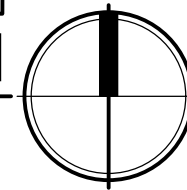


PROJECT LOCATION
SCALE: NONE



PROJECT LOCATION
S9°50'21.5"N
104°28'21.5"W

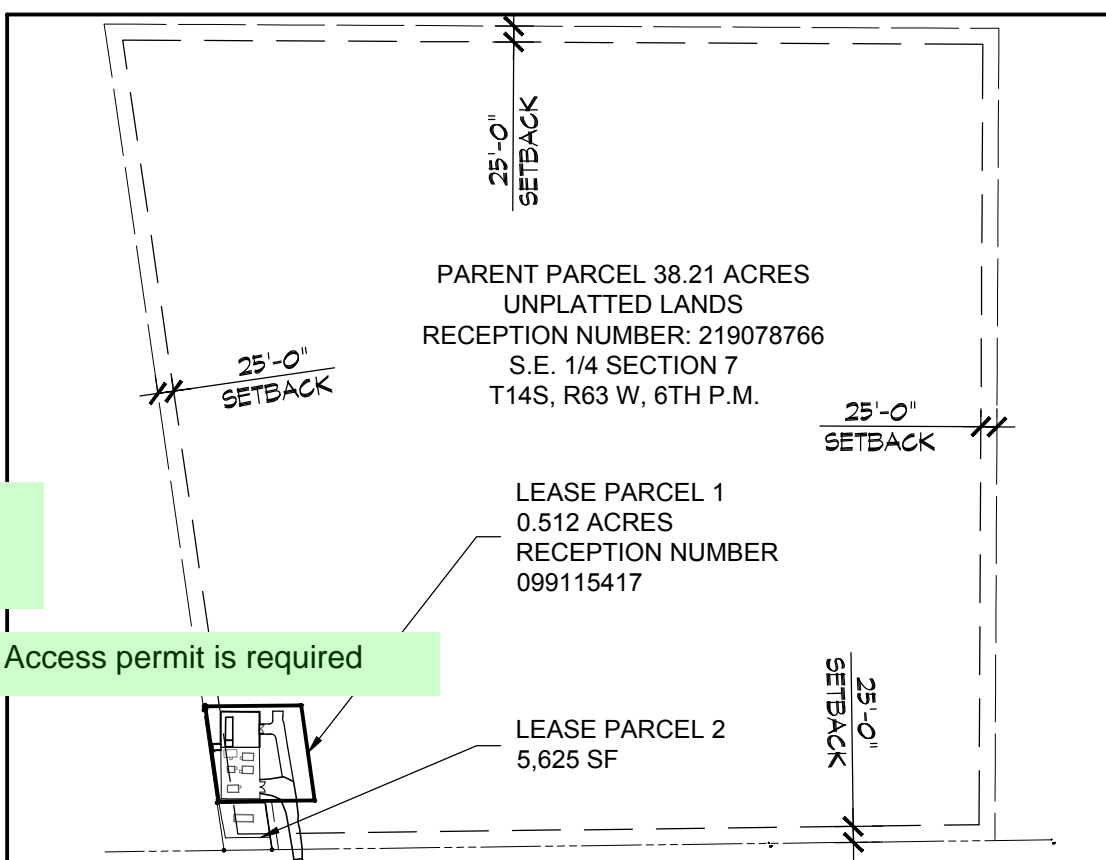
SITE SUMMARY

- OWNER:
KUHN'S JAMES, KUHN'S CHRISTI
18370 HIGHWAY 94 COLORADO SPRINGS CO, 80930
- APPLICANT:
FIVE/NINE DESIGN GROUP
REX ATKINSON
15925 HARGRAY DRIVE NOBLESVILLE, IN 46062
PHONE: 833-348-3934 EMAIL: REX@FIVENINE.DG.COM
- THE PARENT PARCEL HAS THE RECEPTION NUMBER OF: 219078766
THE SITE WITH THE BUILDING ADDITION IS: 099115417
- AS PART OF THIS PROJECT ON THE PROPERTY WITH THE RECEPTION: 099115417 THERE ARE (5) EXISTING BUILDINGS
BUILDING #1: EQUIPMENT SHELTER 213 SF
BUILDING #2: EQUIPMENT SHELTER 213 SF
BUILDING #3: EQUIPMENT SHELTER 213 SF
