

GENERAL CONDITIONS and LIMITS OF LIABILITY

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GARAGE ADDITION BOOTH RESIDENCE

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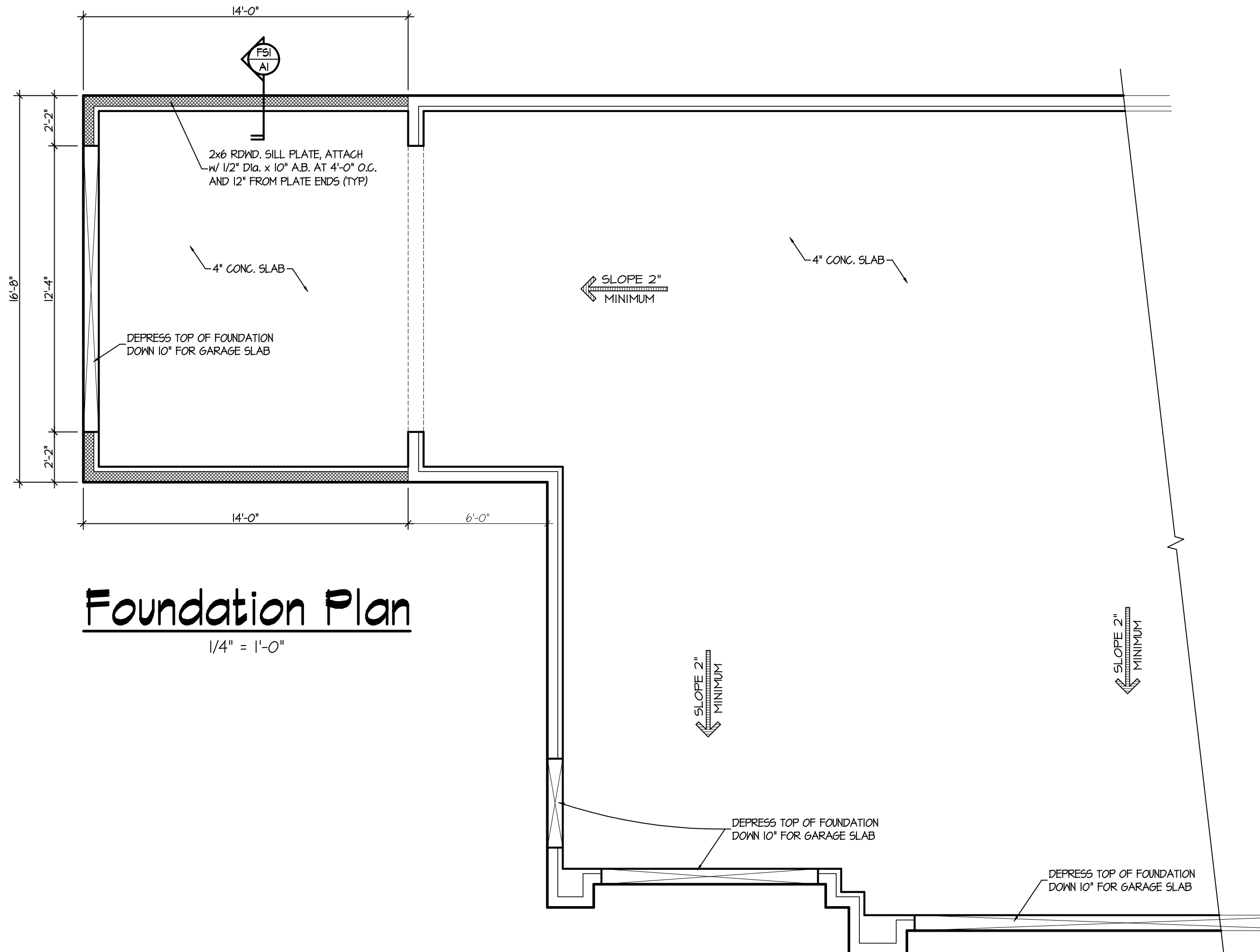
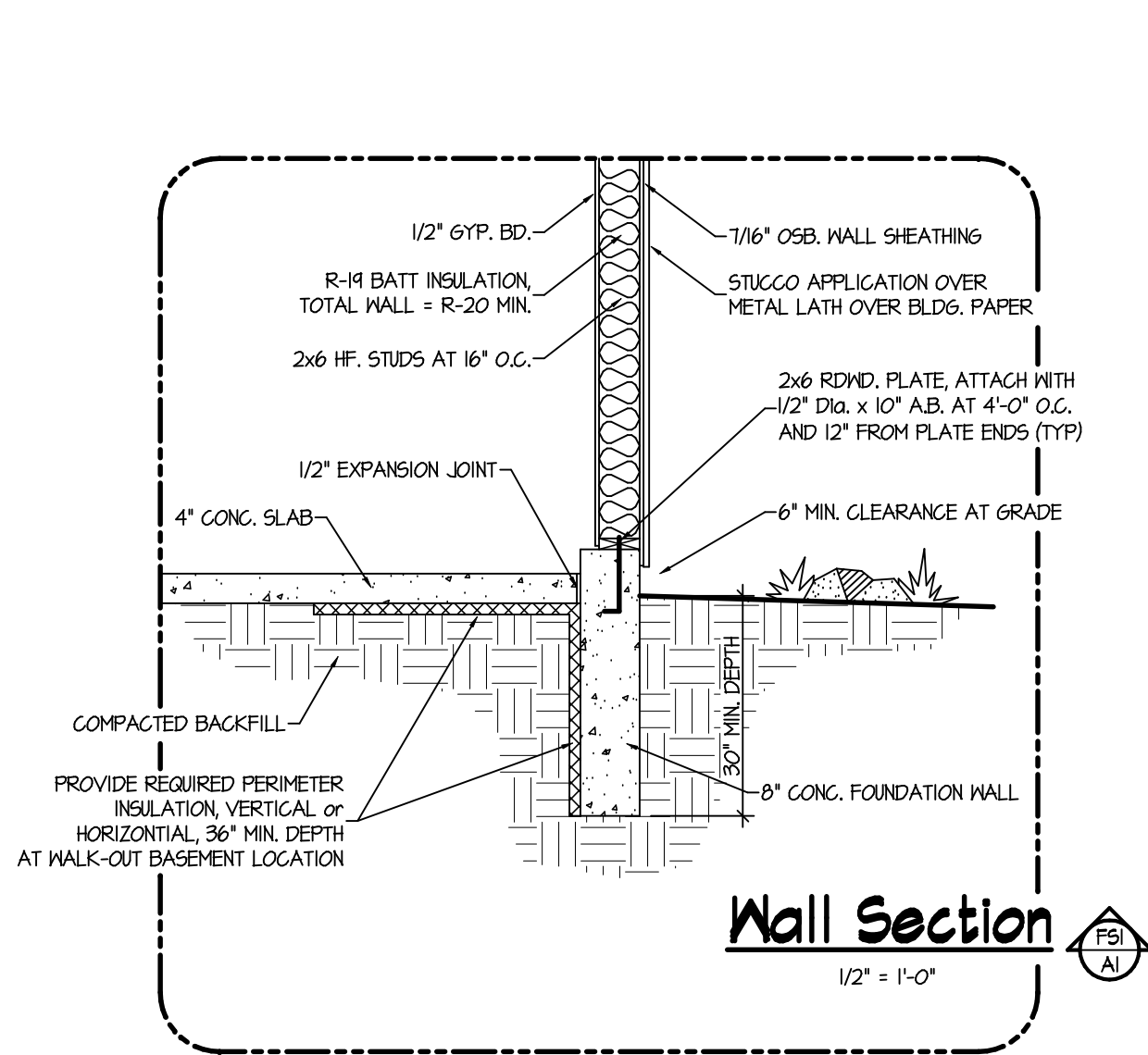
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BUILDER:

