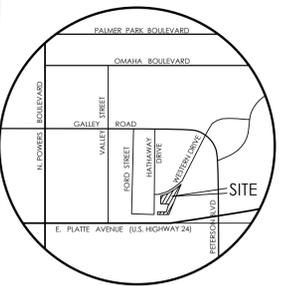


# SITE DEVELOPMENT PLAN FOR TOWNHOMES AT WESTERN

LOT I, CIMARRON SOUTHEAST FILING NO. 2C  
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
EL PASO COUNTY, COLORADO



VICINITY MAP  
NOT TO SCALE

BENCHMARK  
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD '88.



1" = 100' 1:1,200



REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

## TOWNHOMES AT WESTERN

LOT I, CIMARRON SOUTHEAST  
FILING NO. 2C

### COVER SHEET

**DP-1** MVE PROJECT 61203  
MVE DRAWING DEV-CS

JULY 11, 2024  
SHEET 1 OF 6

### LEGEND

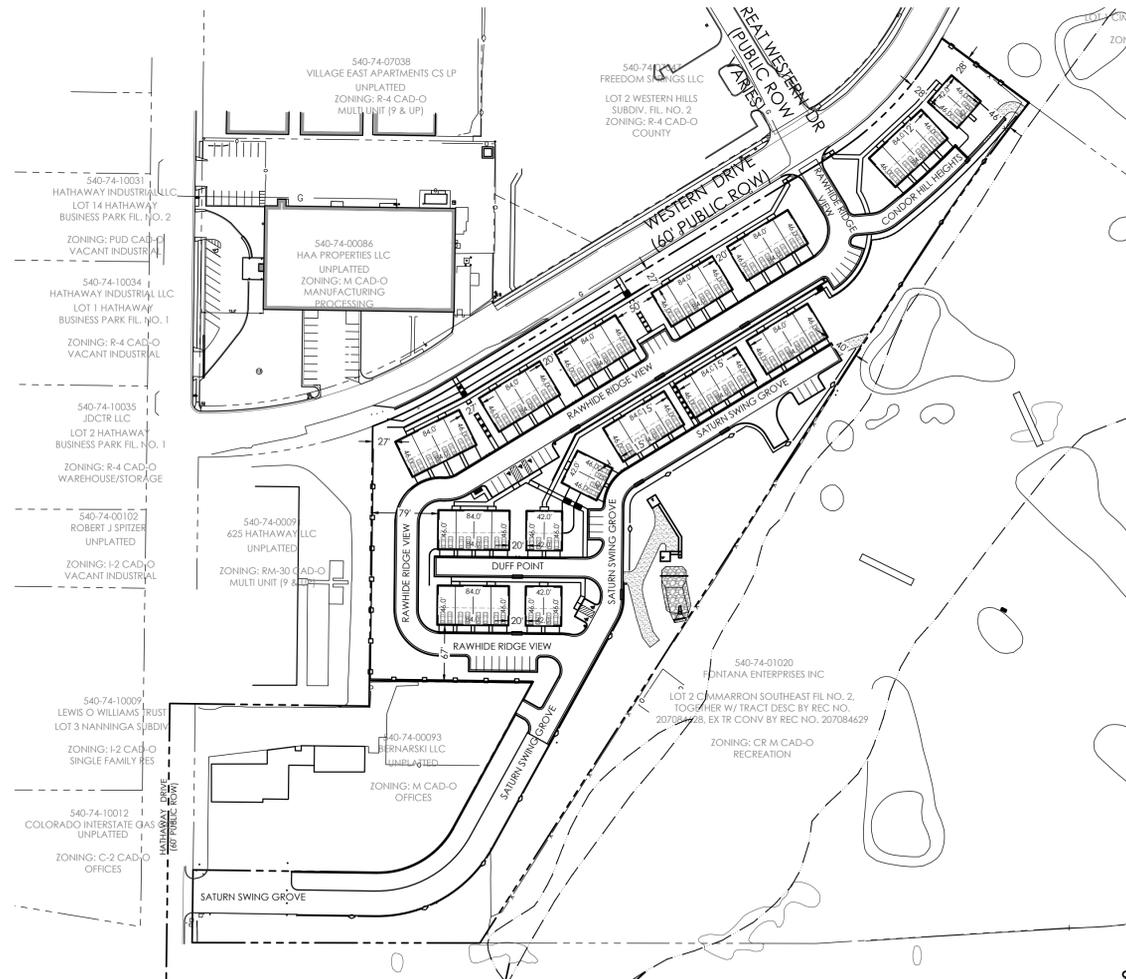
-----	PROPERTY LINE	-----	INDEX CONTOUR
- - - - -	EASEMENT LINE	-----	INTERMEDIATE CONTOUR
-----	LOT LINE	-----	CONCRETE AREA
-----	BUILDING SETBACK LINE	-----	ASPHALT AREA
-----	ADJACENT PROPERTY LINE	-----	CURB AND GUTTER
-----		-----	BUILDING/ BUILDING OVERHANG
-----		-----	DECK
-----		-----	RETAINING WALL - SOLID/ ROCK
-----		-----	SIGN
-----		-----	BOLLARD
-----		-----	WOOD FENCE
-----		-----	CHAIN LINK FENCE
-----		-----	BARBED WIRE FENCE
-----		-----	TREE (EVERGREEN/DECIDUOUS)
-----		-----	SHRUB
-----		-----	ROCK

