

GENERAL CONSTRUCTION NOTES

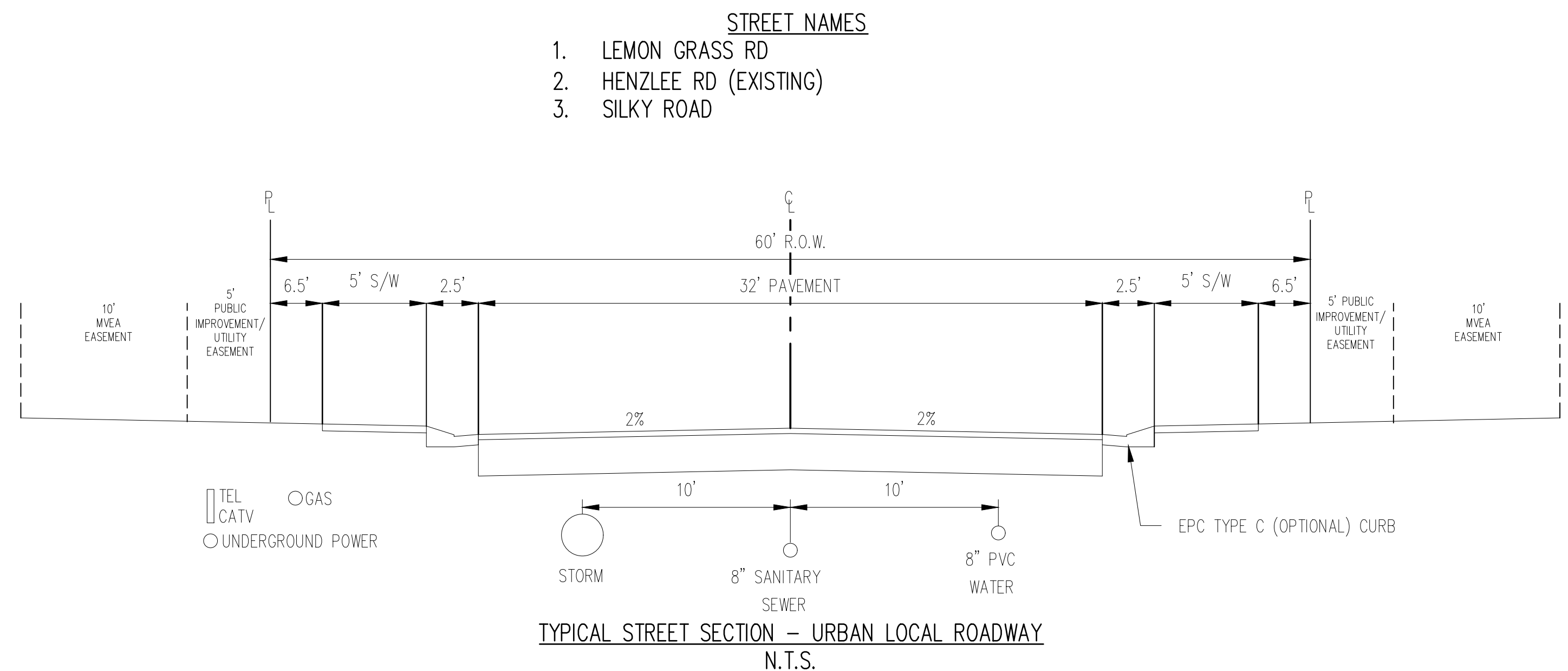
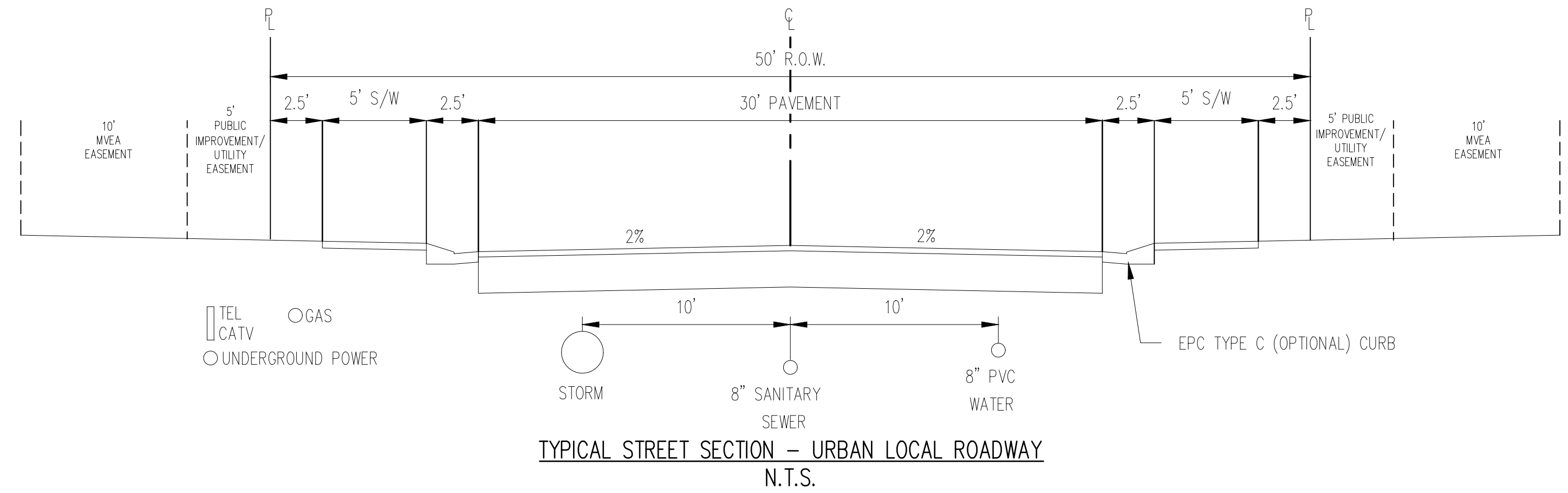
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPLACED AT THE CONTRACTORS EXPENSE AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
- ADDITIONAL EROSION CONTROL STRUCTURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.
- ALL BACKFILL, SUB-BASE AND / OR BASE COURSE (CLASS 6) MATERIAL SHALL BE COMPACTED TO THE SOILS ENGINEERS RECOMMENDATIONS, AND APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION.
- ALL STATIONING IS CENTERLINE UNLESS OTHERWISE INDICATED. ALL ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE INDICATED.
- ALL DISTURBED PAVEMENT EDGES SHALL BE CUT TO NEAT LINES. REPAIR SHALL CONFORM TO THE EPC EGM APPENDIX K - 1.2C.
- ALL INTERSECTION ACCESSES TO BE CONSTRUCTED WITH A 25 FOOT SIGHT VISIBILITY TRIANGLES AND THERE SHALL BE NO OBSTRUCTIONS GREATER THAN 18" IN THIS AREA.
- ALL CULVERT AND STORM PIPES SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE (HOPE), OR REINFORCED CONCRETE PIPE (RCP). ALL CULVERTS SHALL BE PLACED COMPLETE WITH FLARED END SECTIONS. APPROXIMATELY OF MATERIAL THICKNESS FOR ANY CSP INSTALLED SHALL BE VERIFIED BY OWNERS GEOTECHNICAL ENGINEER TO SUPPORT MINIMUM 50 YEAR DESIGN LIFE. CULVERTS MUST CONFORM TO EPC EGM SECTION 3.32 - CULVERTS.
- ASPHALT THICKNESS AND BASE COURSE THICKNESS (COMPACTED FOR ROADS SHALL BE PER DESIGN REPORT BY OWNERS GEOTECHNICAL ENGINEER. OWNERS GEOTECHNICAL ENGINEER TO BE ON SITE AT TIME OF ROAD CONSTRUCTION TO EVALUATE SOIL CONDITIONS AND DETERMINE IF ADDITIONAL MEASURES ARE NECESSARY TO ASSURE STABILITY OF THE NEW ROADS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION PRIOR TO CONSTRUCTION.
- TYPE M RIP-RAP WITH 4" OF TYPE II GRANULAR BEDDING AND MIRAFI 1800 OR EQUAL MAY BE SUBSTITUTED WHERE TYPE L RIP-RAP WITH MIRAFI FW 700 OR EQUAL IS SPECIFIED.
- ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN COMPLIANCE WITH ANY AND ALL APPLICABLE EL PASO COUNTY STANDARDS AND WITH WOODMAN HILLS METRO DISTRICT CONSULTING ENGINEER APPROVAL.
- ALL POTABLE WATER MAINS SHALL BE ANWIA C900-SDR18 PVC WITH PUSH-ON SINGLE GASKET TYPE JOINTS AND SHALL MEET THE REQUIREMENTS OF ANSI / NSF 61.
- ALL WATER MAIN FITTINGS SHALL BE MADE FROM GRAY-IRON OR DUCTILE IRON AND FURNISHED WITH MECHANICAL JOINT ENDS. ALL FITTINGS SHALL HAVE A PRESSURE RATING OF 250 PSF AND SHALL MEET THE REQUIREMENTS OF ANSI / NSF 61.
- ALL WATER LINE BENDS, TEES, BLOW-OFFS AND PLUGS AT DEAD-END MAINS SHALL BE PROTECTED FROM THRUST BY USING CONCRETE THRUST BLOCKS AND / OR RODDING AND RESTRAINED PIPE PER THE PAINT BRUSH HILLS METRO DISTRICT CONSULTING ENGINEER APPROVAL.
- MAXIMUM DEFLECTION OF 8" OR 12" PVC WATER MAIN JOINTS IS 4 DEGREES. CORRESPONDING MINIMUM CURVE RADIUS IS 286'. ADDITIONAL 11.25' OR 22.5' BENDS MAY BE REQUIRED FOR PROPER ALIGNMENT.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING DETAILED AS-BUILTS OF ALL WATER MAIN, STORM SEWER AND SANITARY. SEWER MAIN INSTALLATIONS, INCLUDING ACCURATE DISTANCES OF MAIN LINES, VALVES, FITTINGS, MANHOLES AND LOCATIONS OF WATER AND SEWER SERVICES.
- SANITARY SEWER PIPE AND FITTINGS: PVC 4" - 8" ASTM D3034, TYPE PSM, SDR 35; PUSH-ON JOINTS AND MOLDED RUBBER GASKETS MAXIMUM HORIZONTAL DEFLECTIONS, AFTER INSTALLATION AND BACK FILLING SHALL NOT EXCEED 3% OF THE PIPE DIAMETER. (MINIMUM CURVE RADIUS IS 100' FOR 8" PVC SANITARY SEWER MAIN)

STANDARD NOTES FOR EPC CONSTRUCTION PLAN

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ON-SITE AND OFF-SITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER EGM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJACENT PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

SIGNING AND STRIPING NOTES

- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
- ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
- ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
- STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
- ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
- ALL STREET NAME SIGNS SHALL HAVE D-SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS"
- ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
- ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75' X 1.75' SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-B REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
- ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
- ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 1/25 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
- ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
- THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
- THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.



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CONSTRUCTION DOCUMENTS
FALCON MEADOWS AT BENT GRASS FILING NO. 4
FOR
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD
FALCON, CO 80831 - EL PASO COUNTY

#	Date	Issue / Description	Init.

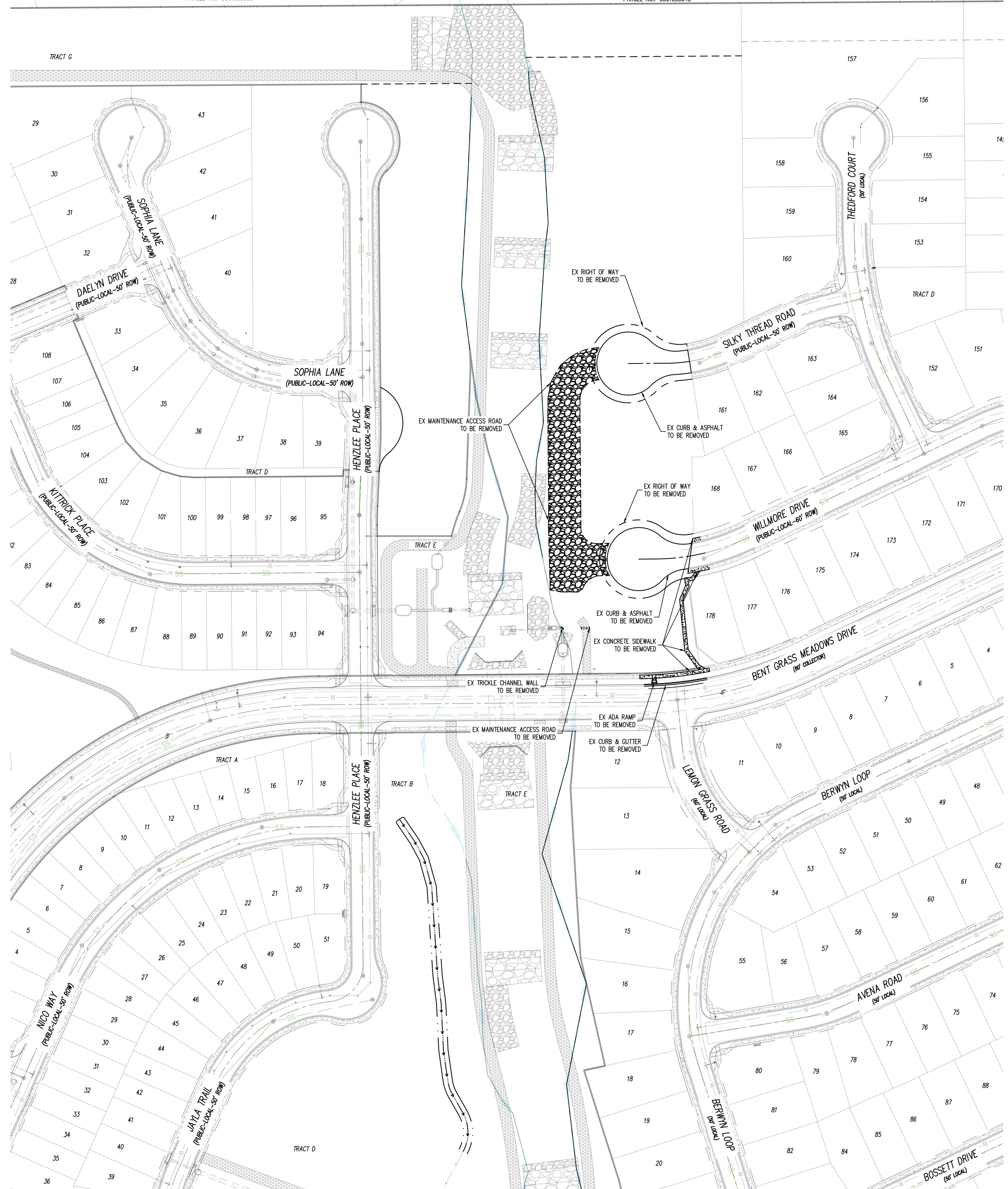
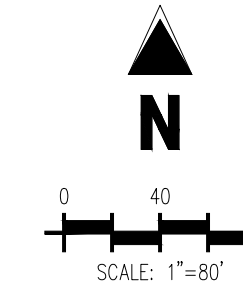
Project No:	CLH000021
Drawn By:	JDM, BLB
Checked By:	BAS, CMWJ
Date:	03/22/2024

NOTES AND TYPICAL SECTION

LOT 5, THE MEADOWS FILING NO. 3
 ZONE: RR-5
 PLAT NO.: 10713
 PARCEL NO.: S301005035

LOT 13, THE MEADOWS FILING NO. 3
 ZONE: RR-5
 PLAT NO.: 10713
 PARCEL NO.: S301005043

LOT 14
 P



LEGEND

—— TO REMAIN
 - - - - TO BE REMOVED

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 FALCON, CO 80831 - EL PASO COUNTY

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BASIS OF BEARINGS
 ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N0071345°W AND MONUMENTED AS SHOWN.

BENCHMARK
 THE SOUTHWEST CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L5# 24954 ELEVATION = 6947.67

CAUTION -- NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



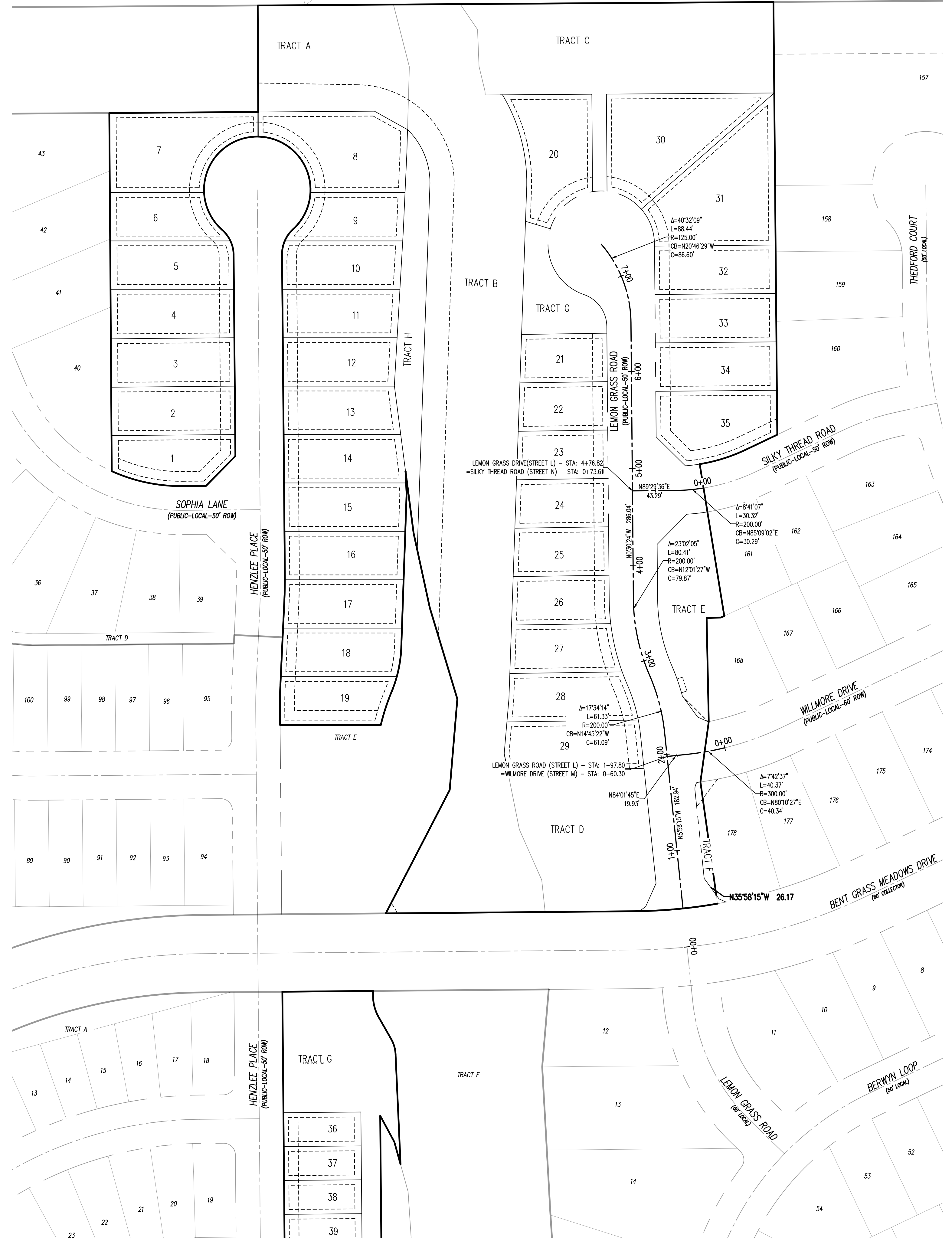
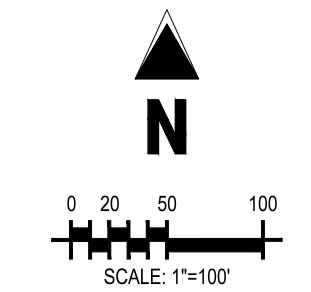
Project No: CLH000021
 Drawn By: JDM, BLB
 Checked By: BAS, CMWJ
 Date: 03/22/2024

EXISTING CONDITIONS & DEMOLITION PLAN

C1.0
 Sheet 3 of 14

LOT 5, THE MEADOWS FILING NO. 3
 ZONE: RR-5
 PLAT NO.: 10713
 PARCEL NO.: 5301005035

LOT 13, THE MEADOWS FILING NO. 3
 ZONE: RR-5
 PLAT NO.: 10713
 PARCEL NO.: 5301005043



LEGEND

	EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
	EXISTING RIGHT OF WAY LINE
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING ROADWAY CENTER LINE
	PROPOSED ROADWAY CENTER LINE
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING DRAINAGE FEATURE OUTLINE
	PROPOSED DRAINAGE FEATURE OUTLINE
	EXISTING SWALE WITH FLOW DIRECTION
	PROPOSED SWALE WITH FLOW DIRECTION
	100-YEAR FEMA FLOODPLAIN
	PROPOSED CONCRETE
	PROPOSED GRAVEL PER EOM TABLE D-7
	PROPOSED RIP RAP
	EXISTING CONCRETE PAVING
	EXISTING GRAVEL PER EOM TABLE D-7
	EXISTING 1" TO 2" CRUSHED ROCK
	EXISTING RIP RAP
	EXISTING GROUDED BOULDERS
	PROPOSED LOT #
	EXISTING LOT #

BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N001°34'57"W AND MONUMENTED AS SHOWN.

