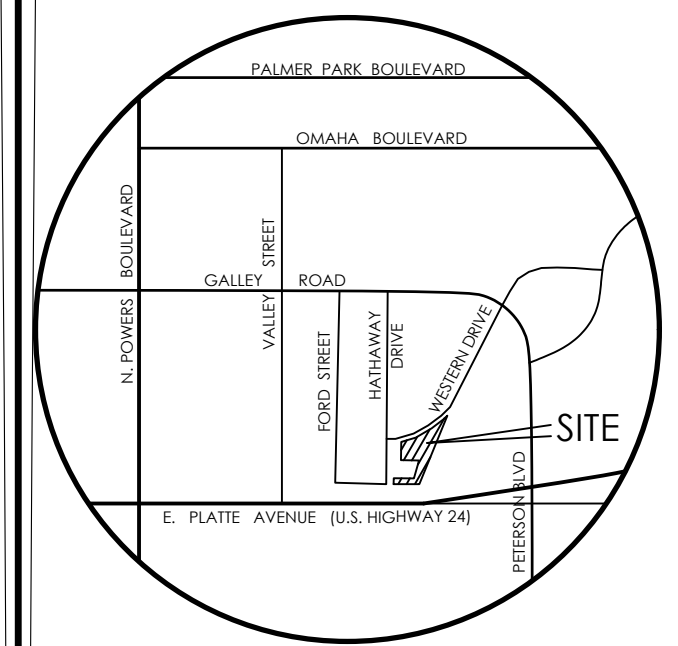


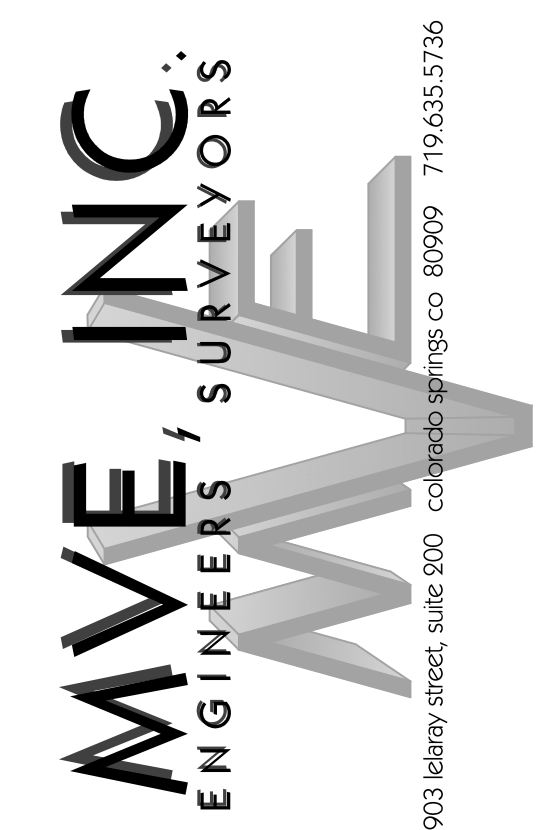
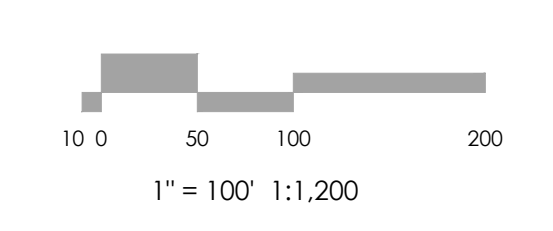
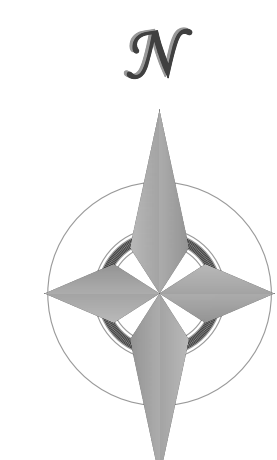
# SITE DEVELOPMENT PLAN FOR TOWNHOMES AT WESTERN

LOT I, CIMARRON SOUTHEAST FILING NO. 2C  
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
EL PASO COUNTY, COLORADO



VICINITY MAP  
NOT TO SCALE

BENCHMARK  
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD '88.



REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

## TOWNHOMES AT WESTERN

LOT I, CIMARRON SOUTHEAST FILING NO. 2C

## COVER SHEET

**DP-1** MVE PROJECT 61203  
MVE DRAWING DEV-CS

MARCH 1, 2024  
SHEET 1 OF 6

### LEGEND

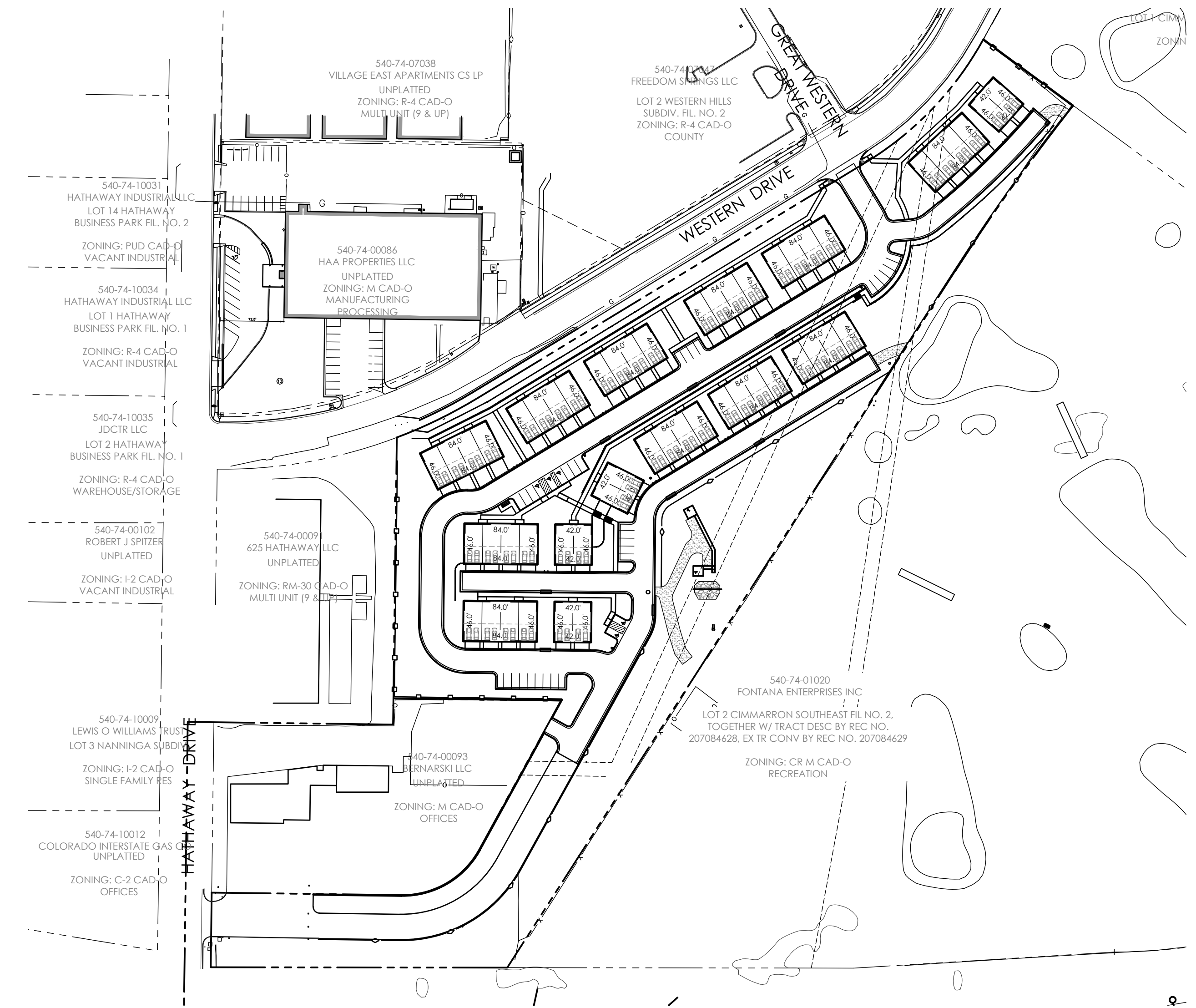
-----	PROPERTY LINE	-----	PROPERTY LINE
- - - - -	EASEMENT LINE	- - - - -	EASEMENT LINE
-----	LOT LINE	-----	LOT LINE
-----	BUILDING SETBACK LINE	-----	BUILDING SETBACK LINE
-----	ADJACENT PROPERTY LINE	-----	ADJACENT PROPERTY LINE
<b>EXISTING</b>			
-----	INDEX CONTOUR	-----	INDEX CONTOUR
-----	INTERMEDIATE CONTOUR	-----	INTERMEDIATE CONTOUR
[Pattern]	CONCRETE AREA	[Pattern]	CONCRETE AREA
[Pattern]	ASPHALT AREA	[Pattern]	ASPHALT AREA
[Pattern]	CURB AND GUTTER	[Pattern]	CURB AND GUTTER
[Pattern]	BUILDING/BUILDING OVERHANG	[Pattern]	BUILDING/BUILDING OVERHANG
[Pattern]	DECK	[Pattern]	DECK
[Pattern]	RETAINING WALL - SOLID/ROCK	[Pattern]	RETAINING WALL
[Symbol]	SIGN	[Symbol]	SIGN
[Symbol]	BOLLARD	[Symbol]	BOLLARD
[Symbol]	WOOD FENCE	[Symbol]	WOOD FENCE
[Symbol]	CHAIN LINK FENCE	[Symbol]	CHAIN LINK FENCE
[Symbol]	BARBED WIRE FENCE	[Symbol]	BARBED WIRE FENCE
[Symbol]	TREE (EVERGREEN/DECIDUOUS)	[Symbol]	TREE (EVERGREEN/DECIDUOUS)
[Symbol]	SHRUB	[Symbol]	SHRUB
[Symbol]	ROCK	[Symbol]	ROCK
<b>PROPOSED</b>			
-----	INDEX CONTOUR	-----	INDEX CONTOUR
-----	INTERMEDIATE CONTOUR	-----	INTERMEDIATE CONTOUR
[Pattern]	CONCRETE AREA	[Pattern]	CONCRETE AREA
[Pattern]	ASPHALT AREA	[Pattern]	ASPHALT AREA
[Pattern]	CURB AND GUTTER	[Pattern]	CURB AND GUTTER
[Pattern]	BUILDING/BUILDING OVERHANG	[Pattern]	BUILDING/BUILDING OVERHANG
[Pattern]	DECK	[Pattern]	DECK
[Pattern]	RETAINING WALL	[Pattern]	RETAINING WALL
[Symbol]	SIGN	[Symbol]	SIGN
[Symbol]	BOLLARD	[Symbol]	BOLLARD
[Symbol]	UNIT ADDRESS (100)	[Symbol]	UNIT ADDRESS (100)
[Symbol]	FIRE LANE	[Symbol]	FIRE LANE
[Symbol]	ADA ROUTE	[Symbol]	ADA ROUTE

### ABBREVIATION LEGEND

ASPH	ASPHALT
CONC	CONCRETE
C & G	CURB & GUTTER
DET.	DETAIL
ESMT	EASEMENT
ME	MATCH EXISTING
P.B., PG.	PLAT BOOK, PAGE
PVMT	PAVEMENT
RET. WALL	RETAINING WALL
REC. NO.	RECEPTION NUMBER
R.O.W.	RIGHT-OF-WAY
SF	SQUARE FOOT
STBK	SETBACK
SW	SIDEWALK
UTIL	UTILITY
(C)	CATCH CURB
(S)	SPILL CURB

