

R133260
 ADD20628
 UNPLATTED
 ZONE RR-5
 LOT AREA 20.09 ACRES
 CREATION DATE
 18AUG1972

DISAPPROVED
 Plan Review

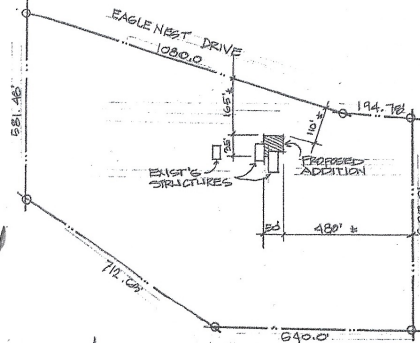
09/02/2019 3:32:46 PM

EPC Planning & Community
 Development Department

NOTES:

- 1) ADDRESS RBD CONSTRUCTION COMMENTS.
- 2) IF EXISTING KITCHEN IS NOT BEING REMOVED, ALL MEMBERS ON TITLE FOR PROPERTY MUST COMPLETE A SECOND KITCHEN COMPLIANCE AFFIDAVIT (A COPY OF WHICH HAS BEEN UPLOADED INTO PLAN SET), HAVE THEIR SIGNATURES NOTARIZED AND RECORD THE ORIGINAL SIGNED, NOTARIZED AFFIDAVIT WITH EL PASO COUNTY CLERK AND RECORDERS OFFICE.

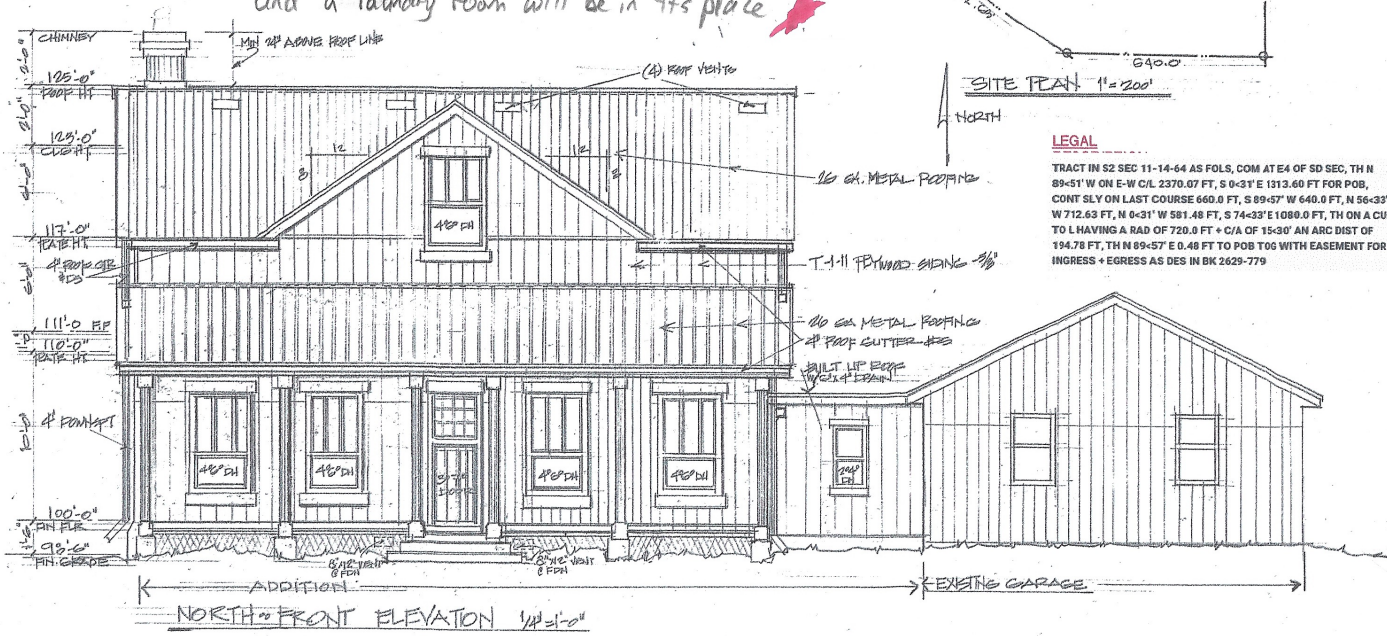
Only one kitchen. old kitchen will be removed
 and a laundry room will be in its place