### ABBREVIATION LEGEND

ASPH	ASPHALT
CONC	CONCRETE
C & G	CURB & GUTTER
DET.	DETAIL
ESMT	EASEMENT
ME	MATCH EXISTING
P.B., PG.	PLAT BOOK, PAGE
PVMT	PAVEMENT
RET. WALL	RETAINING WALL
REC. NO.	RECEPTION NUMBER
R.O.W.	RIGHT-OF-WAY
SF	SQUARE FOOT
STBK	SETBACK
SW	SIDEWALK
UTIL	UTILITY
Ⓢ	CATCH CURB
Ⓣ	SPILL CURB

### SHEET INDEX

SITE DEVELOPMENT PLAN	
DP-1	COVER SHEET
DP-2	SITE PLAN (NORTH)
DP-3	SITE PLAN (SOUTH)
DP-4	PRELIMINARY GRADING PLAN
DP-5	PRELIMINARY UTILITY PLAN
DP-6	SITE DETAILS



### SITE DATA

<b>OWNER / DEVELOPER</b> J. ELLIOTT HOMES, INC. 13761 BANDANERO DRIVE PEYTON, CO 80831 PH (719) 499-8214	<b>COVERAGE DATA</b>
<b>CONSULTANT/ENGINEER</b> M.V.E. INC. 1903 LELARAY STREET, SUITE 200 COLORADO SPRINGS, CO 80909 (719) 635-5736	52 TOWNHOME UNITS (966 EA) 50,232 SF 16.2% PAVEMENT (PARKING/WALK) 107,647 SF 34.7% LANDSCAPING 152,190 SF 49.1%
<b>SURVEYOR</b> POLARIS SURVEYING, INC. 1903 LELARAY STREET, SUITE 102 COLORADO SPRINGS, CO 80909 (719) 448-0844	TOTAL AREA 310,069 SF 100.0% = 7.118± ACRES
<b>ZONING</b> RESIDENTIAL MULTI-DWELLING (RM-30)	<b>PARKING DATA</b> 52 MULTI-FAMILY RESIDENTIAL UNITS (3 BEDROOM) REQUIRED PARKING: 2.0 SPACES / 3 BEDROOM UNIT = 2.0 X 52 = 104 GUEST REQUIRED: 1 SPACE / 4 UNITS = 52 / 4 = 5 ADA SPACES REQUIRED: = 122
<b>BUILDING USE</b> TOWN HOMES	PROVIDED: GARAGES: = 104 OUTSIDE PARKING (GUEST): (9' x 18' SPACES) = 33 ADA SPACES: (8'x18' w/ 8' AISLE OR 9'x18' w/ 5' AISLE) = 5
<b>CONSTRUCTION SCHEDULE</b> START: FALL 2024 FINISH: FALL 2025	TOTAL SPACES PROVIDED: = 142 SPACES
<b>TAX SCHEDULE NO.</b> 5407401016	<b>BUILDING TYPE</b> BUILDING AREA - 3,864 SF TWO / THREE STORY - TYPE II-B NOT FIRE SPRINKLED / NO FIRE WALLS
<b>PROPERTY ADDRESS</b> 721 WESTERN DRIVE COLORADO SPRINGS, CO 80915	<b>BUILDING HEIGHT</b> 40 FT MAX. (THREE STORY)
	<b>SET BACKS</b> 25' FRONT (WESTERN DRIVE) 15' REAR 15' SIDE 25' PERIMETER BOUNDARY