### SHEET INDEX

SITE DEVELOPMENT PLAN	
DP-1	COVER SHEET
DP-2	SITE PLAN (NORTH)
DP-3	SITE PLAN (SOUTH)
DP-4	PRELIMINARY GRADING PLAN
DP-5	PRELIMINARY UTILITY PLAN
DP-6	SITE DETAILS



### SITE DATA

<b>OWNER / DEVELOPER</b> J. ELLIOTT HOMES, INC. 13761 BANDANERO DRIVE PEYTON, CO 80831 PH (719) 499-8214	<b>COVERAGE DATA</b>
<b>CONSULTANT/ENGINEER</b> M.V.E. INC. 1903 LELARAY STREET, SUITE 200 COLORADO SPRINGS, CO 80909 (719) 635-5736	52 TOWNHOME UNITS (966 EA) 50,232 SF 16.2% PAVEMENT (PARKING/WALK) 98,148 SF 31.7% LANDSCAPING 161,689 SF 52.1%
<b>SURVEYOR</b> POLARIS SURVEYING, INC. 1903 LELARAY STREET, SUITE 102 COLORADO SPRINGS, CO 80909 (719) 448-0844	TOTAL AREA 310,069 SF 100.0% = 7.118± ACRES
<b>ZONING</b> RESIDENTIAL MULTI-DWELLING (RM-30)	<b>PARKING DATA</b> 52 MULTI-FAMILY RESIDENTIAL UNITS (3 BEDROOM) REQUIRED PARKING: 2.0 SPACES / 3 BEDROOM UNIT = 2.0 X 52 = 104 GUEST REQUIRED: 1 SPACE / 4 UNITS = 52 / 4 = 5 ADA SPACES REQUIRED: = 122
<b>BUILDING USE</b> TOWN HOMES	PROVIDED: GARAGES: = 104 OUTSIDE PARKING (GUEST): = 30 ADA SPACES: = 5
<b>CONSTRUCTION SCHEDULE</b> START: FALL 2024 FINISH: FALL 2025	TOTAL SPACES PROVIDED: = 139 SPACES
<b>TAX SCHEDULE NO.</b> 5407401016	<b>BUILDING TYPE</b> BUILDING AREA - 3,864 SF TWO / THREE STORY - TYPE II-B NOT FIRE SPRINKLED / NO FIRE WALLS
<b>PROPERTY ADDRESS</b> 721 WESTERN DRIVE COLORADO SPRINGS, CO 80915	<b>BUILDING HEIGHT</b> 40 FT MAX. (THREE STORY)
<b>LEGAL DESCRIPTION</b> LOT I, CIMARRON SOUTHEAST FILING NO. 2C AS RECORDED IN PLAT BOOK H-3 AT PAGE 89 OF THE RECORDS OF EL PASO COUNTY, COLORADO	<b>SET BACKS</b> 25' FRONT (WESTERN DRIVE) 15' REAR 15' SIDE 25' PERIMETER BOUNDARY
<b>DEVELOPMENT NOTES:</b>	

- LEGAL DESCRIPTION**  
LOT I, CIMARRON SOUTHEAST FILING NO. 2C AS RECORDED IN PLAT BOOK H-3 AT PAGE 89 OF THE RECORDS OF EL PASO COUNTY, COLORADO  
CONTAINING A CALCULATED AREA OF 7.118 ACRES, MORE OR LESS.
1. WATER SERVICE PROVIDED BY CHEROKEE METROPOLITAN DISTRICT.
  2. SEWER SERVICE PROVIDED BY CHEROKEE METROPOLITAN DISTRICT.
  3. GAS AND ELECTRIC SERVICE PROVIDED BY COLORADO SPRINGS UTILITIES.
  4. OWNERSHIP AND MAINTENANCE OF THE GENERAL COMMON ELEMENT (GCE), TRACT A SHALL BE VESTED TO THE TOWNHOMES AT WESTERN HOME OWNERS ASSOCIATION. THIS INCLUDES THE MAINTENANCE OF THE PRIVATE ROADS, COMMON AREAS, ETC.

### ADA NOTE

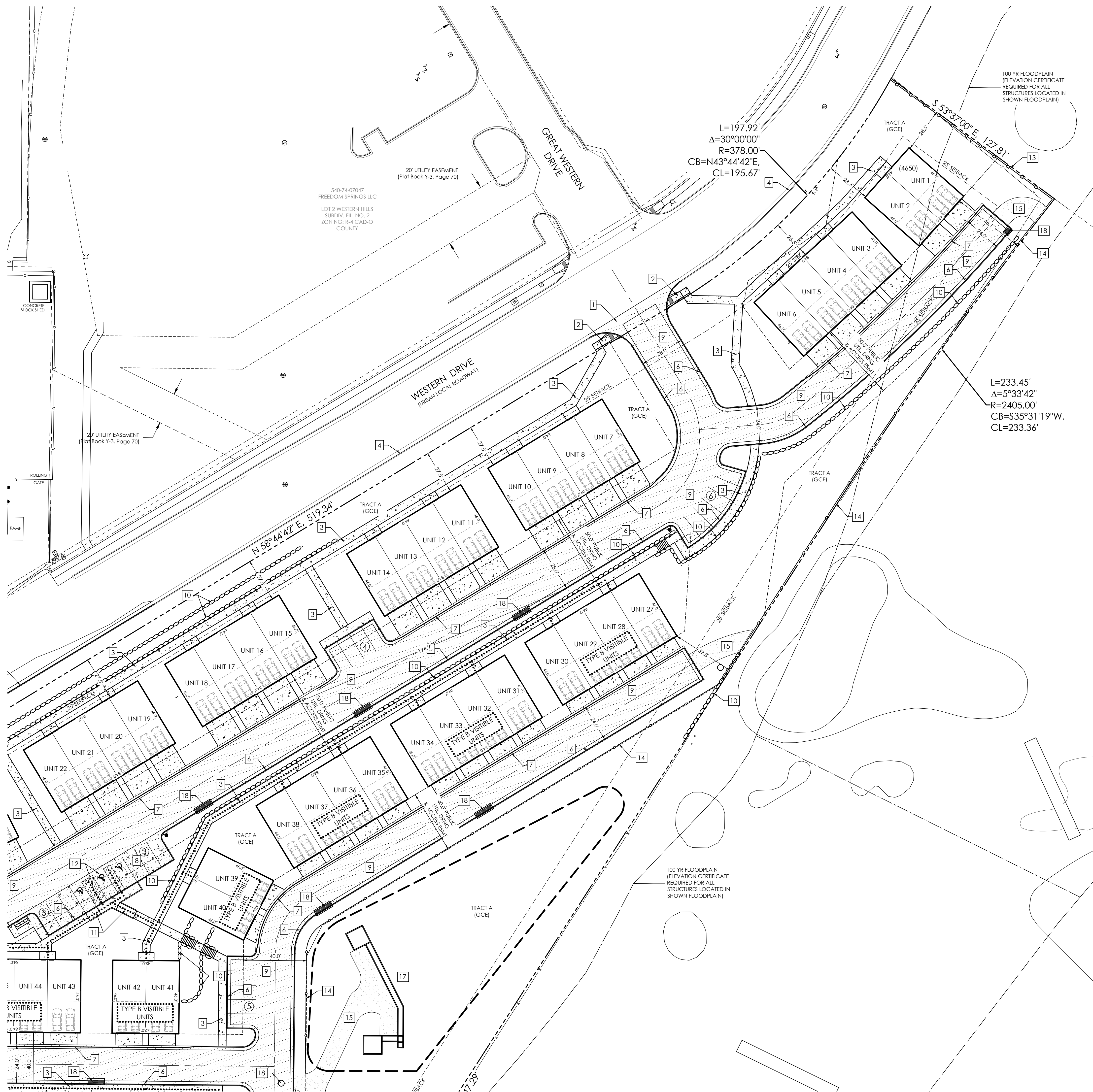
THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

