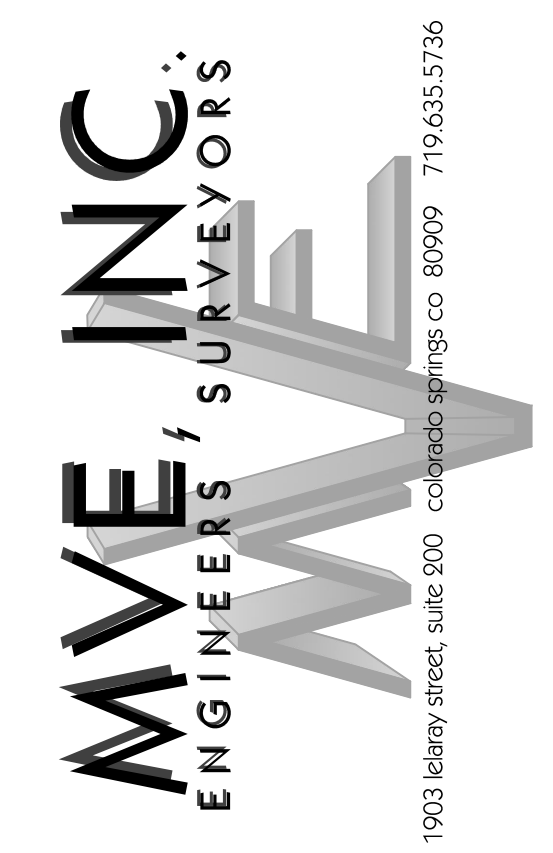
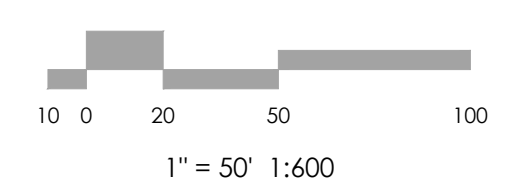
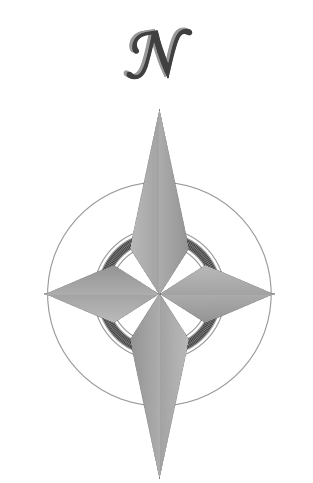
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VICINITY MAP
NOT TO SCALE