### LEGAL DESCRIPTION

LOT I, CIMARRON SOUTHEAST FILING NO. 2C AS RECORDED IN PLAT BOOK H-3 AT PAGE 89 OF THE RECORDS OF EL PASO COUNTY, COLORADO  
CONTAINING A CALCULATED AREA OF 7.118 ACRES, MORE OR LESS.

### DEVELOPMENT NOTES:

1. WATER SERVICE PROVIDED BY CHEROKEE METROPOLITAN DISTRICT.
2. SEWER SERVICE PROVIDED BY CHEROKEE METROPOLITAN DISTRICT.
3. GAS AND ELECTRIC SERVICE PROVIDED BY COLORADO SPRINGS UTILITIES.
4. OWNERSHIP AND MAINTENANCE OF THE GENERAL COMMON ELEMENT (GCE), TRACT A SHALL BE VESTED TO THE TOWNHOMES AT WESTERN HOME OWNERS ASSOCIATION. THIS INCLUDES THE MAINTENANCE OF THE PRIVATE ROADS, COMMON AREAS, ETC.
5. TRASH COLLECTION SHALL BE VIA INDIVIDUAL COLLECTION BINS STORED IN EACH UNIT. THERE IS NO COMMON COLLECTION POINT OR COMMUNAL GARBAGE RECEPTACLES IN THIS DEVELOPMENT.

### ADA NOTE

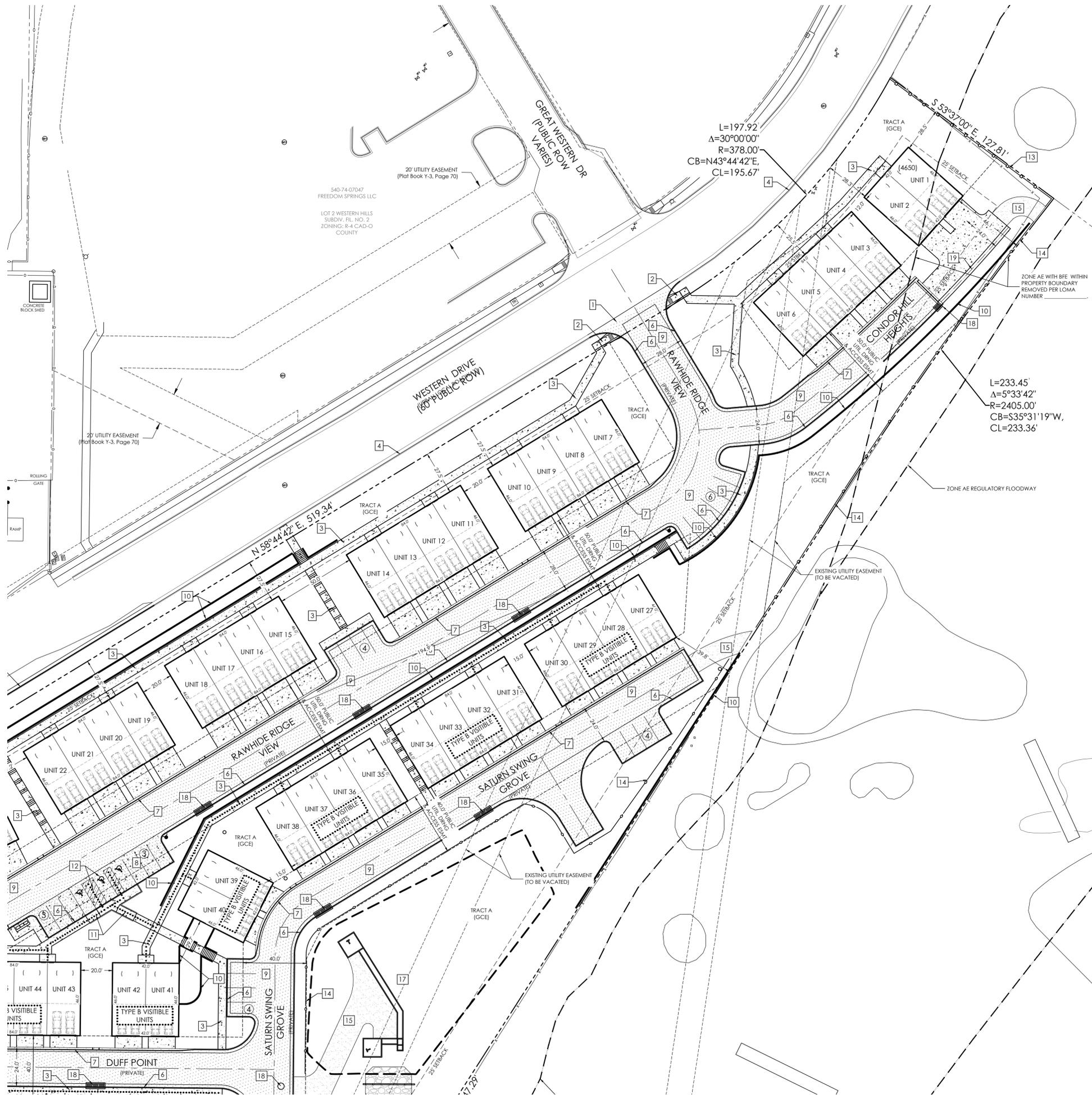
THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