SITE PLAN 1" = 120'

LEGAL

TRACT IN S2 SEC 11-14-64 AS FOLS, COM AT E4 OF SD SEC, TH N 89-51' W ON E-W C/L 2370.07 FT, S 0-31' E 1313.60 FT FOR POB, CONT SLY ON LAST COURSE 660.0 FT, S 89-57' W 640.0 FT, N 56-33' W 712.63 FT, N 0-31' W 581.48 FT, S 74-33' E 1080.0 FT, TH ON A CUR TO L HAVING A RAD OF 720.0 FT + C/A OF 15-30' AN ARC DIST OF 194.78 FT, TH N 89-57' E 0.48 FT TO POB T06 WITH EASEMENT FOR INGRESS + EGRESS AS DES IN BK 2629-779

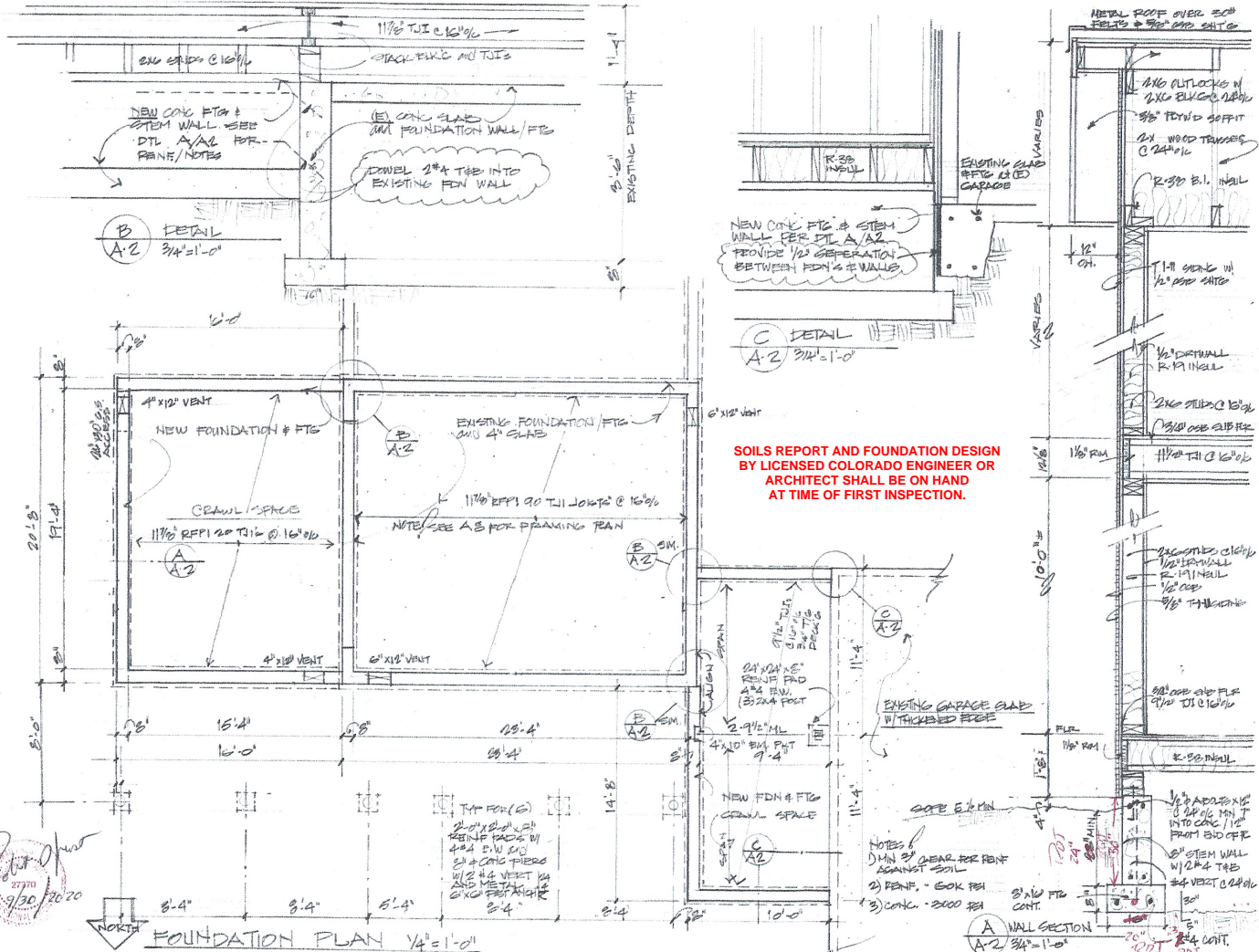


NORTH FRONT ELEVATION 1/4" = 1'-0"

