

ALTA/NSPS LAND TITLE SURVEY

LOT 1, COWPERWOOD SAIC

SITUATED IN THE NORTHWEST ONE-QUARTER OF SECTION 17

TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN

COUNTY OF EL PASO, STATE OF COLORADO

B2 EXCEPTIONS:

6. AN EASEMENT FOR UTILITIES AND INCIDENTAL PURPOSES AND INCIDENTAL PURPOSES GRANTED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, AS SET FORTH IN AN INSTRUMENT RECORDED SEPTEMBER 25, 1972 IN BOOK 2525 AT PAGE 935. [PLOTTED AND SHOWN HEREON]
7. AN EASEMENT FOR UTILITIES AND INCIDENTAL PURPOSES AND INCIDENTAL PURPOSES GRANTED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, AS SET FORTH IN AN INSTRUMENT RECORDED MARCH 30, 1984 IN BOOK 3851 AT PAGE 1466. [PLOTTED AND SHOWN HEREON]
8. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE AGREEMENT AND EASEMENT "AS BUILT" RECORDED NOVEMBER 22, 1994 IN BOOK 6566 AT PAGE 682. [PLOTTED AND SHOWN HEREON]
9. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE GRANT OF EASEMENT RECORDED FEBRUARY 27, 1995 IN BOOK 6609 AT PAGE 61. [PLOTTED AND SHOWN HEREON]
10. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE GRANT OF EASEMENT RECORDED DECEMBER 7, 1995 IN BOOK 6779 AT PAGE 2. [PLOTTED AND SHOWN HEREON]
11. LEASE BY AND BETWEEN DONALD AND EILEEN KVOLS, AS LESSOR, AND WESTERN PCS III LICENSE CORPORATION, AS LESSEE, AS EVIDENCED BY MEMORANDUM OF LEASE RECORDED JANUARY 13, 1997 AT RECEPTION NO. 97004020. [NO CONDITIONS PLOTTABLE]
12. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE COVENANT AND AGREEMENT RECORDED FEBRUARY 26, 1997 AT RECEPTION NO. 97021340. [NO CONDITIONS PLOTTABLE]
13. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE RESOLUTION NO. 97-78, LAND USE-30 RECORDED APRIL 4, 1997 AT RECEPTION NO. 97038656. [NO CONDITIONS PLOTTABLE]
14. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE NOTICE OF CHEROKEE METROPOLITAN DISTRICT WATER DISTRIBUTION SYSTEM AND SEWAGE COLLECTION SYSTEM RECOVERY AGREEMENT RECORDED JUNE 19, 2001 AT RECEPTION NO. 201084507. [NO CONDITIONS PLOTTABLE]
15. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE GRANT OF EASEMENT RECORDED JULY 6, 2001 AT RECEPTION NO. 201095053. [PLOTTED AND SHOWN HEREON]
16. LEASE BY AND BETWEEN K VENTURES, LLLP, A COLORADO LIMITED LIABILITY LIMITED PARTNERSHIP, AS LESSOR, AND NEXTEL WEST CORP., A DELAWARE CORPORATION, D/B/A NEXTEL COMMUNICATIONS, AS LESSEE, AS EVIDENCED BY MEMORANDUM OF AGREEMENT RECORDED JUNE 9, 2003 AT RECEPTION NO. 203126317. [NO CONDITIONS PLOTTABLE]
17. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE RESOLUTION NO. 03-391 RECORDED MARCH 8, 2004 AT RECEPTION NO. 204038525. [NO CONDITIONS PLOTTABLE]
18. LEASE BY AND BETWEEN L VENTURES LLLP, A COLORADO LIMITED LIABILITY LIMITED PARTNERSHIP, AS LESSOR, AND AT&T WIRELESS PCS, LLC, A DELAWARE LIMITED LIABILITY COMPANY D/B/A AT&T WIRELESS, BY AT&T WIRELESS SERVICES, INC., A DELAWARE CORPORATION, AS LESSEE, AS EVIDENCED BY MEMORANDUM OF LEASE RECORDED JUNE 30, 2004 AT RECEPTION NO. 204108944. [NO CONDITIONS PLOTTABLE]
19. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE RESOLUTION NO. 05-207 RECORDED JUNE 23, 2005 AT RECEPTION NO. 205093750. [NO CONDITIONS PLOTTABLE]
20. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE RESOLUTION NO. 05-208 RECORDED JUNE 23, 2005 AT RECEPTION NO. 205093751. [NO CONDITIONS PLOTTABLE]
21. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE SUBDIVISION IMPROVEMENT AGREEMENT RECORDED AUGUST 9, 2005 AT RECEPTION NO. 205122344. [NO CONDITIONS PLOTTABLE]
22. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE PRIVATE DETENTION BASIN MAINTENANCE AGREEMENT AND EASEMENT RECORDED AUGUST 9, 2005 AT RECEPTION NO. 205122345. [NO CONDITIONS PLOTTABLE]
23. EASEMENTS, NOTES, COVENANTS, RESTRICTIONS AND RIGHTS-OF-WAY AS SHOWN ON THE PLAT OF COWPERWOOD SAIC, RECORDED AUGUST 9, 2005 AT RECEPTION 205122346. NOTE: AFFIDAVIT OF CORRECTION IN CONNECTION THEREWITH RECORDED AUGUST 16, 2005 AT RECEPTION NO.205127101. [PLOTTED AND SHOWN HEREON]
24. LEASE BY AND BETWEEN CAMPUS POINT REALTY CORPORATION, A CALIFORNIA CORPORATION, AS LESSOR, AND K VENTURES LLLP, A COLORADO LIMITED LIABILITY LIMITED PARTNERSHIP, AS LESSEE, AS EVIDENCED BY GROUND LEASE RECORDED AUGUST 11, 2005 AT RECEPTION NO. 205123884. [PLOTTED AND SHOWN HEREON]
25. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE RESOLUTION NO. 05-262 RECORDED SEPTEMBER 23, 2005 AT RECEPTION NO. 205149822. [NO CONDITIONS PLOTTABLE]
26. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE RESOLUTION NO. 09-346 RECORDED OCTOBER 28, 2009 AT RECEPTION NO. 209125358. [NO CONDITIONS PLOTTABLE]
27. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE PERMANENT EASEMENT AGREEMENT RECORDED AUGUST 22, 2013 AT RECEPTION NO. 213108225. [PLOTTED AND SHOWN HEREON]
28. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE ADMINISTRATIVELY APPROVED PERMIT ISSUED TO CONDUCT A DESIGNATED ACTIVITY OF STATE INTEREST RECORDED FEBRUARY 19, 2014 AT RECEPTION NO. 214013392. [NO CONDITIONS PLOTTABLE]
29. RESERVATIONS AS SET FORTH IN SPECIAL WARRANTY DEED BY AND BETWEEN K VENTURES, L.L.L.P. AND CAMPUS POINT REALTY CORPORATION RECORDED AUGUST 11, 2005 AT RECEPTION NO. 205123883. [NO CONDITIONS PLOTTABLE]