### FLOODPLAIN STATEMENT

A PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA'S) ZONE AE AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0754 G, EFFECTIVE DECEMBER 7, 2018.

### MAP NOTES

1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR N00°44'42"E.
2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD88.
3. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.



**SITE PLAN SPECIFIC NOTES**

- 1 INSTALL 6' CROSS PAN (EPC DET SD\_2-26)
- 2 INSTALL PEDESTRIAN CURB RAMP (EPC DET SD\_2-41)
- 3 INSTALL 5' WIDE SIDEWALK (SEE DETAIL)
- 4 EXISTING EPC TYPE A CURB & GUTTER TO REMAIN
- 5 INSTALL EPC TYPE A CURB & GUTTER (PUBLIC) (EPC DET SD\_2-20)
- 6 INSTALL EPC TYPE A CURB & GUTTER (PRIVATE) (EPC DET SD\_2-20)
- 7 INSTALL EPC TYPE C CURB & GUTTER (EPC DET SD\_2-20)
- 8 INSTALL CONCRETE PAVEMENT (SEE DETAIL)
- 9 INSTALL ASPHALT PAVEMENT (SEE DETAIL)
- 10 INSTALL 6' HIGH MAX HEIGHT CONCRETE RETAINING WALL (SEE DETAIL)
- 11 INSTALL INTERIOR PEDESTRIAN CURB RAMP (SEE DETAIL)
- 12 INSTALL ADA PAVEMENT STRIPES (SEE DETAIL)
- 13 INSTALL 6' HIGH OPAQUE WOOD FENCE (SEE DETAIL)
- 14 INSTALL SPLIT RAIL WOOD FENCE
- 15 INSTALL GRAVEL ACCESS DRIVE
- 16 INSTALL CONCRETE PRIVACY WALL (SEE DETAIL)
- 17 INSTALL FULL SPECTRUM EXTENDED DETENTION BASIN
- 18 INSTALL STORM INLET / MANHOLE (PRIVATE)
- 19 INSTALL CONCRETE PAN

**ADA ACCESSIBILITY POINT CALCULATION:**

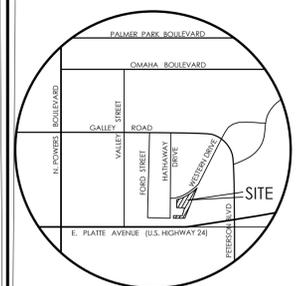
**REQUIRED:**  
 PER CRC 9-5-105, 24 POINTS ARE NEEDED FOR THIS SITE (43-57 = 24 UNITS).