RESIDENTIAL ADDITION for GUY & SUZANNAH MARTIN
 10275 EAGLENEST DRIVE, COLORADO SPRINGS, CO. 80930

SCHEDULE TAX NO.

A-1 1/20/2019



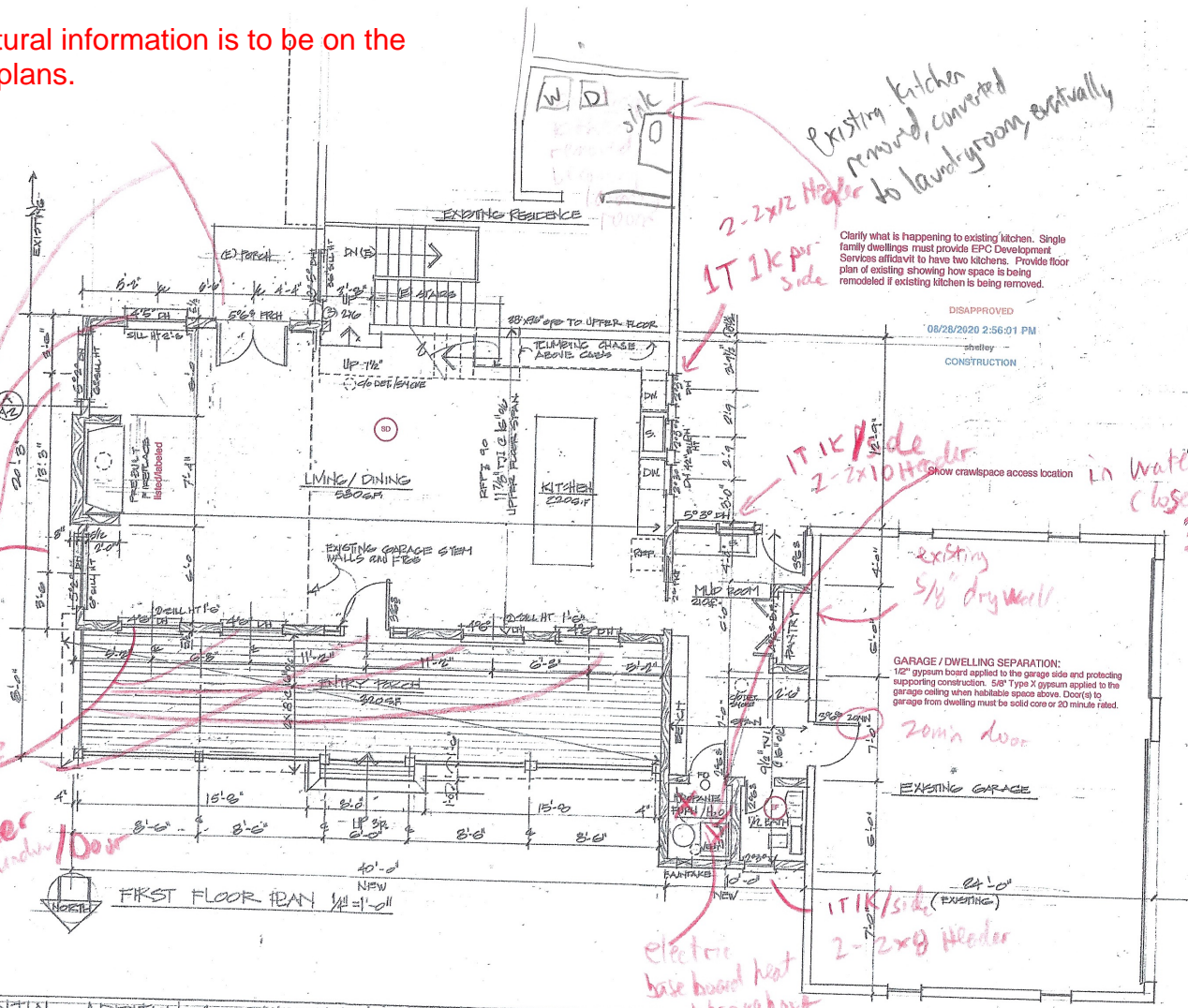
**SOILS REPORT AND FOUNDATION DESIGN
BY LICENSED COLORADO ENGINEER OR
ARCHITECT SHALL BE ON HAND
AT TIME OF FIRST INSPECTION.**