### FLOODPLAIN STATEMENT

A PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA'S) ZONE AE AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0754 G, EFFECTIVE DECEMBER 7, 2018.

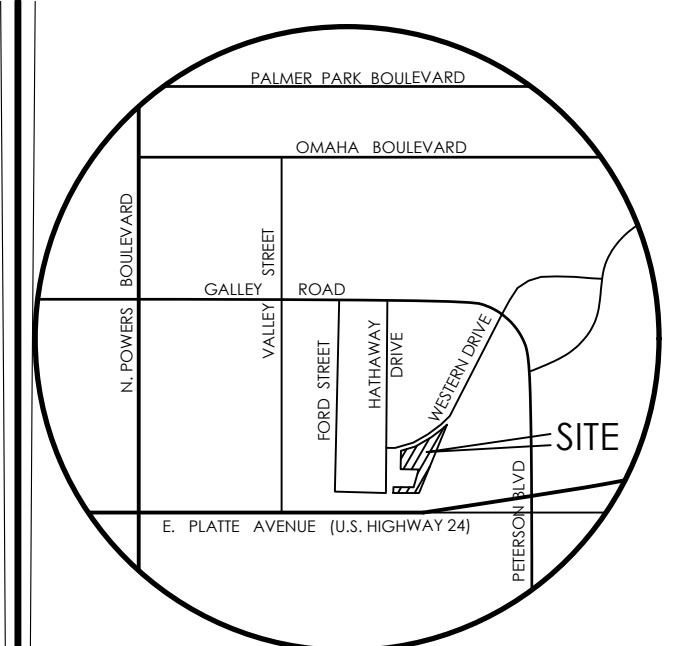
### MAP NOTES

1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR N00°44'42"E.
2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD88.
3. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.



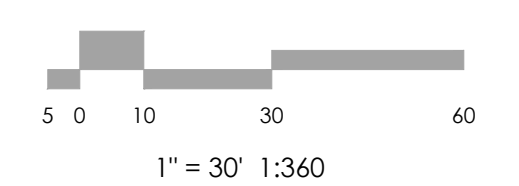
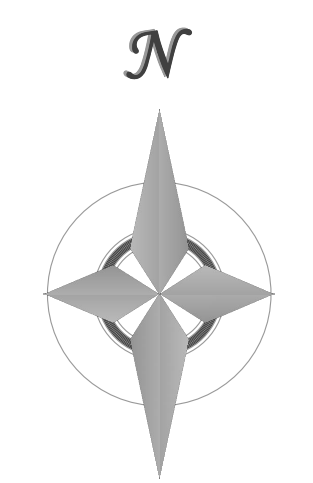
**SITE PLAN SPECIFIC NOTES**

- 1 INSTALL 6' CROSS PAN (EPC DET SD\_2-26)
- 2 INSTALL PEDESTRIAN CURB RAMP (EPC DET SD\_2-41)
- 3 INSTALL 5' WIDE SIDEWALK (SEE DETAIL)
- 4 EXISTING EPC TYPE A CURB & GUTTER TO REMAIN
- 5 INSTALL EPC TYPE A CURB & GUTTER (PUBLIC) (EPC DET SD\_2-20)
- 6 INSTALL EPC TYPE A CURB & GUTTER (PRIVATE) (EPC DET SD\_2-20)
- 7 INSTALL EPC TYPE C CURB & GUTTER (EPC DET SD\_2-20)
- 8 INSTALL CONCRETE PAVEMENT (SEE DETAIL)
- 9 INSTALL ASPHALT PAVEMENT (SEE DETAIL)
- 10 INSTALL 4' HIGH MAX HEIGHT CONCRETE RETAINING WALL (SEE DETAIL)
- 11 INSTALL INTERIOR PEDESTRIAN CURB RAMP (SEE DETAIL)
- 12 INSTALL ADA PAVEMENT STRIPES (SEE DETAIL)
- 13 INSTALL 6' HIGH OPAQUE WOOD FENCE (SEE DETAIL)
- 14 INSTALL SPLIT RAIL WOOD FENCE
- 15 INSTALL GRAVEL ACCESS DRIVE
- 16 INSTALL CONCRETE PRIVACY WALL (SEE DETAIL)
- 17 INSTALL FULL SPECTRUM EXTENDED DETENTION BASIN
- 18 INSTALL STORM INLET / MANHOLE (PRIVATE)



**VICINITY MAP**  
NOT TO SCALE

BENCHMARK  
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**ADA ACCESSIBILITY POINT CALCULATION:**

**REQUIRED:**  
PER CRC 9-5-105, 24 POINTS ARE NEEDED FOR THIS SITE (43-57 = 24 UNITS).

**PROVIDED:**  
PROPOSED UNITS ARE TO BE TYPE B VISITABLE, WHICH CARRY 1 POINT PER UNIT.  
26 UNITS (TYPE B VISITABLE) = 26 UNITS @ 1 PT/UNIT = 26 POINTS PROVIDED  
26 POINTS > 24 POINTS REQUIRED.