**PROVIDED:**  
 PROPOSED UNITS ARE TO BE TYPE B VISIBLE, WHICH CARRY 1 POINT PER UNIT.  
 26 UNITS (TYPE B VISIBLE) = 26 UNITS @ 1 PT/UNIT = 26 POINTS PROVIDED  
 26 POINTS > 24 POINTS REQUIRED.

INTERIOR OF UNITS COMPLY WITH SECTION 1003 OF ICC A117.1-2009 AND IBC 1107.6

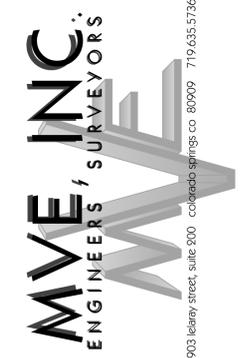
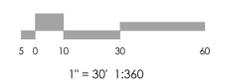
**ADA NOTE**

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**VICINITY MAP**  
 NOT TO SCALE

BENCHMARK  
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REVISIONS

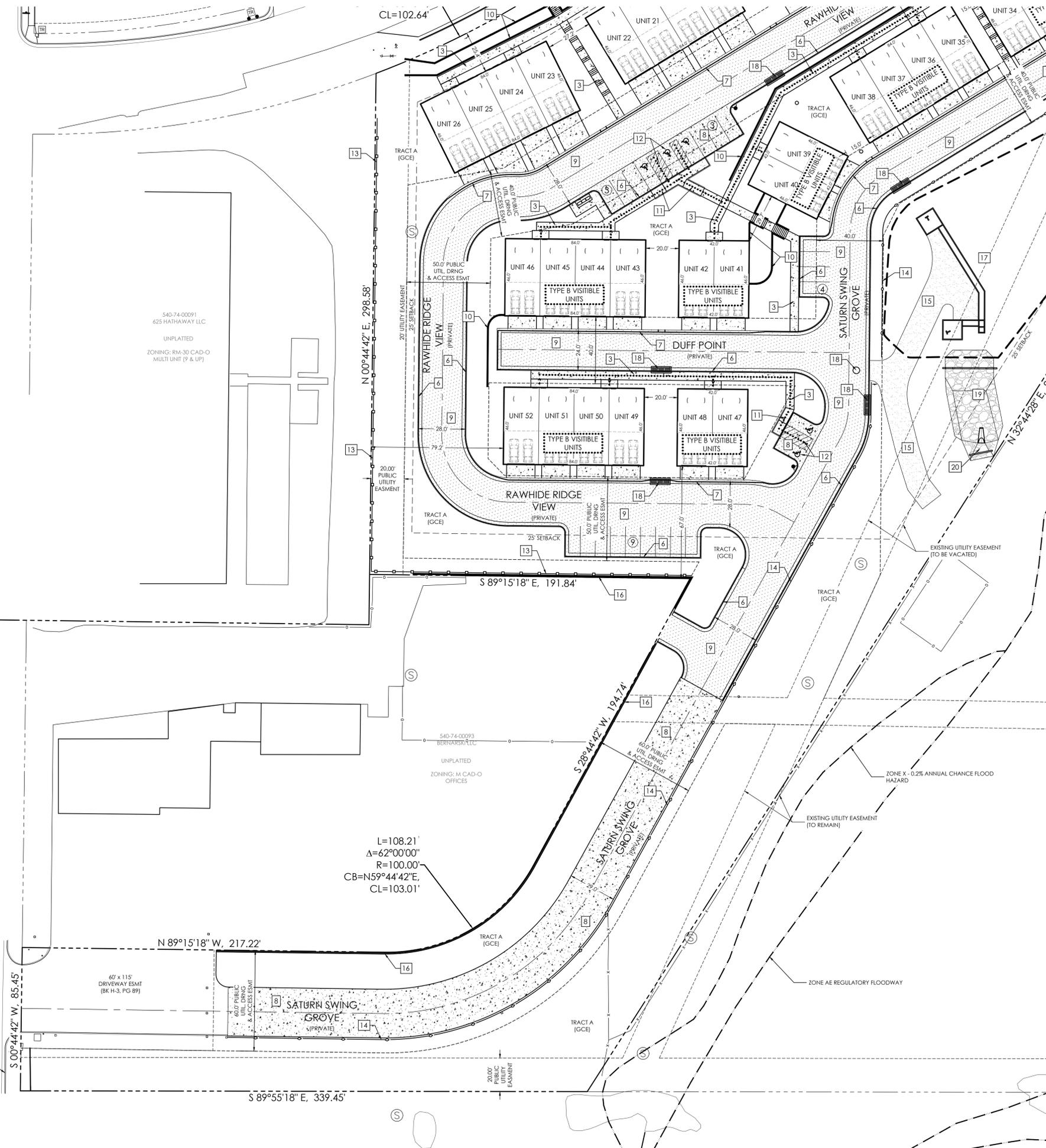
DESIGNED BY \_\_\_\_\_  
 DRAWN BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_  
 AS-BUILT BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_