BUILDING #4: EQUIPMENT SHELTER 240 SF
BUILDING #5: EQUIPMENT SHELTER 117 SF
BUILDING #6: EQUIPMENT SHELTER 420 SF
- THE SITE IS ZONED RR-5
- EXISTING PARCEL 219078766 IS OUTSIDE THE SCOPE OF THIS PROJECT. THE PROPERTY CONTAINS A HOUSE AND A CATTLE SHED:
HOUSE 1,552 SF BASEMENT 1,264 SF GARAGE 912 SF
CATTLE SHED #1 113 SF
- EXISTING PARCEL 200054277 IS OUTSIDE THE SCOPE OF THIS PROJECT. THE PROPERTY CONTAINS:
BUILDING #A: EQUIPMENT SHELTER 376 SF

Show all proposed and existing easements.

Per file U-06-006 a copy of the CDot Access permit is required

Show the setback distance from the property boundary to building.



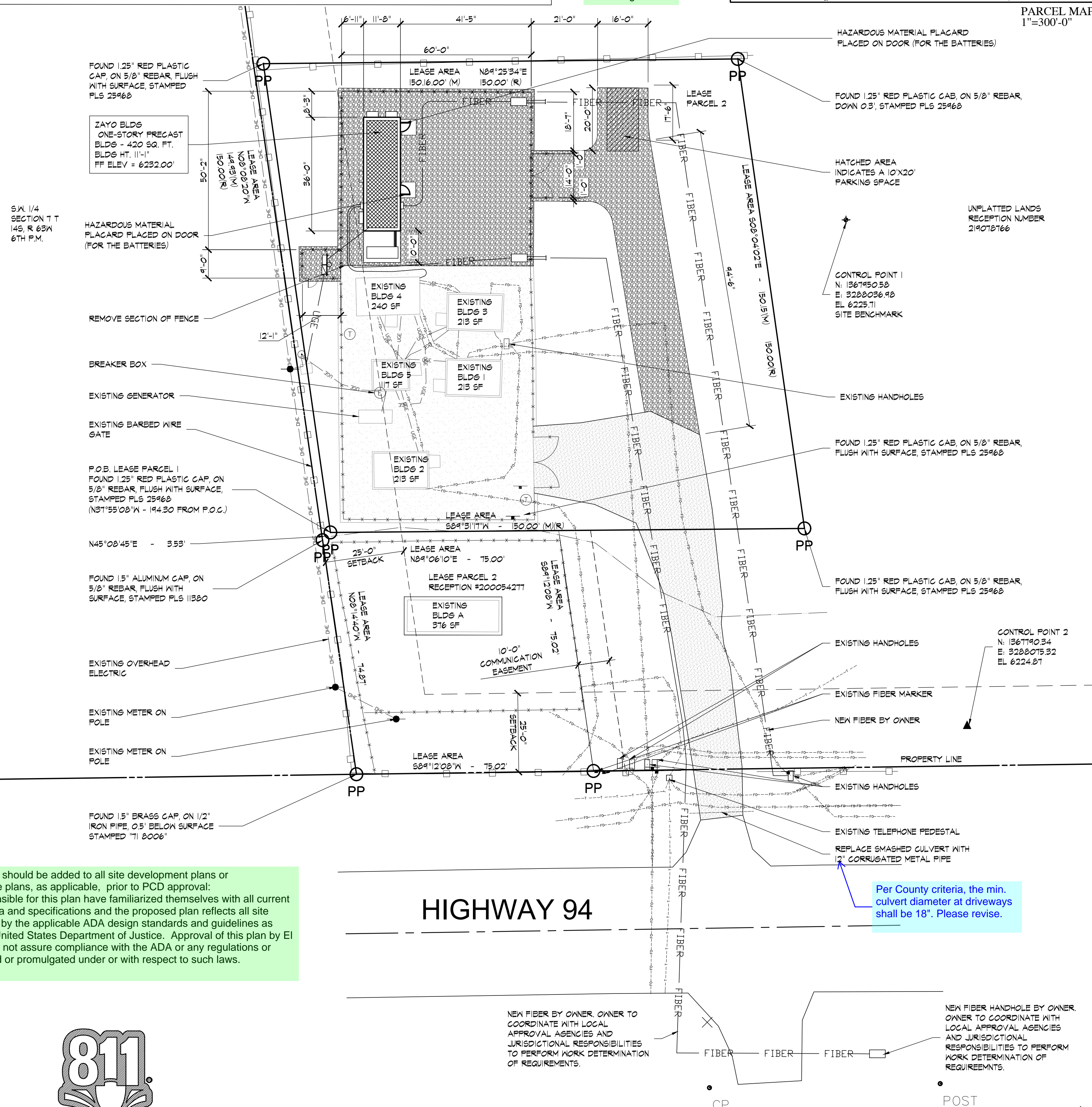
PARCEL MAP
1"=300'-0"