Cuvala
Construction, Inc.
Dan & John Cuvala
P.O. Box 1392
Monument, CO 80132
(719) 488-2426

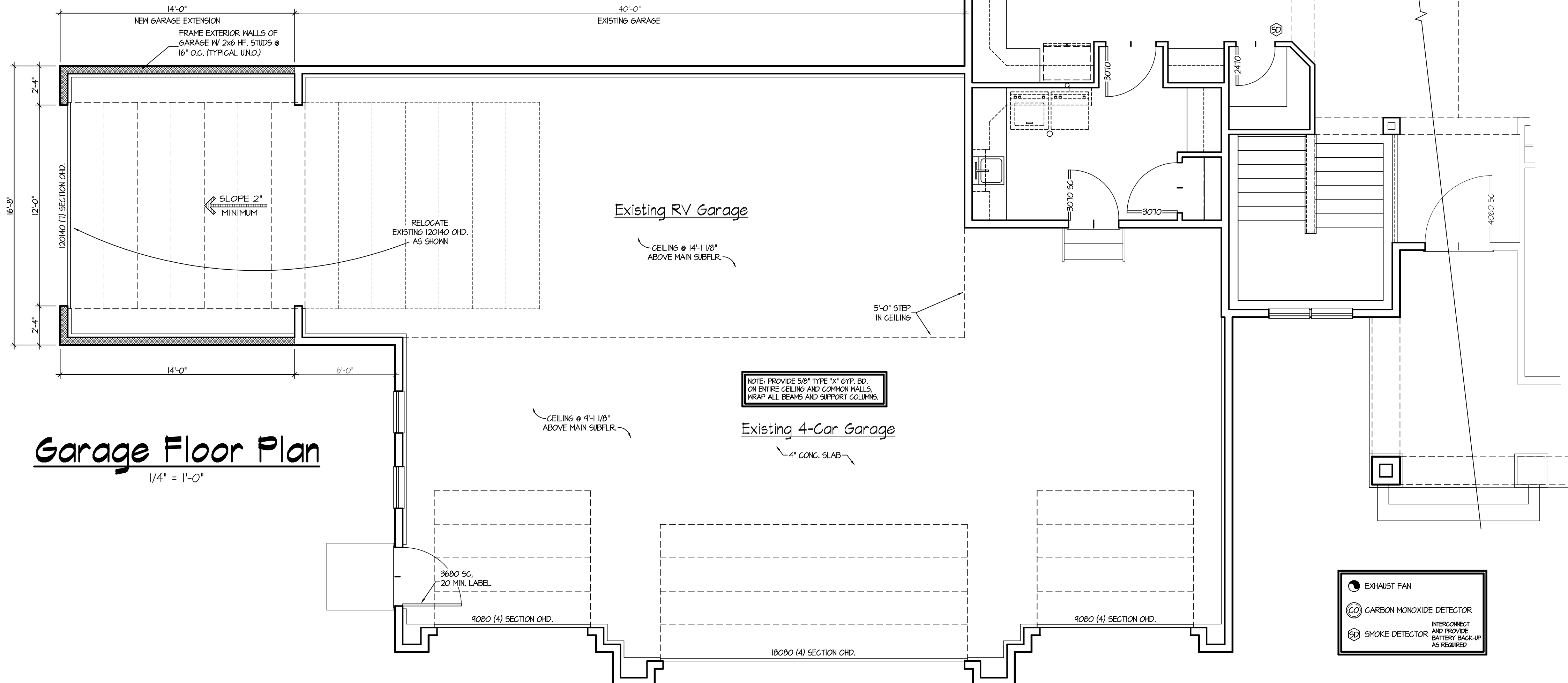
DATE:
6-1-2020

ADDRESS:
797 Forest View Way
Lot 31
Forest View Estates #4
Monument, CO
El Paso County



Code Information: El Paso County		
2017	PPRBC	Pikes Peak Regional Building Code
2015	I.R.C. (*)	International Residential Code
2015	I.E.B.C. (*)	International Existing Building Code
2015	I.E.C.C. (*)	International Energy Conservation Code
2015	I.M.C. (*)	International Mechanical Code
2015	I.F.G.C. (*)	International Fuel Gas Code
2015	I.P.C. (*)	International Plumbing Code
2017	N.E.C. (**)	National Electrical Code
2015	I.F.C. (*)	International Fire Code
(*)	As amended by 2017 PPRBC	
(**)	Or the latest addition adopted by the State of Colorado	
Note:	2017 PPRBC can be viewed at: www.pprbcd.org	

General Foundation Notes	
1. IF BURNING APPLIANCES ARE NOT PERMITTED IN BASEMENTS OR CRAWL SPACES	3. ALL FOUNDATION PADS TO BE 24"x24"x10" (UNO.)
2. SOILS REPORT AND FOUNDATION DESIGN BY LICENSED COLORADO ENGINEER OR ARCHITECT TO ON HAND AT TIME OF FIRST INSPECTION	4. PROVIDE MIN. R-10 INSULATION FOR ALL CONC. EXTERIOR FOUNDATION WALLS
	5. PROVIDE SPRAYED ON DAMP PROOFING ON ALL EXTERIOR FOUNDATION WALLS