**TOWNHOMES AT WESTERN**  
 LOT I, CIMARRON SOUTHEAST  
 FILLING NO - 2C

**SITE DEVELOPMENT  
 PLAN  
 SITE PLAN**

**DP-2** MVE PROJECT 61203  
 MVE DRAWING DEV-SP

**JULY 11, 2024**  
**SHEET 2 OF 6**



**SITE PLAN SPECIFIC NOTES**

- 1 INSTALL 6" CROSS PAN (EPC DET SD\_2-26)
- 2 INSTALL PEDESTRIAN CURB RAMP (EPC DET SD\_2-41)
- 3 INSTALL 5' WIDE SIDEWALK (SEE DETAIL)
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- 7 INSTALL EPC TYPE C CURB & GUTTER (EPC DET SD\_2-20)
- 8 INSTALL CONCRETE PAVEMENT (SEE DETAIL)
- 9 INSTALL ASPHALT PAVEMENT (SEE DETAIL)
- 10 INSTALL 4' HIGH MAX HEIGHT CONCRETE RETAINING WALL (SEE DETAIL)
- 11 INSTALL INTERIOR PEDESTRIAN CURB RAMP (SEE DETAIL)
- 12 INSTALL ADA PAVEMENT STRIPES (SEE DETAIL)
- 13 INSTALL 6' HIGH OPAQUE WOOD FENCE (SEE DETAIL)
- 14 INSTALL SPLIT RAIL WOOD FENCE
- 15 INSTALL GRAVEL ACCESS DRIVE
- 16 INSTALL CONCRETE PRIVACY WALL (SEE DETAIL)
- 17 INSTALL FULL SPECTRUM EXTENDED DETENTION BASIN
- 18 INSTALL STORM INLET / MANHOLE (PRIVATE)
- 19 INSTALL RIPRAP / CONCRETE EMERGENCY SPILLWAY
- 20 INSTALL STILLING BASIN / LEVEL SPREADER

**ADA ACCESSIBILITY POINT CALCULATION:**

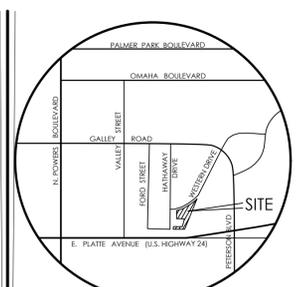
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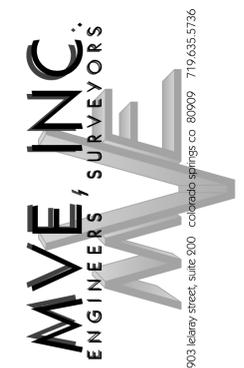
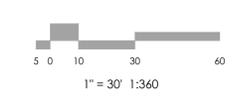
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**VICINITY MAP**  
 NOT TO SCALE

BENCHMARK  
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 ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD '88.