VICINITY MAP
NOT TO SCALE

LEGAL DESCRIPTION:

LOT 1,
COWPERWOOD SAIC, COUNTY OF EL PASO, STATE OF COLORADO,
EXCEPTING THEREFROM THOSE IMPROVEMENTS RESERVED IN SPECIAL WARRANTY DEED BY AND BETWEEN K VENTURES, LLLP, A COLORADO LIMITED LIABILITY LIMITED PARTNERSHIP AND CAMPUS POINT REALTY CORPORATION, A CALIFORNIA CORPORATION RECORDED AUGUST 11, 2005 AT RECEPTION NO. 205123883 OF THE RECORDS OF EL PASO COUNTY, COLORADO.

SURVEYOR'S NOTES:

1. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY POINT CONSULTING, LLC. FOR INFORMATION REGARDING BOUNDARY, EASEMENTS AND TITLE, POINT CONSULTING, LLC RELIED UPON THE FOLLOWING FIRST AMERICAN TITLE INSURANCE COMPANY:

COMMITMENT NO. NCS-830697-CH2, EFFECTIVE DATE OF JANUARY 8, 2017 AT 5:00 P.M.
3. BASIS OF BEARINGS: S89°53'54"E, BEING THE NORTH LINE OF LOT 1, COWPERWOOD SAIC AS MEASURED BETWEEN THE MONUMENT FOUND AND SHOWN HEREON.
4. FLOOD ZONE DESIGNATION: ACCORDING TO FLOOD INSURANCE RATE MAP (F.I.R.M.) NUMBER 08041C0754F, WITH AN EFFECTIVE DATE OF MARCH 17, 1997, THE ENTIRE PROPERTY LIES ENTIRELY WITHIN THE FOLLOWING ZONE DESIGNATION:

ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
5. ZONING: THE SUBJECT PROPERTY IS ZONED CS - COMMERCIAL SERVICE. PER PHONE CALL WITH EL PASO COUNTY PLANNING DEPARTMENT.

SETBACKS:
PERIMETER: 25' MIN
HEIGHT: 45' MAX
6. UNIT OF MEASURE: U.S. SURVEY FOOT
7. OBSERVED PARKING SPACES: 313 REGULAR PARKING SPACES, 8 HANDICAP PARKING SPACES, 321 TOTAL PARKING SPACES.
8. THE UTILITIES SHOWN HEREON WERE LOCATED FROM SURFACE EVIDENCE ONLY. FOR EXACT LOCATIONS OF ALL UNDERGROUND UTILITIES, POT-HOLING IS RECOMMENDED. THE SURVEYOR HAS NOT PHYSICALLY OR ACTUALLY LOCATED ANY UNDERGROUND UTILITIES.
9. THE SUBJECT PROPERTY CONTAINS 620,417 SQUARE FEET OR 14.2428 ACRES, MORE OR LESS.
10. PUBLISHED PROPERTY ADDRESS: 360 COMMAND VIEW, COLORADO SPRINGS, CO.
11. THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
13. THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
14. THERE WAS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
15. THERE WERE NO DELINEATED WETLAND AREAS OBSERVED.

CERTIFICATION:

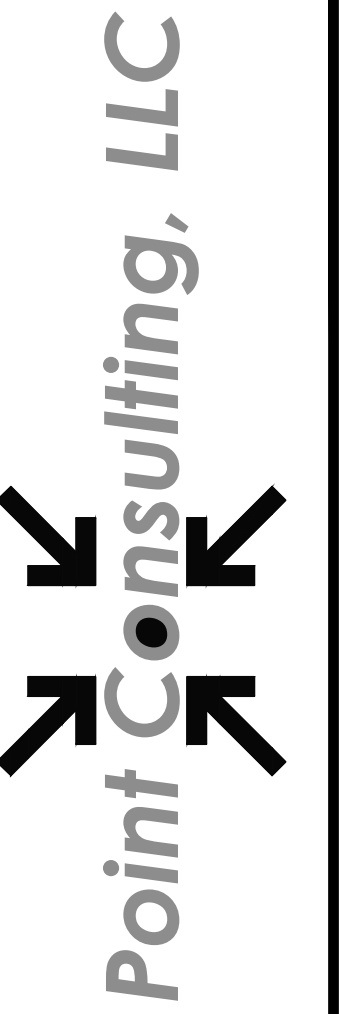
TO: LEIDOS REALTY, LLC, A DELAWARE LIMITED LIABILITY COMPANY;
FIRST AMERICAN TITLE INSURANCE COMPANY;
EDUCATION CAPITAL SOLUTIONS, LLC, A DELAWARE LIMITED LIABILITY COMPANY;
AND EACH OF THEIR RESPECTIVE SUCCESSORS AND ASSIGNS:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11, 13, 16, 17, 18 AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 20, 2013.



CAMERON M. WATSON, PLS
COLORADO LICENSE NUMBER 38311
FOR AND ON BEHALF OF POINT CONSULTING, LLC
8460 W KEN CARYL AVE
LITTLETON, CO 80128
(720) 258-6836
cwatson@pnt-llc.com

Exclude this sheet from the Space Village signage/stripping plan.



8460 W KEN CARYL AVE
LITTLETON, CO 80128
720-258-6836
www.pnt-llc.com
PLANNING | ENGINEERING
LANDSCAPE ARCHITECTURE
LAND SURVEYING

PREPARED UNDER
THE DIRECT
SUPERVISION OF
CAMERON M.
WATSON
COLORADO
LICENSE NO. 38311
FOR AND ON
BEHALF OF POINT
CONSULTING, LLC