BENCHMARK

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L5# 24954 ELEVATION = 6947.67'

CAUTION - NOTICE TO CONTRACTOR

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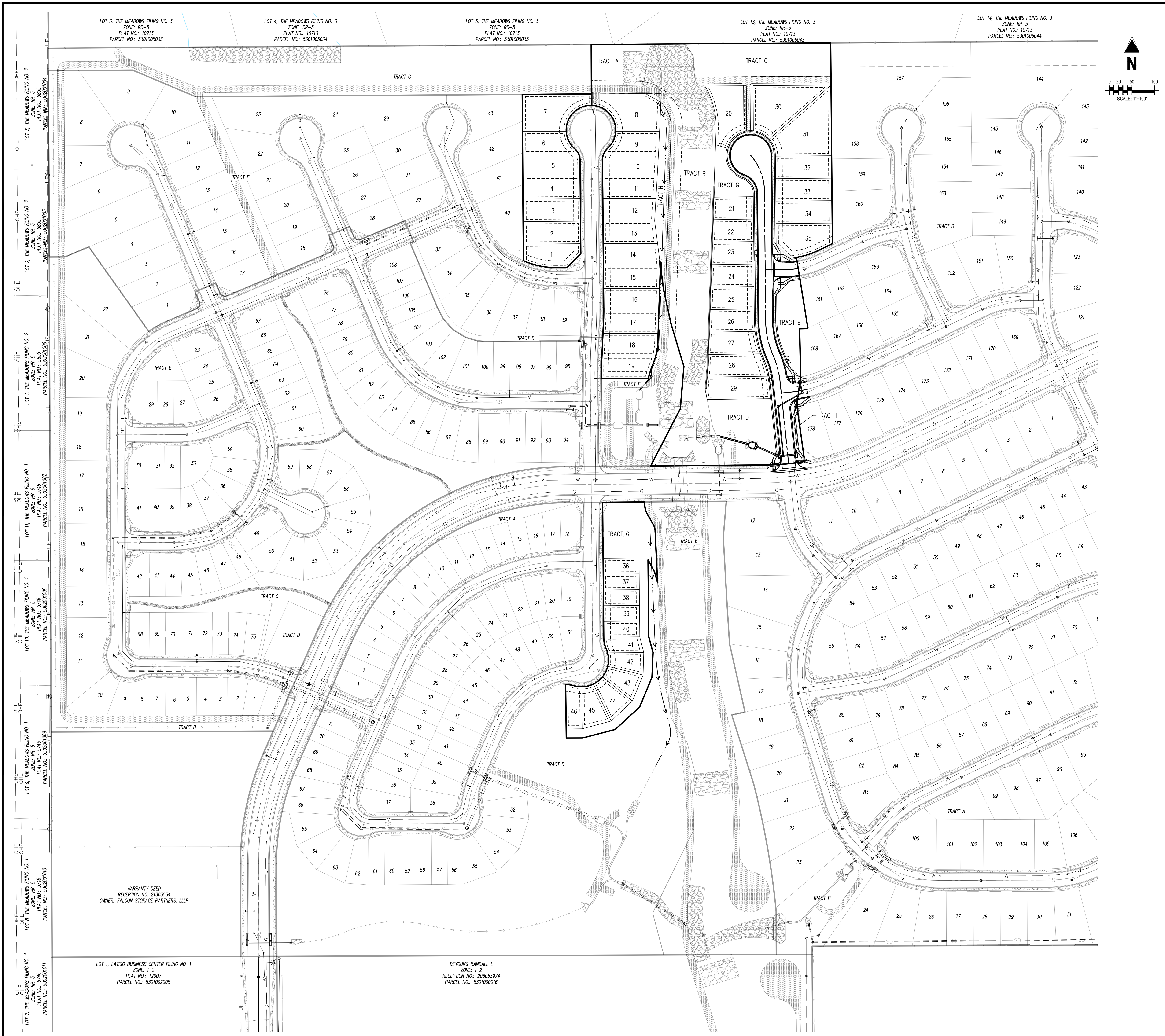
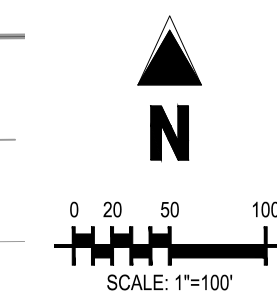
OVERALL HORIZONTAL CONTROL

C1.1
 Sheet 4 of 14

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LEGEND

- EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
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- EXISTING 1" TO 2" CRUSHED ROCK
- EXISTING RIP RAP
- EXISTING GROUTED BOULDERS
- PROPOSED LOT #
- EXISTING LOT #
- PROPOSED ADA RAMP
- PROPOSED FIRE HYDRANT
- PROPOSED GATE VALVE
- PROPOSED REDUCER
- PROPOSED WATER BEND/TEE
- PROPOSED SANITARY MANHOLE
- PROPOSED FES
- PROPOSED STORM MANHOLE
- PROPOSED CDOT TYPE R STORM INLET



BASIS OF BEARINGS

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BENCHMARK

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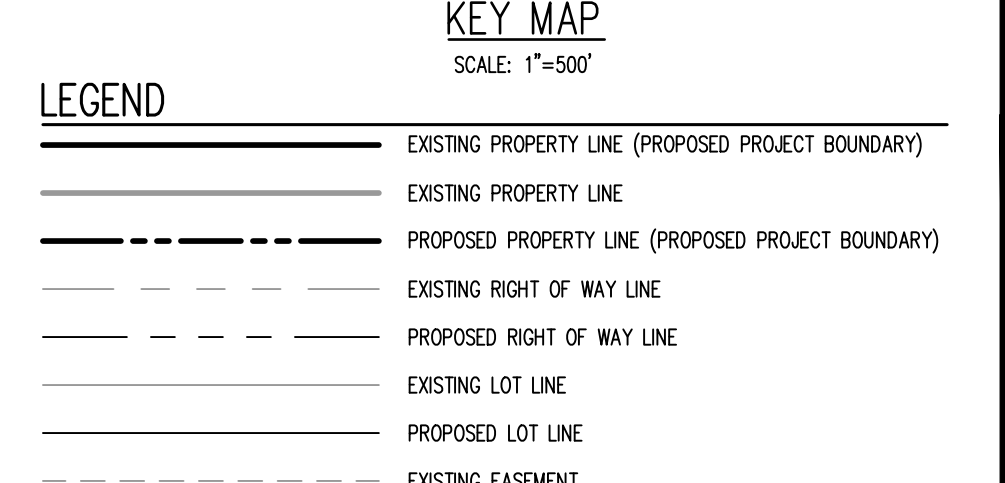
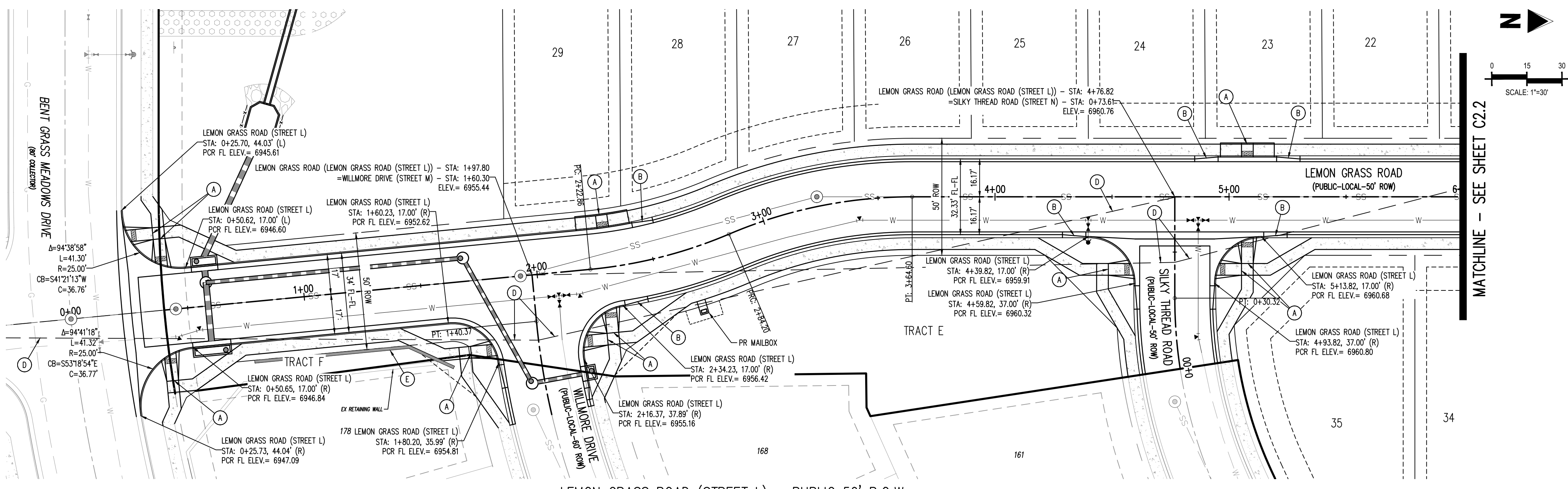
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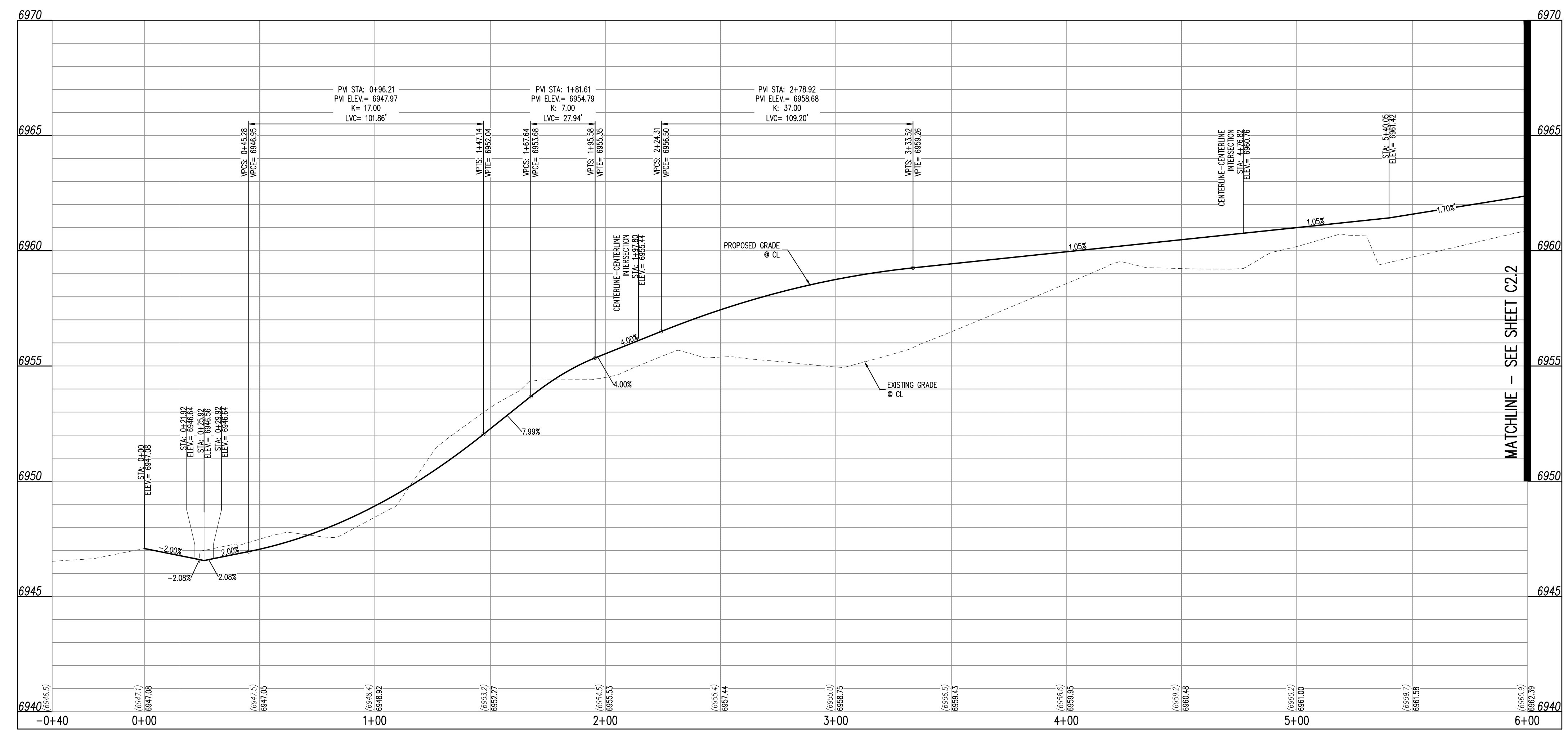
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OVERALL SHEET



- NOTES**
- ALL STATION CALLOUTS ARE IN RELATION TO THE CENTERLINE OF ROADWAY. THEREFORE STORM SEWER MANHOLE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH GRADE.
 - STORM SEWER INLET FLOW LINE ELEVATION CALLOUTS TO NOT ACCOUNT FOR FLOW LINE DEPRESSION AT STORM SEWER INLET.
 - ALL SPOT ELEVATIONS ARE TO FLOW LINE UNLESS OTHERWISE NOTED.
 - SEE GRADING PLAN FOR ALL GRADING INFORMATION.
 - ALL STORM SEWER SHALL BE CLASS III RFP.
 - ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED.
 - ALL CROSS PANS SHALL CONFORM TO EL PASO COUNTY DETAIL SD2-26.
- (A) PEDESTRIAN RAMP, SEE DETAILS (EPC SD_2-40 & SD_2-41)
 (B) PROPOSED 10' CURB TRANSITION
 (C) PROPOSED 5' CURB TRANSITION
 (D) SIGHT DISTANCE LINE
 (E) PROPOSED RETAINING WALL (SEE GEC PLANS BY GALLOWAY FOR DETAILS)

LEMONGRASS ROAD (STREET L) - PUBLIC 50' R.O.W.
 25 MPH DESIGN SPEED (LOCAL) (STA 1+95.58 - 6+00)
 20 MPH DESIGN SPEED (STA 0+00 - 1+95.58)



CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18\"/>

BASIS OF BEARINGS
 ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, 113S, R65W AND THE WEST QUARTER CORNER SECTION 1, 113S, R65W IS N007°14'46\"/>

BENCHMARK
 THE SOUTHWESTERLY CORNER OF LOT 1, WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR (5# 24594 ELEVATION = 6947.67)

CAUTION - NOTICE TO CONTRACTOR

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811
Know what's below. Call before you dig.