BENCHMARK
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REVISIONS

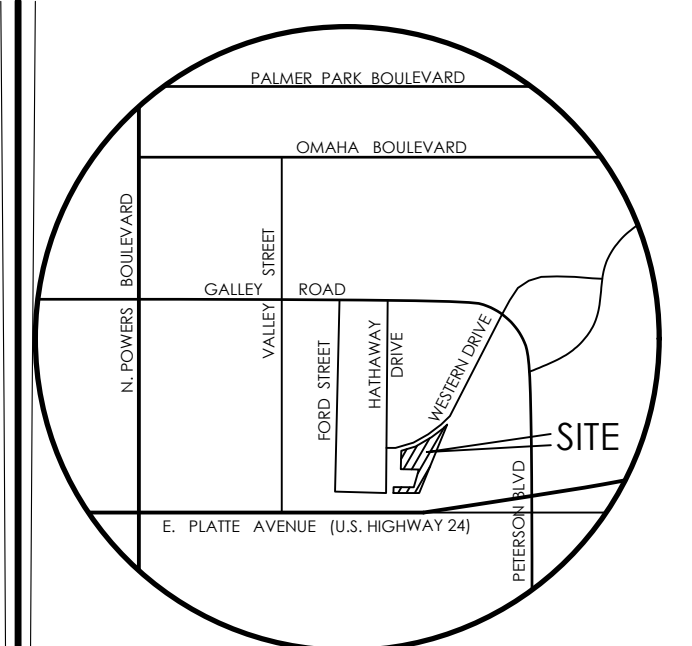
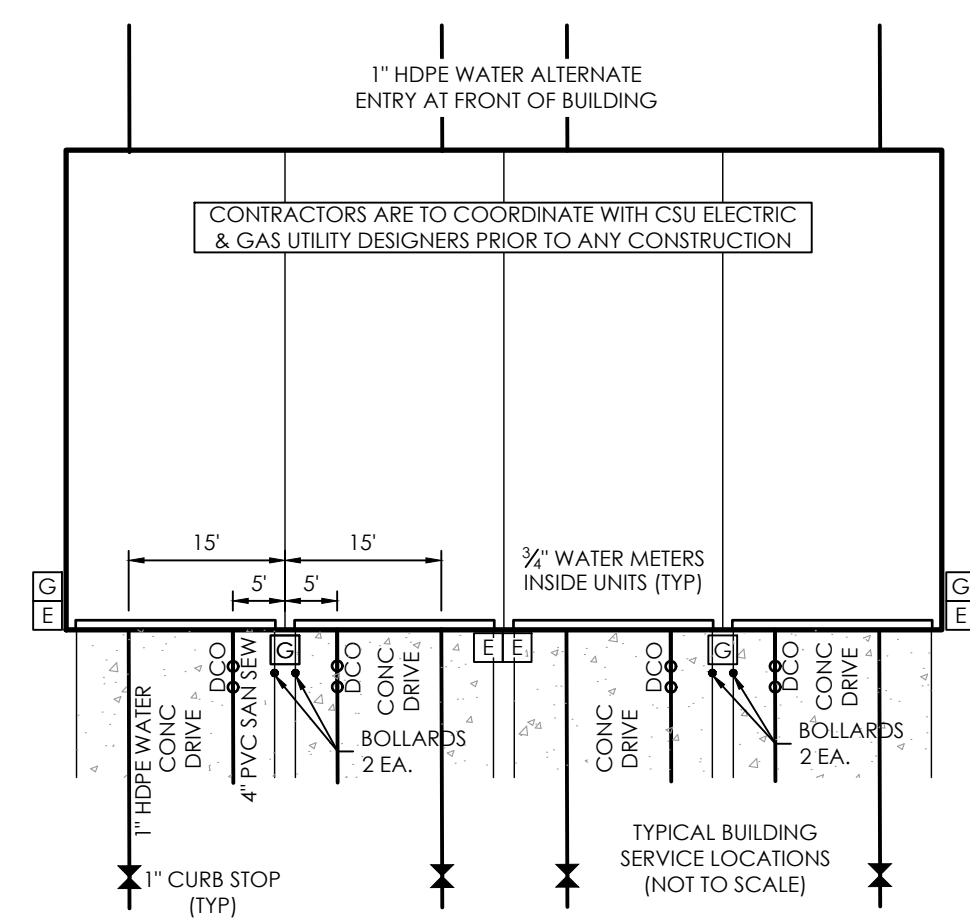
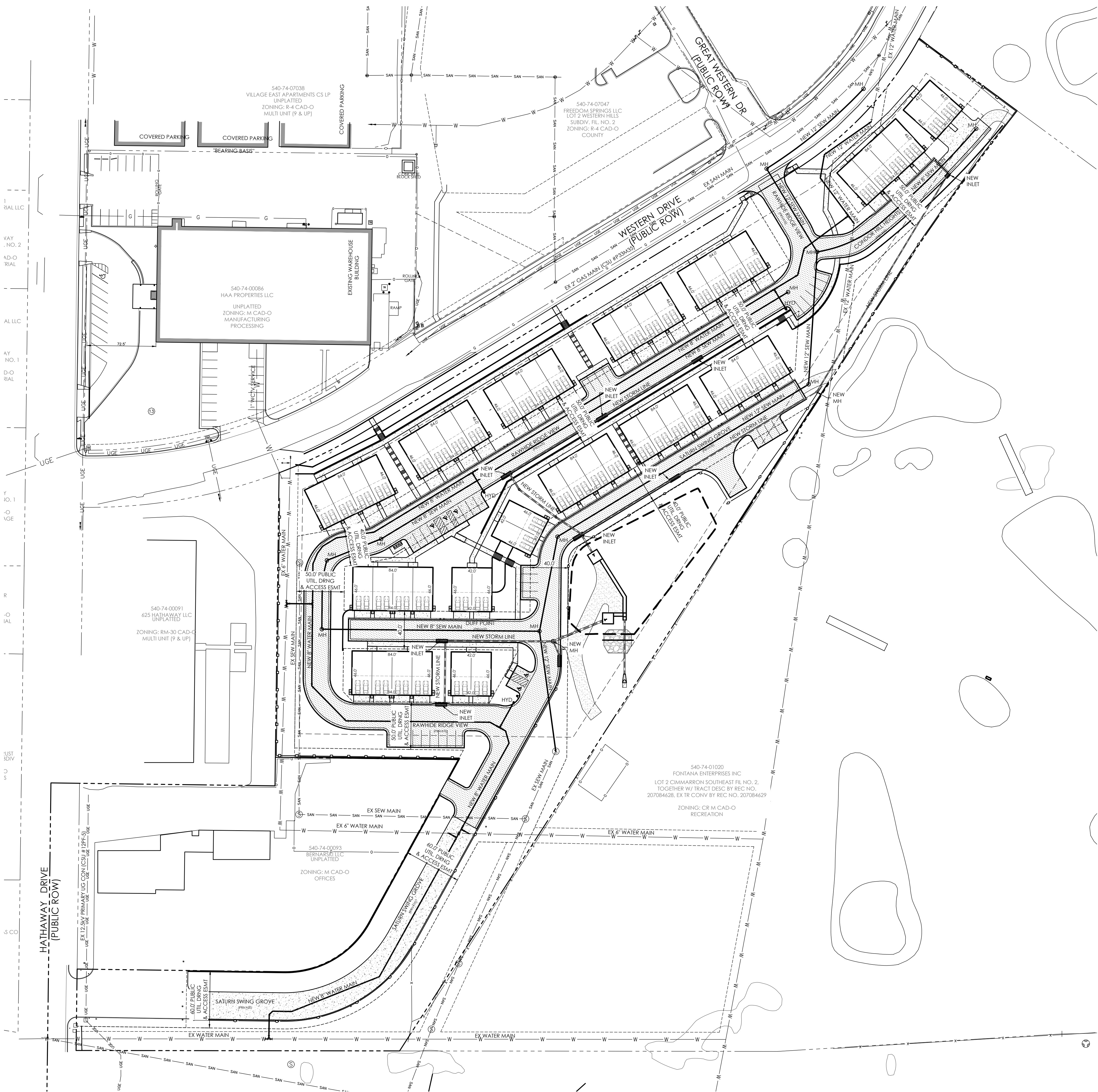
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TOWNHOMES AT WESTERN
LOT I, CIMARRON SOUTHEAST
FILLING NO - 2C

SITE DEVELOPMENT
PLAN
PRELIMINARY GRADING

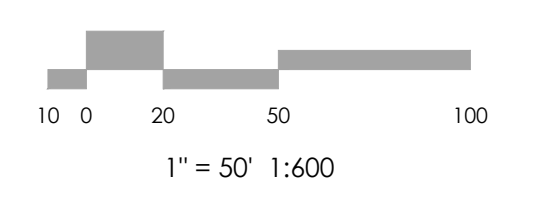
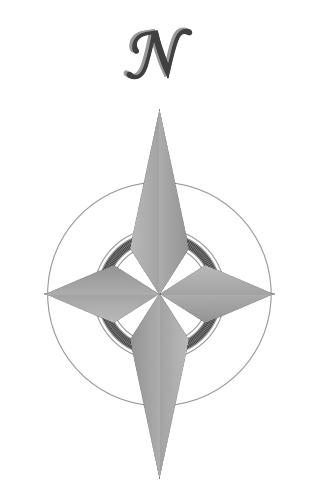
DP-4 MVE PROJECT 61203
MVE DRAWING DEV-PG

JUNE 7, 2024
SHEET 4 OF 6



VICINITY MAP
NOT TO SCALE

BENCHMARK
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COLORADO SPRINGS UTILITIES NOTES:

GAS METERS MUST BE A MINIMUM OF 3-FEET AWAY FROM ANY OPENING IN WALLS.
SIX-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.

THE DEVELOPER ACKNOWLEDGES THE FOLLOWING INFORMATION ITEMS:

- PLEASE CONTACT UTILITIES DEVELOPMENT SERVICES (UDS) AT 719.668.8111 FOR AN ESTIMATE OF DEVELOPMENT CHARGES, FEES, RECOVERY AGREEMENT CHARGES OR OTHER UTILITY RELATED COSTS THAT MAY APPLY TO THIS DEVELOPMENT.
ON INSTANCES WHERE METERED WATER AND/OR WASTEWATER CONNECTIONS EXISTED ON THE PROPERTY, PLEASE CONTACT UDS TO DISCUSS DISTRIBUTION OF WATER AND/OR WASTEWATER DEVELOPMENT CHARGES TO ELIGIBLE LOTS.
- WHEN NEW WATER METERS ARE PROPOSED TO SERVE THE PROJECT OR ADDITIONAL DEMAND ADDED TO EXISTING WATER METERS, A COMMERCIAL WATER METER SIZING FORM WILL BE REQUIRED TO BE SUBMITTED TO CSU PRIOR TO SERVICE CONTRACT ISSUANCE AND PLAN SET APPROVAL.
- CSU REQUIRES AN APPLICATION FOR GAS AND ELECTRIC LINE EXTENSION TO BE SUBMITTED ALONG WITH A LOAD DATA FORM OR AN APPLICATION FOR GAS SERVICE LINE APPROVAL AND/OR APPLICATION FOR ELEVATED PRESSURE APPROVAL PRIOR TO ELECTRIC AND NATURAL GAS SYSTEM DESIGN FOR SERVICE TO THE PROJECT. REFER TO THE CSU LINE EXTENSION AND SERVICE STANDARDS OR CONTACT FIELD ENGINEERING AT 719-668-4985.
- CSU MAY REQUIRE AN EXTENSION CONTRACT AND PAYMENT OF CONTRIBUTIONS-IN-AID OF CONSTRUCTION (OR A REVENUE GUARANTEE CONTRACT) FOR THE EXTENSION OF ELECTRIC FACILITIES NEEDED TO SERVE THE DEVELOPMENT. WITH REGARD TO NATURAL GAS EXTENSIONS, CSU MAY REQUIRE AN EXTENSION CONTRACT AND ADVANCE PAYMENT FOR THE ESTIMATED COSTS TO CONSTRUCT THE NECESSARY GAS EXTENSIONS.
- IMPROVEMENTS, STRUCTURES AND TREES MUST NOT BE LOCATED DIRECTLY OVER OR WITHIN 6 FEET OF ANY UNDERGROUND GAS OR ELECTRIC DISTRIBUTION FACILITIES AND SHALL NOT VIOLATE ANY PROVISION OF THE NATIONAL ELECTRIC SAFETY CODE (NEC) OR ANY APPLICABLE NATURAL GAS REGULATIONS OR CSU POLICIES.
- IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED UNDER ANY OVERHEAD UTILITY FACILITY, SHALL NOT VIOLATE NESC CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- LANDSCAPING SHALL BE DESIGNED TO PROVIDE THE REQUIRED CLEARANCES FOR UTILITY FACILITIES, TO ALLOW CONTINUOUS ACCESS FOR UTILITY EQUIPMENT, AND TO MINIMIZE CONFLICTS WITH SUCH FACILITIES.
- CSU REQUIRES WASTEWATER AND WATER CONSTRUCTION DRAWINGS WHEN NEW WASTEWATER AND WATER FACILITIES ARE PROPOSED. PLANS CAN BE SUBMITTED ELECTRONICALLY TO UDS VIA WWW.CSU.ORG.

REVISIONS

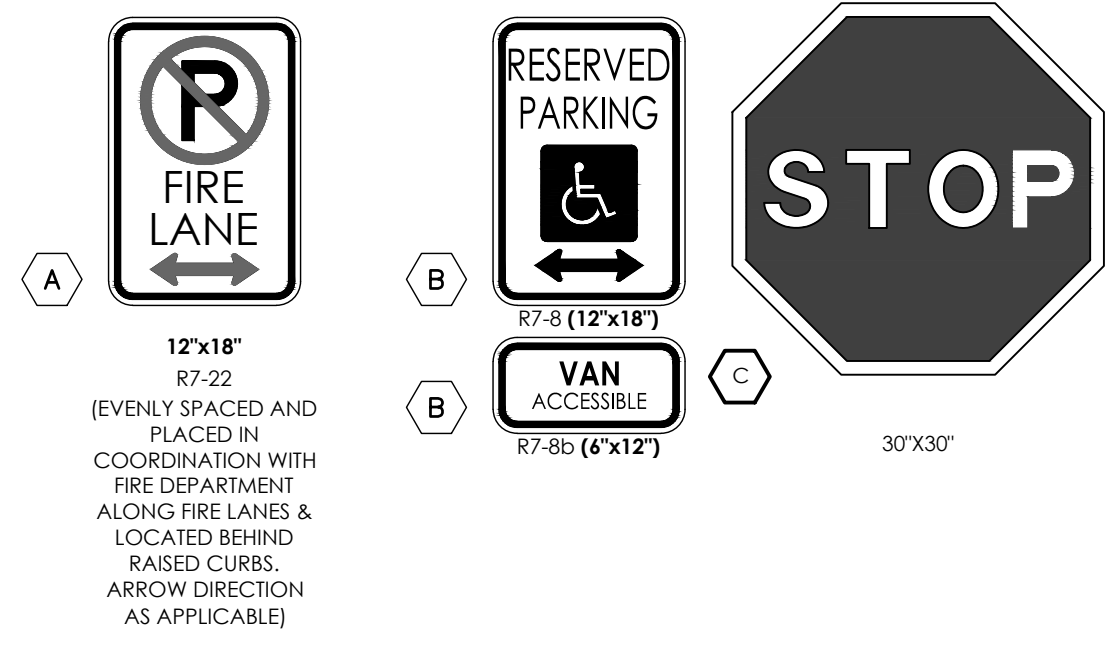
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TOWNHOMES AT WESTERN
LOT I, CIMARRON SOUTHEAST
FILLING NO - 2C