ALTA/NSPS LAND TITLE SURVEY
360 COMMAND VIEW
COLORADO SPRINGS, CO
JOB NO. 17.01.006

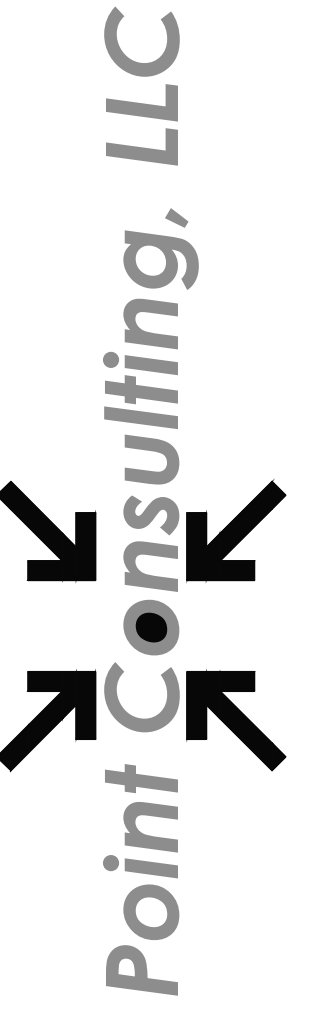
DATE	DESCRIPTION
02/10/17	ORIGINAL PREPARATION

SHEET 1/2

ALTA/NSPS LAND TITLE SURVEY

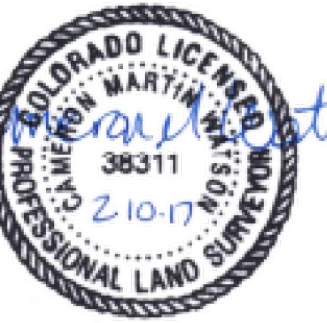
LOT 1, COWPERWOOD SAIC

SITUATED IN THE NORTHWEST ONE-QUARTER OF SECTION 17 TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF EL PASO, STATE OF COLORADO



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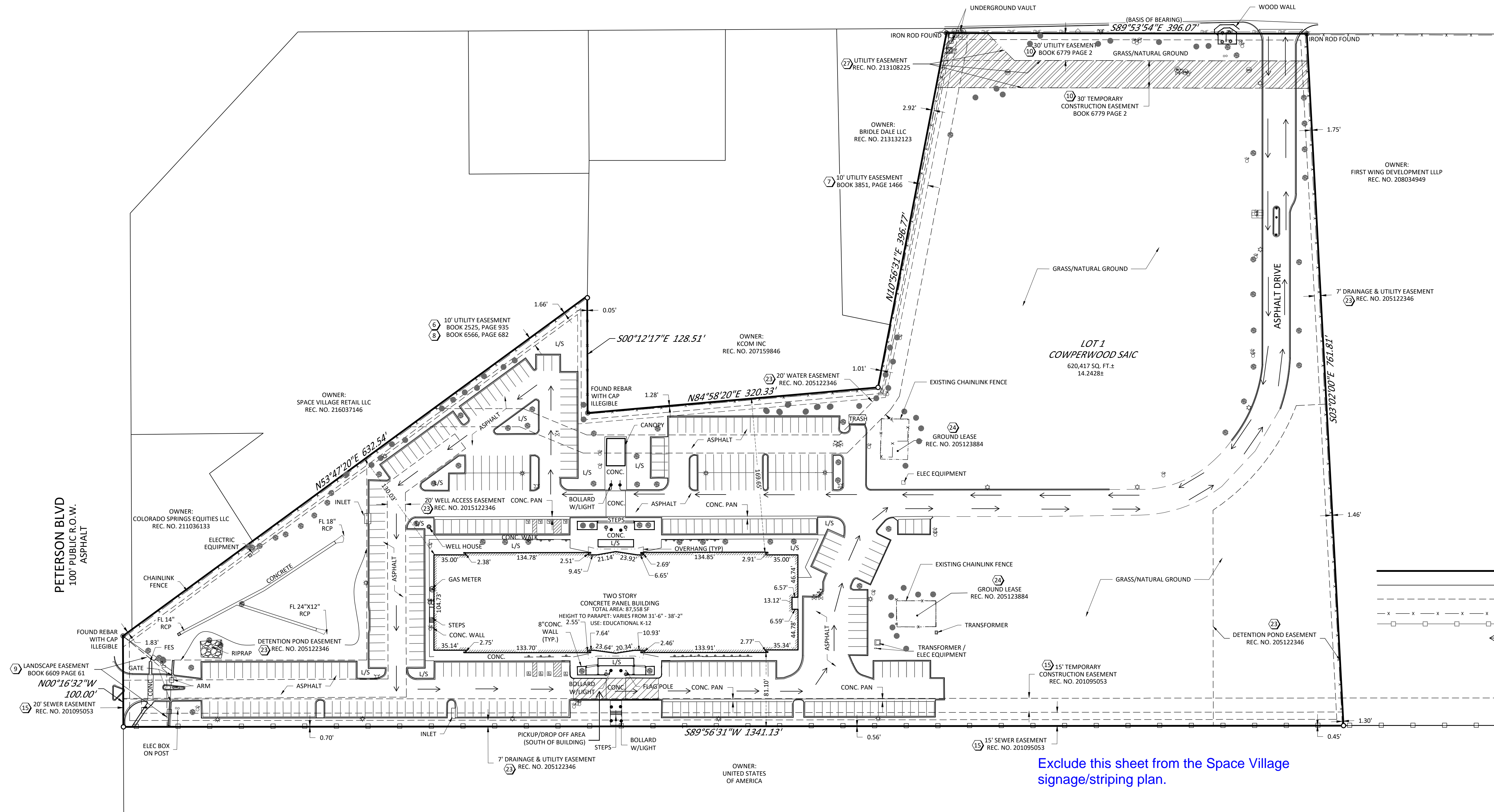
360 COMMAND VIEW

COLORADO SPRINGS, CO

MAP JOB NO. 17.01.006

DATE	DESCRIPTION	SHEET
02.10.17	ORIGINAL PREPARATION	2/2

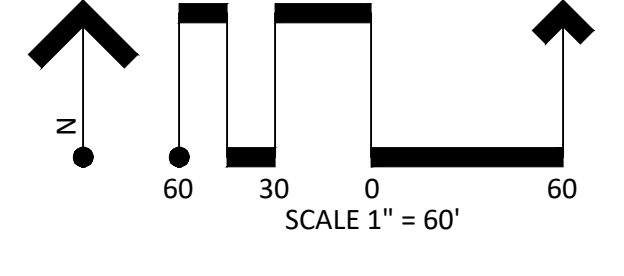
SPACE VILLAGE AVENUE
100' PUBLIC R.O.W.
ASPHALT



PARKING SPACES:
313 PARKING SPACES
8 HANDICAP SPACES
321 TOTAL PARKING SPACES

- MAP LEGEND**
- (M) WATER MARKER
 - (F) FIRE HYDRANT
 - (S) IRRIGATION CONTROL BOX
 - (C) SANITARY CLEANOUT
 - (T) TELEPHONE MANHOLE
 - (U) UTILITY POLE
 - (L) LIGHT POLE
 - (S) LANDSCAPE LIGHT
 - (P) TELEPHONE PEDESTAL
 - (S) SIGN
 - (D) DECIDUOUS TREE
 - (C) CONIFEROUS TREE
 - (L/S) LANDSCAPE AREA
 - (18) TITLE COMMITMENT EXCEPTION NUMBER
 - (●) SET NO. 5 REBAR WITH 1 1/2" RED PLASTIC CAP STAMPED "POINT LS 38311"
 - (●) FOUND MONUMENT AS NOTED
 - BOUNDARY LINE
 - ADJACENT BOUNDARY LINE
 - - - EASEMENT LINE
 - x - x - CHAINLINK FENCE
 - - - METAL FENCE
 - ← DIRECTION OF TRAFFIC FLOW

Exclude this sheet from the Space Village signage/stripping plan.