LEGEND

	EXISTING OVERHEAD ELECTRIC LINE		SITE BENCHMARK
	EXISTING UNDERGROUND TELEPHONE		EXISTING GRAVEL
	EXISTING UNDERGROUND FIBER		NEW GRAVEL
	NEW UNDERGROUND FIBER		CONTROL POINT
	NEW UNDERGROUND ELECTRIC		PROPERTY POINT
	EXISTING UNDERGROUND ELECTRIC		
	EXISTING CHAINLINK FENCE		
	EXISTING BARBED WIRE FENCE		
	NEW CHAINLINK FENCE		
	EXISTING UTILITY POLE		

SITE LAYOUT GENERAL NOTES:

- DIMENSIONS ARE TO THE EDGE OF CONCRETE, PAVING, OR FACE OF BLDG, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR DAMAGE ACCORDING TO LOCAL STANDARDS AND AT CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- IN THE EVENT OF ANY DISCREPANCIES AND/OR ERRORS FOUND IN THE DRAWINGS OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS PRIOR TO BEGINNING WORK.
- ALL DAMAGE TO EXISTING GRASS AREAS AS A RESULT OF NEW CONSTRUCTION SHALL BE RESEED AT THE CONTRACTOR'S EXPENSE.
- SITE DEVELOPMENT PLAN IS BASED ON A PRE-CONSTRUCTION BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY WILDCAT SURVEYING, PROJECT NUMBER 176-05-2019. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW AND VERIFY THE SURVEY PRIOR TO BIDDING AND BEGINNING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL SURVEY INFORMATION PRESENTED, DEPICTED, OR DEFINED ON THE ARCHITECTURAL/SITE DOCUMENTS WITH THE CERTIFIED SURVEY OF THE PROPERTY. IN THE EVENT OF A COORDINATE OR TOPOGRAPHIC DISCREPANCY THE CERTIFIED SURVEY SHOULD ALWAYS TAKE PRECEDENCE. IN THE EVENT OF ANY DISCREPANCIES AND/OR ERRORS FOUND IN THE DRAWINGS OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- FINISH FLOOR ELEVATION OF NEW BUILDING EQUALS 6232.00'. 6232.00' = 100'-0" IN CONSTRUCTION DOCUMENTS.
- COORDINATE SUBGRADE PREPARATION WITH GEOTECHNICAL INFORMATION. GEOTECHNICAL REPORT BY TERRACON. FOR MORE INFORMATION, CONTACT ROBERT HERNANDEZ AT (719) 572-7672. CONTRACTOR PRIOR TO COMMENCEMENT OF WORK SHALL OBTAIN IN WRITING THAT OLDCASTLE PRECAST ENGINEER OF RECORD HAS RECEIVED AND REVIEWED GEOTECHNICAL SURVEY AND RECOMMENDATIONS VERIFYING ADEQUACY OF PRECAST FOUNDATIONS UTILIZED FOR THIS PROJECT.
- ALL ITEMS BY GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR TO LOCATE ALL EXISTING INFRASTRUCTURE UTILITIES (PRIVATE AND PUBLIC) PRIOR TO ANY DIGGING. CONTRACTOR IS RESPONSIBLE FOR ALL DISRUPTIONS TO EXISTING SERVICES, UTILITIES ETC. AND TAKE ALL PRECAUTIONS NECESSARY TO PROTECT THE SAME.