INTERIOR OF UNITS COMPLY WITH SECTION 1003 OF ICC A117.1-2009 AND IBC 1107.6

**ADA NOTE**

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

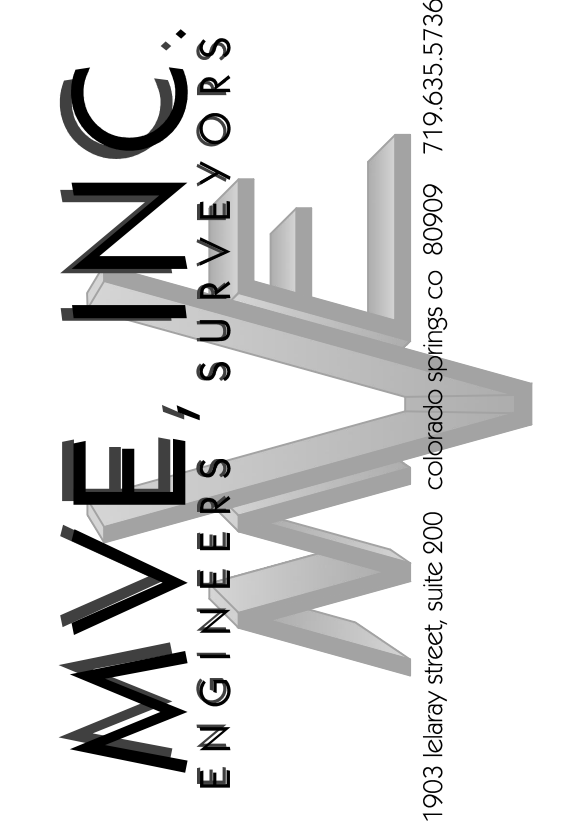
**TOWNHOMES AT WESTERN**  
LOT I, CIMARRON SOUTHEAST  
FILLING NO - 2C

**SITE DEVELOPMENT  
PLAN  
SITE PLAN**

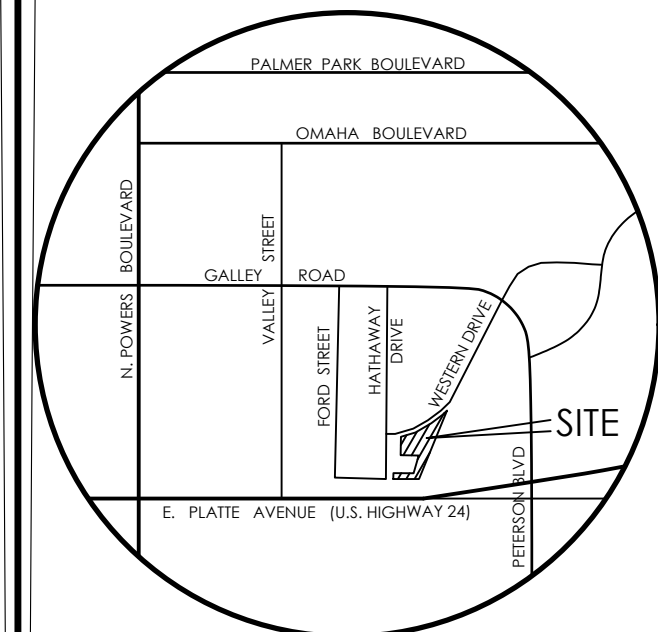
**DP-2** MVE PROJECT 61203  
MVE DRAWING DEV-SP

**MARCH 1, 2024**  
**SHEET 2 OF 6**

PCD FILE #

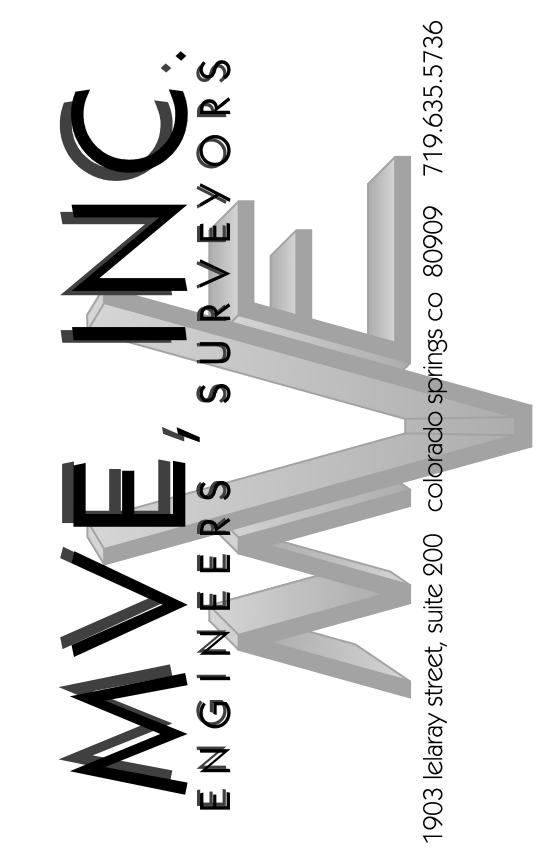
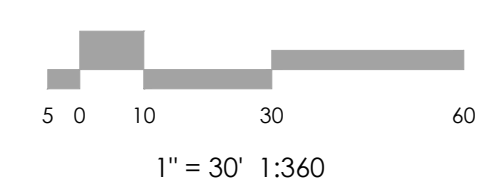
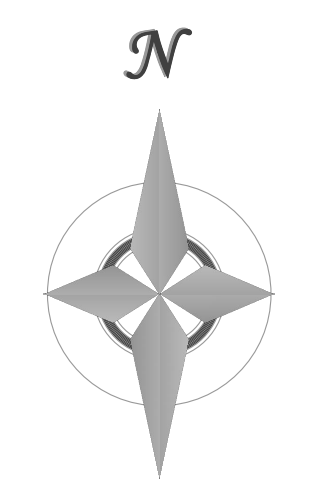