GENERAL NOTES

PROJECT DESCRIPTION

STRIPING MODIFICATIONS ON SPACE VILLAGE AVENUE AND COMMAND VIEW.

GENERAL NOTES

- 1 THE FOLLOWING STANDARD PLAN SHEETS ARE TO BE USED TO CONSTRUCT THIS PROJECT S-614-40, S-614-42, S-627-1, S-614-2, S-614-3, S-627-1, S-612-1.
- 2 THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2011) (REFERRED TO AS THE STANDARD SPECIFICATIONS), EXCEPT WHERE OTHERWISE NOTED ON THE PROJECT PLANS AND/OR THE PROJECT SPECIAL PROVISIONS.
- 3 THE "PIKES PEAK REGION ASPHALT PAVING SPECIFICATIONS," VERSION 2, DATED APRIL 1, 2008 SHALL APPLY TO ASPHALT PAVING MATERIALS AND CONSTRUCTION PROCEDURES EXCEPT WHERE NOTED ON THE PROJECT PLANS AND/OR PROJECT SPECIAL PROVISIONS.
- 4 THE CONTRACTOR SHALL HAVE A COPY OF ALL APPLICABLE STANDARDS ON SITE FOR THE DURATION OF THE PROJECT.
- 5 THE CONTRACTOR SHALL ACQUIRE ALL NECESSARY PERMITS AND INSPECTIONS REQUIRED TO COMPLETE THE SCOPE OF WORK PRESENTED HEREIN.
- 6 THE ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

TRAFFIC CONTROL

- 6 ALL SIGNAGE AND STRIPING SHALL FOLLOW THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," MUTCD, CURRENT EDITION, AND ALL APPLICABLE CDOT M&S STANDARDS.
- 7 THE CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN TEMPORARY TRAFFIC CONTROL DEVICES NECESSARY THROUGHOUT THE DURATION OF CONSTRUCTION IN CONFORMANCE WITH TRAFFIC CONTROL PLANS AND/OR APPROVED MHT.
- 8 THE TRAFFIC CONTROL SUPERVISOR SHALL COORDINATE CONSTRUCTION ZONE TRAFFIC CONTROL ACTIVITIES WITH ALL APPROPRIATE OFFICIALS.
- 9 THE CONTRACTOR SHALL MAINTAIN FULL COMPLIANCE PAVEMENT MARKINGS OR APPROVED DEVICES ON THE ROADWAYS DURING ALL PHASES OF THE CONSTRUCTION PERIOD.
- 10 THE CONTRACTOR SHALL PROVIDE EMERGENCY RESPONSE AND PERIODIC ON-SITE TRAFFIC CONTROL SIGNAL OPERATIONAL EXPERTISE, MATERIALS, EQUIPMENT, AND STAFF, AS NECESSARY AND DIRECTED BY THE ENGINEER, TO MAINTAIN CONTINUOUS AND SATISFACTORY TRAFFIC SIGNAL OPERATION FOR EXISTING AND NEW TRAFFIC SIGNALS LOCATED WITHIN THE PROJECT LIMITS FOR THE DURATION OF THE PROJECT. THE DURATION OF THE PROJECT BEGINS FROM THE ISSUANCE OF THE NOTICE TO PROCEED UNTIL THE FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL CONSIDER THIS WORK INCIDENTAL TO THE OVERALL WORK BEING PERFORMED AND SHALL BE INCLUDED AS PART OF THE PROJECT.

- 11 THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL SIGNAL OPERATIONAL EXPERTISE, MATERIALS, EQUIPMENT, AND STAFF, AS NECESSARY, TO IMPLEMENT AND MAINTAIN SIGNAL OPERATIONAL CHANGES FOR EXISTING AND NEW TRAFFIC SIGNALS LOCATED WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH CONSTRUCTION ZONE TRAFFIC CONTROL PHASING, PROJECT PLANS, AND AS DIRECTED BY THE ENGINEER.

UTILITY NOTES

- 12 UTILITY FACILITIES EXIST WITHIN THE LIMITS OF PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL COOPERATE AND COORDINATE WITH THE UTILITY OWNERS IN THEIR REMOVAL AND RELOCATION OPERATIONS AND DURING CONSTRUCTION SO THAT PROGRESS IS EXPEDITED.
- 13 THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987 THREE BUSINESS DAYS IN ADVANCE OF ANY EXCAVATING OR GRADING.
- 14 THE LOCATIONS OF EXISTING STRUCTURES, PIPELINES, UTILITIES, ETC., SHOWN ON THE DRAWINGS HAVE BEEN DERIVED FROM THE BEST AVAILABLE INFORMATION. THERE MAY BE OTHER STRUCTURES, PIPELINES, UTILITIES, ETC., NOT SHOWN ON THE DRAWINGS WHICH PRESENTLY EXIST IN THE AREA OF CONSTRUCTION. THE ENGINEER AND/OR OWNER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL IMPACTED EXISTING STRUCTURES, PIPELINES, UTILITIES, ETC., IN THE PROJECT SITE, AND SHALL BE RESPONSIBLE FOR ANY DAMAGES THERETO.
- 15 THE CONTRACTOR SHALL PROJECT AND MAINTAIN ALL UTILITIES AND STRUCTURES AFFECTED BY THE WORK AND ANY DAMAGE SHALL BE REPAIRED AND RESTORED TO THE SATISFACTION OF THE ENGINEER OR APPLICABLE ENTITY AT THE CONTRACTOR'S EXPENSE.
- 16 THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHERE UTILITIES CONFLICT WITH THE NEW WORK IN CONFORMANCE WITH THE SPECIFICATIONS. CONFLICT IS DEFINED WHERE THE NEW WORK CANNOT BE COMPLETED WITHOUT PROPER CLEARANCES AROUND THE UTILITY. WHERE FIELD VERIFICATION IS NOTED ON THE PLANS, THIS SHALL REQUIRE THE CONTRACTOR TO DETERMINE THE LOCATION OF THE FACILITY IN QUESTION PRIOR TO THE NEW CONSTRUCTION. A DETERMINATION SHALL BE MADE BY THE CONTRACTOR IF THE CURRENT DESIGN WILL MATCH THE EXISTING FACILITY AND NOTIFY THE ENGINEER IN WRITING IF IT DOES NOT.