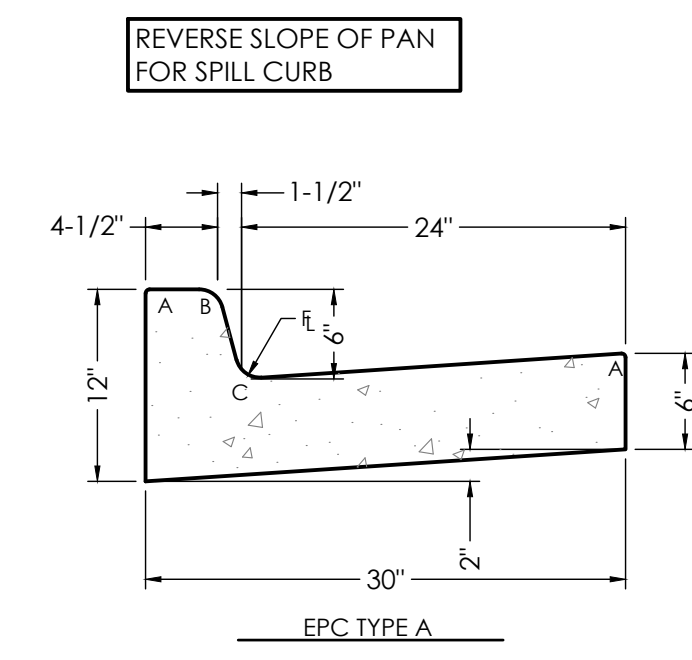
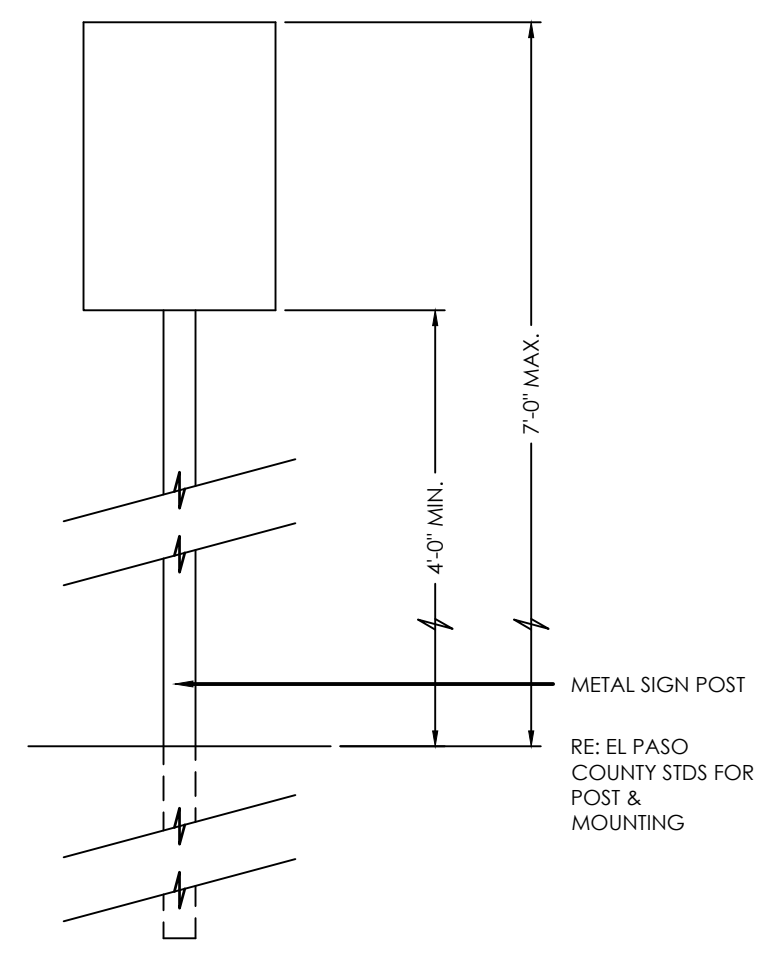
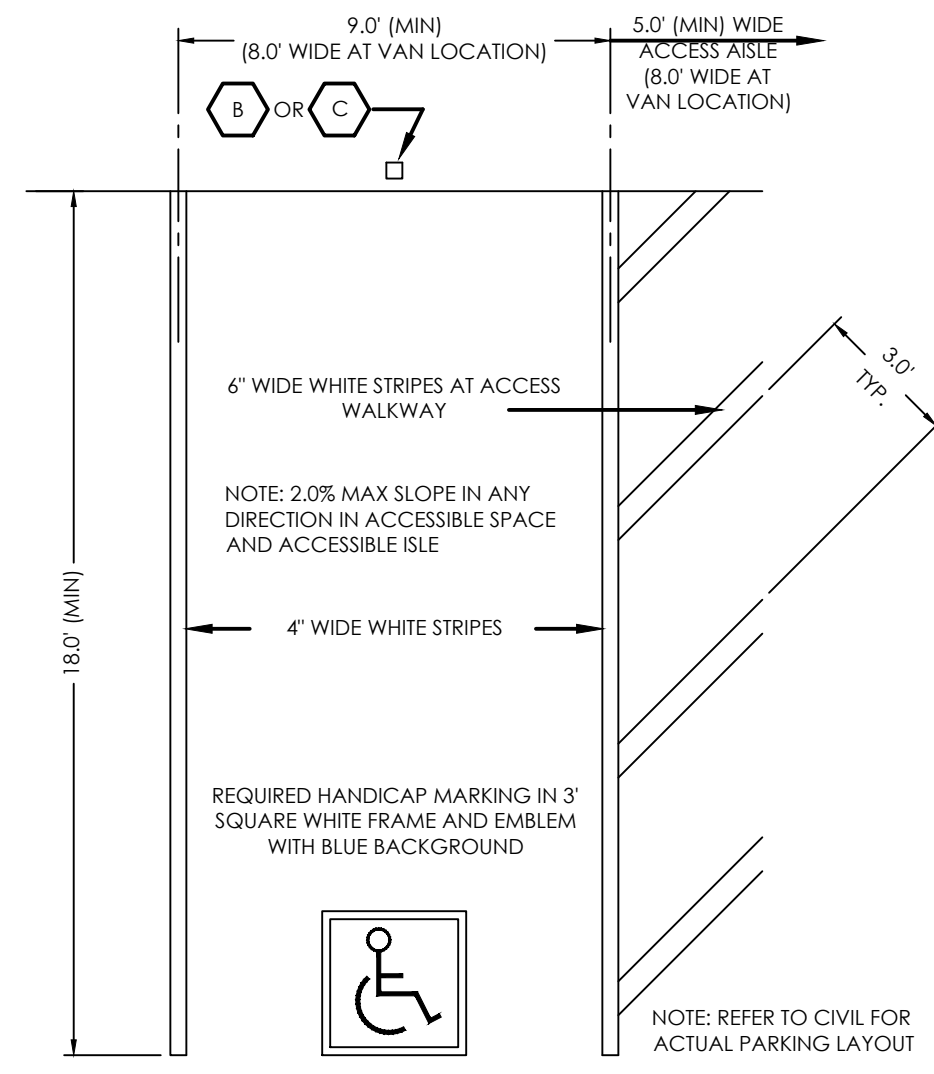
SITE DEVELOPMENT
PLAN
PRELIMINARY UTILITIES