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REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

TOWNHOMES AT WESTERN  
LOT I, CIMARRON SOUTHEAST  
FILLING NO - 2C

SITE DEVELOPMENT  
PLAN  
SITE PLAN

DP-3 MVE PROJECT 61203  
MVE DRAWING DEV-SP

MARCH 1, 2024  
SHEET 3 OF 6

**SITE PLAN SPECIFIC NOTES**

- 1 INSTALL 6' CROSS PAN (EPC DET SD\_2-26)
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- 3 INSTALL 5' WIDE SIDEWALK (SEE DETAIL)
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**ADA ACCESSABILITY POINT CALCULATION:**

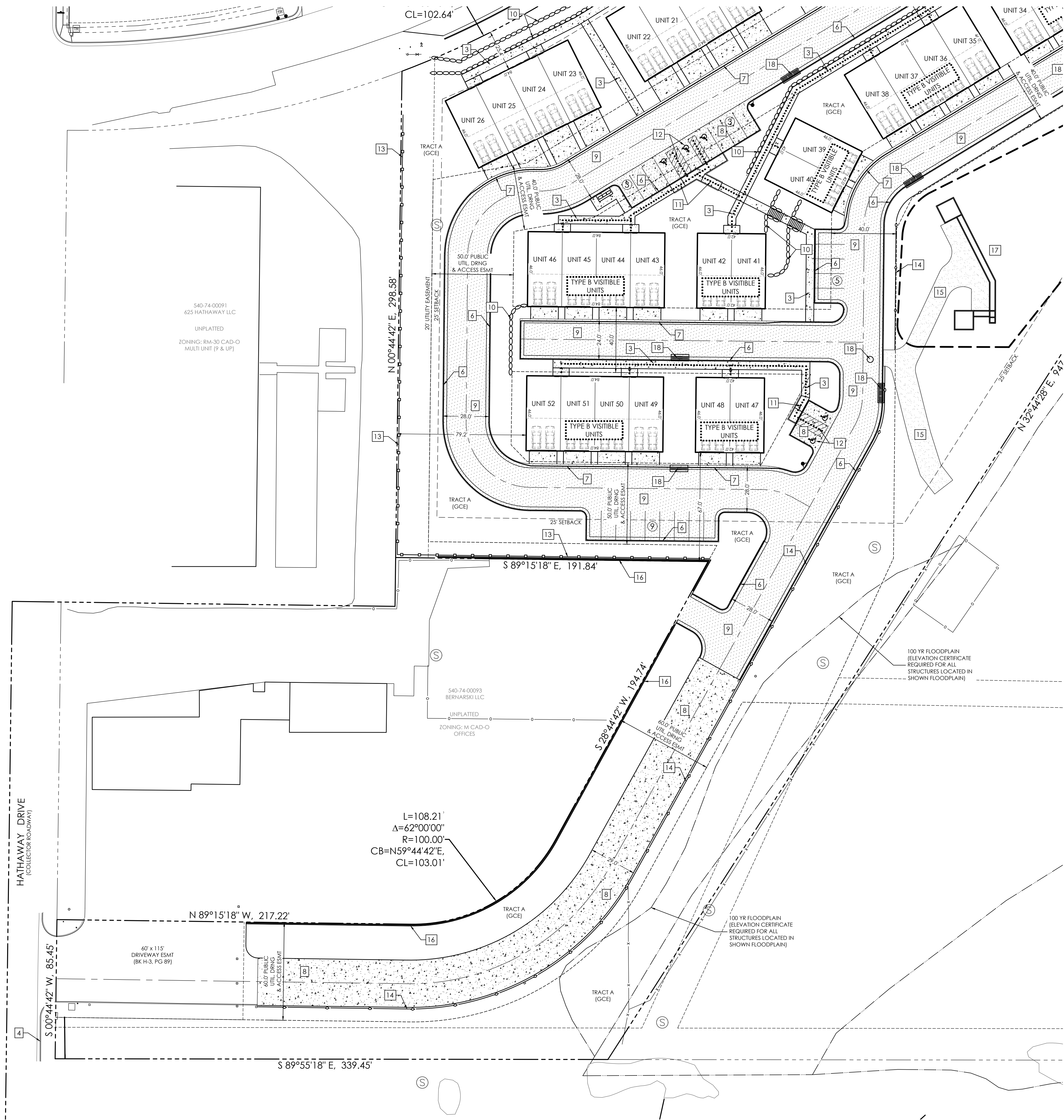
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INTERIOR OF UNITS COMPLY WITH SECTION 1003 OF ICC A117.1-2009 AND IBC 1107.6