SURVEY NOTES

- 17 ALL NORTHINGS AND EASTINGS ARE SHOWN AT THE FLOWLINE UNLESS NOTED OTHERWISE.
- 18 THE CONTRACTOR SHALL CAREFULLY PRESERVE ALL MONUMENTS, BENCH MARKS, PROPERTY MARKERS, AND REFERENCE POINTS. IN CASE OF HIS DESTRUCTION OF THESE, THE CONTRACTOR WILL BE RESPONSIBLE FOR RESETTling SAME, AT HIS SOLE EXPENSE, AND SHALL BE RESPONSIBLE FOR ANY LOSS OF TIME THAT MAY BE CAUSED.

PROJECT ACTIVITY NOTES

- 19 ALL QUANTITIES ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK NECESSARY TO COMPLETE THE CONSTRUCTION SHOWN IN THESE PLANS.
- 20 ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY EL PASO COUNTY.
- 21 ALL WORK SHALL BE DONE TO THE LINES, GRADES, SECTIONS, AND ELEVATIONS SHOWN ON THE PLANS UNLESS OTHERWISE NOTED OR APPROVED BY THE ENGINEER.
- 22 THE CONTRACTOR SHALL LIMIT CONSTRUCTION ACTIVITIES TO THOSE AREAS WITHIN THE LIMITS OF DISTURBANCE AS SHOWN ON THE PLANS. ANY DISTURBANCE BEYOND THESE LIMITS SHALL BE RESTORED TO ORIGINAL CONDITIONS AT THE CONTRACTORS EXPENSE. CONSTRUCTION ACTIVITIES, IN ADDITION TO NORMAL CONSTRUCTION PROCEDURES, SHALL INCLUDE PARKING OF VEHICLES OR EQUIPMENT, DISPOSAL OF LITTER AND ANY OTHER ACTION WHICH WOULD ALTER EXISTING CONDITIONS.
- 23 CONSTRUCTION ACTIVITY SHALL BE SCHEDULED WITH MINIMUM IMPACT TO PEDESTRIAN AND VEHICULAR TRAFFIC. ALLOWABLE WORK HOURS ARE 7:00 AM - 7:00 PM MONDAY - FRIDAY.
- 24 LIMITS OF REMOVAL ITEMS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THEIR REMOVAL. IF DISCREPANCIES ARISE BETWEEN THE DEMOTION AND THE NEW WORK, THEN THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO DISTURBANCE.
- 25 ALL EXCESS MATERIAL REMOVED ON THIS PROJECT SHALL BE DELIVERED TO THE EL PASO COUNTY AKERS YARD FACILITY BY THE CONTRACTOR. HAULING WILL NOT BE PAID FOR SEPARATELY AND SHALL BE INCLUDED IN THE COST OF REMOVAL. THIS INCLUDES, BUT IS NOT LIMITED TO, EXCESS EXCAVATION, ASPHALT, AND CONCRETE.
- 26 IT WILL BE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ANY TEMPORARY EXCAVATION SUPPORT AS REQUIRED. THIS SUPPORT WILL BE INCIDENTAL TO THE WORK AND WILL NOT BE PAID FOR SEPARATELY.
- 27 ALL EXCAVATED HOLES SHALL BE COVERED WITH STEEL PLATES ANY TIME CONSTRUCTION WORK IS NOT IN PROGRESS (OVERNIGHT, WEEKENDS, HOLIDAYS). EXCAVATION SHORTING SHALL COMPLY WITH OSHA STANDARDS. COST FOR SHORING AND STEEL PLATES WILL NOT BE PAID FOR SEPARATELY, BUT SHALL BE INCLUDED IN THE WORK.
- 28 THE TYPE OF EARTHWORK COMPACTION FOR THIS PROJECT WILL BE AASHTO T-99 COMPACTED TO 95% MAXIMUM DRY DENSITY.
- 29 PAVEMENT MARKINGS SHALL BE REMOVED FROM THE PAVEMENT TO THE MAXIMUM EXTENT POSSIBLE, BY METHODS THAT DO NOT MATERIALLY ALTER OR DAMAGE THE SURFACE OR TEXTURE OF THE PAVEMENT.

- 30 ALL EXISTING EDGE LINES, CENTERLINES, LANE LINES, AND STOP BARS THAT ARE NOT SCHEDULED TO BE REMOVED SHALL BE REFRESHED. THIS SHALL APPLY TO ALL TRAFFIC MARKINGS THROUGHOUT THE INTERSECTION AREA.

ASPHALT PATCHING NOTES

- 31 HOT MIX ASPHALT IS REQUIRED FOR ALL PERMANENT ASPHALT PATCH REPAIRS AND SHALL BE PLACED IMMEDIATELY FOLLOWING CONSTRUCTION.
- 32 HOT MIX ASPHALT SHALL MEET AND BE PLACED ACCORDING TO THE REQUIREMENTS OF THE "PIKES PEAK REGIONAL ASPHALT SPECIFICATIONS."
- 33 HMA SHALL BE AN SX GRADE. THE CONTRACTOR SHALL SUBMIT A MIX DESIGN FOR APPROVAL BY THE ENGINEER.
- 34 THE DEPTH OF THE ASPHALT PATCH SHALL MATCH THE EXISTING PAVEMENT THICKNESS OR 4 INCHES MINIMUM, WHICHEVER IS GREATER. THE ASPHALT SHALL BE COMPACTED IN LIFTS OF NO MORE THAN 3 INCHES THICK. THE TOP COURSE SHALL BE 2 INCHES.
- 35 WHERE ASPHALT REMOVAL EXTENDS INTO THE BASE COURSE, THE CONTRACTOR SHALL PROVIDE A COMPACTED GRANULAR FILL MEETING THE SPECIFICATIONS OF CDOT'S CLASS 6 AGGREGATE BASE COURSE.
- 36 WHERE NEW PAVEMENT IS TO ABUT TO EXISTING PAVEMENT, THE EXISTING PAVEMENT SHALL BE REMOVED TO A NEAT VERTICAL LINE BY FULL DEPTH SAWING. SAWING WILL NOT BE PAID SEPARATELY, BUT SHALL BE INCLUDED IN THE COST OF THE PROJECT.
- 37 DILUTED EMULSIFIED ASPHALT SHALL BE APPLIED TO THE EDGE OF CUT PAVEMENT PRIOR TO PAVING OPERATIONS AND SHALL BE APPLIED BETWEEN PAVEMENT COURSES TO IMPROVE THE BOND. THE DILUTED EMULSIFIED ASPHALT FOR TACK COAT SHALL CONSIST OF ONE PART EMULSIFIED ASPHALT AND ONE PART WATER. THE DILUTED RATE OF APPLICATION SHALL BE 0.10 GALS/SY. TACK COAT WILL NOT BE PAID FOR SEPARATELY, BUT SHALL BE INCLUDED IN THE COST FOR PATCHING.
- 38 A TEMPORARY COLD MIX PATCH WILL BE REQUIRED FOR ALL STREET CUTS IF A PERMANENT PATCH CANNOT BE APPLIED FOR ANY REASON IMMEDIATELY FOLLOWING CONSTRUCTION. TEMPORARY PATCHES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL COMPLETION OF THE PERMANENT PATCH WITHIN A MAXIMUM OF 14 CALENDAR DAYS.