REVISIONS

DESIGNED BY \_\_\_\_\_  
 DRAWN BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_  
 AS-BUILTS BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_

TOWNHOMES AT WESTERN  
 LOT I, CIMARRON SOUTHEAST  
 FILLING NO - 2C

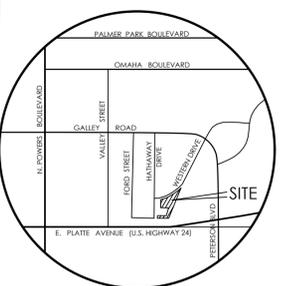
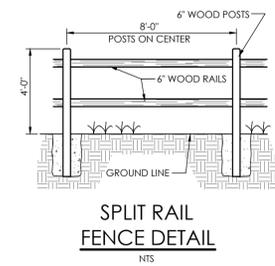
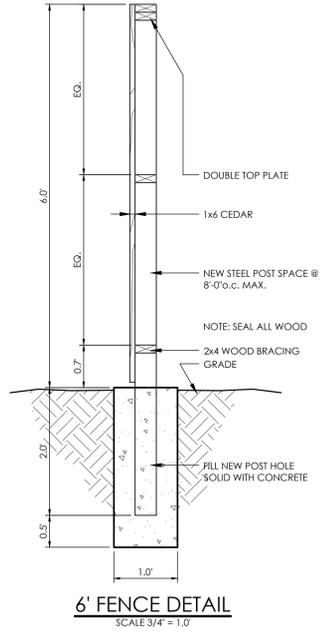
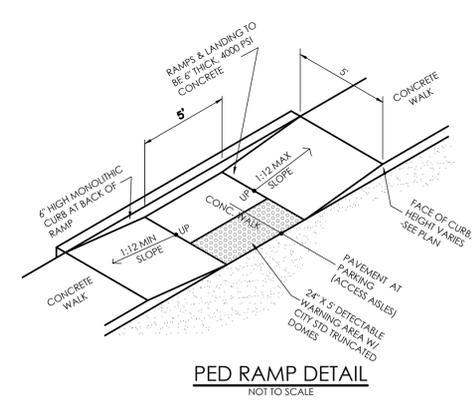
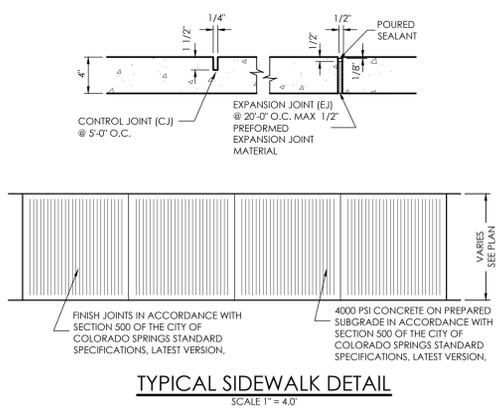
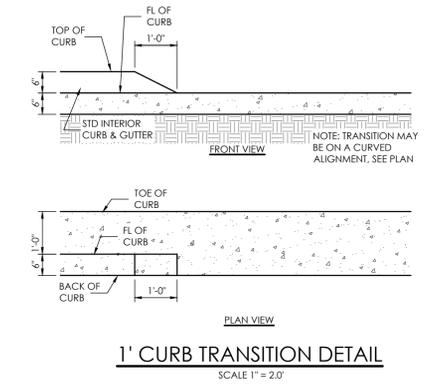
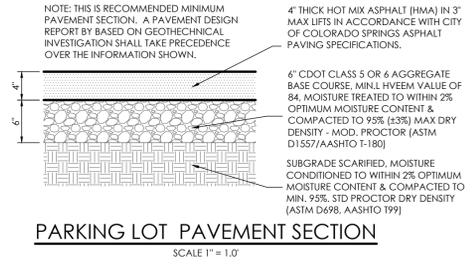
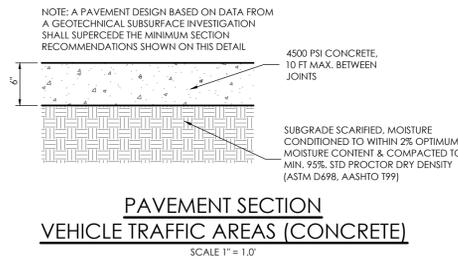
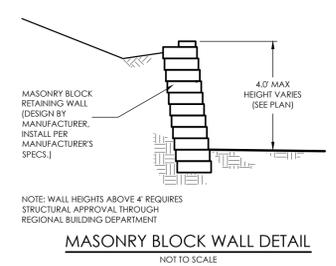
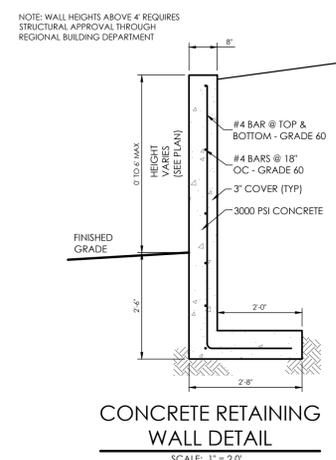
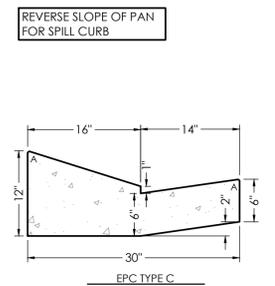