DP-5 MVE PROJECT 61203
MVE DRAWING DEV-PU

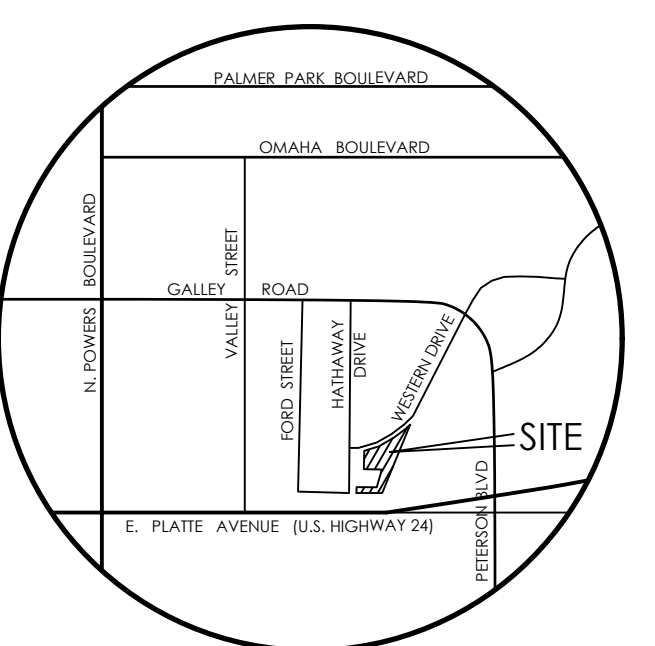
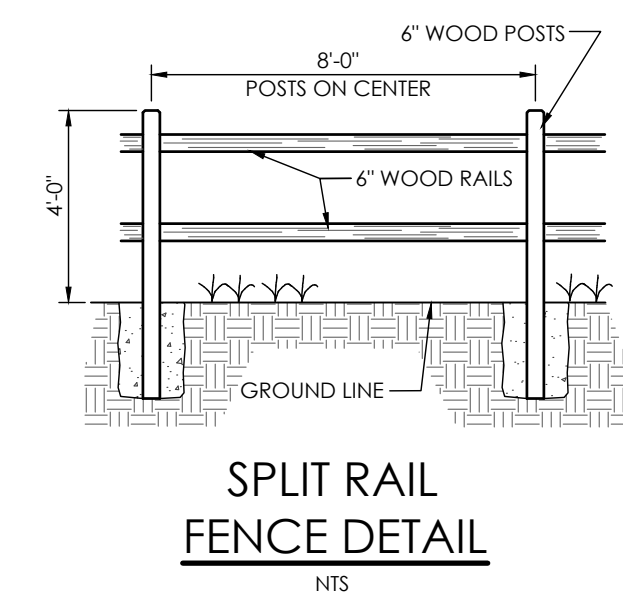
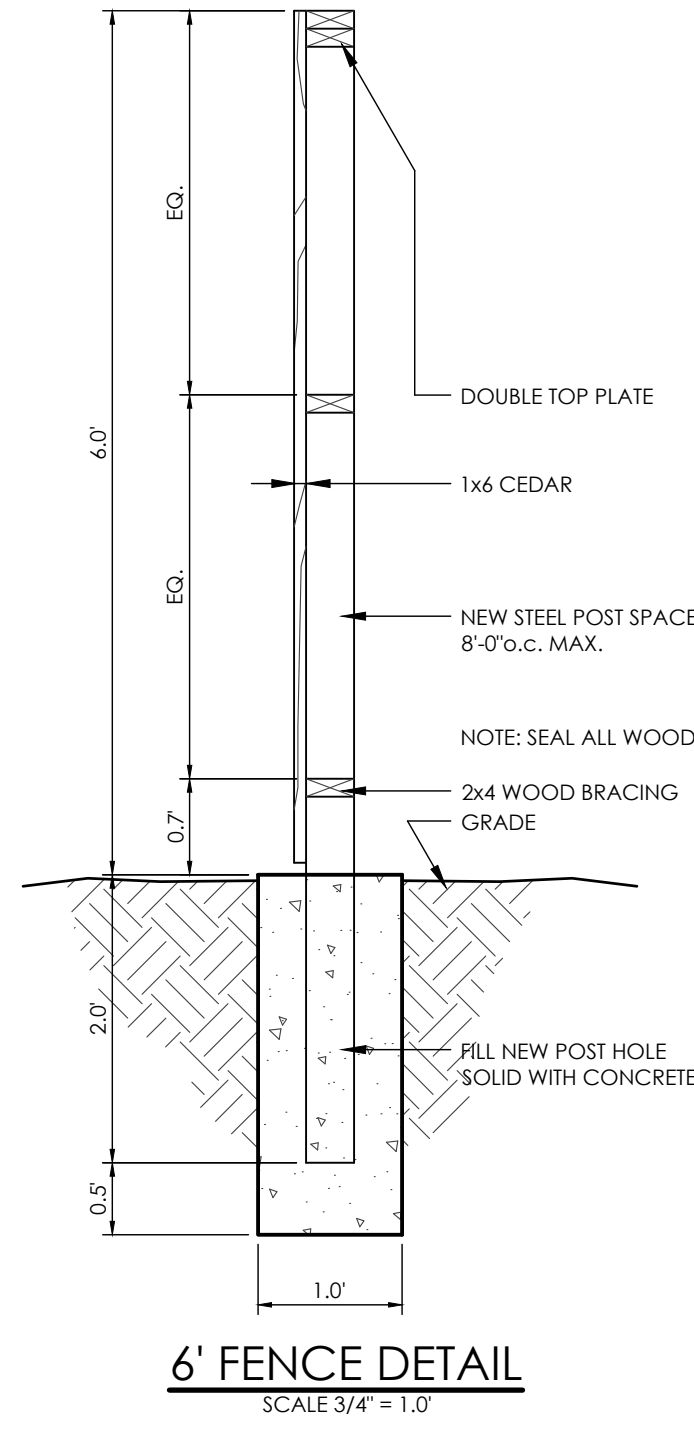
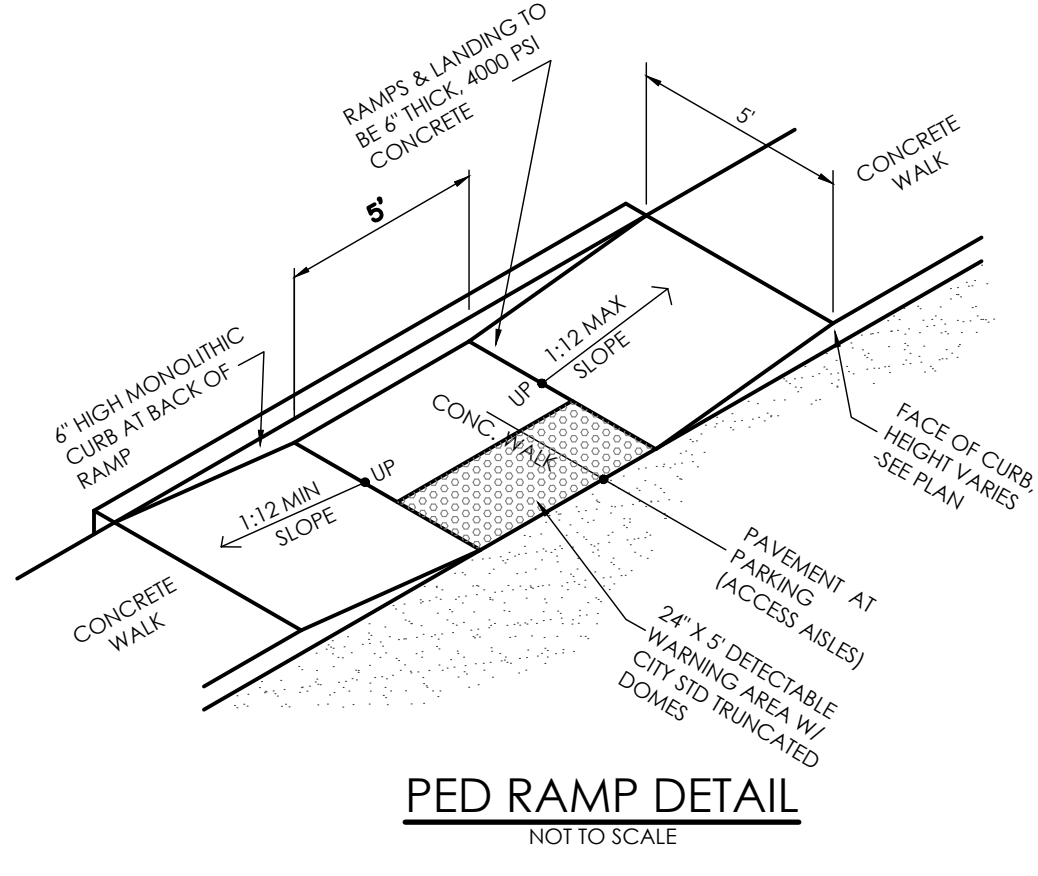