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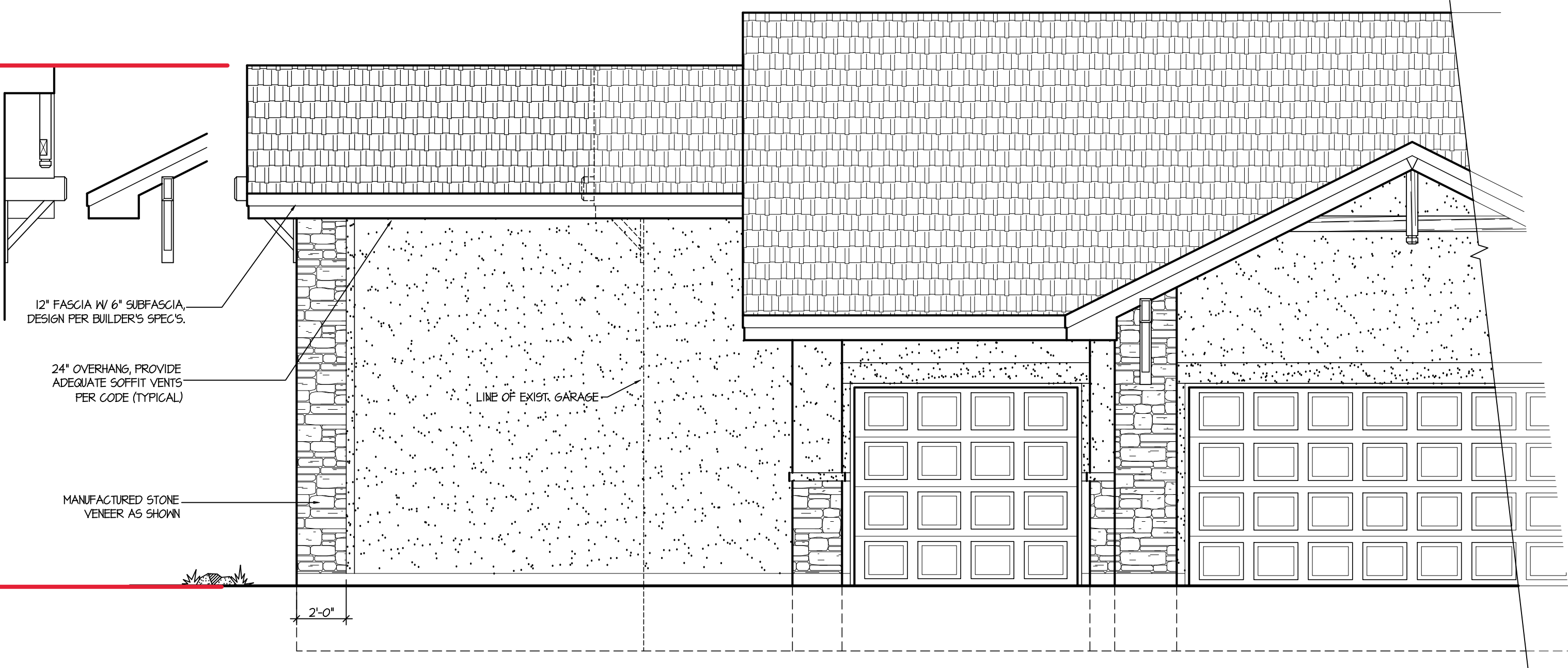
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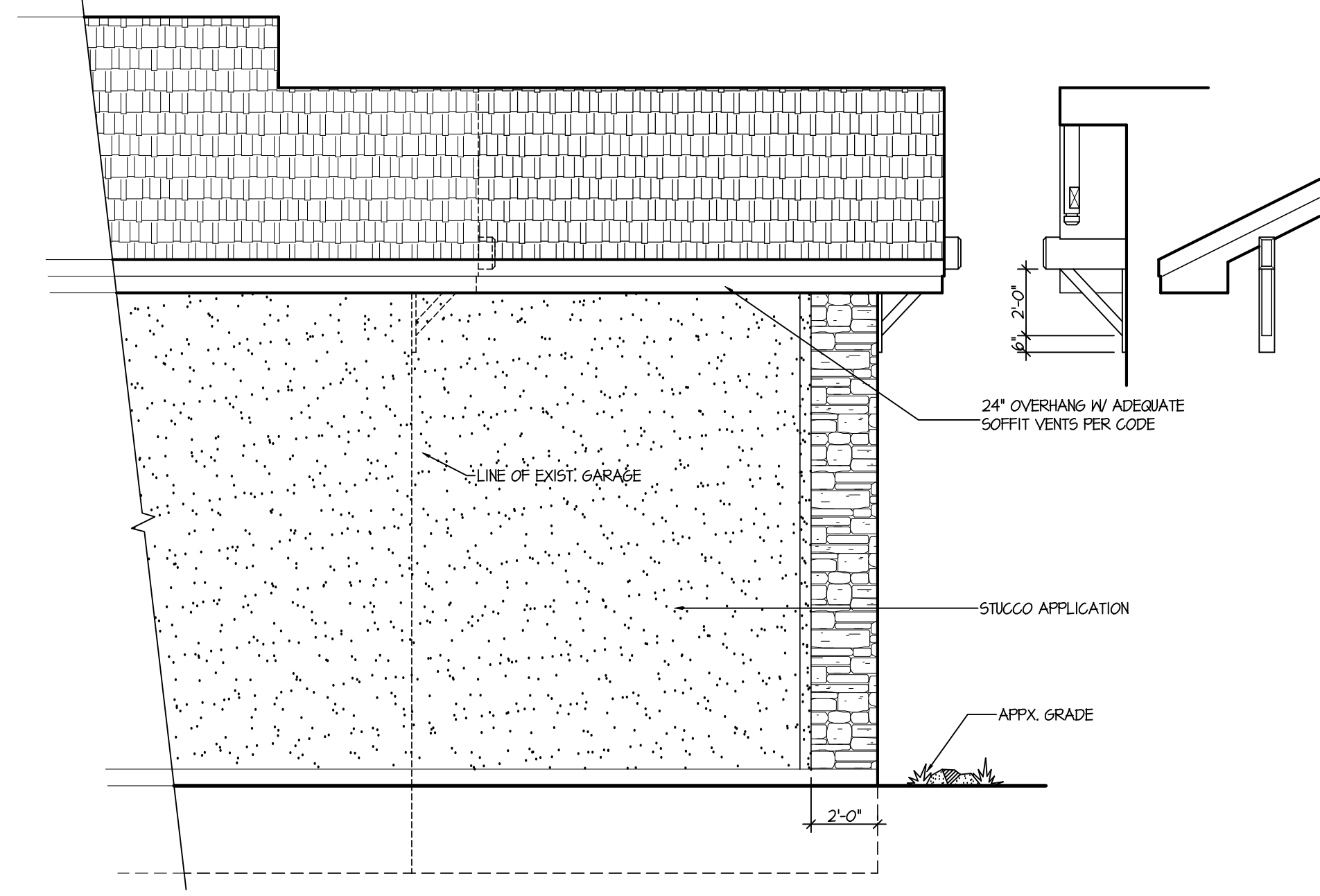
ADDRESS:
797 Forest View Way
Lot 31
Forest View Estates #4
Monument, CO
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SHEET OF
A2 3