LEMONGRASS DR. (LEMONGRASS ROAD (STREET L)) STA: -0+40 - 6+00
 SCALE: H: 1"=30' V: 1"=3'

Galloway
 1155 Kelly Johnson Blvd., Suite 305
 Colorado Springs, CO 80920
 719.900.7220
 GallowayUS.com

CHALLENGER HOMES

CONSTRUCTION DOCUMENTS
FALCON MEADOWS AT BENT GRASS FILING NO. 4
FOR
CHALLENGER COMMUNITIES, LLC

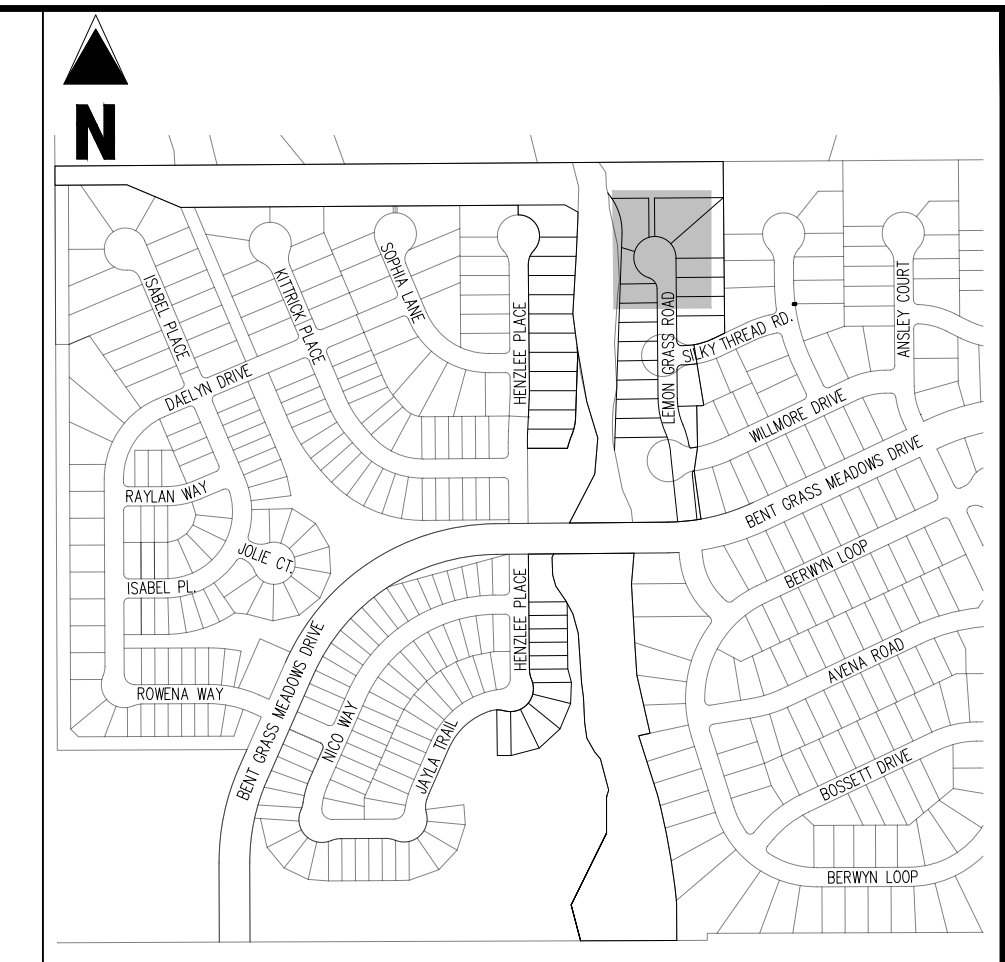
BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD
FALCON, CO 80831 - EL PASO COUNTY

Project No: CLH000021
 Drawn By: JDM, BLB
 Checked By: BAS, CMWJ
 Date: 03/22/2024

LEMONGRASS RD IMPROVEMENT PLAN

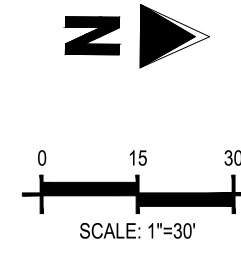
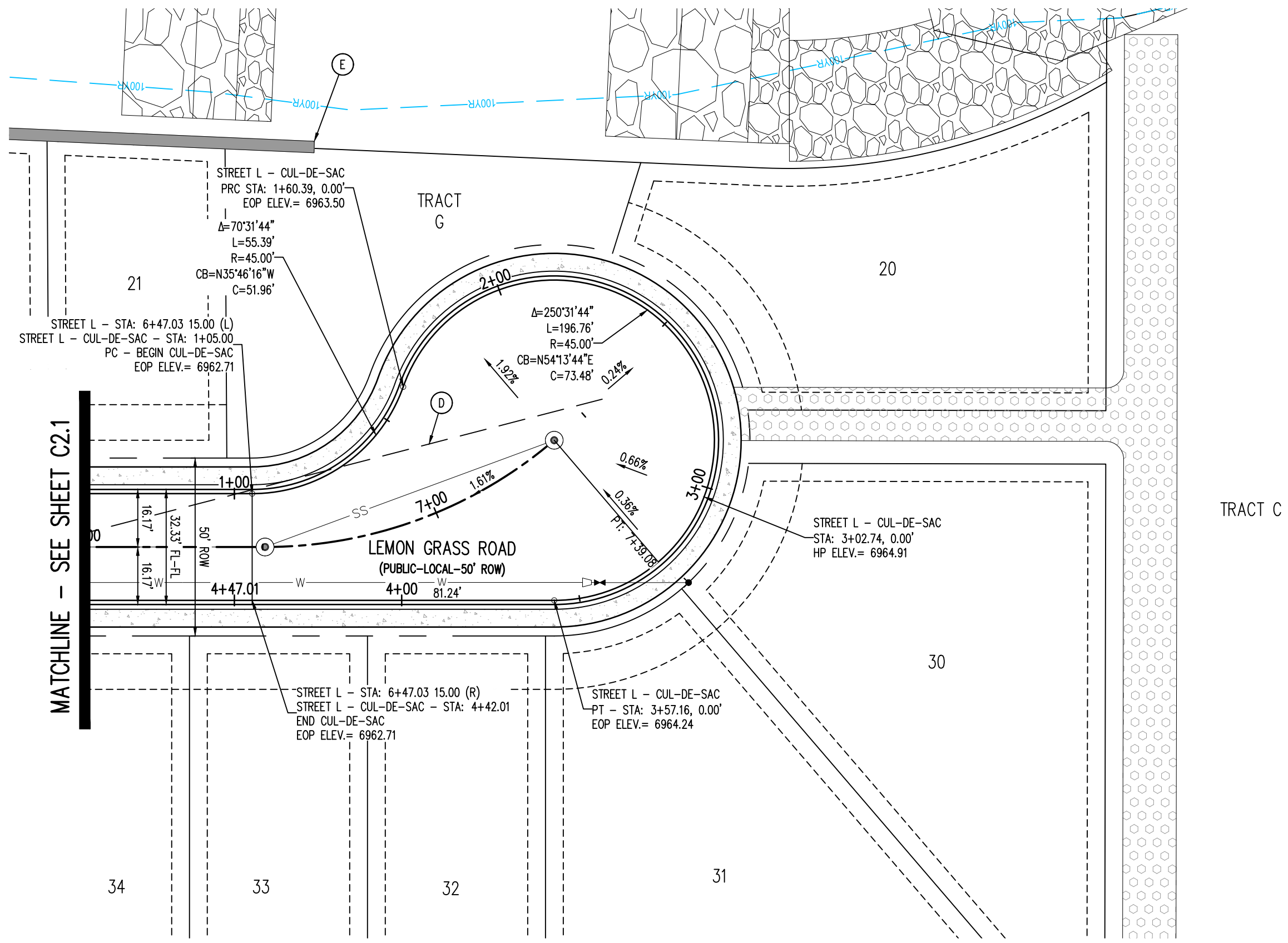
C2.1
 Sheet 6 of 14

P:\CO\2024\Bent Grass Meadows\Drawings\CADD\CONSTRUCTION\CONSTRUCTION\10-LEMONGRASS DR IMPROVEMENT PLAN.dwg, 3/22/2024



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CONSTRUCTION DOCUMENTS
 FALCON MEADOWS AT BENT GRASS FILING NO. 4
 FOR
 CHALLENGER COMMUNITIES, LLC
 BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD
 FALCON, CO 80831 - EL PASO COUNTY



LEMON GRASS ROAD (STREET L) - PUBLIC 50' R.O.W.
 25 MPH DESIGN SPEED (LOCAL)

- NOTES**
- ALL STATION CALLOUTS ARE IN RELATION TO THE CENTERLINE OF ROADWAY, THEREFORE STORM SEWER MANHOLE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH GRADE.
 - STORM SEWER INLET FLOW LINE ELEVATION CALLOUTS TO NOT ACCOUNT FOR FLOW LINE DEPRESSION AT STORM SEWER INLET
 - ALL SPOT ELEVATIONS ARE TO FLOW LINE UNLESS OTHERWISE NOTED
 - SEE GRADING PLAN FOR ALL GRADING INFORMATION
 - ALL STORM SEWER SHALL BE CLASS III RCP
 - ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED
 - ALL CROSS PANS SHALL CONFORM TO EL PASO COUNTY DETAIL 502-26
- (A) PEDESTRIAN RAMP, SEE DETAILS (EPC SD.2-40 & SD.2-41)
 - (B) PROPOSED 10' CURB TRANSITION
 - (C) PROPOSED 5' CURB TRANSITION
 - (D) SIGHT DISTANCE LINE
 - (E) PROPOSED RETAINING WALL (SEE GEC PLANS BY GALLOWAY FOR DETAILS)

LEGEND
 SCALE: 1"=50'

[Symbol]	EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
[Symbol]	EXISTING PROPERTY LINE
[Symbol]	PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
[Symbol]	EXISTING RIGHT OF WAY LINE
[Symbol]	PROPOSED RIGHT OF WAY LINE
[Symbol]	EXISTING LOT LINE
[Symbol]	PROPOSED LOT LINE
[Symbol]	EXISTING EASEMENT
[Symbol]	PROPOSED EASEMENT
[Symbol]	EXISTING ROADWAY CENTER LINE
[Symbol]	PROPOSED ROADWAY CENTER LINE
[Symbol]	EXISTING STORM DRAIN PIPE
[Symbol]	PROPOSED STORM DRAIN PIPE
[Symbol]	EXISTING WATER LINE
[Symbol]	PROPOSED WATER LINE
[Symbol]	EXISTING SANITARY SEWER LINE
[Symbol]	PROPOSED SANITARY SEWER LINE
[Symbol]	EXISTING DRAINAGE FEATURE OUTLINE
[Symbol]	PROPOSED DRAINAGE FEATURE OUTLINE
[Symbol]	EXISTING SWALE WITH FLOW DIRECTION
[Symbol]	PROPOSED SWALE WITH FLOW DIRECTION
[Symbol]	100-YEAR FEMA FLOODPLAIN
[Symbol]	PROPOSED CONCRETE
[Symbol]	PROPOSED GRAVEL PER EGM TABLE D-7
[Symbol]	PROPOSED RIP RAP
[Symbol]	EXISTING CONCRETE PAVING
[Symbol]	EXISTING GRAVEL PER EGM TABLE D-7
[Symbol]	EXISTING 1" TO 2" CRUSHED ROCK
[Symbol]	EXISTING RIP RAP
[Symbol]	EXISTING GROUDED BOULDERS
[Symbol]	EXISTING LOT #
[Symbol]	EXISTING LOT #
[Symbol]	PROPOSED ADA RAMP
[Symbol]	PROPOSED FIRE HYDRANT
[Symbol]	PROPOSED GATE VALVE
[Symbol]	PROPOSED REDUCER
[Symbol]	PROPOSED WATER BEND/TIE
[Symbol]	PROPOSED SANITARY MANHOLE
[Symbol]	PROPOSED FES
[Symbol]	PROPOSED STORM MANHOLE
[Symbol]	PROPOSED CDOT TYPE R STORM INLET

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

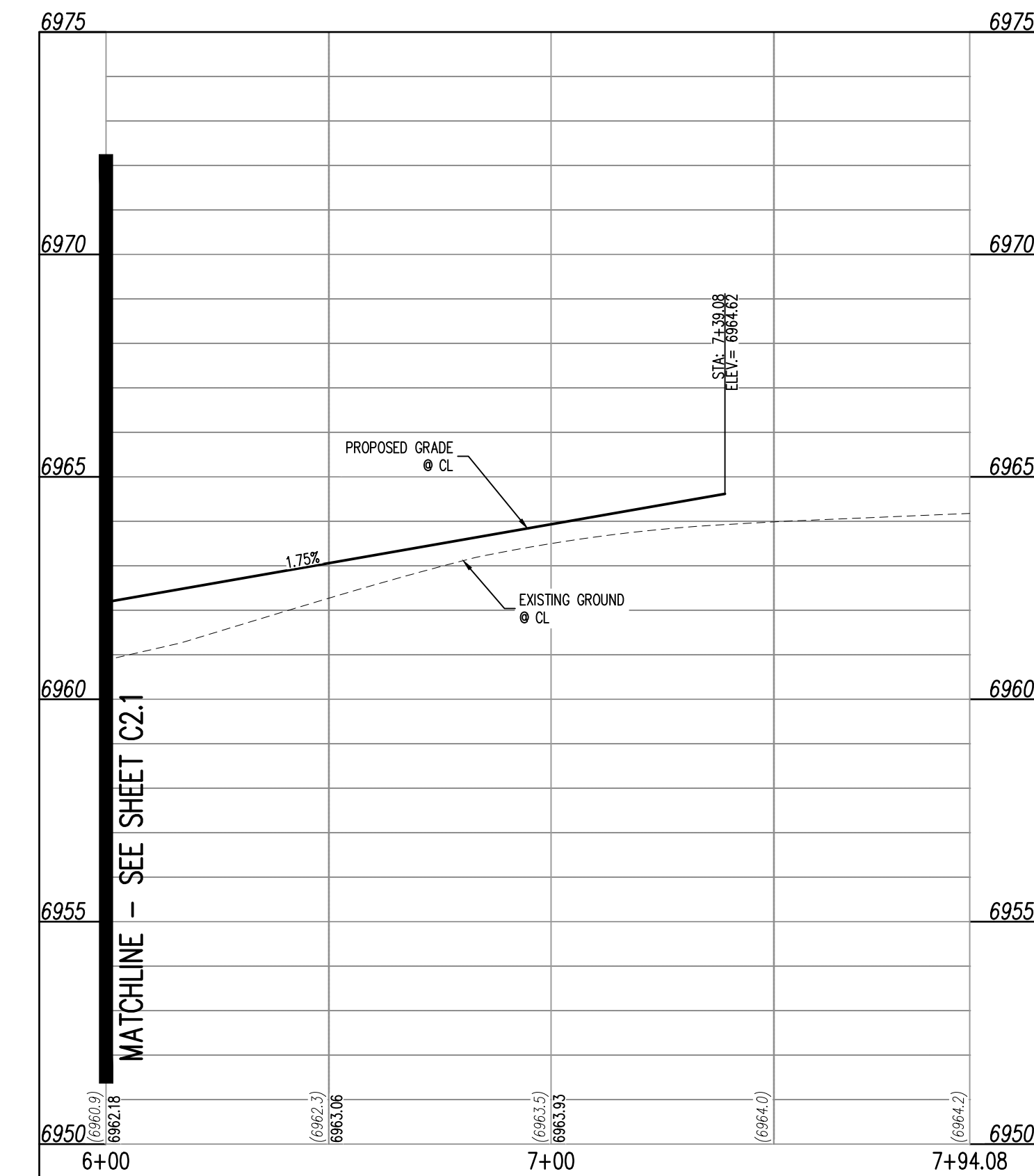
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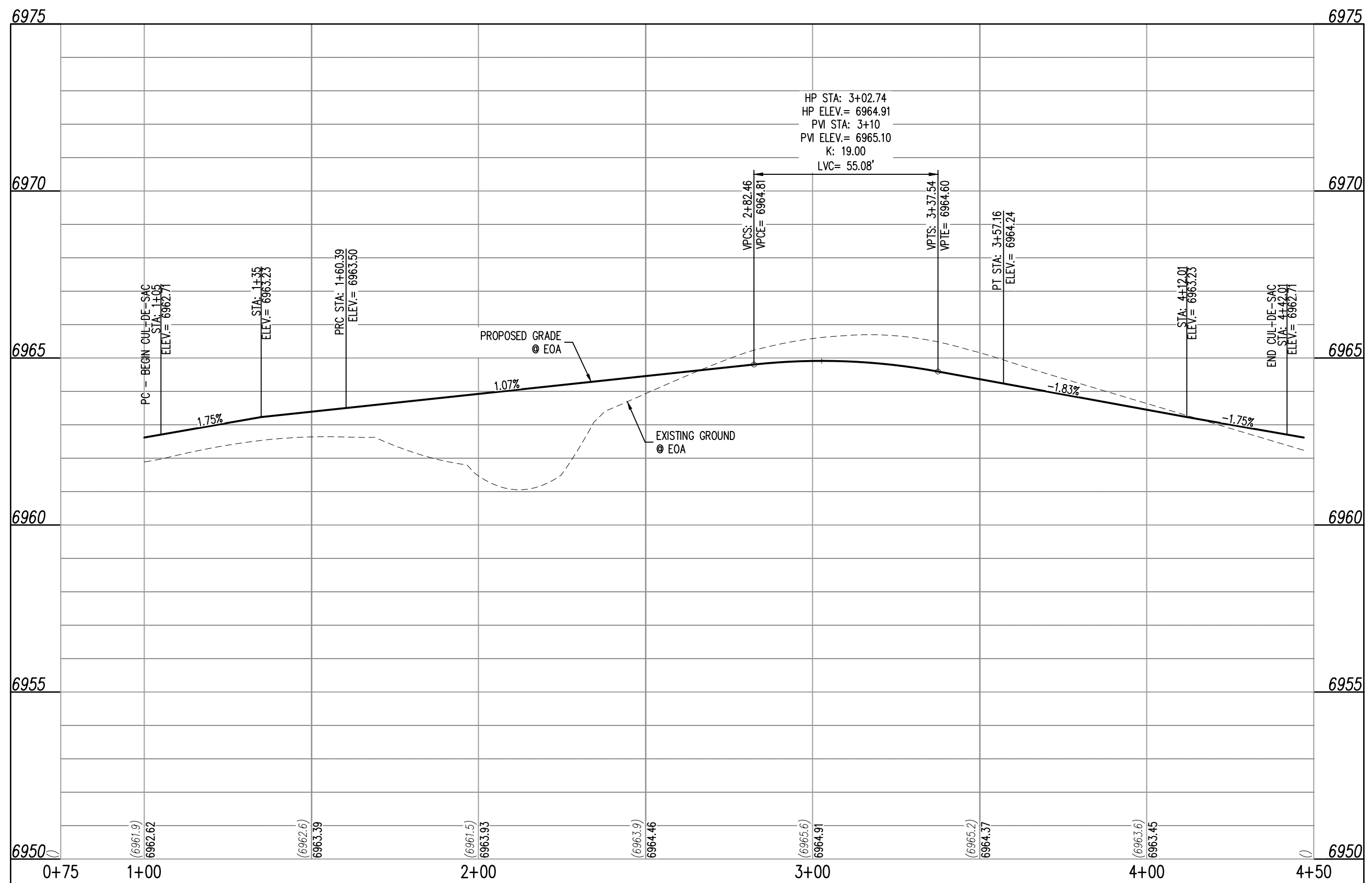
BENCHMARK
 THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L_s 24954 ELEVATION = 6947.67

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LEMON GRASS DR. (STREET L) STA: 6+00 - 7+94.08
 SCALE: H: 1"=30' V: 1"=3'