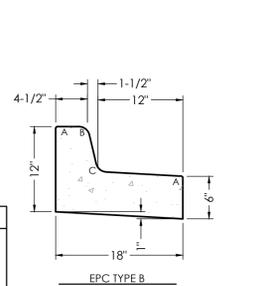
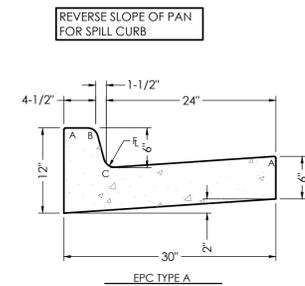
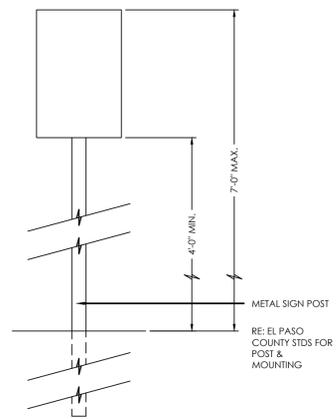
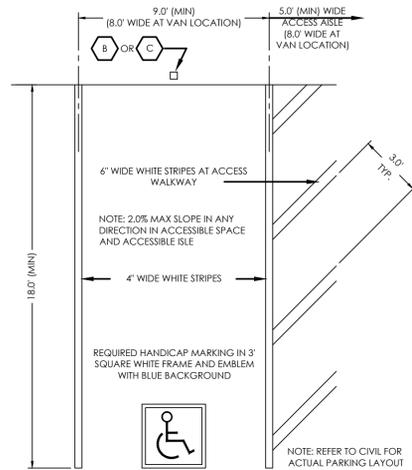
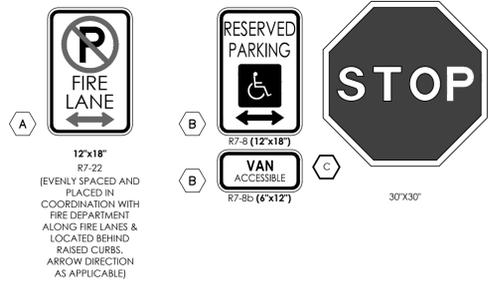
**SITE DEVELOPMENT  
 PLAN  
 SITE PLAN**

**DP-3** MVE PROJECT 61203  
 MVE DRAWING DEV-SP

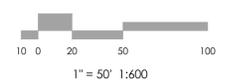
JULY 11, 2024  
**SHEET 3 OF 6**







BENCHMARK  
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**MVE INC.**  
ENGINEERS & SURVEYORS

1903 Leary Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

**TOWNHOMES AT WESTERN**

LOT I, CIMARRON SOUTHEAST FILLING NO. 2C

**DETAILS**

**DP-6** MVE PROJECT 61203  
MVE DRAWING DEV-DS

JULY 11, 2024  
SHEET 6 OF 6