STORMWATER/BMP NOTES

- 39 NO WASHING OUT OF CONCRETE TRUCKS INTO STORM DRAINS OR STREETS SHALL BE ALLOWED.
- 40 IF CONCRETE TRUCKS ARE TO BE WASHED ON SITE, A TEMPORARY CONCRETE WASHOUT FACILITY SHALL BE CONSTRUCTED AND MAINTAINED WITH SUFFICIENT SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. CONCRETE WASHOUT AREAS SHALL BE LOCATED AT LEAST 50 FEET FROM STORM DRAINS.
- 41 TRACKING OF SOILS AND CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE MINIMIZED. MATERIALS TRACKED ONTO THE ROADWAY SHALL BE CLEANED UP DAILY AND DISPOSED OF PROPERLY. THE WORK SHALL BE INCLUDED IN THE COST OF THE WORK.



List of agencies (stakeholder) with addresses & points of contact

Owner/Developer: Highmark School Development, 746 East Winchester Street, Murray, Utah 84107, Contact: Doug Talbot, M: 801-783-0505

Civil Engineer:
 Traffic Engineer: LSC Transportation Consultants, Inc., 545 E. Pikes Peak Ave., Suite 210 Colorado Springs, CO 80903, Jeff Hodson, 719-633-2898
 El Paso County Engineering: EPC Public Services, 3275 Akers Drive, Colorado Springs, CO 80922, Jennifer Irvine, County Engineer

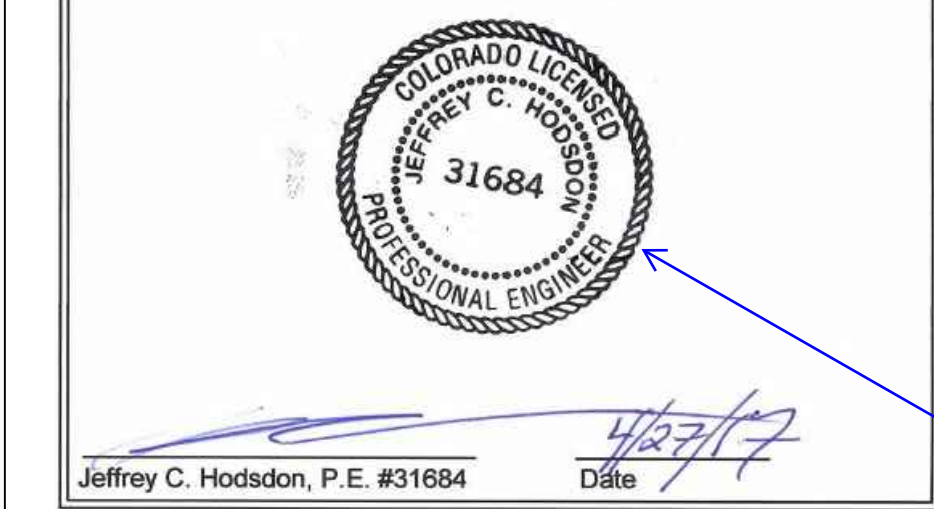
CDOT: Valerie Sward, Access Manager, 905 N Erie Avenue, PO Box 536 Pueblo, CO 81002; 719-546-5407.

Fire District or Department: Cimarron Hills Fire, Brent Burke, 1835 Tuskegee Place Colorado Springs, CO 80915, 719-591-0960

Utility Company (Electric): Mountain View Electric, Jim Kennel, 11140 E. Woodmen Road Falcon, CO 80831, 719-495-2283

Utility Company (Telephone):
 Utility Company (Gas): CSU, Todd Sturtevant, John Pinkerton Location, 7710 Durant Dr Colorado Springs, CO 80920, 719-668-3556
 Utility Company (Water): Cherokee Metro District, Art Sintas, 6250 Palmer Park Blvd. Colorado Springs CO 80915, 719-597-5080
 Utility Company (Cable): Cherokee Metro District, Art Sintas, 6250 Palmer Park Blvd. Colorado Springs CO 80915, 719-597-5080

Design Engineer's Statement:
 These detailed plans and specifications were prepared under my responsible charge and they comply with the standard of care. So far as they are consistent with the standard of care, these plans were prepared in general conformance with county criteria for traffic signal, pavement marking and signing plans.



Owner/Developer's Statement:
 I, the owner/developer have read and will comply with all of the requirements specified in these detailed plans and specifications.

Title: _____ Date: APRIL 2017
 Business Name: _____
 Address: 746 E. Winchester St., Suite 100, Murray, UT 84107

El Paso County:
 County plan review is provided only for general conformance with County Design Criteria. The County is not responsible for the accuracy and adequacy of the design, dimensions, and/or elevations which shall be confirmed at the job site. The County through the approval of this document assumes no responsibility for completeness and/or accuracy of this document.

Filed in accordance with the requirements of the El Paso County Land Development Code, Drainage Criteria Manual, Volumes 1 and 2, and Engineering Criteria Manual as amended.

_____ Date: _____
 County Engineer/ECM Administrator

Jennifer Irvine, P.E.