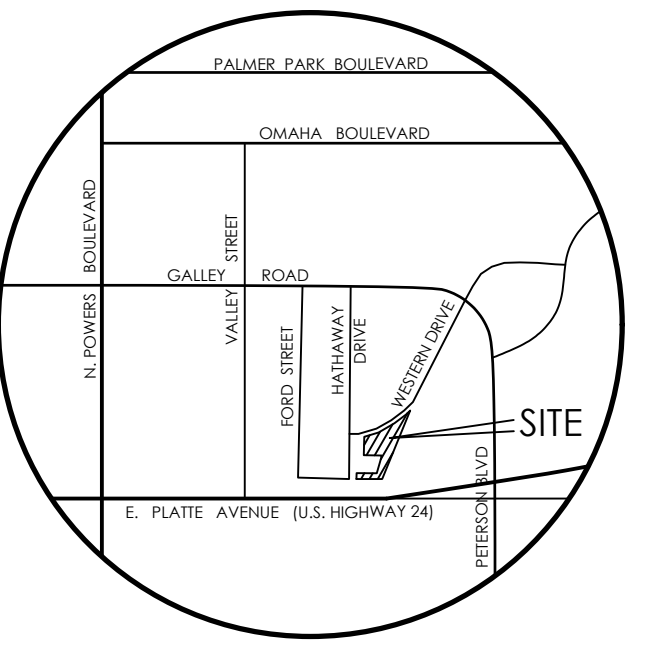
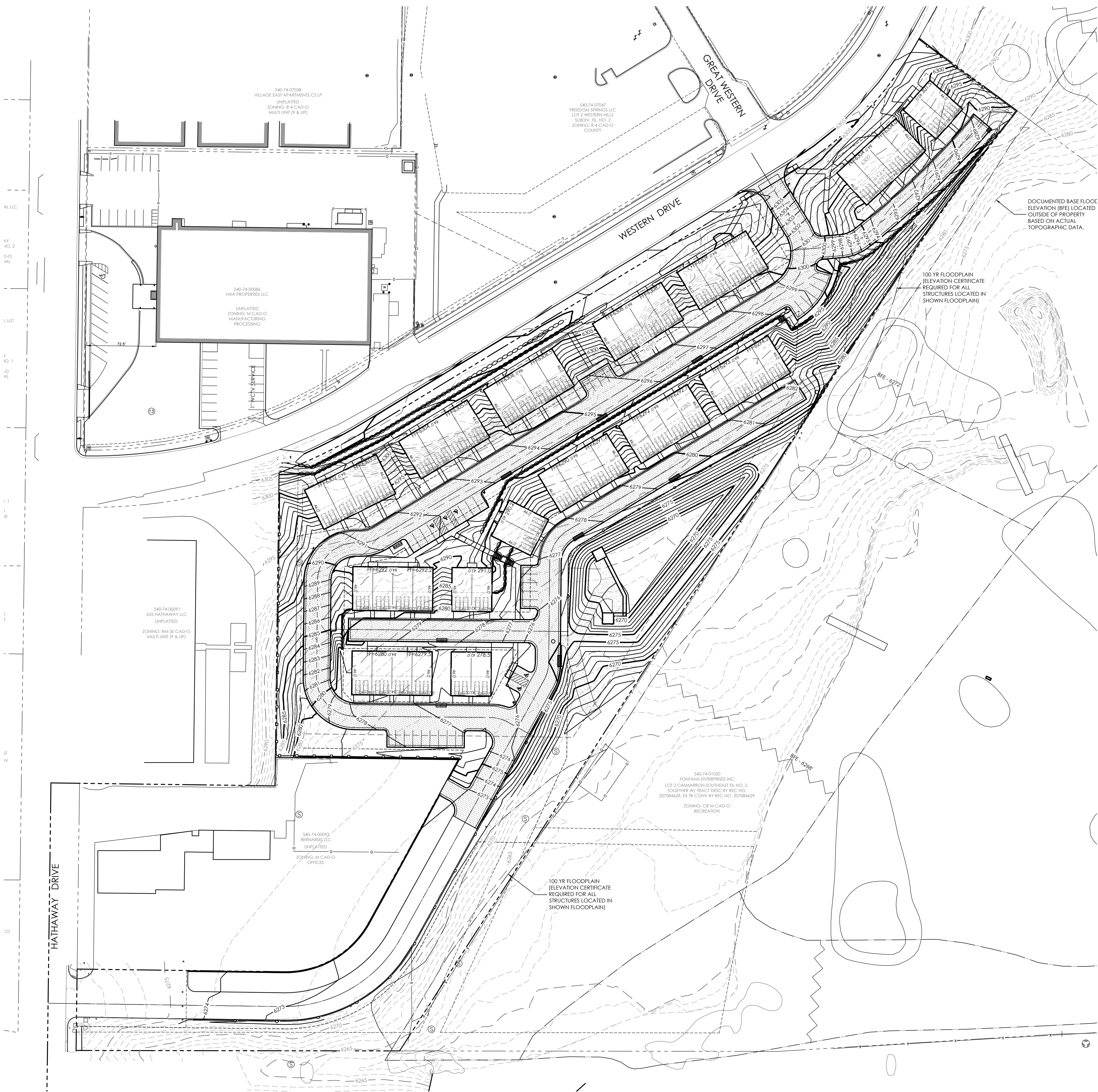
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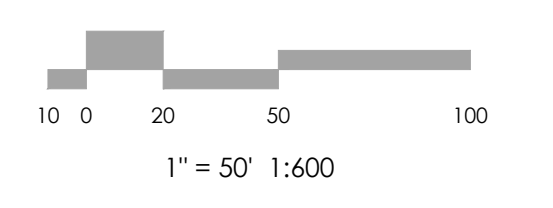
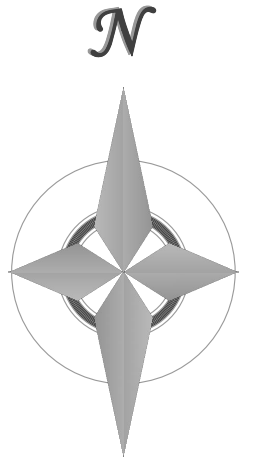
PCD FILE #





VICINITY MAP  
NOT TO SCALE

BENCHMARK  
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SURVEYING INC.  
ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD '88.