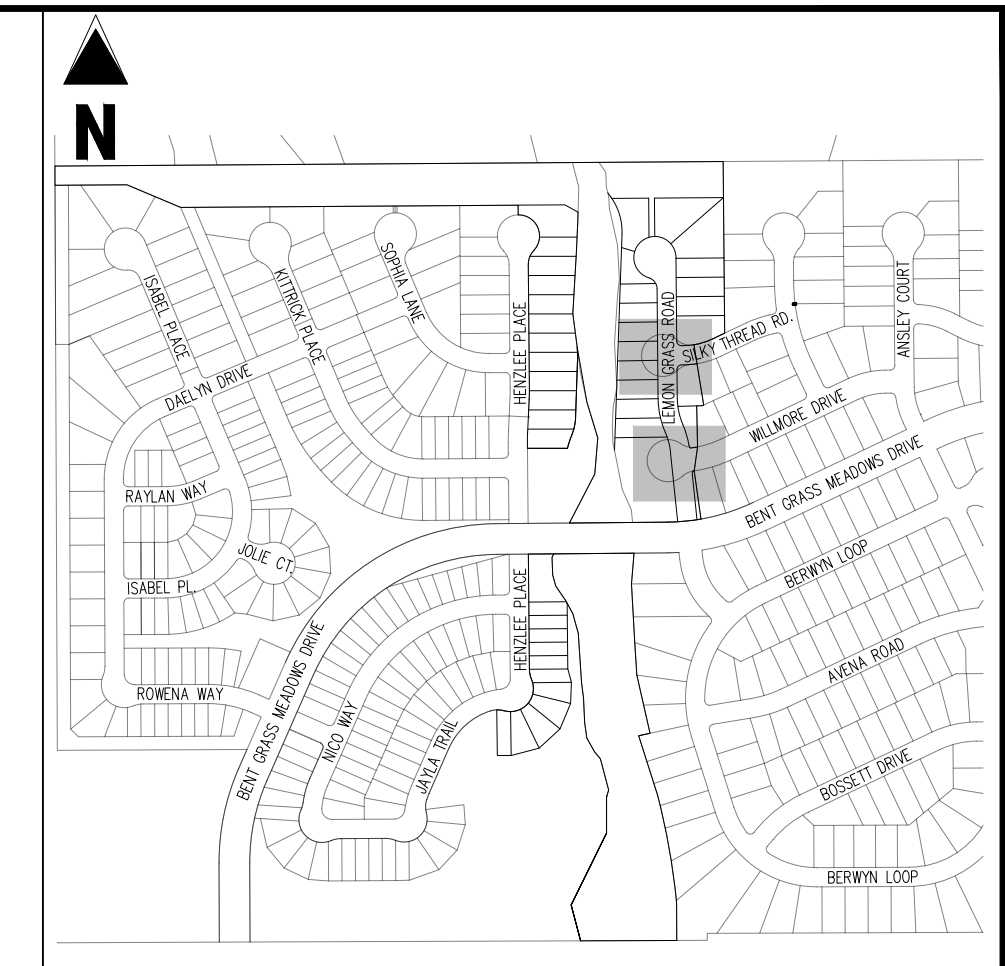
LEMON GRASS DR. (STREET L - CUL-DE-SAC) STA: 0+75 - 4+50
 SCALE: H: 1"=30' V: 1"=3'

#	Date	Issue / Description	Init.

Project No: CLH000021
 Drawn By: JDM, BLB
 Checked By: BAS, CMWJ
 Date: 03/22/2024

LEMON GRASS RD IMPROVEMENT PLAN

C2.2
 Sheet 7 of 14



KEY MAP
 SCALE: 1"=500'

LEGEND

- EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
- EXISTING RIGHT OF WAY LINE
- PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
- PROPOSED RIGHT OF WAY LINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING ROADWAY CENTER LINE
- PROPOSED ROADWAY CENTER LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED STORM DRAIN PIPE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING DRAINAGE FEATURE OUTLINE
- PROPOSED DRAINAGE FEATURE OUTLINE
- EXISTING SWALE WITH FLOW DIRECTION
- PROPOSED SWALE WITH FLOW DIRECTION
- 100-YEAR FEMA FLOODPLAIN
- PROPOSED CONCRETE
- PROPOSED GRAVEL PER EDCM TABLE D-7
- PROPOSED RIP RAP
- EXISTING CONCRETE PAVING
- EXISTING GRAVEL PER EDCM TABLE D-7
- EXISTING 1" TO 2" CRUSHED ROCK
- EXISTING RIP RAP
- EXISTING GROUDED BOULDERS
- PROPOSED LOT #
- EXISTING LOT #
- PROPOSED ADA RAMP
- PROPOSED FIRE HYDRANT
- PROPOSED GATE VALVE
- PROPOSED REDUCER
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- PROPOSED SANITARY MANHOLE
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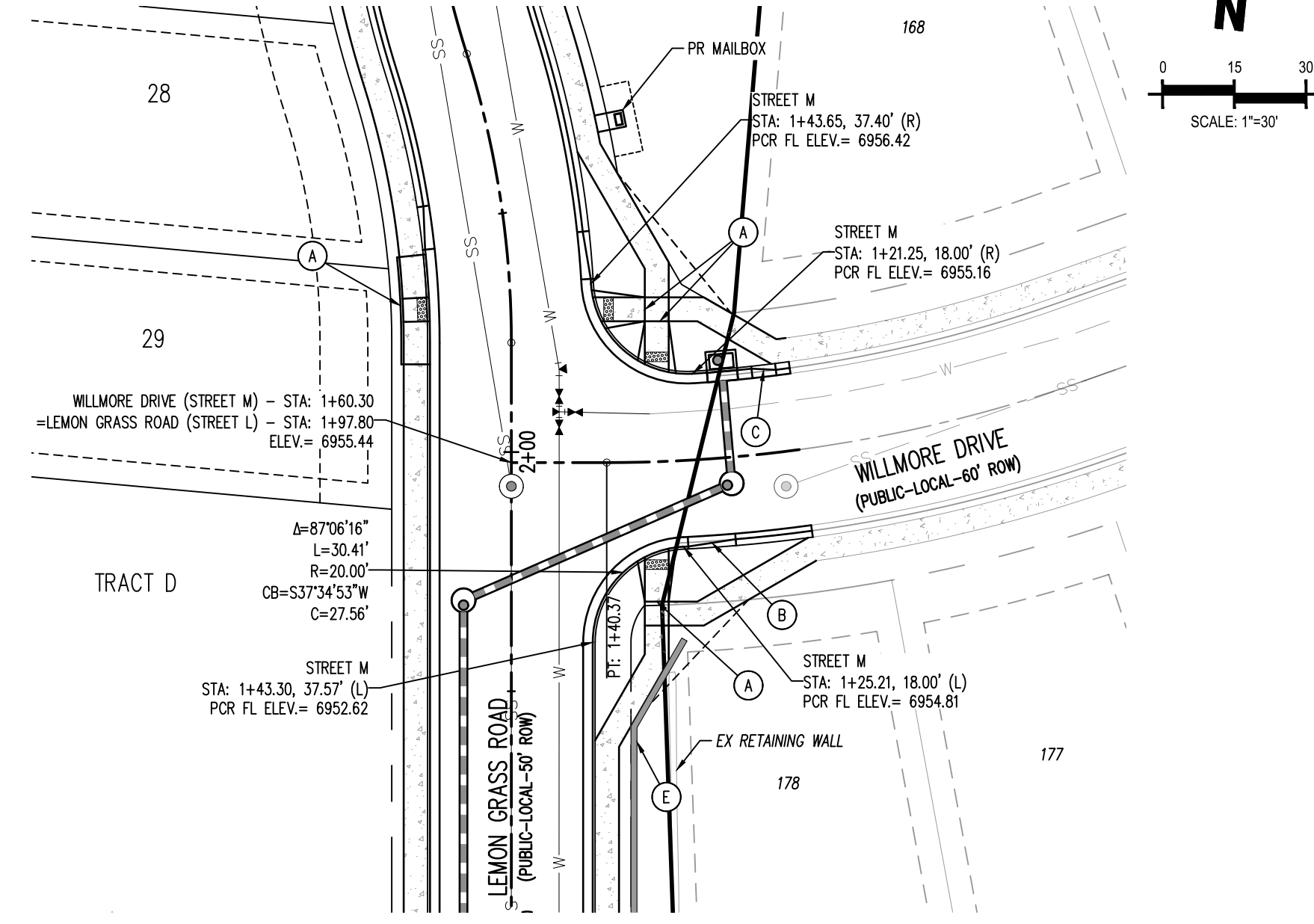
BENCHMARK

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L5# 24554 ELEVATION = 6947.67

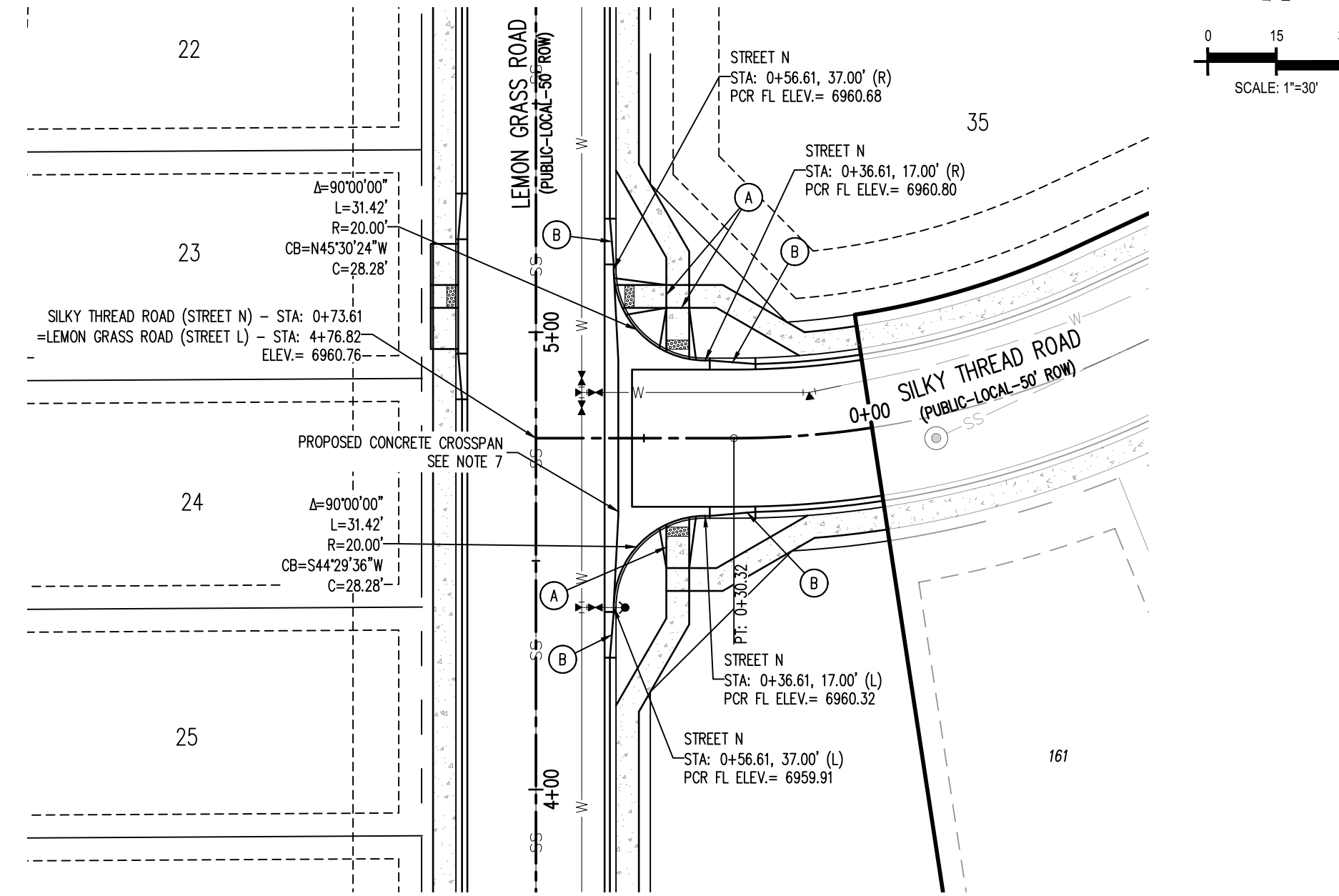
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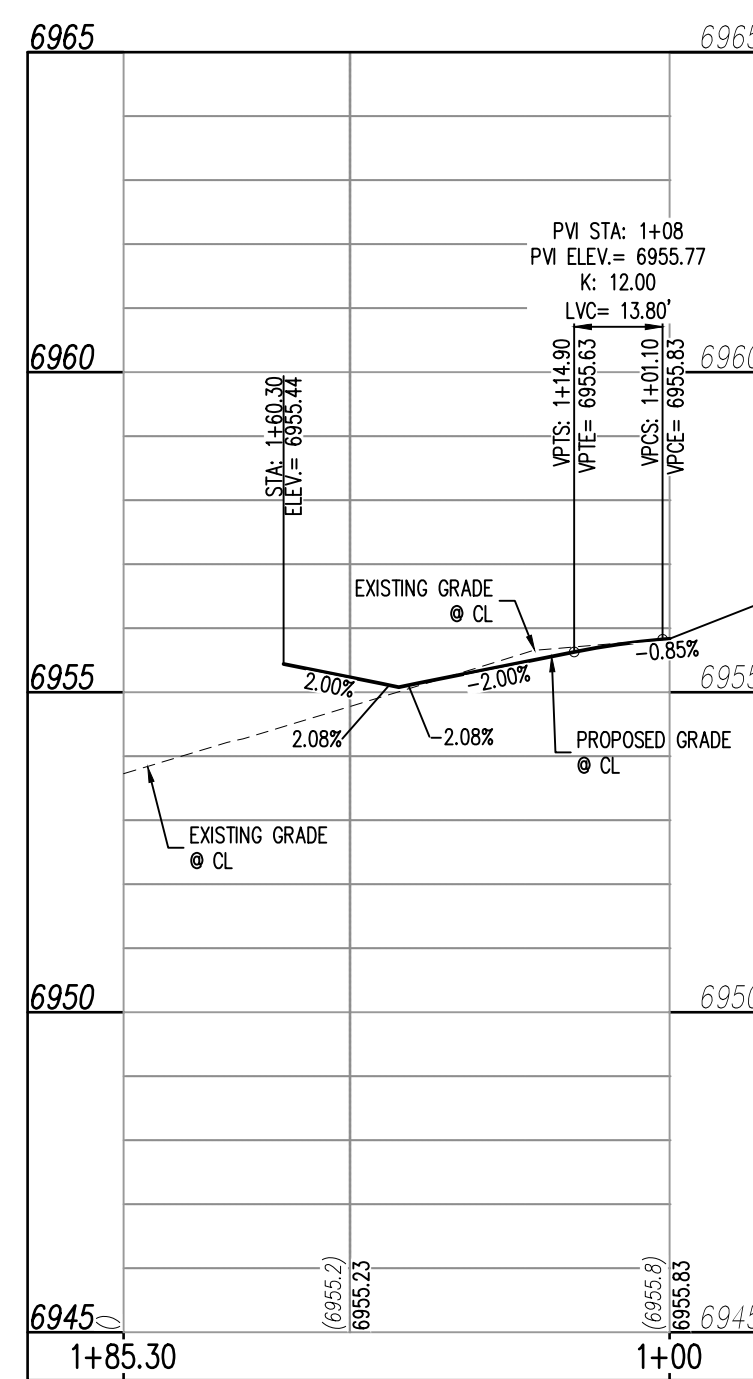
Know what's below.
 Call before you dig.



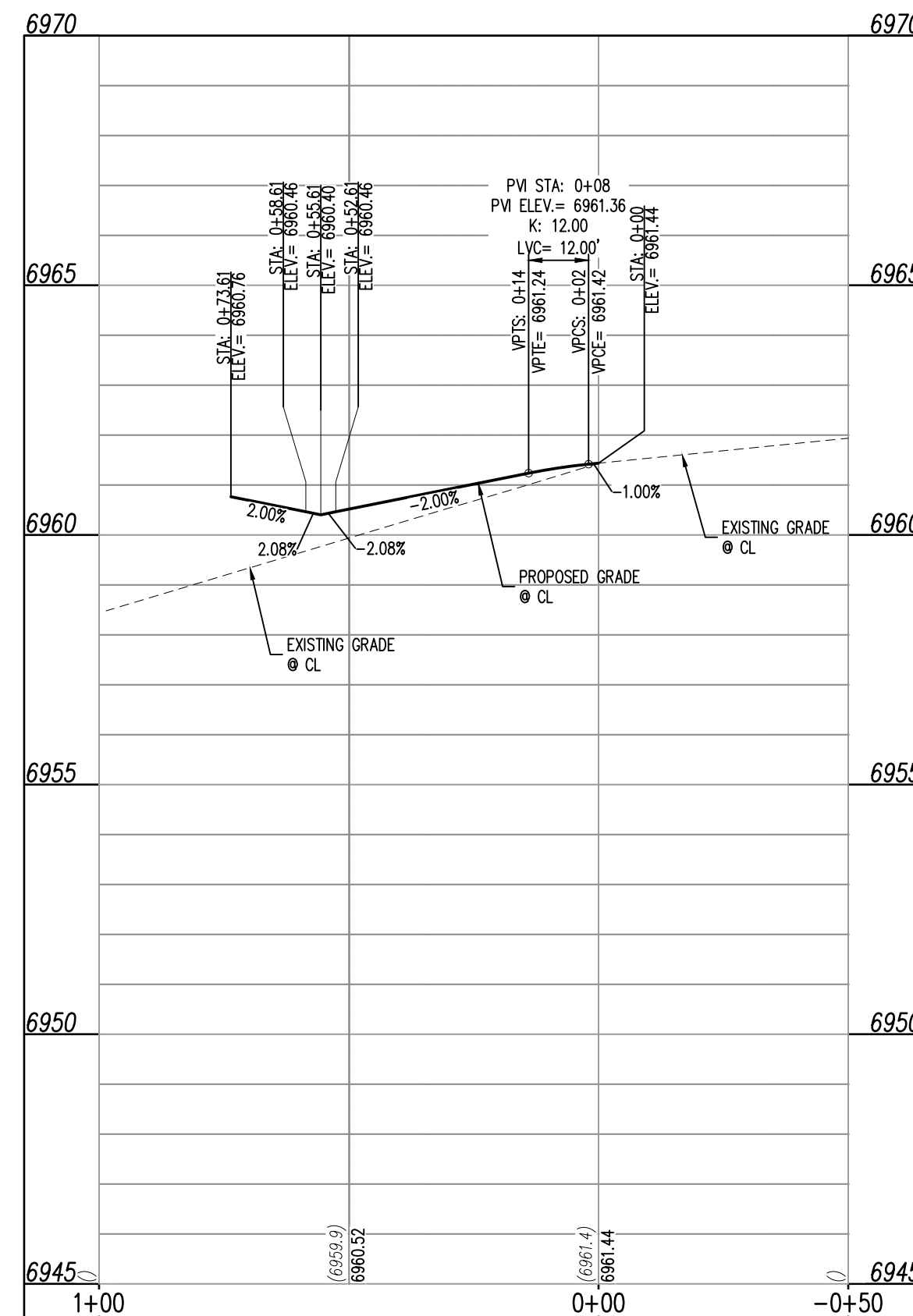
WILLMORE DRIVE (STREET M) - PUBLIC 50' R.O.W.
 25 MPH DESIGN SPEED (LOCAL)



SILKY THREAD ROAD (STREET N) - PUBLIC 50' R.O.W.
 25 MPH DESIGN SPEED (LOCAL)



STREET M
 STA: 1+00 - 1+85.30
 SCALE: H: 1"=30' V: 1"=3'



STREET N
 STA: 0+50 - 1+00
 SCALE: H: 1"=30' V: 1"=3'