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR & SUBCONTRACTOR TO COORDINATE THIS INSTALLATION OF ALL WORK WITHIN THE RIGHT OF WAY WITH COUNTY, STATE, AND LOCAL APPROVAL AND REVIEW AGENCIES. ALL DETAILS, MATERIALS AND PRODUCTS UTILIZED, SPECIFICATIONS, GRADES/CONTOURS, ETC. DEPICTED BY THE CONSTRUCTION DOCUMENTS SHALL BE REVIEWED WITH THE APPROVAL AGENCIES HAVING JURISDICTION BY THE CONTRACTOR(S) RESPONSIBLE FOR THE WORK PRIOR TO THE INSTALLATION OF ANY PORTION OF THE WORK. IF ANY DISCREPANCIES ARISE FROM THE FINAL CONTRACTOR REVIEW WITH THE APPROVAL AGENCY HAVING JURISDICTION OCCURS, THE CONTRACTOR SHALL INFORM THE ARCHITECT AND ITS REPRESENTATIVE AS DEFINED ON THE TITLE BORDER.
- IT IS THE RESPONSIBILITY OF THE PRE-CAST FOUNDATION DESIGN ENGINEER TO VERIFY WITH GEOTECHNICAL ENGINEER THE ADEQUACY OF EXISTING SOILS TO ACCEPT BUILDING LOADS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY INFORM THE PROJECT MANAGER AND THE OWNER OF ANY OBSTRUCTIONS, ROCK FORMATIONS, OUTCROPPINGS ETC. THAT MAY IMPACT STRUCTURAL STABILITY OF THE BUILDING, FOUNDATIONS AND SITE INFRASTRUCTURE. THE PROJECT MANAGER/OWNER IS RESPONSIBLE TO CONTACT THE ARCHITECT AND OLDCASTLE STRUCTURAL ENGINEER UPON NOTIFICATIONS FROM THE CONTRACTOR.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EMPLOY AN "ON SITE" GEOTECHNICAL ENGINEER LICENSED (PE) IN THE STATE OF THE PROJECT LOCATION TO REVIEW EXISTING SOIL CONDITIONS AT THE TIME OF EXCAVATION FOR FOOTINGS/INFRASTRUCTURE TO RENDER OPINIONS, APPROVAL OR DECISIONS REGARDING PLACEMENT/ADEQUACY DESIGN OF PRECAST FOUNDATIONS INFRASTRUCTURE AND BUILDING. CONTACT PROJECT MANAGER AND ARCHITECT (JOINTLY OF ANY RECOMMENDATIONS AND/OR MODIFICATIONS REQUIRED OR OTHERWISE RENDERED OR RECOMMENDED BY THE LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER.
- CONTRACTOR RESPONSIBLE TO CONTACT OLDCASTLE PRECAST FOUNDATION DESIGN ENGINEER, TERRACON GEOTECHNICAL ENGINEER AND VERIFY ADEQUACY OF FOUNDATION DESIGN WITH THE SOILS FOUND ON THE SITE. TERRACON'S NET ALLOWABLE BEARING PRESSURE PER GEOTECHNICAL REPORT DATED 11.10.19 ARE 2500 PSF. CONTRACTOR SHALL EMPLOY LICENSED GEOTECHNICAL AT TIME OF SOIL EXCAVATION TO PERFORM ON SITE ANALYSIS AND CORRESPONDING RECOMMENDATIONS PRIOR TO PLACEMENT OF FOOTINGS AND BUILDING.
- ALL FILL MATERIAL SHALL BE APPROVED QUALITY AND REVIEWED BY GEOTECHNICAL ENGINEER IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MEET AND EXCEED ALL COMPACTION STANDARDS PER THE GEOTECHNICAL AND ENGINEERS REPORT AND REQUIREMENTS. IN THE ABSENCE OF A GEOTECHNICAL REPORT THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK WHAT SO EVER.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.