RESIDENTIAL ADDITION FOR SUIP & SUZANNAH MARTIN
16275 EAGLENEST DRIVE, COLORADO SPRINGS, COLORADO 80920

A-2
1/30/2020

All structural information is to be on the framing plans.



2-2x12 Header
1T 1K/side

1T 1K/side
2-2x12 Header
per window / Door

Existing Kitchen removed, converted to laundry room, eventually
2-2x12 Header
1T 1K per side

1T 1K/side for 2-2x12 Header
show crawlspace access location

IN water heater closet
32'x24'

Garage / Dwelling Separation:
1/2" gypsum board applied to the garage side and protecting supporting construction. 5/8" Type X gypsum applied to the garage ceiling when habitable space above. Door(s) to garage from dwelling must be solid core or 20 minute rated.

20min door

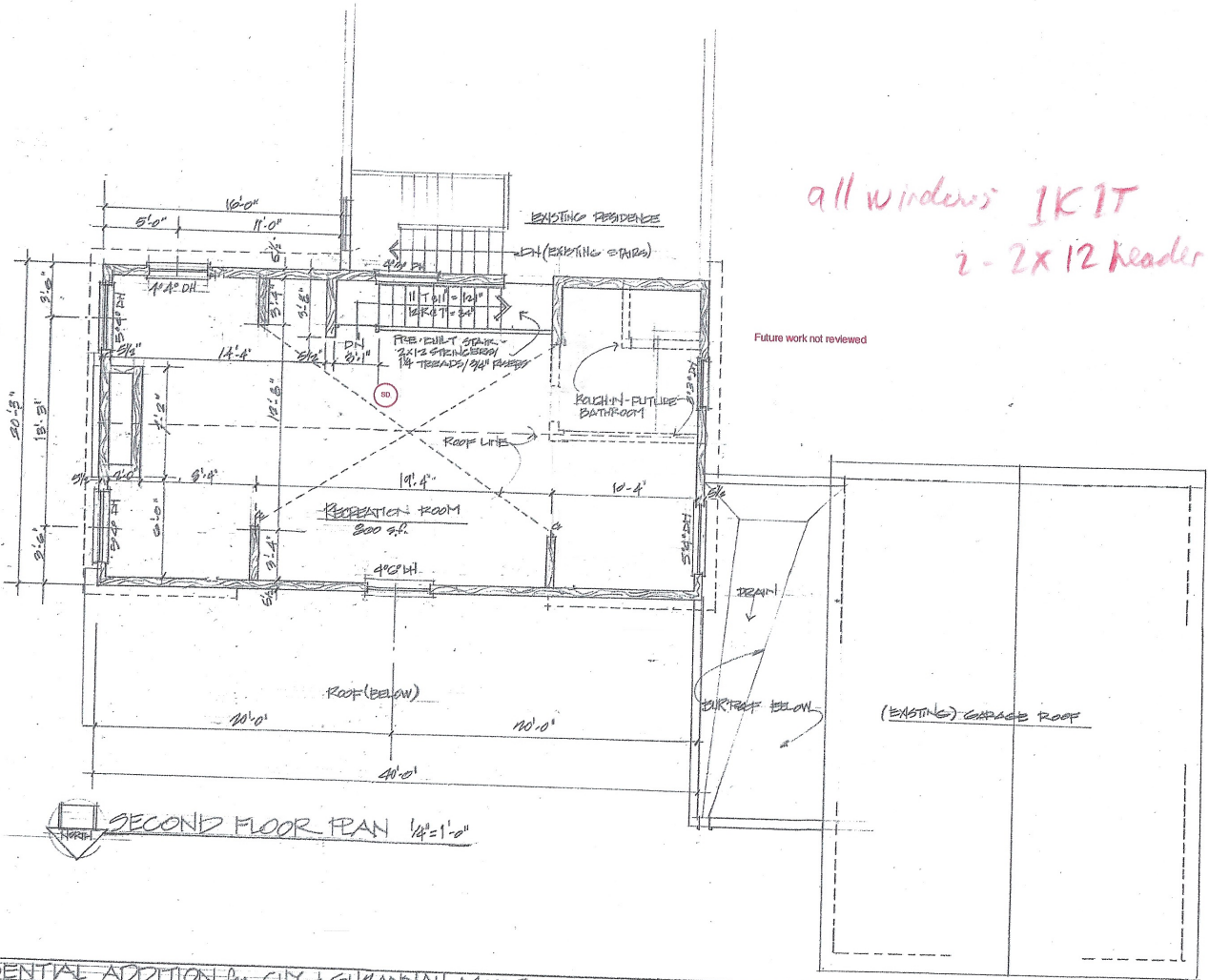
1T 1K/side (EXISTING)
2-2x8 Header

electric base board heat throughout

DISAPPROVED
08/28/2020 2:56:01 PM
shelley
CONSTRUCTION

RESIDENTIAL ADDITION for CUY & SIZANNAH MARTIN
12219 EAGLENEST DRIVE, COURTESY SPRING, CA 92090

A.3 / H.2020



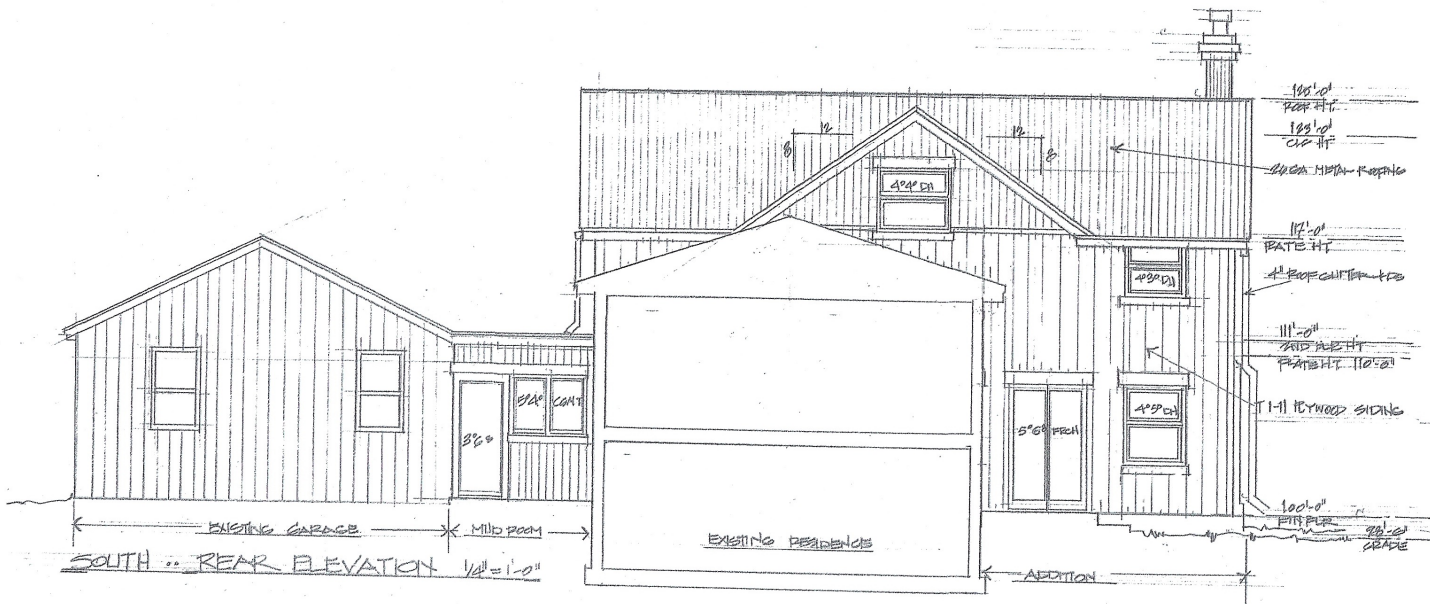
RESIDENTIAL ADDITION for GUY & SUZANNAH MARTIN
10770 EARLENEST DRIVE, COLORADO SPRINGS, COLO. 80930