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CHALLENGER HOMES

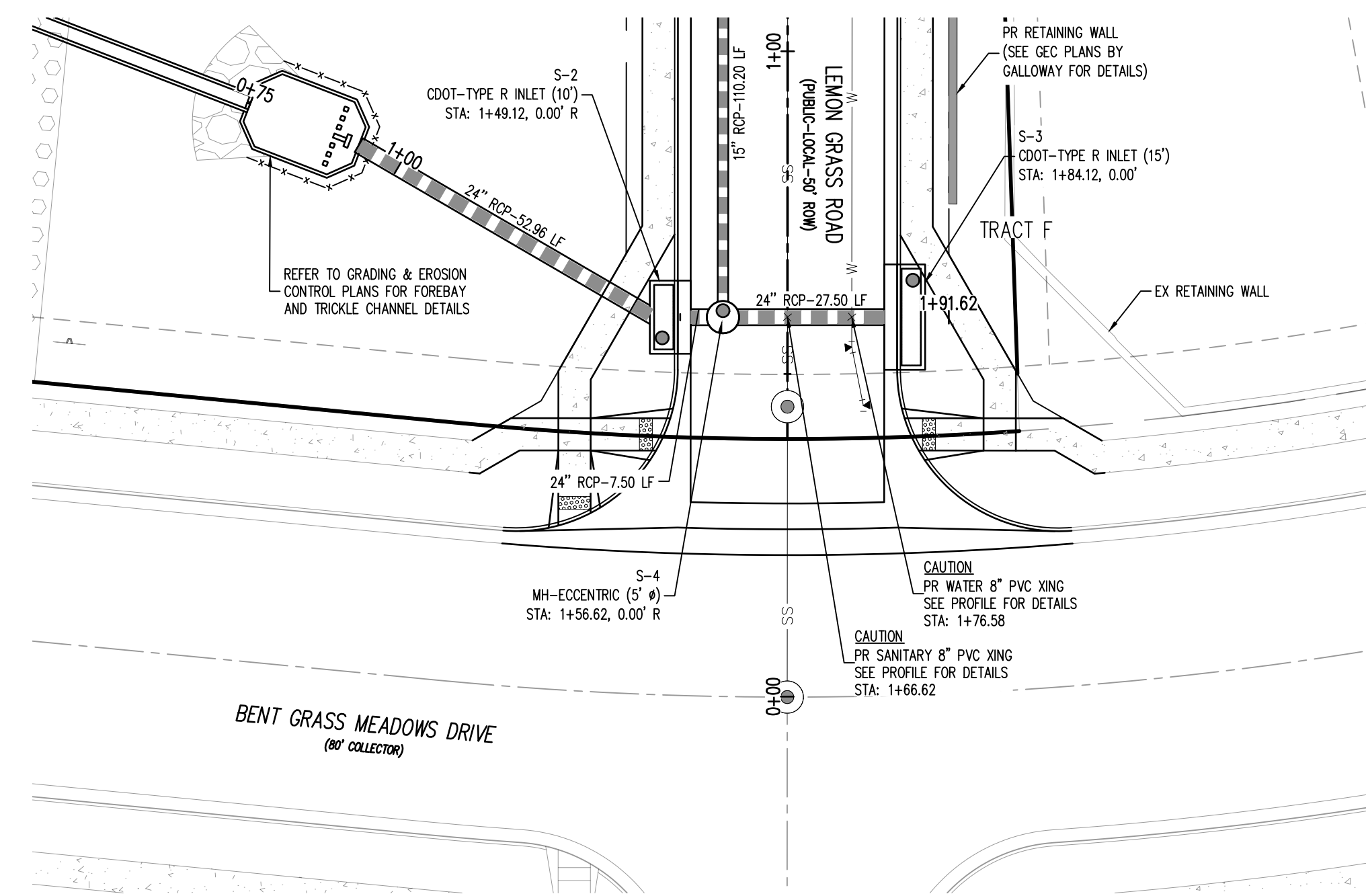
CONSTRUCTION DOCUMENTS
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 FOR
 CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD
 FALCON, CO 80831 - EL PASO COUNTY

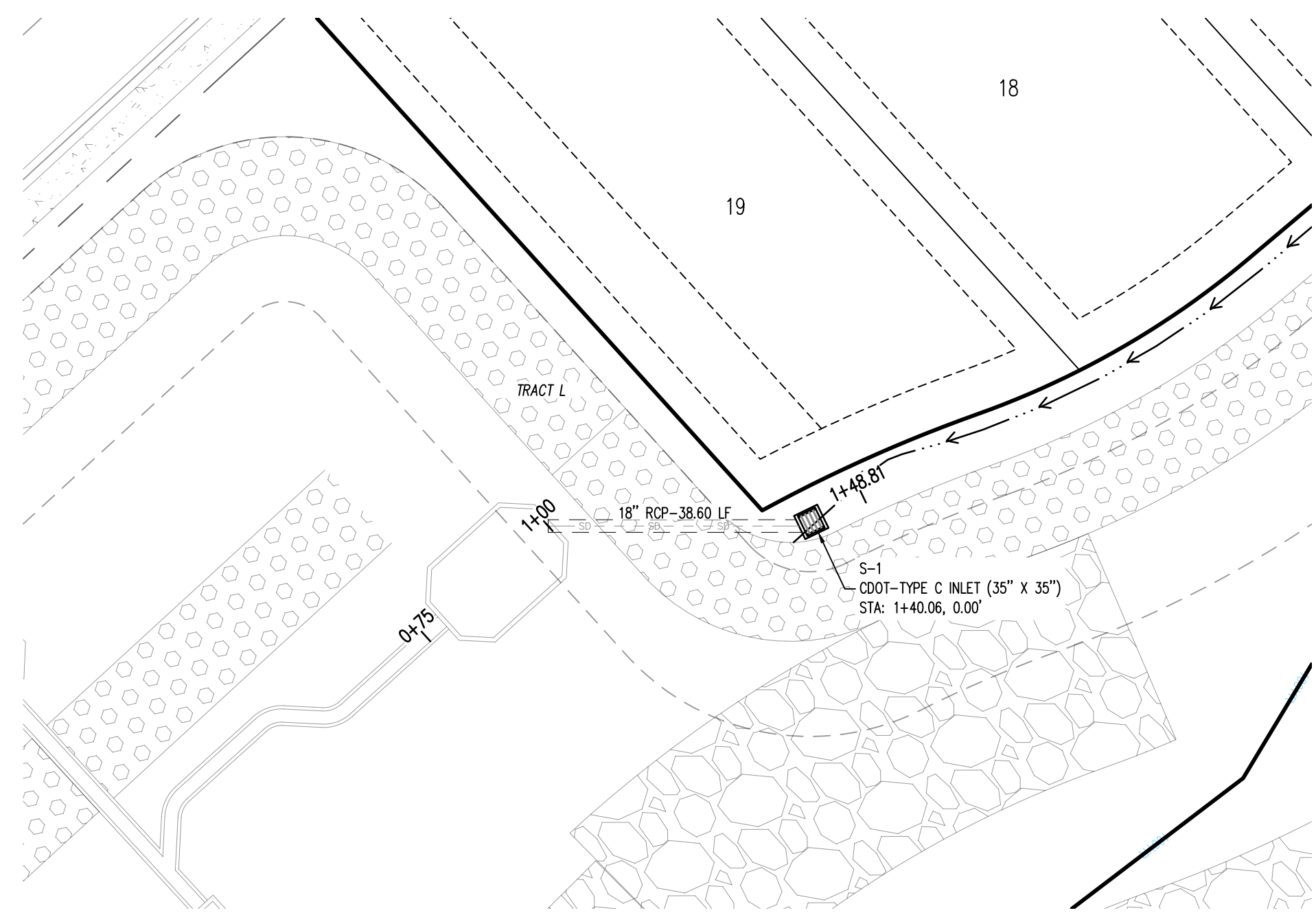
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Project No: CLH000021
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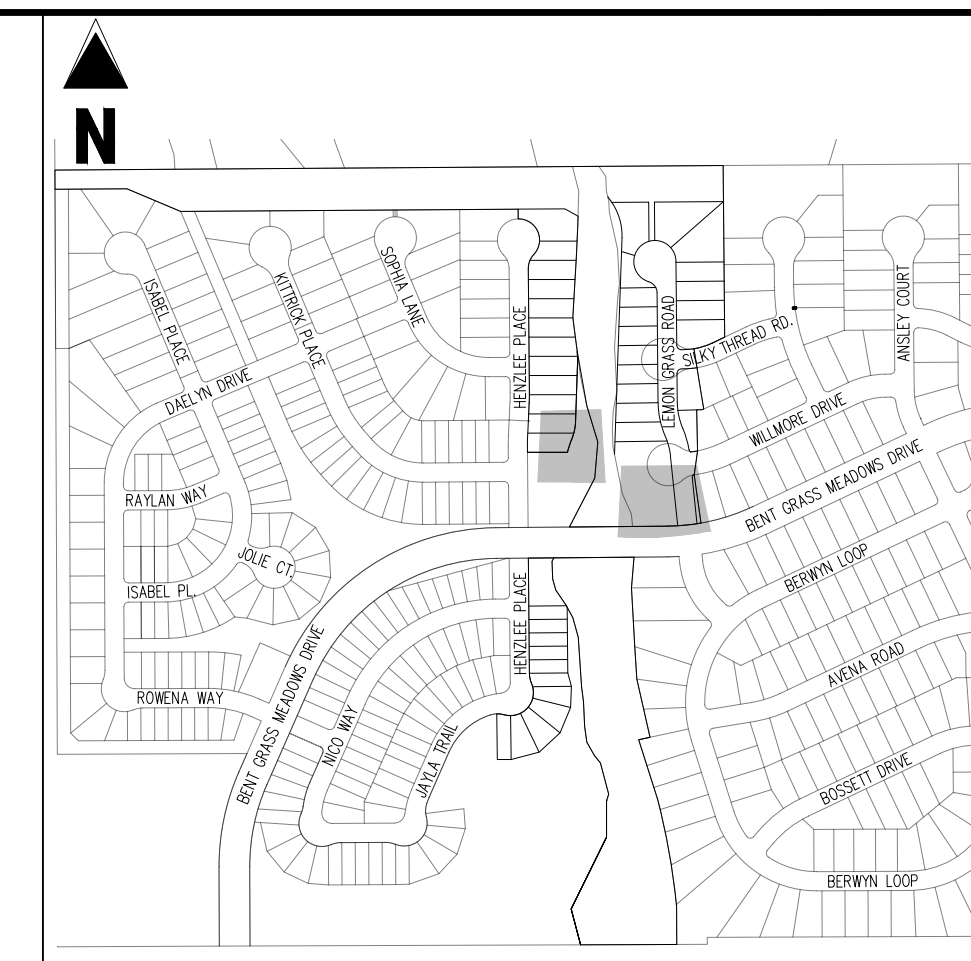
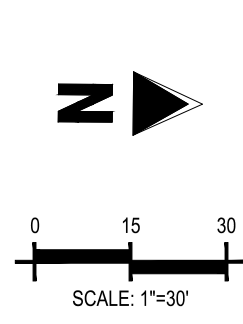
ROAD IMPROVEMENT
 PLANS



STORM DRAIN LINE A - PLAN



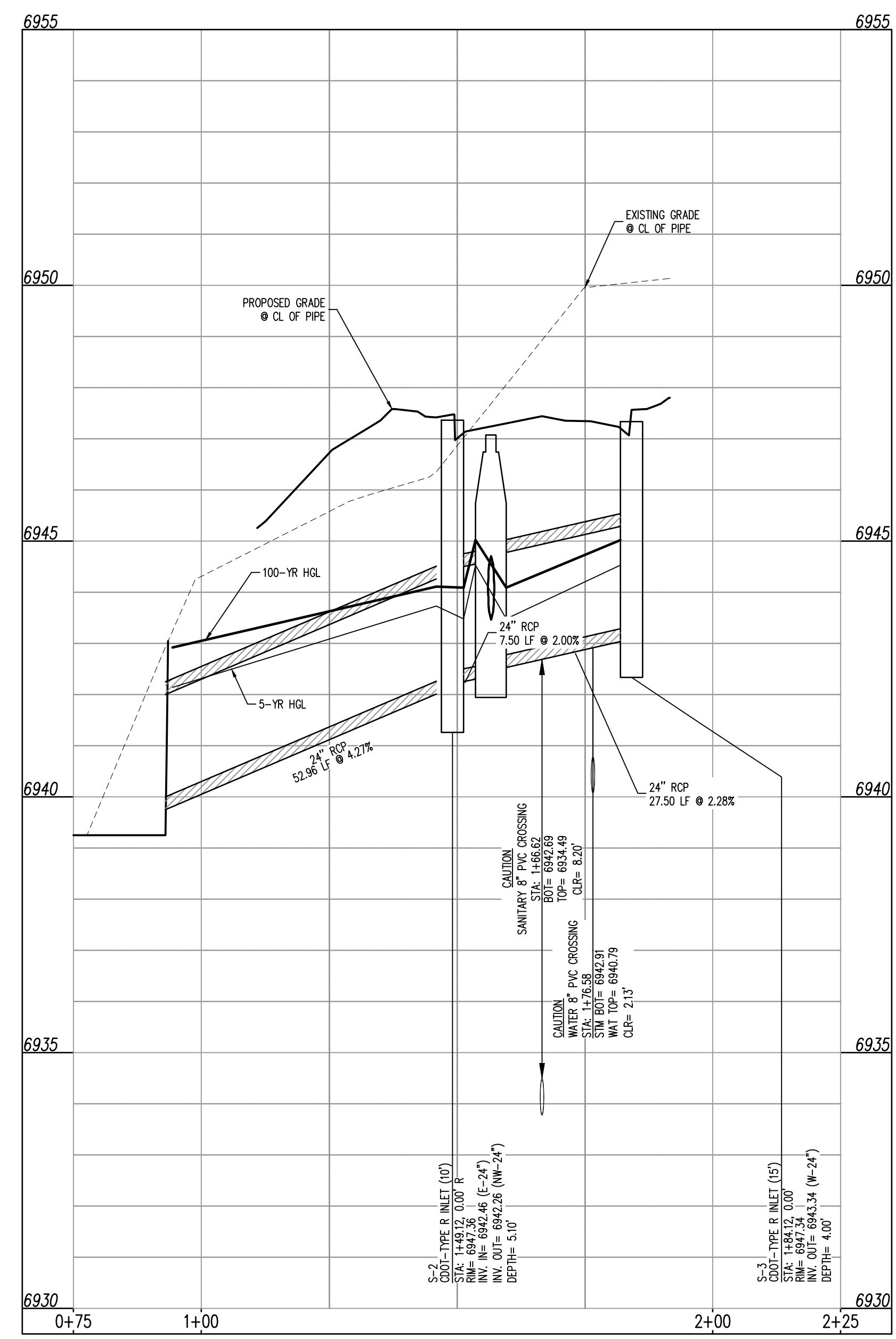
STORM DRAIN LINE B - PLAN



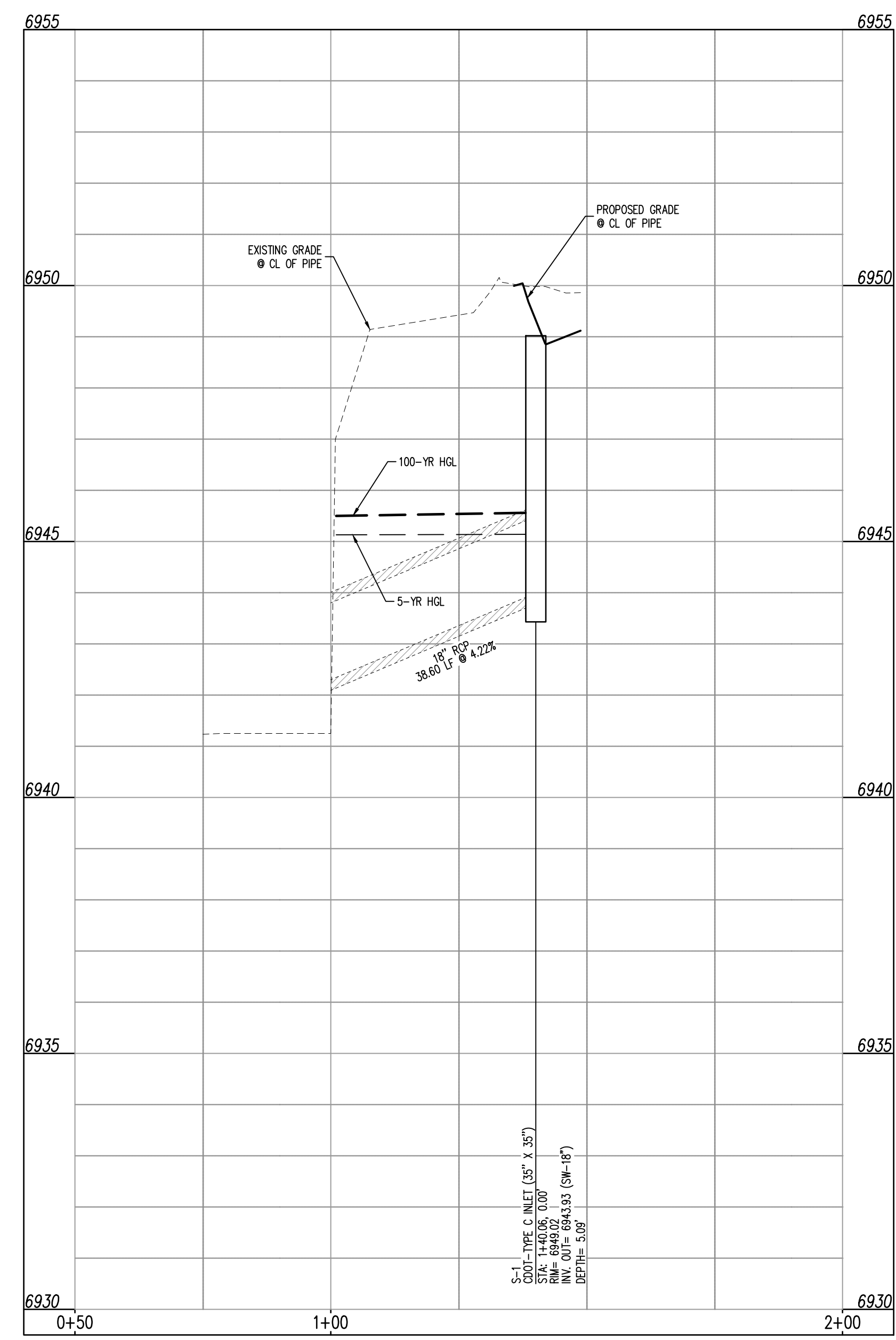
KEY MAP
SCALE: 1"=500'