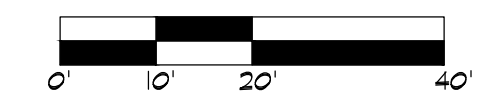
The following note should be added to all site development plans or non-residential site plans, as applicable, prior to PCD approval:
The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

Per County criteria, the min. culvert diameter at driveways shall be 18". Please revise.

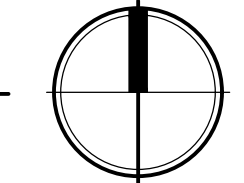


Know what's below.
Call before you dig.

NOTE: ARCHITECTURAL, ELECTRICAL, AND MECHANICAL PLANS ARE ORIENTED DIFFERENTLY THAN SITE PLAN. PLEASE NOTE NORTH ARROW ON EACH PLAN SHEET FOR PROPER ORIENTATION.

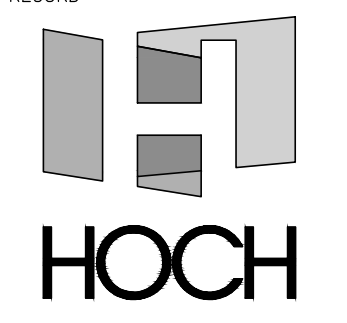


OVERALL SITE PLAN
SCALE: 1" = 20'-0"

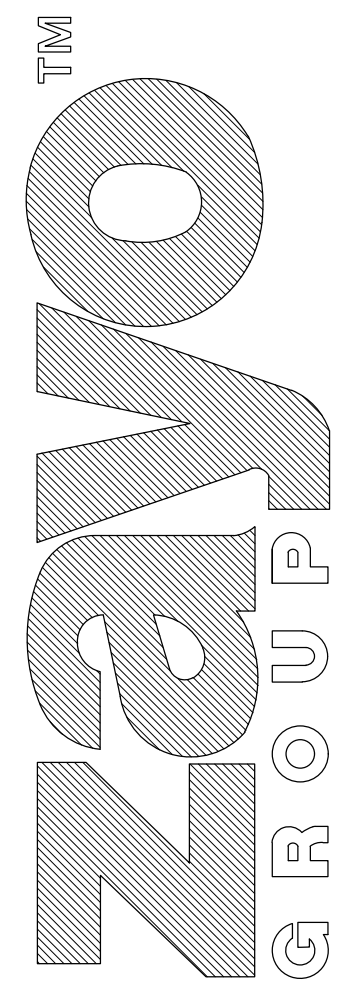


15925 HARGRAY DRIVE
NOBLESVILLE, INDIANA 46062
P: 833-348-3934
www.fivenine.com

ARCHITECT OF RECORD



THIS IS AN ORIGINAL DESIGN, CREATED BY FIVE NINE DESIGN GROUP THE CONCEPTS, IDEAS, PLANS AND DETAILS ARE THE SOLE PROPERTY OF FIVE NINE DESIGN GROUP. NONE OF THE CONCEPTS, IDEAS, PLANS OR DETAILS SHALL BE COPIED, USED BY, OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE PRIOR WRITTEN PERMISSION OF FIVE NINE DESIGN GROUP. WRITTEN DIMENSIONS ON DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND FIVE NINE DESIGN GROUP MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.



18304 HIGHWAY 94
COLORADO SPRINGS, CO 80930

3-18-20 ISSUED FOR PERMITS		
NUMBER	DATE	DESCRIPTION
ISSUES		

CERTIFICATION:

SHEET TITLE:

OVERALL SITE PLAN

PROJECT NUMBER 18061
CAD FILE: 61C100.DWG
DRAWN BY: BSA
CHECKED BY: BSH

SHEET NUMBER:

C100