20' 6"
Match Existing
Roof Ridgeline
Height



Front Elevation
1/4" = 1'-0"

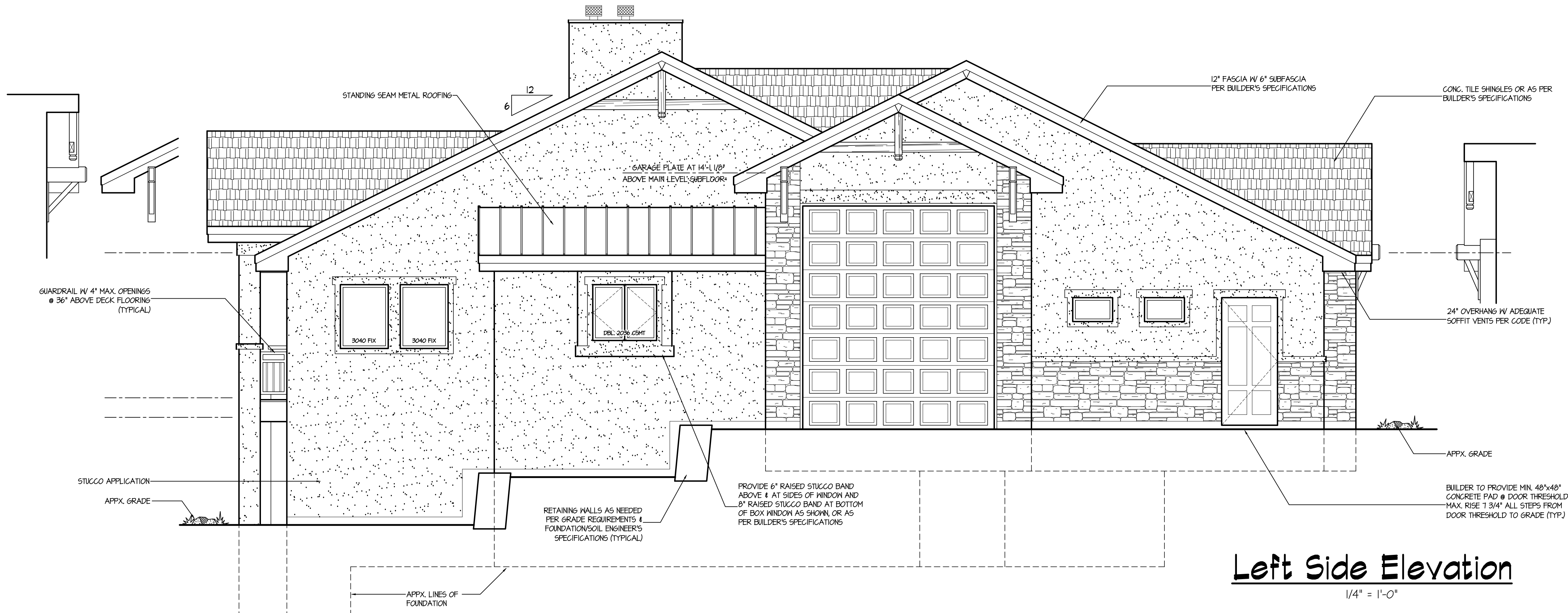


Rear Elevation
1/4" = 1'-0"

Site elevation: 7,130 ft.

Elevations 7,000' and greater require
"Ice and Water Shield" starting at the
eave and continuing to a point 2'
inside the exterior wall line (minimum).

PROVIDE GUTTER AND DOWNSPOUT
WITH MIN. 3' TIP-OUTS
AS REQUIRED (TYPICAL)



Left Side Elevation
1/4" = 1'-0"

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SHEET **OF**

51 **3**

2x6 Wall Framing Schedule

Wall Height:	Stud Spacing:
0 - 15'	2x6 @ 16" O.C.
15' - 18'	2x6 @ 12" O.C.
18' - 20'	2x6 @ 8" O.C.
20' +	Contact E.O.R.

Framing Notes:

- ALL EXTERIOR WALLS TO BE 2x6 STUDS AT 16" O.C. UNLESS OTHERWISE NOTED.
- ALL HEADERS OVER INTERIOR OPENINGS OF LOAD BEARING WALLS SHALL BE (2) 2x12 w/ 1/2" PLYTD. SPACER UNLESS OTHERWISE NOTED.
- ALL HEADERS WITH SPANS OF:
1'-0" to 2'-0" (1) TR. (1) KS PER SIDE
2'-0" to 5'-0" (2) TR. (2) KS PER SIDE
5'-0" to 8'-0" (2) TR. (3) KS PER SIDE
(U.O.N) UNLESS OTHERWISE NOTED
- ALL BEAMS AND (2) PLY TRUSSES SHALL HAVE A MINIMUM OF (2) 2x4/6 STUD COLUMN AT EACH BEARING LOCATION UNLESS OTHERWISE SPECIFIED
- ALL BUILT-UP STUD COLUMNS SHALL BE CONTINUED TO FOUNDATION OR OTHER SUPPORTING MEMBER. BUILT-UP COLUMNS SHALL BE BLOCKED SOLID AT THE FLOOR SYSTEM (TYPICAL).
- HEADERS IN 2x6 WALLS TO BE (3) 2x12 w/ 1/2" SPACERS, UNLESS OTHERWISE NOTE.
- NOTE: SUB-FASCIA TO BE 2x6 HF. FASCIA TO BE 2" HARDBOARD (TEXTURED).
- NOTE: SOFFITS TO BE 1/4" HARDBOARD (TEXTURED FINISH, FLAT).
- NOTE: FRAMER TO PROVIDE ADEQUATE SOFFIT AND ATTIC VENTILATION (PER CURRENT I.R.C.) 1/50 OF ATTIC AREA
- ALL FLOOR JOISTS TO BE 14" TJI 110 SERIES AT 16" O.C. UNLESS SPECIFIED OTHERWISE, PROVIDE 1 1/4" TIMBERSTRAND REM BOARD ON ENTIRE PERIMETER OF FLOOR JOIST SYSTEM UNLESS SPECIFIED.
- FOR 18" WIDE GARAGE DOORS, PROVIDE 6 KING STUDS AND 2 TRIMMERS AT EACH SIDE. (U.O.N)
- FOR ANY TRUSSES WITH INTERIOR BEARING POINTS, PROVIDE (2) 2x4 STUDS AT EACH INTERIOR BEARING POINT UNLESS OTHERWISE NOTED.
- ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A36 EXCEPT PIPE COLUMNS WHICH SHALL CONFORM TO ASTM A53, GRADE B OR A501.
- ADJUSTABLE PIPE COLUMNS SHALL BE LOAD RATED FOR 15,000 LBS AT 8'-0" HEIGHT AND SHALL CONFORM TO I.R.C. USE OF MATERIALS
- ALL STEEL PIPE COLUMNS TO BE PROVIDED WITH A 1/4"x3 1/2"x6 1/2" TOP AND BOTTOM PLATE, W/6" CONTINUOUSLY WELDED TO THE COLUMN, 1/8" FILLET.