LEGEND

- EXISTING PROPERTY LINE
- EXISTING PROPERTY LINE TO BE REMOVED
- PROPOSED RIGHT OF WAY LINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING SUBDIVISION BUFFER
- EXISTING STORM DRAIN PIPE
- PROPOSED STORM DRAIN PIPE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING DRAINAGE FEATURE OUTLINE
- PROPOSED DRAINAGE FEATURE OUTLINE
- EXISTING SWALE WITH FLOW DIRECTION
- PROPOSED SWALE WITH FLOW DIRECTION
- 100-YR FEMA FLOODPLAIN
- PROPOSED GRAVEL PER EGM TABLE D-7
- PROPOSED RIP RAP
- EXISTING CONCRETE PAVING
- EXISTING GRAVEL PER EGM TABLE D-7
- EXISTING 1" TO 2" CRUSHED ROCK
- EXISTING RIP RAP
- EXISTING GROUTED BOULDERS
- PROPOSED LOT #
- EXISTING LOT # (BENT GRASS FILING NO. 2)
- PROPOSED ADA RAMP
- PROPOSED FIRE HYDRANT
- PROPOSED GATE VALVE
- PROPOSED REDUCER
- PROPOSED WATER BEND/TIE
- PROPOSED SANITARY MANHOLE
- PROPOSED FES
- PROPOSED STORM MANHOLE
- PROPOSED CDOT TYPE R STORM INLET



STM-LINE A
STA: 0+75 - 2+25
SCALE: H: 1"=30' V: 1"=3'



STM-LINE B
STA: 0+50 - 2+00
SCALE: H: 1"=30' V: 1"=3'

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BENCHMARK
THE SOUTHWEST CORNER OF LOT 1 WOODEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L#9 24554 ELEVATION = 6947.67

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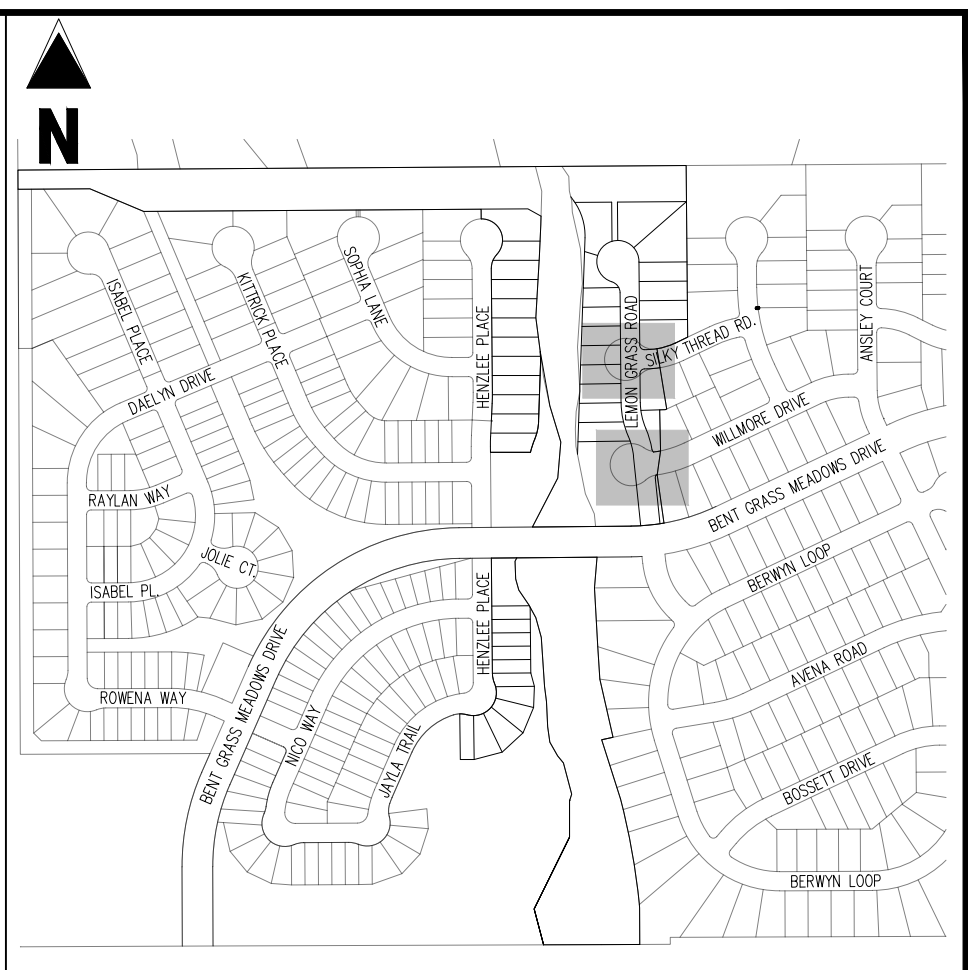
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FOR
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BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD
FALCON, CO 80831 - EL PASO COUNTY

#	Date	Issue / Description	Init.

Project No: CLH000021
Drawn By: JDM, BLB
Checked By: BAS, CMWJ
Date: 03/22/2024

STORM DRAIN PLAN & PROFILE

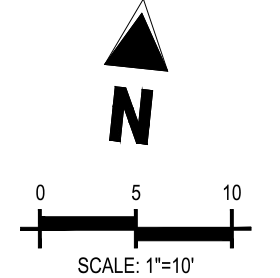
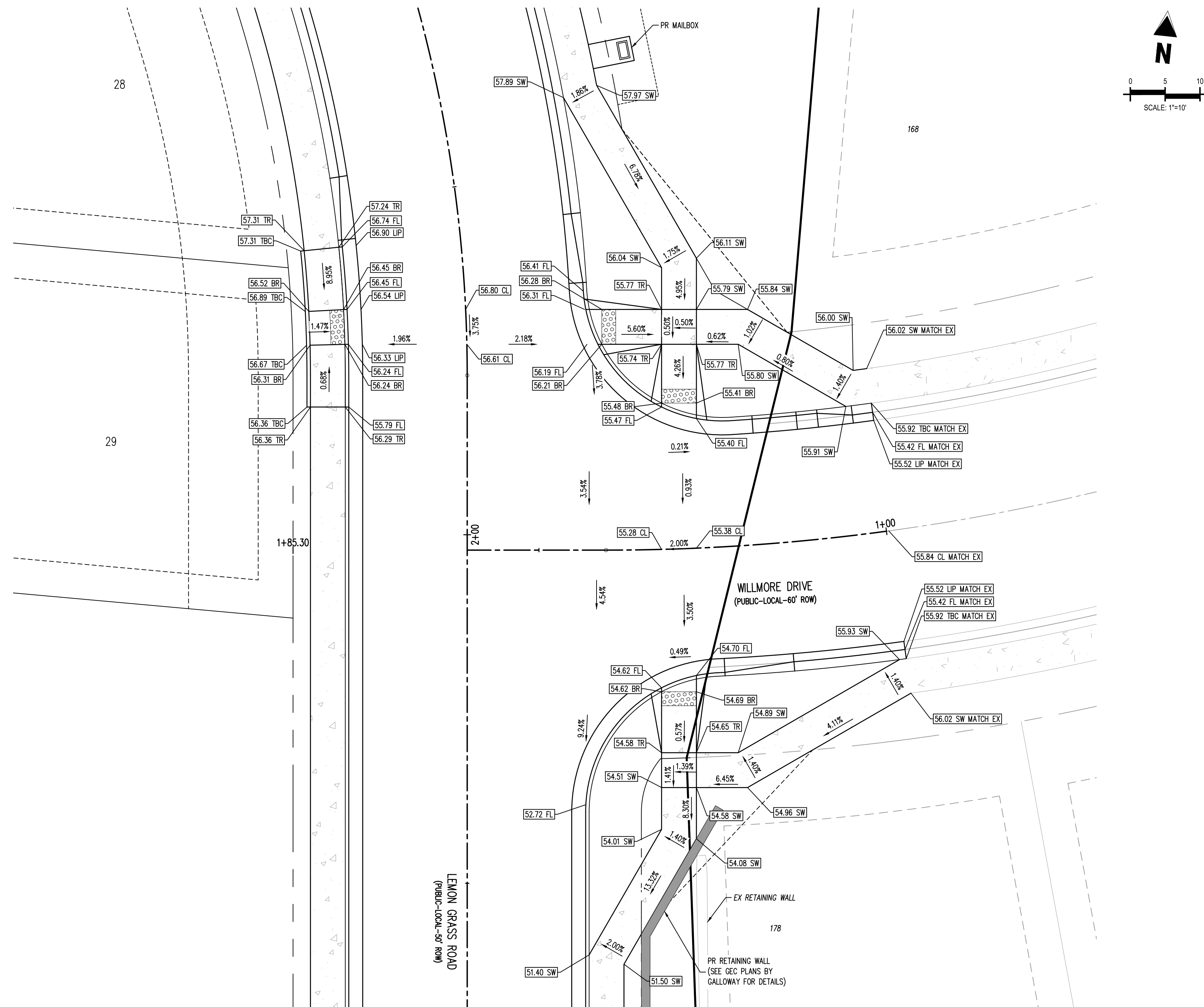


KEY MAP

SCALE: 1"=500'

LEGEND

- EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
- EXISTING RIGHT OF WAY LINE
- PROPOSED RIGHT OF WAY LINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- - - EXISTING EASEMENT
- - - PROPOSED EASEMENT
- EXISTING ROADWAY CENTER LINE
- PROPOSED ROADWAY CENTER LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED STORM DRAIN PIPE
- EXISTING WATER LINE
- W — PROPOSED WATER LINE
- SS — EXISTING SANITARY SEWER LINE
- SS — PROPOSED SANITARY SEWER LINE
- EXISTING DRAINAGE FEATURE OUTLINE
- PROPOSED DRAINAGE FEATURE OUTLINE
- EXISTING SWALE WITH FLOW DIRECTION
- PROPOSED SWALE WITH FLOW DIRECTION
- 100YR — 100-YEAR FEMA FLOODPLAIN
- PROPOSED CONCRETE
- PROPOSED CDOT CLASS 6 GRAVEL
- PROPOSED RIP RAP
- EXISTING CONCRETE PAVING
- EXISTING CDOT CLASS 6 GRAVEL
- EXISTING 1" TO 2" CRUSHED ROCK
- EXISTING RIP RAP
- EXISTING GROUDED BOULDERS
- 113 — EXISTING LOT #
- 15 — EXISTING LOT #



LEMON GRASS ROAD & WILLMORE DRIVE DETAIL GRADING

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, 113S, R65W AND THE WEST QUARTER CORNER SECTION 1, 113S, R65W IS N007°14'46" W AND MONUMENTED AS SHOWN.

BENCHMARK

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L5# 24954 ELEVATION = 6947.67

CAUTION - NOTICE TO CONTRACTOR

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2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



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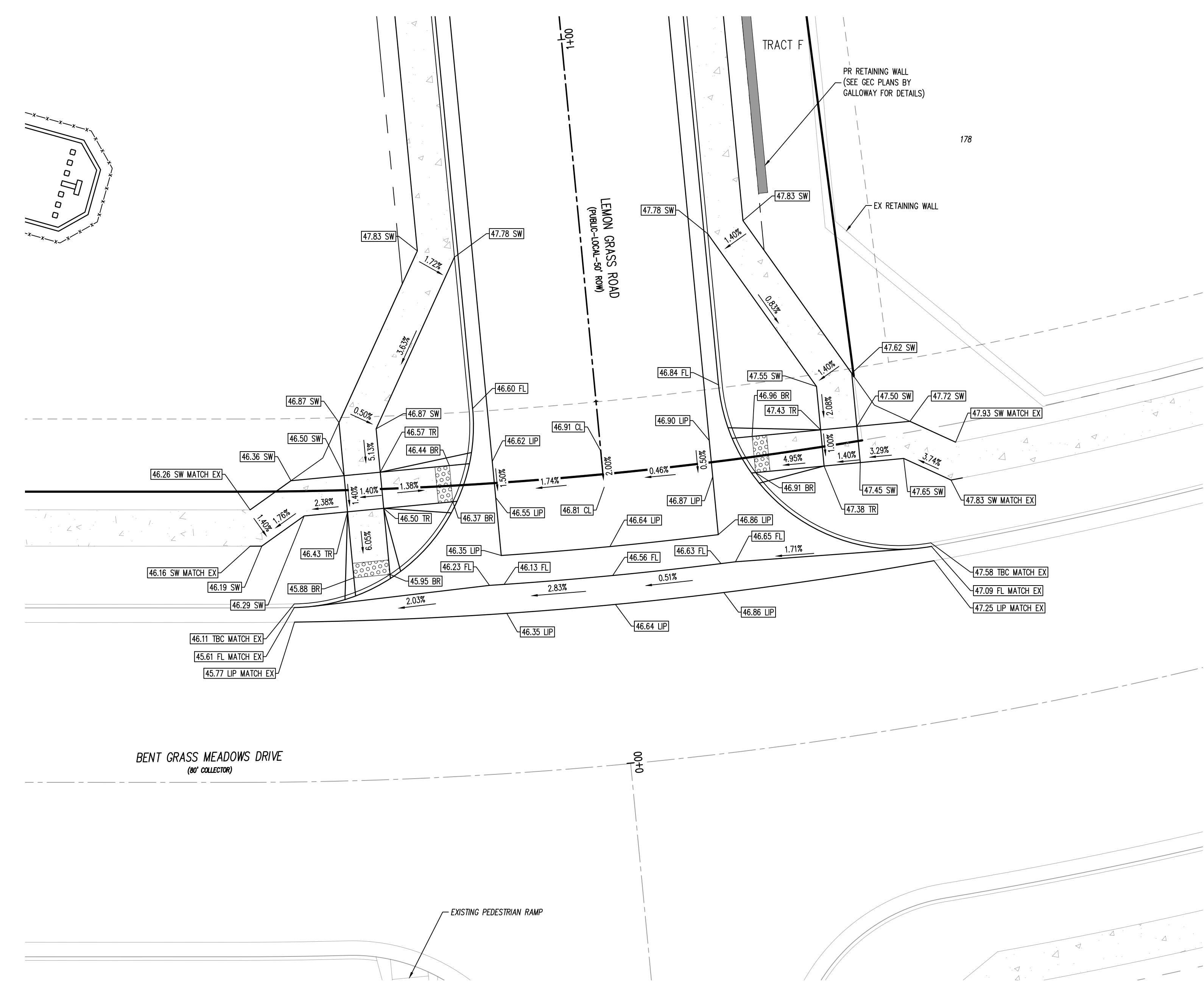


CONSTRUCTION DOCUMENTS
FALCON MEADOWS AT BENT GRASS FILING NO. 4
FOR
CHALLENGER COMMUNITIES, LLC
BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD
FALCON, CO 80831 - EL PASO COUNTY

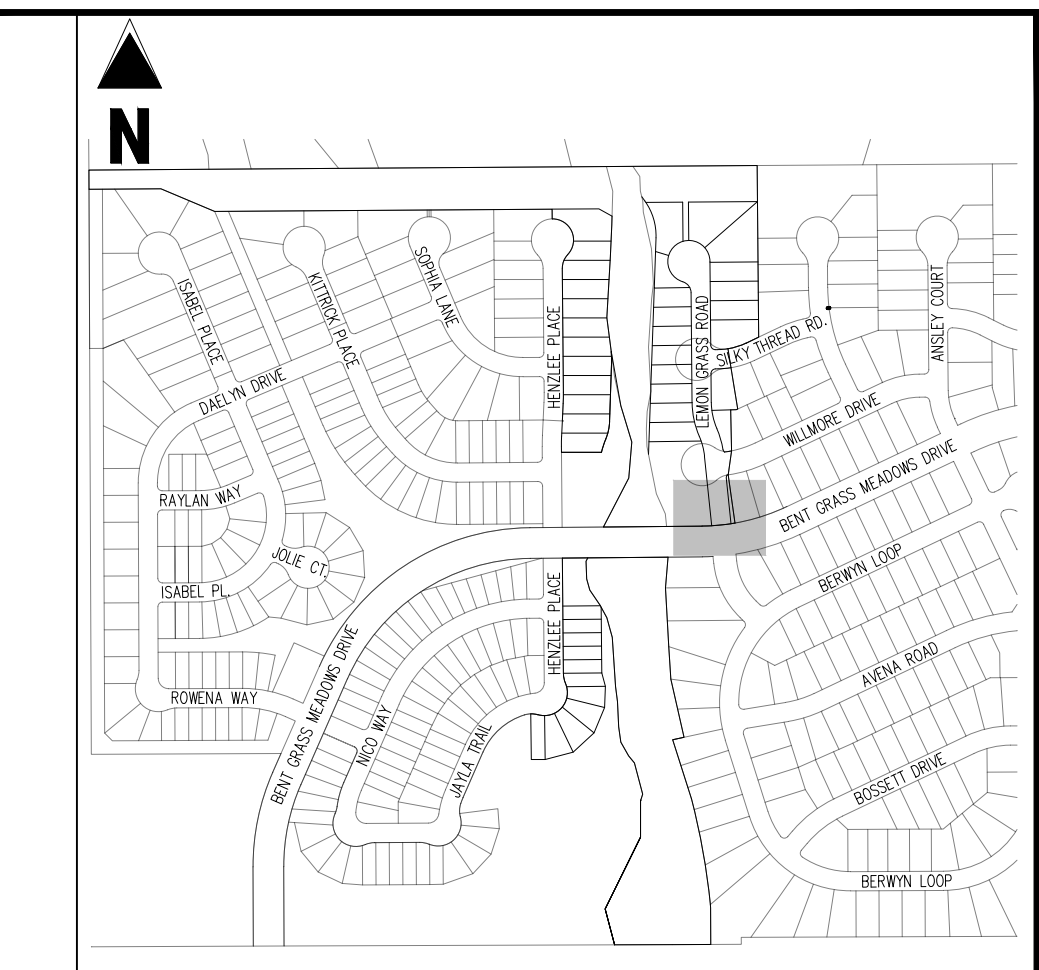
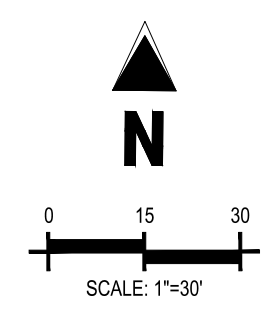
#	Date	Issue / Description	Init.

Project No: CLH000021
 Drawn By: JDM, BLB
 Checked By: BAS, CMWJ
 Date: 03/22/2024

INTERSECTION DETAIL



LEMON GRASS ROAD & BENT GRASS MEADOWS DRIVE DETAIL GRADING



KEY MAP
SCALE: 1"=500'

LEGEND

- EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
- EXISTING RIGHT OF WAY LINE
- PROPOSED RIGHT OF WAY LINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING ROADWAY CENTER LINE
- PROPOSED ROADWAY CENTER LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED STORM DRAIN PIPE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING DRAINAGE FEATURE OUTLINE
- PROPOSED DRAINAGE FEATURE OUTLINE
- EXISTING SWALE WITH FLOW DIRECTION
- PROPOSED SWALE WITH FLOW DIRECTION
- 100-YEAR FEMA FLOODPLAIN
- PROPOSED CONCRETE
- PROPOSED CDOT CLASS 6 GRAVEL
- PROPOSED RIP RAP
- EXISTING CONCRETE PAVING
- EXISTING CDOT CLASS 6 GRAVEL
- EXISTING 1" TO 2" CRUSHED ROCK
- EXISTING RIP RAP
- EXISTING GROUDED BOULDERS
- 113 PROPOSED LOT #
- 15 EXISTING LOT #

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

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MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, 113S, R65W AND THE WEST QUARTER CORNER SECTION 1, 113S, R65W IS N00°13'46"W AND MONUMENTED AS SHOWN.