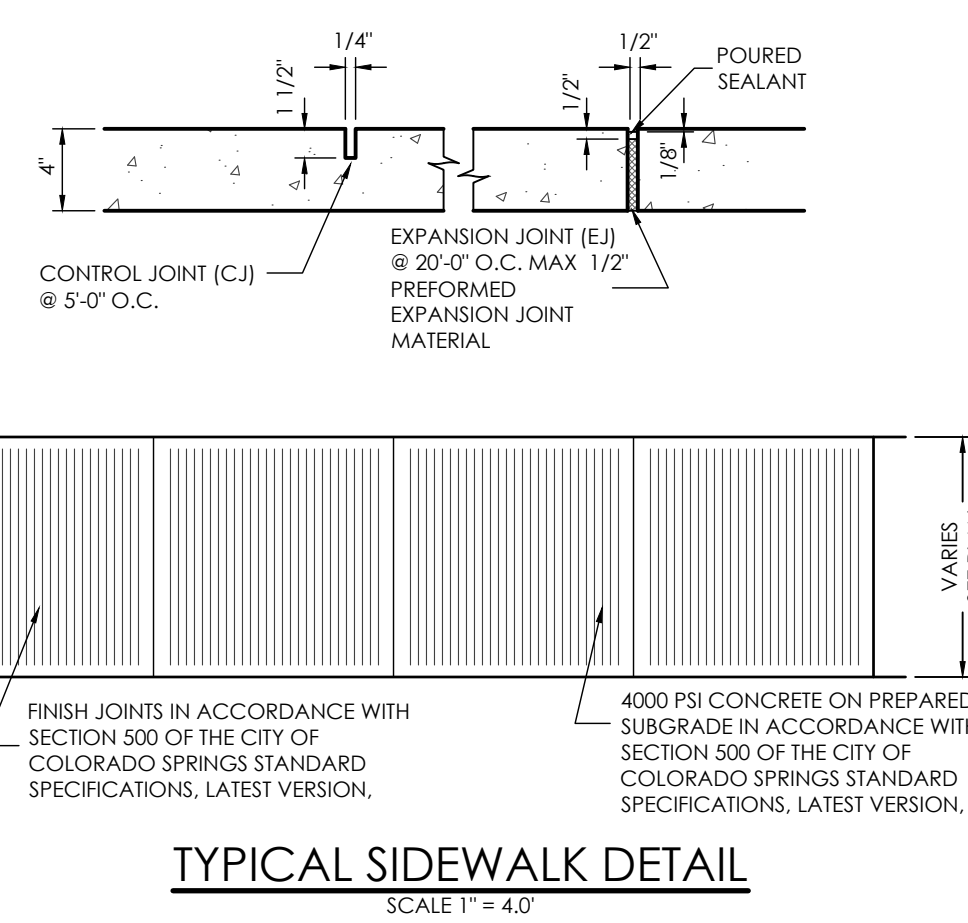
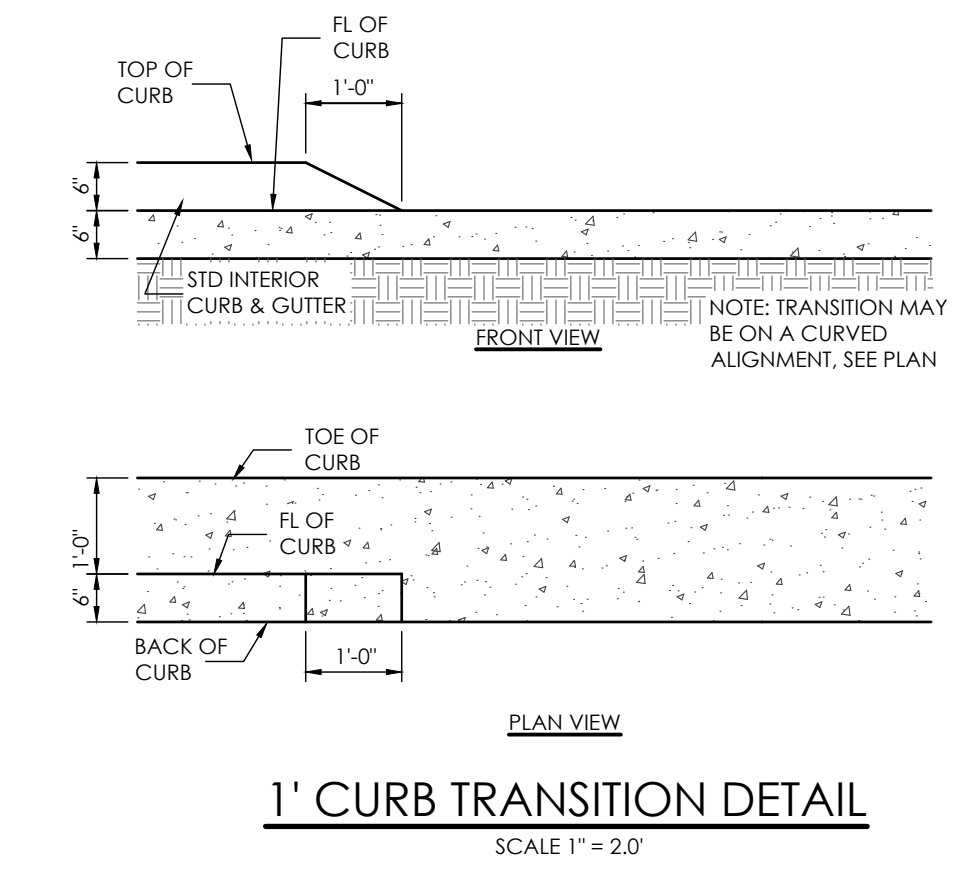
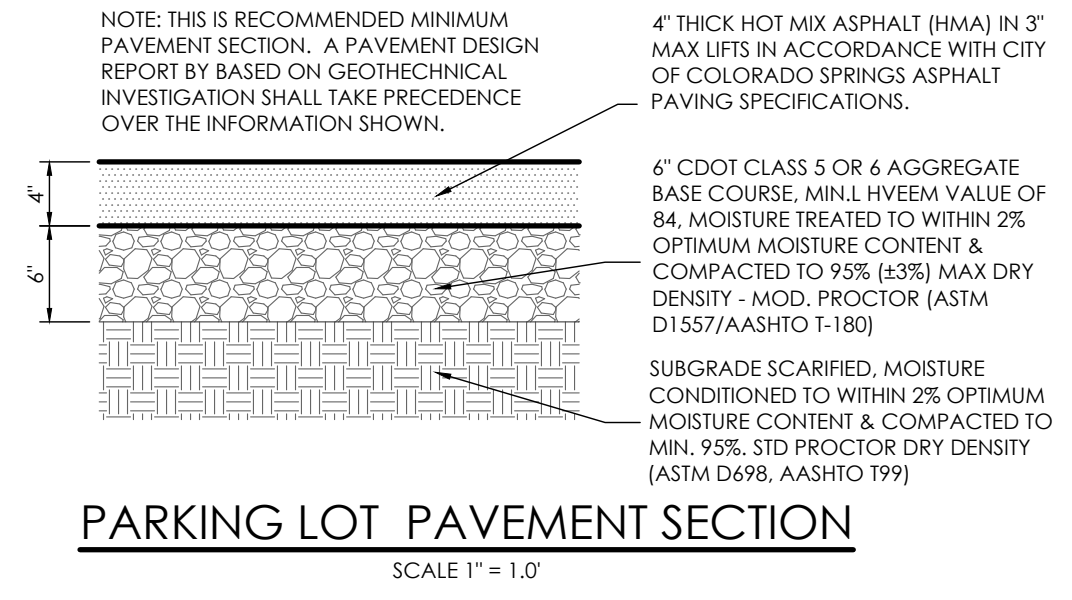
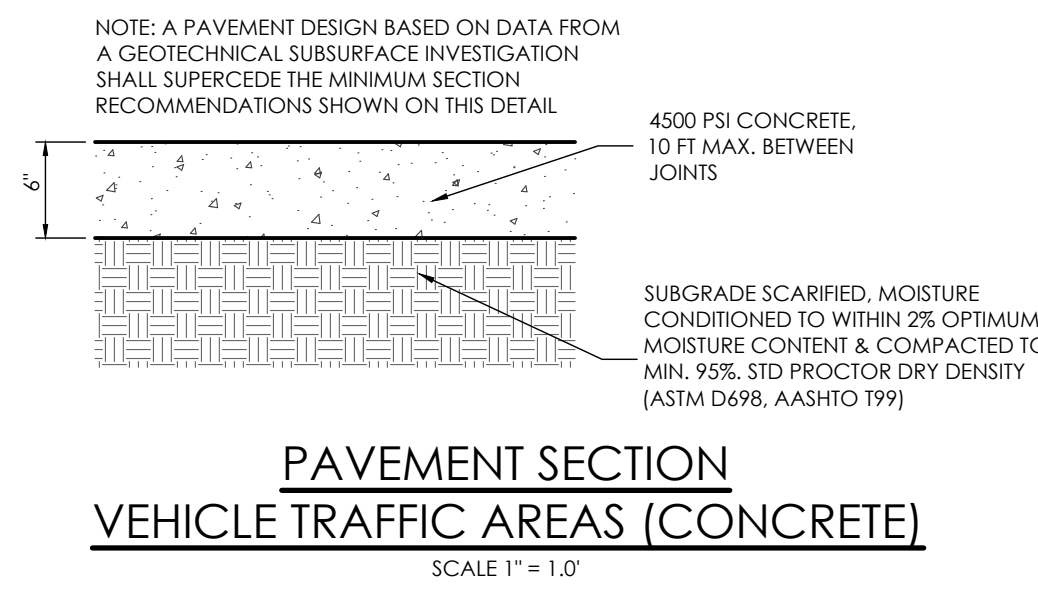
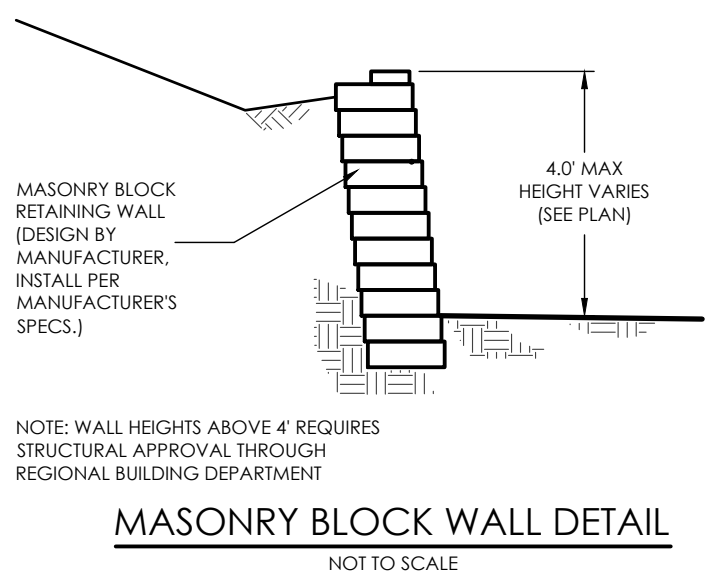