A-4 1/20/2009

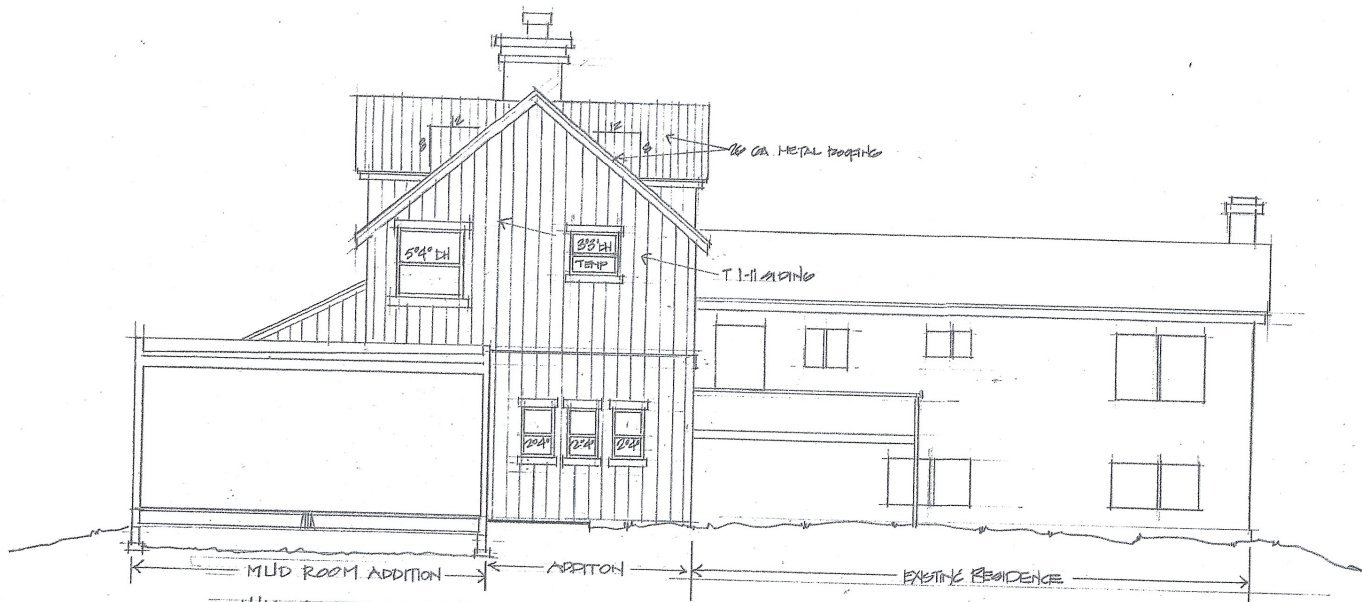


RESIDENTIAL ADDITION FOR GUY & SUSANNAH MARTIN
 100175 EMERYNEST DRIVE, COLORADO SPRINGS, CO 80930

A5 1/30/2011



RESIDENTIAL ADDITION for GUY & SUZANNAH MARTIN 16215 EAGLE NEST DRIVE, COLORADO SPRINGS, CO 80908	A-6	1/30/19
--	-----	---------