Site Elevation: 7,130 ft.

Roof Loading

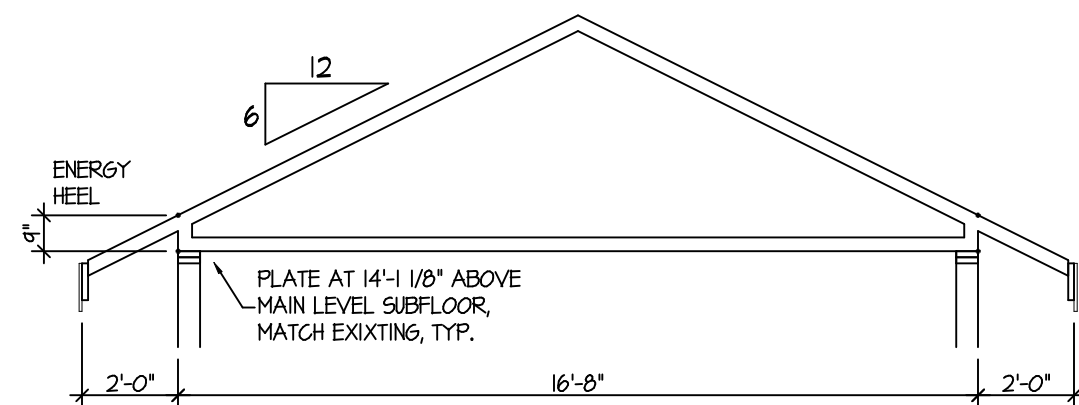
Live Load:	40 p.s.f.
Dead Load:	25 p.s.f.
Total Load:	65 p.s.f.
WIND LOAD: 130 mph. (3 SEC. 6057) EXPOSURE 'C'	