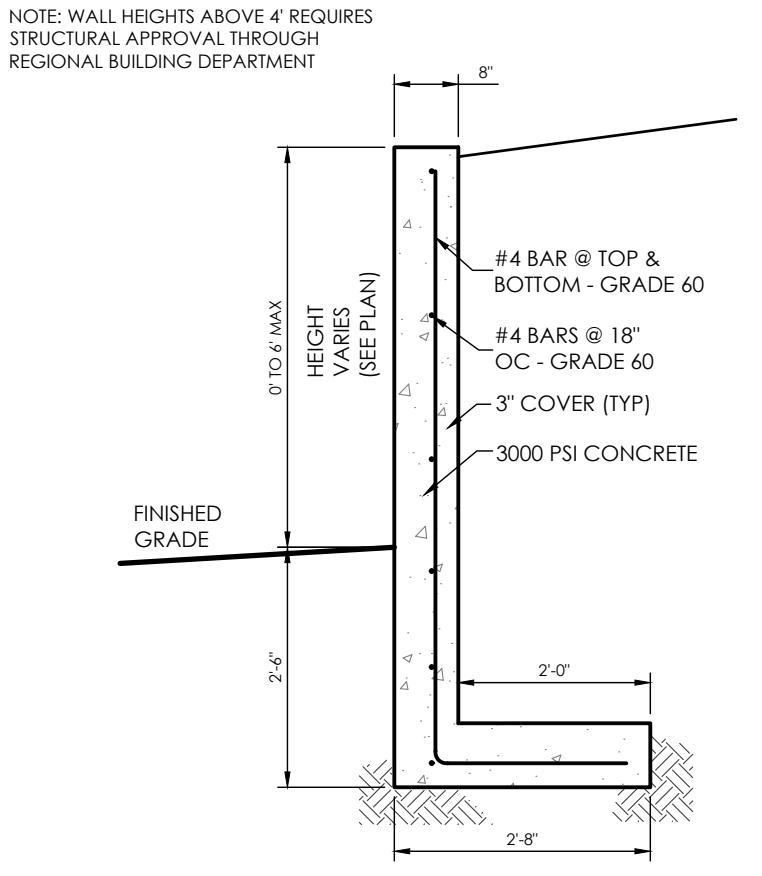
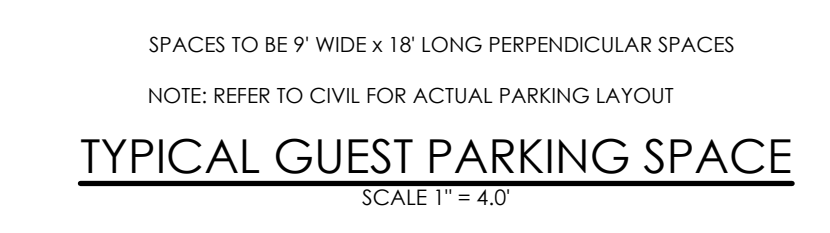
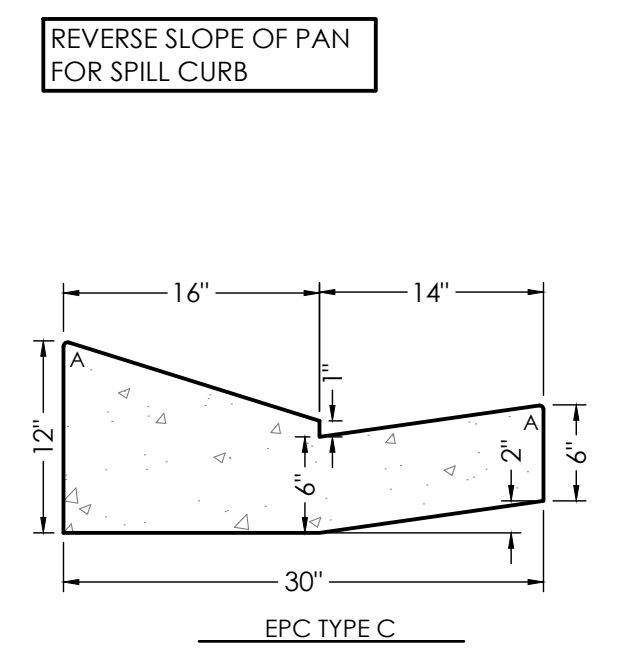
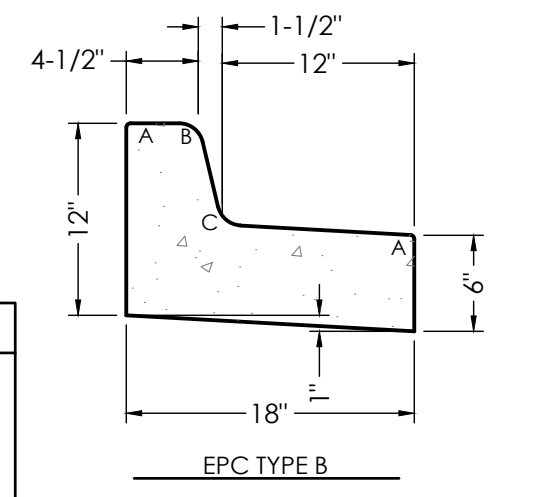
JUNE 7, 2024
SHEET 5 OF 6