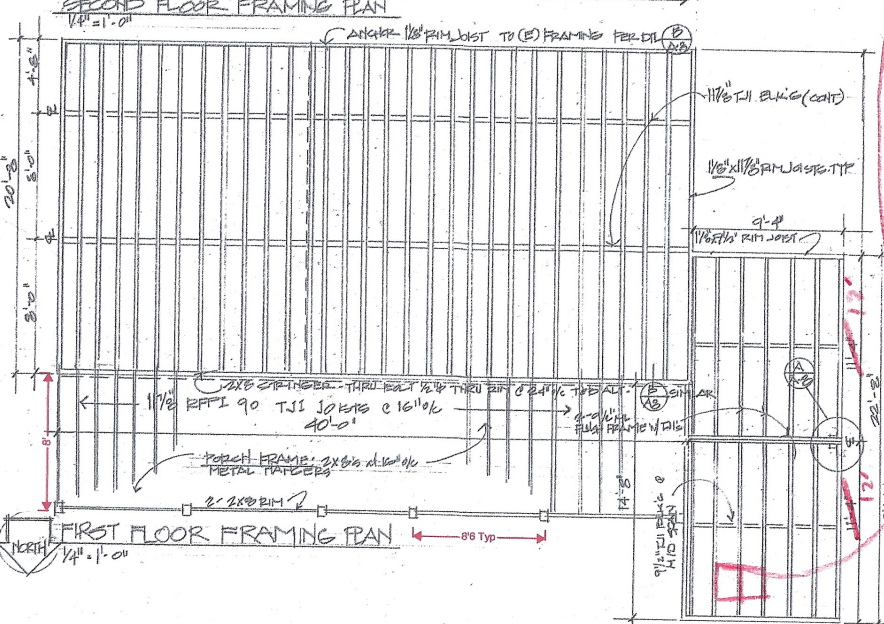
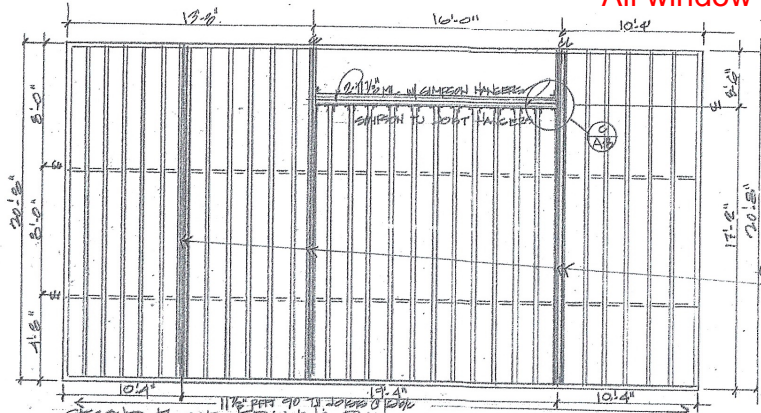


WEST-SIDE ELEVATION 1/4" = 1'-0"

RESIDENTIAL ADDITION for GUY & SUZANNAH MARTIN
 10276 EAGLENEST DRIVE, COLORADO SPRINGS, CO 80930

A-7 1/30/2019

All window locations need to be shown on framing plans

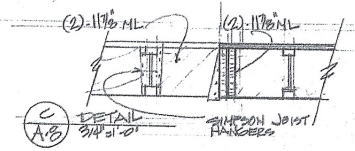


DOOR/WINDOW HEADER DETAILS

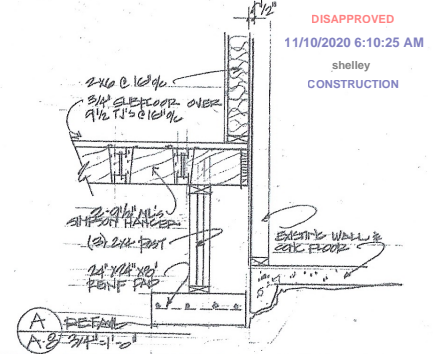
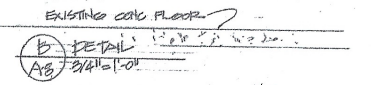
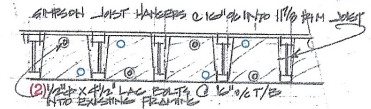
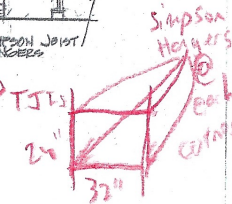
SPAN	# KING STUDS	# TRIMMER STUD	HEADER DEPTH/#
0'-2"	1 PER SIDE	1 PER SIDE	2-2x8
2'-0" - 4'-0"	2	2	2-2x10
4'-0" - 6'-0"	2	2	2-2x12

(2) 2x11/16 ML C PROF DRIPPER BEARING WALLS ONE STRAP & FLASHING

DISAPPROVED
08/28/2020 3:06:16 PM
shelley
CONSTRUCTION



Show crawspace access framing
Show and specify all headers, kings, and trimmers
LIMITED STRUCTURAL REVIEW



RESIDENTIAL ADDITION for GUY & SUZANNAH MARTIN
16375 EAGLENEST DRIVE, COLORADO SPRINGS, COLO 80930

A/B 1/30/2019