Symbols

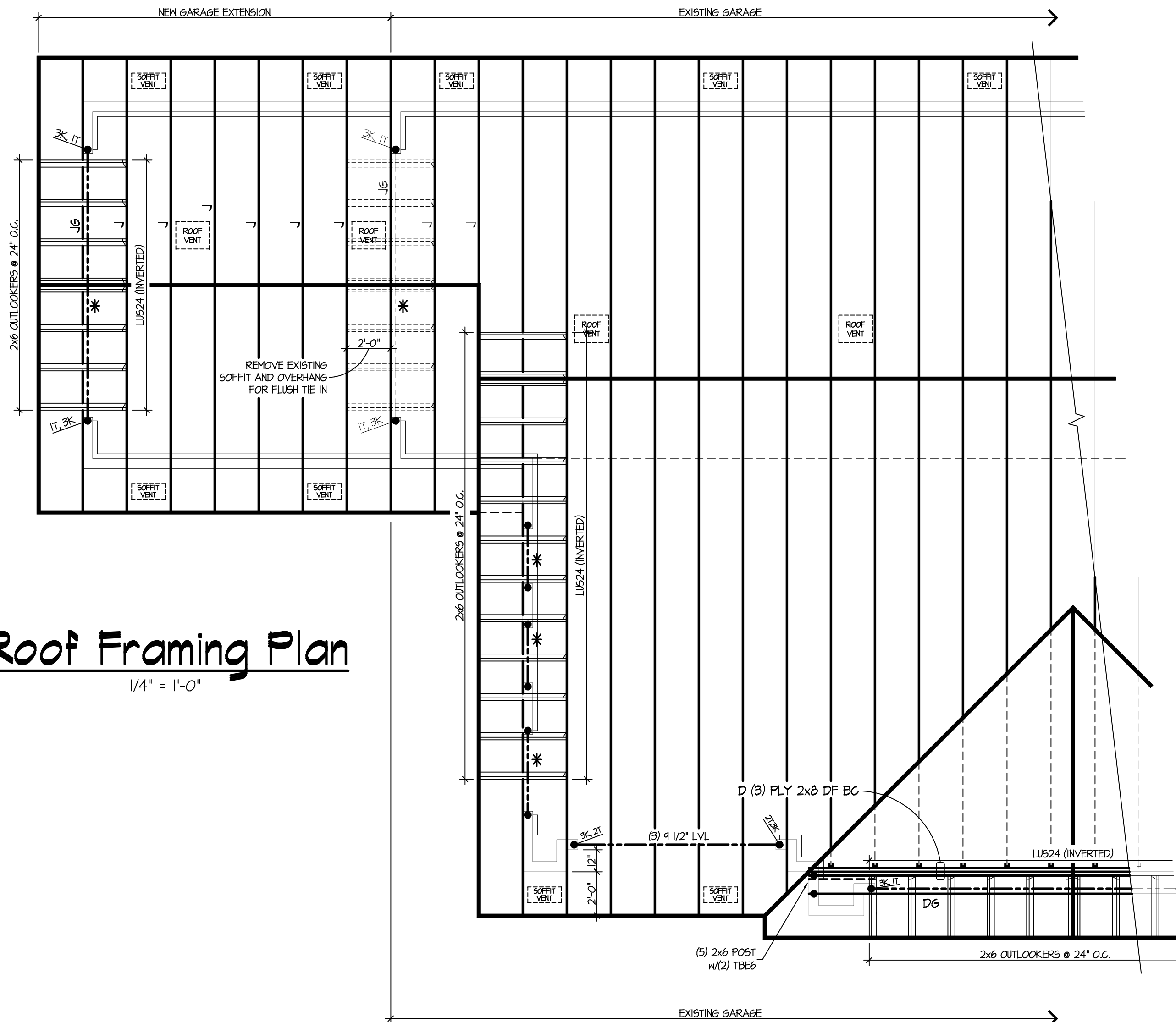
POINT LOAD (from above)	◆
LOAD BEARING WALL (from above)	=====
BEARING SUPPORT WALL (below)	=====
KINGS / TRIMMERS / POSTS	●
BEAMS / HEADERS	----

Truss Notes:

- PROVIDE 2x4 VERTICAL CRIPPLES BETWEEN OVERFRAMING AND RAFTERS OR TRUSSES BELOW, AT PLAN VIEW INTERSECTION.
- ALL TRUSS HANGERS TO BE SIMPSON "THA34" OR EQUAL, UNLESS OTHERWISE NOTED. (U.O.N)
- PROVIDE SIMPSON "1025" SERIES ANCHORS AT EACH END OF ALL TRUSSES AND RAFTERS NOT UTILIZING OTHER ANCHORS, WHERE ROOF OVERHANG EXCEEDS 48", USE SIMPSON "160" ANCHORS
- PROVIDE "11P4" @ 48" O.C. FOR "T8", "T8H"
- SHADE AREA INDICATES 2x4 RAFTER OVERFRAMING AT 24" O.C., 2x4 RAFTER OVERFRAMING SHALL BEAR ON 2x4S FLAT ON DECKING AT VALLEY.
- TRUSS BLOCKING REQ'D WHEN DEPTH OF MEMBER AT BEARING POINT EXCEEDS EIGHT INCHES (8")



Truss "J", "J6"
1/4" = 1'-0"



Roof Framing Plan

1/4" = 1'-0"