VICINITY MAP & GENERAL NOTES
 Space Village Avenue Signage and Striping Modifications Plan

LSC TRANSPORTATION CONSULTANTS
 545 E. Pikes Peak Ave., Suite 210 Colorado Springs, Co. 80903
 TELEPHONE: 719.633.2898 FAX: 719.633.5430

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Project Manager
 JEFFREY C. HODSON, P.E., PTOE

Replace with the EPC Construction Plan
 These detailed plans and specifications have been reviewed and approved by El Paso County for detailed roadway, drainage and said plans and specifications are in conformance with master transportation plans. Said plans are based on the best knowledge and belief. I accept responsibility for any errors or omissions on my part in preparation of these plans.

REVISIONS	DATE

DATE: 4-26-17
 SCALE: 1:40
 DRAWN BY: MR
 JOB NO.: 174090
 DWG: Striping & Signing.dwg
 SHT NO.: 1
 OF 3

1. Submit signage and striping plan as a standalone set, not a part of the site development plan set.
2. Add Sheet Index in the cover page.

GENERAL NOTES (CONT.)

Signing and Striping Notes:

1. All signs and pavement markings shall be in compliance with the current Manual on Uniform Traffic Control Devices (MUTCD).
2. Removal of existing pavement markings shall be accomplished by a method that does not materially damage the pavement. The pavement markings shall be removed to the extent that they will not be visible under day or night conditions. At no time will it be acceptable to paint over existing pavement markings.
3. Any deviation from the striping and signing plan shall be approved by El Paso County Development Services.
4. All signs shown on the signing and striping plan shall be new signs. Existing signs may remain or be reused if they meet current El Paso County and MUTCD standards.
5. Street name and regulatory stop signs shall be on the same post at intersections.
6. All removed signs shall be disposed of in a proper manner by the contractor.
7. All street name signs shall have "D" series letters, with local roadway signs being 4" upper-lower case lettering on 8" blank and non-local roadway signs being 6" lettering, upper-lower case on 12" blank, with a white border that is not recessed. Multi-lane roadways with speed limits of 40 mph or higher shall have 8" upper-lower case lettering on 18" blank with a white border that is not recessed. The width of the non-recessed white borders shall match page 255 of the 2012 MUTCD "Standard Highway Signs"
8. All traffic signs shall have a minimum High Intensity Prismatic grade sheeting.
9. All local residential street signs shall be mounted on a 1.75" x 1.75" square tube sign post and stub post base. For other applications, refer to the CDOT Standard S-614-8 regarding use of the P2 tubular steel post slipbase design.
10. All signs shall be single sheet aluminum with 0.100" minimum thickness.
11. All limit lines/stop lines, crosswalk lines, pavement legends, and arrows shall be a minimum 125 mil thickness preformed thermoplastic pavement markings with tapered leading edges per CDOT Standard S-627-1. Word and symbol markings shall be the narrow type. Stop bars shall be 24" in width. Crosswalks lines shall be 12" wide and 8' long per CDOT S-627-1.
12. All longitudinal lines shall be a minimum 15mil thickness epoxy paint. All non-local residential roadways shall include both right and left edge line striping and any additional striping as required by CDOT S-627-1.
13. The contractor shall notify El Paso County Development Services (719) 520-6819 prior to and upon completion of signing and striping.
14. The contractor shall obtain a work in the right of way permit from the El Paso County Public Service Department (PSD) prior to any signage or striping work within an existing El Paso County roadway.

Standard Notes for El Paso County Construction Plans

1. All drainage and roadway construction shall meet the standards and specifications of the City of Colorado Springs/El Paso County Drainage Criteria Manual, Volumes 1 and 2, and the El Paso County Engineering Criteria Manual.
2. Contractor shall be responsible for the notification and field notification of all existing utilities, whether shown on the plans or not, before beginning construction. Location of existing utilities shall be verified by the contractor prior to construction. Call 811 to contact the Utility Notification Center of Colorado (UNCC).
3. Contractor shall keep a copy of these approved plans, the Grading and Erosion Control Plan, the Stormwater Management Plan (SWMP), the soils and geotechnical report, and the appropriate design and construction standards and specifications at the job site at all times, including the following:
 - a. El Paso County Engineering Criteria Manual (ECM)
 - b. City of Colorado Springs/El Paso County Drainage Criteria Manual, Volumes 1 and 2
 - c. Colorado Department of Transportation (CDOT) Standard Specifications for Road and Bridge Construction
 - d. CDOT M & S Standards
4. Notwithstanding anything depicted in these plans in words or graphic representation, all design and construction related to roads, storm drainage and erosion control shall conform to the standards and requirements of the most recent version of the relevant adopted El Paso County standards, including the Land Development Code, the Engineering Criteria Manual, the Drainage Criteria Manual, and the Drainage Criteria Manual Volume 2. Any deviations from regulations and standards must be requested, and approved, in writing. Any modifications necessary to meet criteria after-the-fact will be entirely the developer's responsibility to rectify.
5. It is the design engineer's responsibility to accurately show existing conditions, both onsite and offsite, on the construction plans. Any modifications necessary due to conflicts, omissions, or changed conditions will be entirely the developer's responsibility to rectify.
6. Contractor shall schedule a pre-construction meeting with El Paso County Development Services Department (DSD) - Inspections, prior to starting construction.
7. It is the contractor's responsibility to understand the requirements of all jurisdictional agencies and to obtain all required permits, including but not limited to El Paso County Erosion and Stormwater Quality Control Permit (ESQCP), Regional Building Floodplain Development Permit, U.S. Army Corps of Engineers-issued 401 and/or 404 permits, and county and state fugitive dust permits.
8. Contractor shall not deviate from the plans without first obtaining written approval from the design engineer and DSD. Contractor shall notify the design engineer immediately upon discovery of any errors or inconsistencies.
9. All storm drain pipe shall be Class III RCP unless otherwise noted and approved by DSD.
10. Contractor shall coordinate geotechnical testing per ECM standards. Pavement design shall be approved by El Paso County DSD prior to placement of curb and gutter and pavement.
11. All construction traffic must enter/exit the site at approved construction access points.
12. Sight visibility triangles as identified in the plans shall be provided at all intersections. Obstructions greater than 18 inches above flowline are not allowed within sight triangles.
13. Signing and striping shall comply with El Paso County DOT and MUTCD criteria. [If applicable, additional signing and striping notes will be provided.]
14. Contractor shall obtain any permits required by El Paso County DOT, including Work Within the Right-of-Way and Special Transport permits.
15. The limits of construction shall remain within the property line unless otherwise noted. The owner/developer shall obtain written permission and easements, where required, from adjoining property owner(s) prior to any off-site disturbance, grading, or construction.