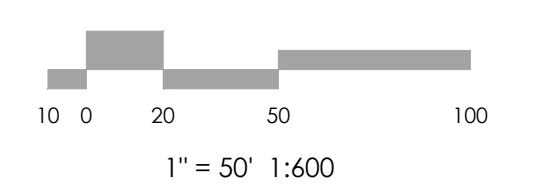
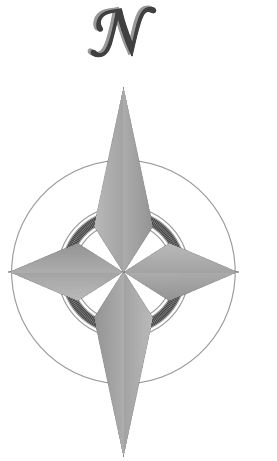
1. TYPOGRAPHY TO BE HELVETICA MEDIUM
2. ALL PRIMARY SIGNS TO BE MOUNTED ON METAL SIGN POST: 7'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN-TYP. ADDITIONAL PLACARD SIGNS SHALL BE MOUNTED AT LEAST 6'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN-TYP.
3. MOUNT HANDICAP SIGNAGE ON BUILDING.
4. FIRE LANE MARKING SHALL BE PROVIDED AS SHOWN. EITHER SIGNAGE OR STRIPING WILL BE PROVIDED IN LOCATIONS SHOWN ON PLAN. FIRE LANE MARKING REQUIREMENTS BY COLORADO SPRINGS FIRE DEPARTMENT DIVISION OF THE FIRE MARSHALL AS REVISED JULY 2016 WILL BE A FOLLOWED FOR MATERIALS AND INSTALLATION OF MARKINGS.



| RADII | |
|-------|--------------|
| A | 1/8" TO 1/4" |
| B | 1-1/2" |
| C | 1-1/2" TO 2" |



BENCHMARK
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD '88.



MVE, INC.
ENGINEERS & SURVEYORS

1903 Leary street, suite 200 Colorado Springs CO 80909 719.635.5736

REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

TOWNHOMES AT WESTERN

LOT I, CIMARRON SOUTHEAST FILLING NO. 2C

DETAILS
DP-6

MVE PROJECT 61203
MVE DRAWING DEV-DS

JUNE 7, 2024
SHEET 6 OF 6