**MVE, INC.**  
ENGINEERS / SURVEYORS

1903 Leary street, suite 200 Colorado Springs CO 80909 719.635.5736

REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILT BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

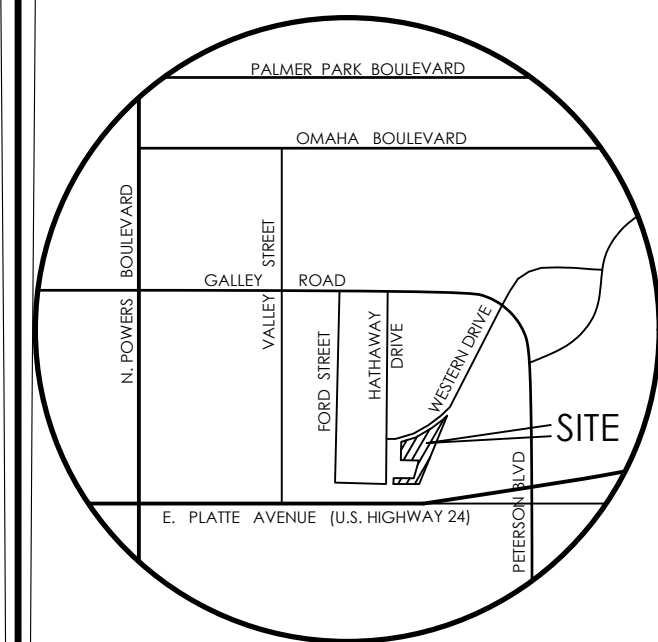
TOWNHOMES AT WESTERN  
LOT I, CIMARRON SOUTHEAST  
FILLING NO - 2C

SITE DEVELOPMENT  
PLAN  
PRELIMINARY GRADING

DP-4  
MVE PROJECT 61203  
MVE DRAWING DEV-PG

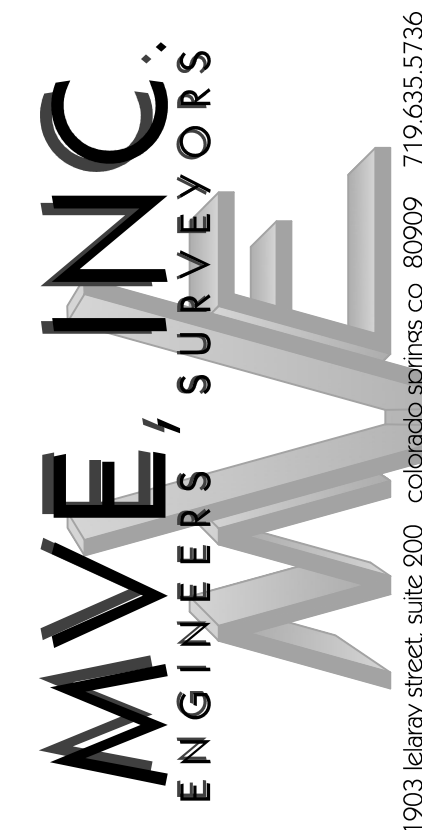
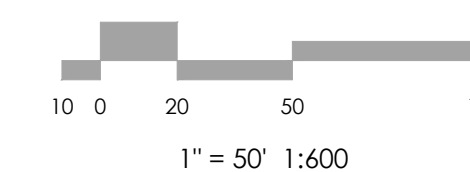
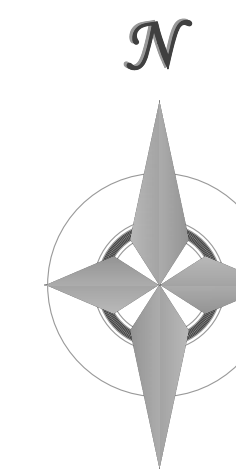
MARCH 1, 2024  
SHEET 4 OF 6





VICINITY MAP  
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REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILT BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

TOWNHOMES AT WESTERN  
LOT I, CIMARRON SOUTHEAST  
FILLING NO - 2C

SITE DEVELOPMENT  
PLAN  
PRELIMINARY UTILITIES

DP-5 MVE PROJECT 61203  
MVE DRAWING DEV-PU

MARCH 1, 2024  
SHEET 5 OF 6

PCD FILE #

\*\* Add note "Gas meters must be a minimum of 3-feet away from any opening in walls."

\*\* Add a note stating "Six-foot minimum separation from electric and gas distribution lines."

\*\* Please show and label any proposed EV chargers and upload Load Data.

\*\* Gas and electric meter locations on plan view and building elevations must be shown and labeled.

\*\* Please add and acknowledge the following:  
Information Items:  
1. Please contact Utilities Development Services (UDS) at 719.668.8111 for an estimate of development charges, fees, Recovery Agreement Charges or other utility related costs that may apply to this development.  
In instances where metered water and/or wastewater connections existed on the property, please contact UDS to discuss distribution of Water and/or Wastewater Development Charges to eligible lots.  
2. When new water meters are proposed to serve the project or additional demand added to existing water meters, a Commercial Water Meter Sizing Form will be required to be submitted to CSU prior to Service Contract issuance and plan set approval.  
3. CSU requires an Application for Gas and Electric Line Extension to be submitted along with a Load Data form or an Application for Gas Service Line Approval and/or Application for Elevated Pressure Approval prior to electric and natural gas system design for service to the project. Refer to the CSU Line Extension and Service Standards or contact Field Engineering at 719-668-4985.  
4. CSU may require an extension contract and payment of contributions-in-aid-of construction (or a Revenue Guarantee Contract) for the extension of electric facilities needed to serve the development. With regard to natural gas extensions, CSU may require an extension contract and advance payment for the estimated costs to construct the necessary gas extensions.  
5. Improvements, structures and trees must not be located directly over or within 6 feet of any underground gas or electric distribution facilities and shall not violate any provision of the National Electric Safety Code (NESC) or any applicable natural gas regulations or CSU policies.  
6. Improvements, structures and trees shall not be located under any overhead utility facility, shall not violate NESC clearances, and shall not impair access or the ability to maintain utility facilities.  
7. Landscaping shall be designed to provide the required clearances for utility facilities, to allow continuous access for utility equipment, and to minimize conflicts with such facilities.  
8. CSU requires wastewater and water construction drawings when new wastewater and water facilities are proposed. Plans can be submitted electronically to UDS via [www.csu.org](http://www.csu.org).

Show and label existing 2" Gas Distribution Main CSU #P33M35

Show and label existing 12.5kV Primary UG Conductor CSU #12PF-5