VICINITY MAP & GENERAL NOTES Space Village Avenue Signing and Striping Modifications Plan



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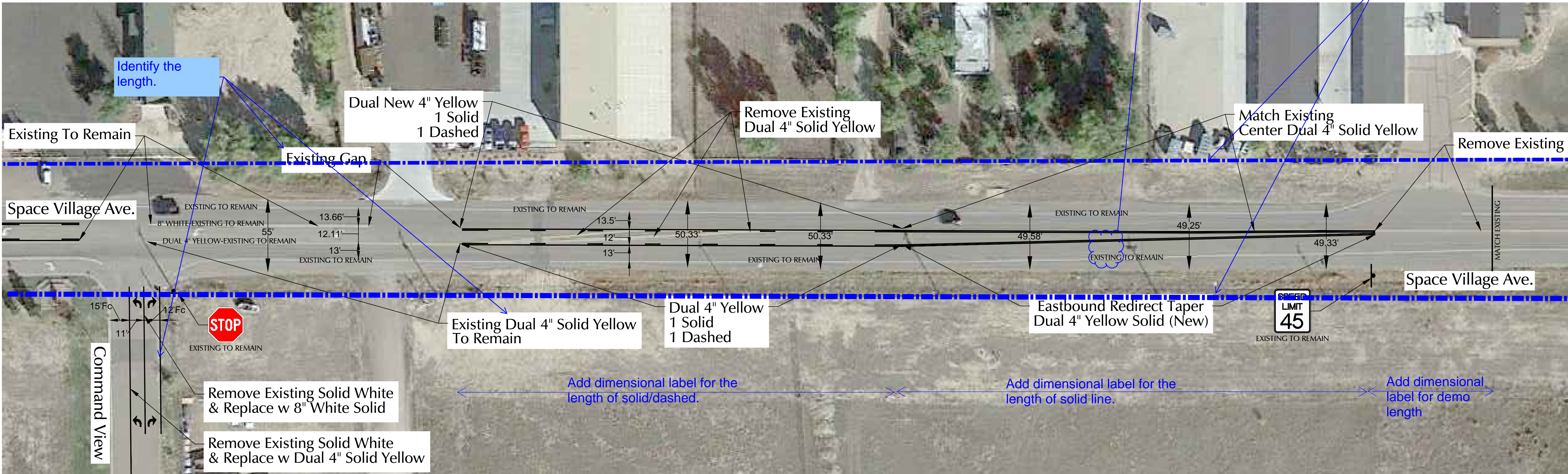
Project Manager
JEFFREY C. HOUSDON, PE, PTOE

REVISIONS	DATE
DATE:	4-26-17
SCALE:	1:40
DRAWN BY:	MR
JOB NO.:	174090
DWG:	Striping & Signing.dwg

SHT NO. : 2
OF 3

STRIPING AND MARKING PLAN - SUMMARY OF APPROXIMATE QUANTITIES			
NO.	ITEM	UNIT	PLAN QTY.
202-00250	REMOVAL OF PAVEMENT MARKING	SF	550
627-00005	EPOXY PAVEMENT MARKING	GAL	8.75
627-00070	PREFORMED THERMOPLASTIC PAVEMENT MARKING	SF	31

Add a note stating Hydroblasting for method of pavement marking removal.



Add dimension at the taper showing minimum lane width required for the EB Lane.

Show and label the Right-of-Way

Identify the length.

VICINITY MAP & GENERAL NOTES
Space Village Avenue Signing and Striping Modifications Plan

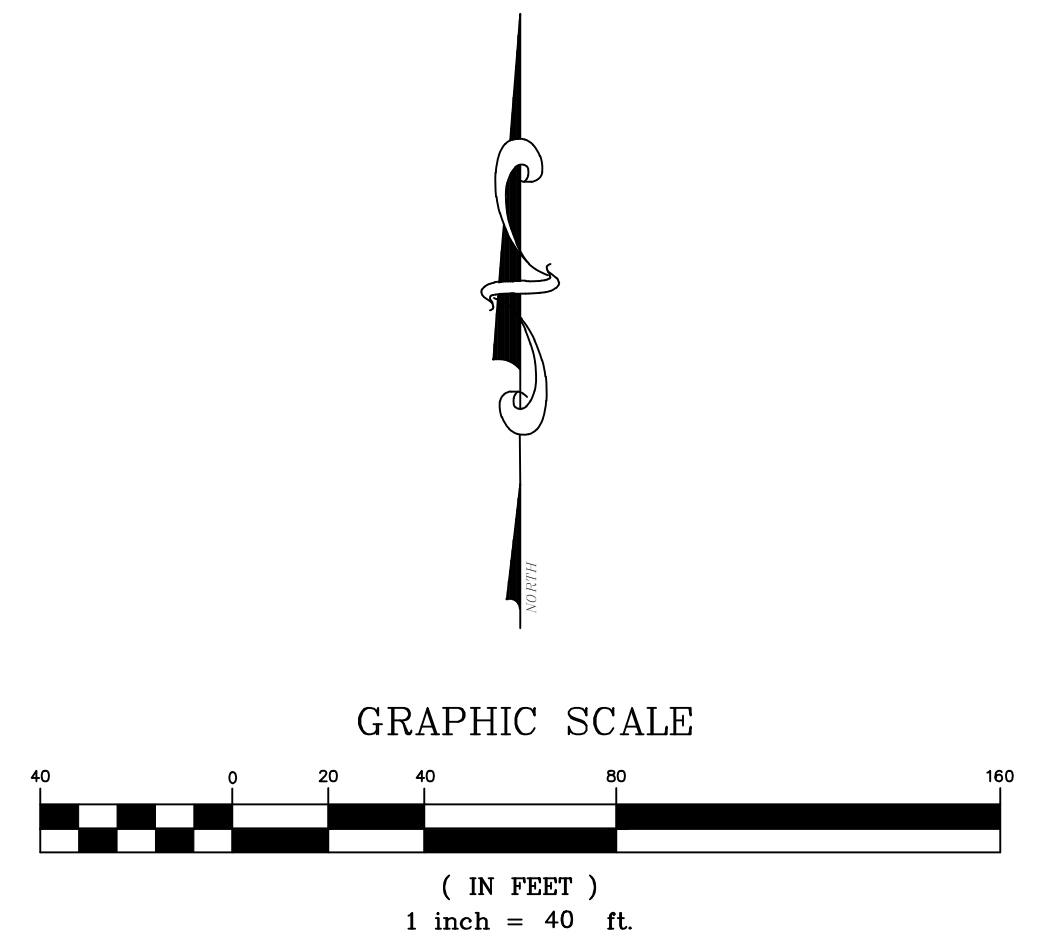
LSC
 TRANSPORTATION CONSULTANTS
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SHT NO. : **3**
 OF **3**