BENCHMARK

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L#9 24554 ELEVATION = 6947.67

CAUTION - NOTICE TO CONTRACTOR

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- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



#	Date	Issue / Description	Init.

Project No:	CLH000021
Drawn By:	JDM, BLB
Checked By:	BAS, CMWJ
Date:	03/22/2024

1:02/24/2024 10:05 AM JDM:CLH000021-FALCON MEADOWS AT BENT GRASS FILING NO. 4 (CADD) - 100% PERMITS - 100% PERMITS - 100% PERMITS - 100% PERMITS

WATER AND WASTEWATER CONSTRUCTION PLANS

FALCON MEADOWS AT BENT GRASS FILING NO. 4

FALCON, CO 80831 - EL PASO COUNTY

CHALLENGER COMMUNITIES, LLC

PROJECT CONTACTS

OWNER/DEVELOPER

CHALLENGER COMMUNITIES, LLC
13570 NORTHGATE ESTATES DR.
COLORADO SPRINGS, CO 80921
TELE: (719) 598-5190
ATTN: JIM EYERS
EMAIL: JIM@CHALLENGERHOMES.COM

APPLICANT

NES, INC.
619 NORTH CASCADE AVENUE, SUITE 200
COLORADO SPRINGS, CO 80903
TELE: (719) 471-0073
ATTN: BROOKS SWENSON
EMAIL: BSWENSON@NES.COM

CIVIL ENGINEER

GALLOWAY & CO., INC.
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, CO 80920
TELE: (719) 900-7220
ATTN: GRANT DENNIS, P.E.
EMAIL: GRANTDENNIS@GALLOWAYUS.COM

GEOTECHNICAL ENGINEER

ROCKY MOUNTAIN GROUP
2910 AUSTIN BLUFFS PKWY
COLORADO SPRINGS, CO 80918
TELE: (719) 394-3072
ATTN: TONY MUNGER, P.E.
EMAIL: TMUNGER@RMG-ENGINEERS.COM

TRAFFIC ENGINEER

LSC TRANSPORTATION CONSULTANTS, INC.
545 EAST PIKES PEAK AVENUE, SUITE 210
COLORADO SPRINGS, CO 80903
TELE: (719) 633-2868
ATTN: JEFFREY C. HOUSON, P.E.
EMAIL: JEFF@LSCTRANS.COM

SURVEYOR

GALLOWAY & CO., INC.
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, CO 80920
TELE: (719) 337-1262
ATTN: BRIAN DENNIS
EMAIL: BRIANDENNIS@GALLOWAYUS.COM

UTILITY CONTACTS

WATER & WASTEWATER

WOODMEN HILLS METRO DISTRICT
8046 EASTONVILLE ROAD
FALCON, CO 80831
TELE: (719) 495-2500
ATTN: CODY BITTER
EMAIL: CODYBITTER@WOODMENHILLS.ORG

ELECTRIC

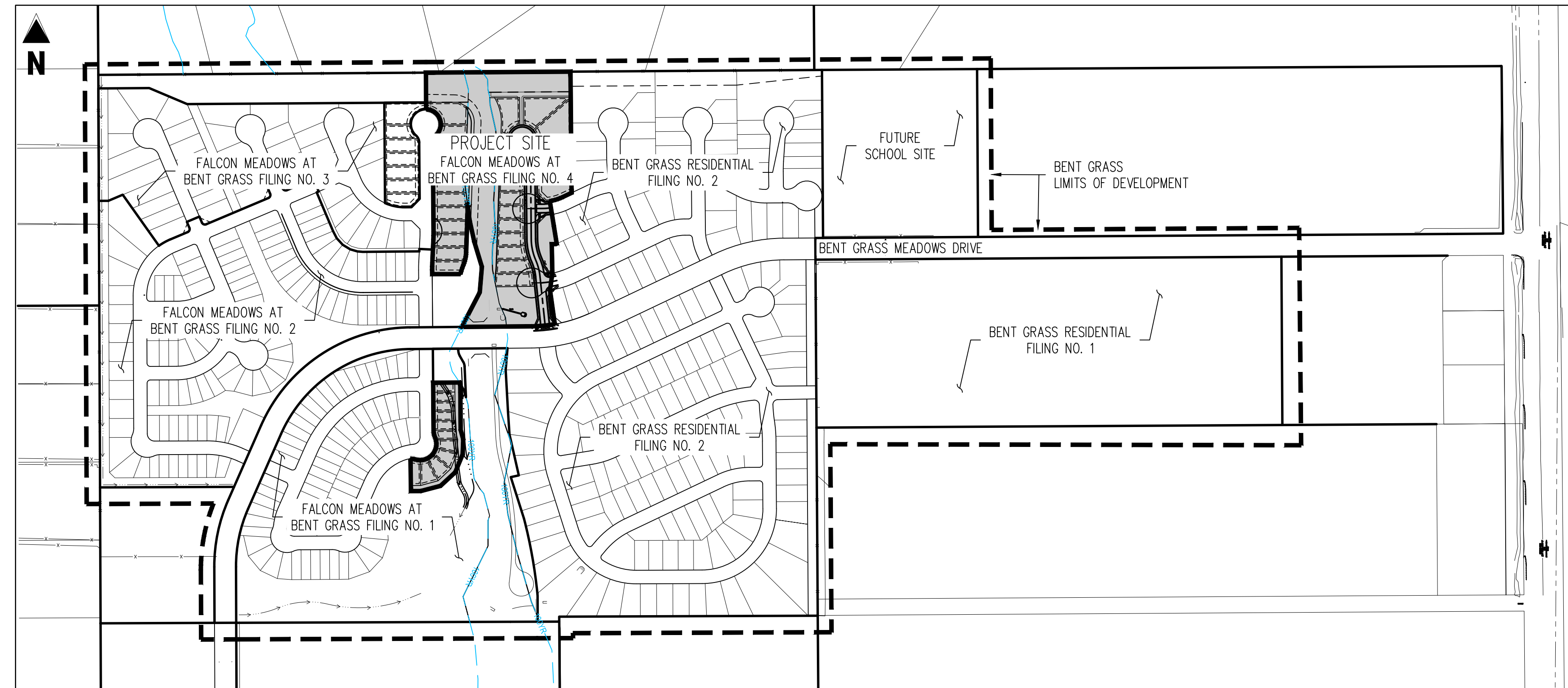
MOUNTAIN VIEW ELECTRIC
11140 E WOODMEN RD
FALCON, CO 80831
TELE: (719) 495-2283
CATHY HANSEN-LEE
EMAIL: CATHYH@MVEA.COOP

NATURAL GAS

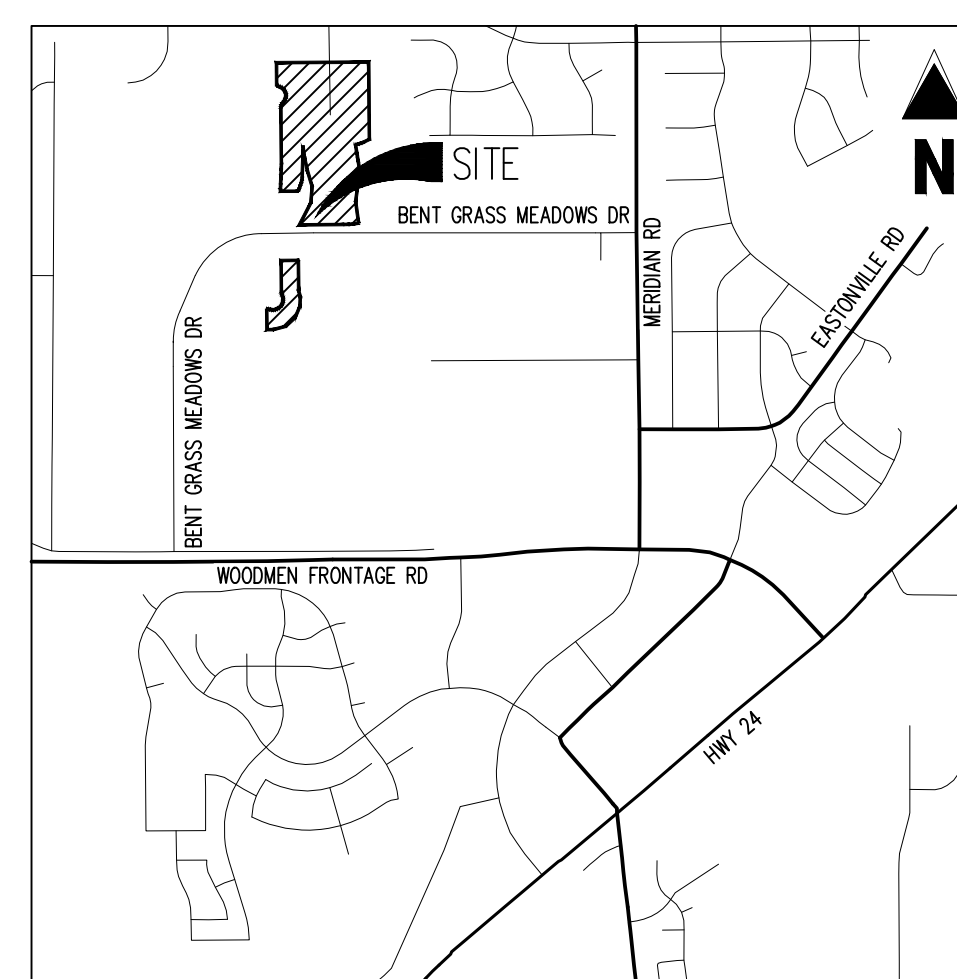
COLORADO SPRINGS UTILITIES (CSU)
7710 DURANT DRIVE, P.O. BOX 1103, MAIL CODE 2150
COLORADO SPRINGS, CO 80947-2150
TELE: (719) 668-5573
ARON CASSIDY
EMAIL: ACASSIDY@CSU.ORG

FIRE

FALCON FIRE PROTECTION DISTRICT
7030 OLD MERIDIAN ROAD
PEYTON, CO 80831
TELE: (719) 495-4050
EMAIL: FALCONFIRE@FALCONFIREPO.ORG



SITE MAP
SCALE: 1"=300'



VICINITY MAP
1"=2,000'

SHEET NUMBER	SHEET TITLE	SHEET DESCRIPTION
1	UTILITY COVER SHEET	U0.0
2	UTILITY NOTES AND TYPICAL SECTION	U0.1
3	OVERALL SHEET	U0.2
4	OVERALL HORIZONTAL CONTROL	U0.3
5	WATER PLAN	U1.1
6	WASTEWATER PLAN & PROFILE	U2.1
7	WASTEWATER PLAN & PROFILE	U2.2
8	WATER DETAILS	U3.1
9	WATER DETAILS	U3.2
10	WATER & WASTEWATER DETAILS	U3.3
11	WASTEWATER DETAILS	U3.4

WATER AND SEWER MAIN EXTENSIONS:

ANY CHANGES OR ALTERATIONS AFFECTING THE GRADE, ALIGNMENT, ELEVATION AND/OR DEPTH OF COVER OF ANY WATER OR SEWER MAINS OR OTHER APPURTENANCE SHOWN ON THIS DRAWING SHALL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR ALL OPERATIONAL DAMAGES AND DEFECTS IN INSTALLATION AND MATERIAL FOR MAINS AND SERVICES FROM THE DATE OF APPROVAL UNTIL FINAL ACCEPTANCE IS ISSUED.

SIGNED _____ OWNER/DEVELOPER DATE _____

PRINT NAME _____

DBA _____

ADDRESS _____

FIRE AUTHORITY APPROVAL:

THE NUMBER OF FIRE HYDRANTS AND HYDRANT LOCATIONS SHOWN ON THIS WATER INSTALLATION PLAN ARE CORRECT AND ADEQUATE TO SATISFY THE FIRE PROTECTION REQUIREMENTS AS SPECIFIED BY THE FIRE DISTRICT SERVING THE PROPERTY NOTED ON THE PLANS.

FIRE PROTECTION DISTRICT _____ DATE _____

SIGNED _____ FIRE PROTECTION DISTRICT DATE _____

DISTRICT APPROVALS:

THE WOODMEN HILLS METROPOLITAN DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

WOODMEN HILLS METROPOLITAN DISTRICT
WATER DESIGN APPROVAL

DATE: _____ BY: _____

PROJECT NO. _____

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE RULES AND REGULATIONS FOR INSTALLATION OF WATER MAINS AND SERVICES SHALL RULE.

APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL.

THE WOODMEN HILLS METROPOLITAN DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

WOODMEN HILLS METROPOLITAN DISTRICT
WASTEWATER DESIGN APPROVAL

DATE: _____ BY: _____

PROJECT NO. _____

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE RULES AND REGULATIONS FOR INSTALLATION OF WASTEWATER MAINS AND SERVICES SHALL RULE.

APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL.

ENGINEERS STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID DETAILS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE STATE OF COLORADO.

RONALD G. DENNIS, COLORADO P.E. NO. 0051622 DATE _____

BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R69W AND THE WEST QUARTER CORNER SECTION 1, T13S, R69W IS N00713'45"W AND MONUMENTED AS SHOWN.

BENCHMARK

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L5# 24954 ELEVATION = 6947.67

CAUTION -- NOTICE TO CONTRACTOR

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Know what's below.
Call before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

Galloway

1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
719.900.7220
GallowayUS.com

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CHALLENGER HOMES

CONSTRUCTION DOCUMENTS
FALCON MEADOWS AT BENT GRASS FILING NO. 4
FOR
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD
FALCON, CO 80831 - EL PASO COUNTY

Date Issue / Description Init.

#	Date	Issue / Description	Init.

Project No: CLH000021

Drawn By: CMWJ

Checked By: RGD

Date: 03/22/2024

UTILITY COVER SHEET

U0.0
Sheet 1 of 11

GENERAL NOTES:

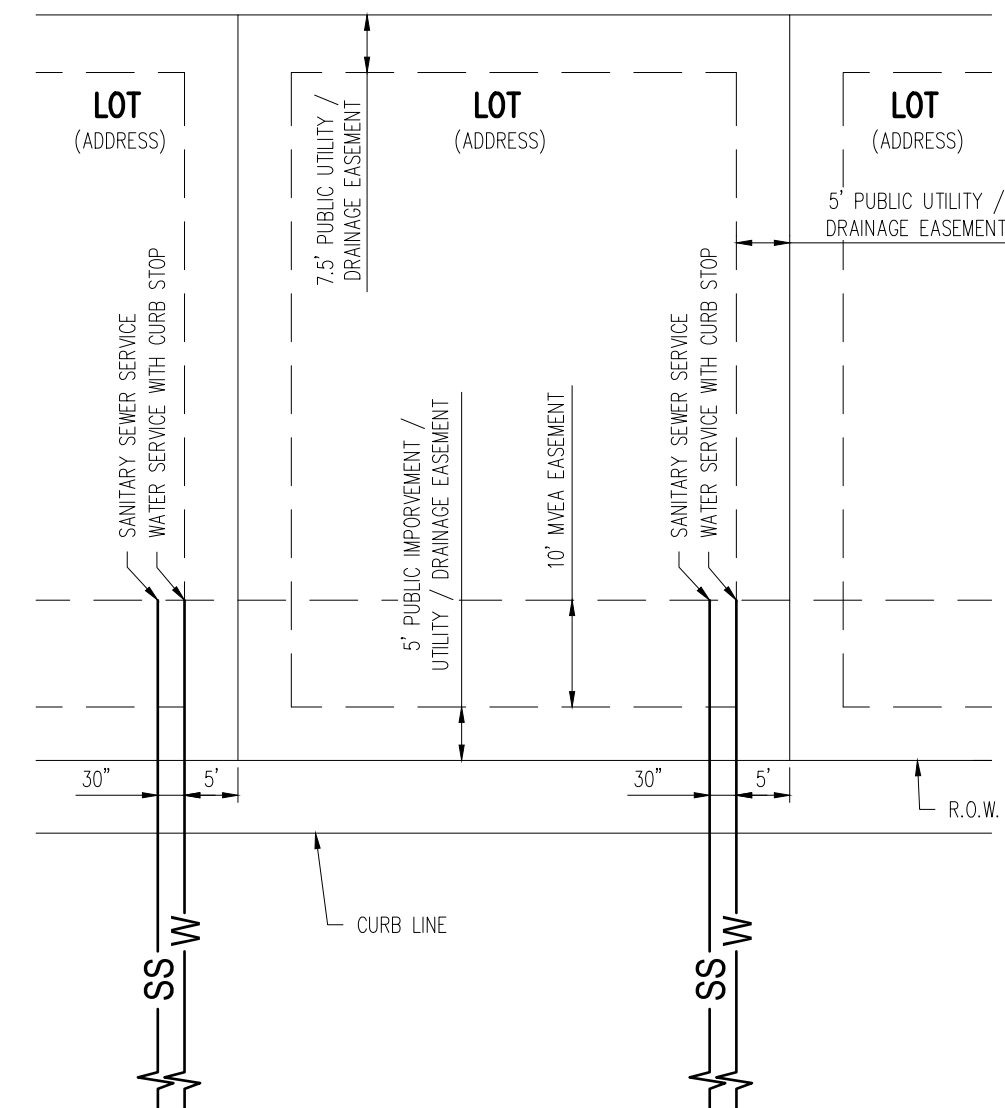
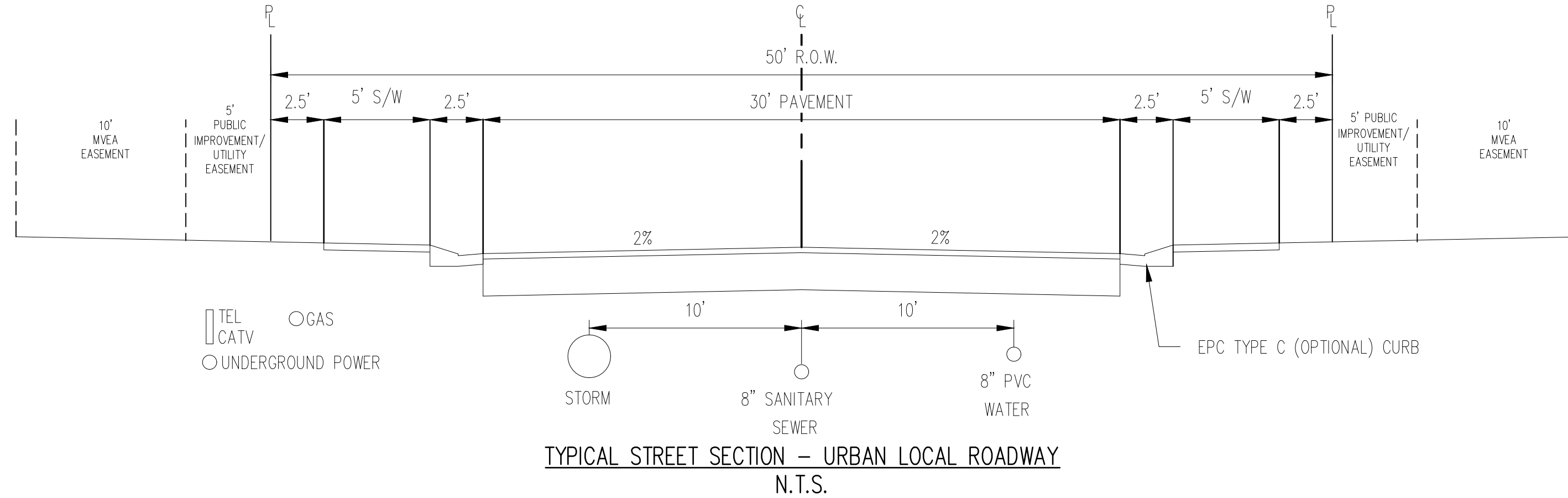
- ALL UTILITY CONSTRUCTION TO BE CONDUCTED IN CONFORMANCE WITH THE CURRENT WOODMEN HILLS METROPOLITAN DISTRICT (WHD, THE DISTRICT) SPECIFICATIONS.
- ALL PLANS ON THE JOB SITE SHALL BE SIGNED BY THE DISTRICT AND THE DISTRICT'S ENGINEER. ANY REVISION TO THE PLANS SHALL BE SO NOTED WITH THE OLD DRAWING MARKED "NOT VALID".
- ALL STATIONING IS CENTERLINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE CENTERLINE UNLESS OTHERWISE NOTED.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE DISTRICT. THE DISTRICT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- ALL OVER-LOT GRADING MUST BE COMPLETED TO WITHIN ONE (1) FOOT OF FINAL GRADE PRIOR TO INSTALLATION OF WATER AND WASTEWATER INFRASTRUCTURE.
- ALL WATER AND SEWER SERVICE LOCATIONS SHALL BE CLEARLY MARKED ON EITHER THE CURB HEAD OR THE FACE OF THE CURB, WITH AN "S" FOR SEWER AND A "W" FOR WATER.
- DUCTILE IRON PIPES, INCLUDING FITTINGS, VALVES, AND FIRE HYDRANTS, SHALL BE WRAPPED WITH POLYETHYLENE TUBING, DOUBLE BONDED AT EACH JOINT, AND ELECTRICALLY ISOLATED. BONDING AND ANODE CONNECTIONS SHALL BE THOROUGHLY COATED WITH BITUMINOUS COATINGS.
- ALL DUCTILE IRON PIPE LESS THAN TWELVE INCHES (12") AND FITTINGS SHALL HAVE CATHODIC PROTECTION USING TWO (2) NO. 6 MRES WITH 17 LB. MAGNESIUM ANODES EVERY 400 FEET AND 9 LB. MAGNESIUM ANODES AT EACH FITTING. ALL DUCTILE IRON PIPE TWELVE INCHES (12") AND GREATER AND FITTINGS SHALL HAVE CATHODIC PROTECTION USING TWO (2) NO. 6 MRES WITH 17 LB. MAGNESIUM ANODES EVERY 300 FEET AND 9 LB. MAGNESIUM ANODES AT EACH FITTING.
- ALL PIPE MATERIAL, BACKFILL, AND INSTALLATION SHALL CONFORM TO THE APPLICABLE SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS, COLORADO DEPARTMENT OF TRANSPORTATION, EL PASO COUNTY DEPARTMENT OF TRANSPORTATION, COLORADO SPRINGS UTILITIES, AND THE GEOTECHNICAL ENGINEER.
- COMPACTION TESTS SHALL BE 95% STANDARD PROCTOR AS DETERMINED BY ASTM D698, UNLESS OTHERWISE APPROVED BY THE DISTRICT OR HIGHER STANDARD AS IMPOSED BY ANOTHER AGENCIES HAVING RIGHT-OF-WAY JURISDICTION. THIS SHALL INCLUDE ALL VALVES, FIRE HYDRANT RIGS, WATER & SEWER SERVICE LINES, AND MANHOLES. ALL REPORTS SHALL BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL.
- THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY. THE LOCATION OF ALL UTILITIES SHALL BE FIELD VERIFIED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. THE DISTRICT SHALL BE NOTIFIED OF ANY DEVIATIONS TO THE LINE AND/OR GRADE AS DEPICTED ON THE PLANS. CONTRACTOR SHALL SUBMIT TO THE DISTRICT AND THE ENGINEER OF RECORD A REPORT OF THE FIELD-VERIFIED INFORMATION PRIOR TO THE START OF CONSTRUCTION.
- ALL BENDS SHALL BE FIELD STAKED PRIOR TO THE START OF CONSTRUCTION.
- BENDS, DEFLECTION, AND CUT PIPE LENGTHS SHALL BE USED TO HOLD HORIZONTAL ALIGNMENT OF SEWER AND WATER LINES TO NO MORE THAN 0.5' FROM THE DESIGNED ALIGNMENT. CONSTRUCTION STAKES TO BE AT TWENTY-FIVE FEET (25') INTERVALS ALONG CURVES TO ENSURE LOCATION OF PIPELINE CONSTRUCTION.
- AT ALL LOCATIONS WHERE CAP AND STUB IS NOTED ON DRAWINGS, PROVIDE A PLUG AT THE END OF THE PIPE JOINT NEAREST THE SPECIFIED STATION. PROVIDE A REVERSE ANCHOR AT ALL WATER LINE PLUGS.
- ALL UNUSED, SALVAGED WATER UTILITY MATERIAL SHALL BE RETURNED TO THE METROPOLITAN DISTRICT AS REQUESTED.
- AT THE CONTRACTOR'S EXPENSE, ALL UTILITY MAINS SHALL BE SUPPORTED AND PROTECTED SUCH THAT THEY SHALL FUNCTION CONTINUOUSLY DURING CONSTRUCTION OPERATIONS. SHOULD A UTILITY MAIN FAIL AS A RESULT OF THE CONTRACTOR'S OPERATION, IT SHALL BE REPLACED IMMEDIATELY BY THE CONTRACTOR OR BY THE DISTRICT AT FULL COST OF LABOR AND MATERIALS TO THE CONTRACTOR/DEVELOPER.
- PUMPING OR BYPASS OPERATIONS SHALL BE REVIEWED AND APPROVED BY BOTH THE DISTRICT AND THE DISTRICT ENGINEER PRIOR TO EXECUTION.
- THE CONTRACTOR SHALL REPLACE OR REPAIR DAMAGE TO ALL SURFACE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO FENCES, LANDSCAPING, CURB AND GUTTER, AND/OR ASPHALT THAT MAY BE CAUSED DURING CONSTRUCTION.
- ALL CONTRACTORS WORKING ON OR NEAR A WATER OR SEWER FACILITY (TO INCLUDE SERVICE LINES) SHALL HAVE LIABILITY INSURANCE NAMING THE DISTRICT AS AN ADDITIONAL INSURED AND SHALL PROVIDE A CURRENT COPY OF WORKERS COMPENSATION INSURANCE ON FILE WITH THE DISTRICT. NO WORK CAN PROCEED WITHOUT CURRENT CERTIFICATES ON FILE AT THE DISTRICT'S OFFICE.
- THE CONTRACTOR SHALL NOTIFY THE DISTRICT AND ALL AFFECTED UTILITY COMPANIES ADJACENT TO THE PROPOSED UTILITY CONSTRUCTION A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A WEEKLY CONSTRUCTION MEETING SHALL BE REQUIRED WITH THE CONTRACTOR, DISTRICT ENGINEER AND ALL OTHER PARTIES AS DEEMED NECESSARY BY THE DISTRICT.
- COMMENCEMENT OF CONSTRUCTION OF WATER/SEWER SYSTEMS WITHIN METROPOLITAN DISTRICT:
 - PRIOR TO THE START OF CONSTRUCTION, A PRECONSTRUCTION MEETING IS REQUIRED A MINIMUM OF 48 HOURS IN ADVANCE OF COMMENCEMENT OF WORK. A REPRESENTATIVE OF THE OWNER OR DEVELOPER, A REPRESENTATIVE OF THE CONTRACTOR, AND THE DISTRICT ENGINEER ARE REQUIRED TO ATTEND. CONTACT THE DISTRICT TO SCHEDULE THE PRECONSTRUCTION MEETING. NO PRECONSTRUCTION MEETING CAN BE SCHEDULED BEFORE FOUR (4) SIGNED/APPROVED PLAN SETS ARE RECEIVED BY THE DISTRICT.
 - THE CONTRACTOR IS REQUIRED TO NOTIFY THE DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY AFFECTED UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION ADJACENT TO THE KNOWN UTILITY LINES.
- TESTING OF FACILITIES:
 - THE CONTRACTOR SHALL NOTIFY THE DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF ANY TESTING.
 - ALL SECTIONS OF WATER LINE ARE TO MEET THE FOLLOWING PRESSURE TESTING REQUIREMENTS
 - TEST 100% OF ALL LINES.
 - MUST PASS PRESSURE TEST TO 200 PSI FOR TWO HOURS (UNLESS OTHERWISE APPROVED ON THE PLANS).
 - ALL SANITARY SEWER FACILITIES ARE TO MEET THE FOLLOWING TESTING REQUIREMENTS:
 - ALL LINES SHALL BE SET CLEARED PRIOR TO VACUUM OR PRESSURE TESTING.
 - ALL MANHOLES SHALL BE VACUUM TESTED WITH DISTRICT START PRESENT PRIOR TO CCTV INSPECTION.
 - SEWER MAINS TO BE PRESSURE TESTED PRIOR TO CCTV INSPECTION.
 - ALL LINES SHALL BE CCTV INSPECTED AND VIDEO SHALL BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL.
- PRELIMINARY ACCEPTANCE SHALL BE DEFINED AS THE POINT IN TIME THAT THE DISTRICT ACCEPTS THE FACILITY FOR USE. ALL SURFACE IMPROVEMENTS AND RESTORATION SHALL BE COMPLETED WITHIN 30 DAYS OF COMMENCEMENT. SHOULD THE CONTRACTOR FAIL TO COMPLETE ALL SURFACE IMPROVEMENTS AND RESTORATION WITHIN 30 DAYS OF COMMENCEMENT OF SERVICE, THE DISTRICT, AT THEIR DISCRETION, MAY ELECT TO COMPLETE THE IMPROVEMENTS AT THE CONTRACTOR'S COST.
- FINAL ACCEPTANCE BY THE DISTRICT OF ANY LINE OR SYSTEM SHALL NOT OCCUR UNTIL COMPLETION OF FINAL ASPHALT LAYERS AND/OR FINAL COMPLETION AND/OR RESTORATION OF ALL SURFACE IMPROVEMENTS. THE WARRANTY PERIOD FOR ALL FACILITIES PRIOR TO FINAL ACCEPTANCE SHALL BE 24 MONTHS COMMENCING AFTER PRELIMINARY ACCEPTANCE.
- ACCEPTANCE
 - THE DISTRICT MAY OWE PRELIMINARY ACCEPTANCE ONCE ALL OF THE TESTS ON ALL THE LINES HAVE BEEN COMPLETED AND A WALK-THROUGH HAS OCCURRED.
 - A SECOND ACCEPTANCE MAY OCCUR ONCE THE FIRST LIFT OF ASPHALT GOES DOWN AND A SECOND WALK-THROUGH OF THE SYSTEM OCCURS. IF ALL FACILITIES ARE CLEAN AND ACCESSIBLE, A FINAL ACCEPTANCE MAY OCCUR (THE DISTRICT MAY REQUIRE CLEANING AND RE-VIDEO OF THE SYSTEM, DEPENDING ON THE SEVERITY OF THE CONTAMINATION).
- ALL WATER AND SEWER MAINS, INCLUDING SERVICE LINES, SHALL HAVE "AS-BUILT" DRAWINGS PREPARED AND APPROVED PRIOR TO PRELIMINARY ACCEPTANCE BY THE DISTRICT.
- ALL COMMERCIAL/BUSINESS DEVELOPMENTS SHALL HAVE AN EIGHT INCH (MIN.) WATER MAIN LOOPED THROUGH THE PROPOSED PROPERTY WITH GATE VALVES LOCATED WHERE THE MAIN ENTERS THE PROPERTY LINE. AN EIGHT-INCH SEWER MAIN SHALL BE INSTALLED FOR SERVICE TO COMMERCIAL/BUSINESS DEVELOPMENTS, AND A MANHOLE SHALL BE LOCATED WHERE THE MAIN ENTERS THE PROPERTY. THE END OF THE MAINS SHALL BE MARKED WITH THE APPROPRIATE COLORED CARBONATE MARKER ALONG WITH TRACER WIRE.
- AFTER REVIEW AND APPROVAL OF PLANS FOR THE EXTENSION OF LINES, FACILITIES, AND/OR SERVICES, CONSTRUCTION MUST HAVE COMMENCED WITHIN 18 MONTHS FOR RESIDENTIAL SUBDIVISIONS AND 12 MONTHS FOR ANY COMMERCIAL INSTALLATIONS.
- INSPECTION FEES: CALL THE DISTRICT (719-495-2500) FOR FEE SCHEDULE.

WATER SYSTEM INSTALLATION NOTES

- ALL WATER AND FORCE MAIN PIPE SHALL BE ANWA C900 PVC, OR APPROVED EQUAL, PRESSURE CLASS 200. ALL WATER AND FORCE MAIN FITTINGS SHALL HAVE MECHANICAL RESTRAINTS AND THRUST BLOCKS. ALL WATER AND FORCE MAIN PIPE SHALL HAVE A MINIMUM COVER DEPTH OF FIVE-AND-ONE-HALF (5.5) FEET.
- ALL WATER VALVES ASSOCIATED WITH THE POTABLE WATER SYSTEM SHALL BE OPEN CLOCKWISE. ALL VALVES INSTALLED IN LANDSCAPED AREAS AND/OR NOT WITHIN PAVED STREETS SHALL BE MARKED WITH CARBONATE MARKERS. ALL VALVES ASSOCIATED WITH THE RAIN WATER SYSTEM SHALL BE OPEN COUNTERCLOCKWISE AND MARKED WITH CARBONATE MARKERS AS APPLICABLE.
- THE DEVELOPER OR HIS ENGINEER SHALL LOCATE ALL FIRE HYDRANTS AND SERVICE STUB-OUTS FOR FUTURE DEVELOPMENT. ANY REQUIRED REALIGNMENT, HORIZONTAL OR VERTICAL, SHALL BE AT THE EXPENSE OF THE DEVELOPER. FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE APPLICABLE FIRE AUTHORITY.
- FIRE HYDRANTS SHALL BE OPEN RIGHT WITH 7/8" X 7/8" SQUARE TAPERED ALONG WITH SERVICE CAPS. LUBRICATION TYPE: GREASE. ACCEPTABLE BRAND IS KENNEDY GUARDIAN (KBID, KBIA, AND KBIM). EACH FIRE HYDRANT LOCATION SHALL ALSO BE USED AS TEST STATION.
- ALL MAIN LINES (PVC & DUCTILE IRON) SHALL BE INSTALLED WITH COATED #12 TRACER WIRE WITH TEST STATIONS AT INTERVALS NO GREATER THAN FIVE HUNDRED FEET (500') (VALVE BOXES CAN BE USED AT INTERSECTIONS AND SERVICE STUBS).
- CONTRACTOR SHALL MAKE CONNECTIONS TO EXISTING WATER LINE WITHOUT SHUTDOWNS, OR ELSE NOTIFY THE DISTRICT OF ANY SERVICE SHUTDOWNS NECESSARY TO CONNECT TO EXISTING LINES.
- IRRIGATION SERVICES SHALL HAVE A STOP-AND-WASTE CURB STOP VALVE INSTALLED ALONG WITH TRACER WIRE EXTENDING BACK TO THE MAIN LINE.
- COMMENCEMENT OF USE OF WATER LINES AND/OR SYSTEMS:
 - NO WATER FACILITY SHALL BE PLACED IN SERVICE UNTIL AFTER THE COMPLETION OF ALL PRESSURE TESTING, FLUSHING, BAC-1 TESTING, AND COMPACTION TESTING, AND AS-BUILT DRAWINGS ARE SUBMITTED AND APPROVED BY THE DISTRICT.
 - NO WATER FACILITY SHALL BE PLACED IN SERVICE UNTIL ALL SERVICE LINES ARE COMPLETED AND THE FIRST LIFT OF ASPHALT IS COMPLETED OVER THE LINE. IN THE CASE WHERE NO ASPHALT IS TO BE PLACED OVER THE LINE, SURFACE IMPROVEMENTS SHALL BE COMPLETED PRIOR TO USE OF THE FACILITY.
 - ALL EASEMENTS (PLATTED OR DEEDED) ARE DEDICATED, EXECUTED BY THE DISTRICT, AND RECORDED.

WASTEWATER SYSTEM INSTALLATION NOTES

- SANITARY SEWER LENGTHS ARE MH CENTER - MH CENTER. ALL SANITARY SEWER PIPES SHALL BE SDR 35 PVC OR APPROVED EQUAL. SEWER LINES MAY NOT EXCEED 7% GRADE FOR ANY SIZE WITHOUT PRIOR APPROVAL OF THE DISTRICT. ALL NEWLY CONSTRUCTED RESIDENTIAL SANITARY SEWER TAPS SHALL USE PRE-MANUFACTURED, INLINE PVC PUSH-ON WYES. TAPPING SADDLES MAY ONLY BE USED FOR TAPPING PREEXISTING MAINS.
- ALL SANITARY SEWER MANHOLES SHALL BE WRAPPED WITH RUI16 - RUBBER-NEK JOINT WRAP, OR APPROVED EQUAL, AND COATED.
- COMMENCEMENT OF USE OF SEWER LINES AND/OR SYSTEMS:
 - NO SANITARY SEWER FACILITY SHALL BE PLACED IN SERVICE UNTIL THE COMPLETION OF ALL SET CLEANING, PRESSURE TESTING, VACUUM TESTING, CCTV INSPECTION, AND COMPACTION TESTING, AND AS-BUILT DRAWINGS ARE SUBMITTED AND APPROVED BY THE DISTRICT.
 - NO SANITARY SEWER FACILITY SHALL BE PLACED IN SERVICE UNTIL ALL SERVICE LINES ARE COMPLETED AND THE FIRST LIFT OF ASPHALT IS COMPLETED OVER THE LINE. IN THE CASE WHERE NO ASPHALT IS TO BE PLACED OVER THE LINE, ANY REQUIRED SURFACE IMPROVEMENTS SHALL BE COMPLETED PRIOR TO USE OF THE FACILITY.
 - NECESSARY EASEMENTS (PLATTED OR DEEDED) ARE DEDICATED, EXECUTED BY THE DISTRICT, AND RECORDED.
 - DOWNSTEAM PLUG CAN BE REMOVED ONCE THE FIRST LIFT OF ASPHALT IS DOWN AND THE ABOVE REQUIREMENTS ARE MET. THE ABOVE GUIDELINES ARE SUBJECT TO CHANGE AT ANY TIME.



UTILITY NOTES

- CONTRACTOR TO OBTAIN WORK IN THE ROW PERMIT FROM EL PASO COUNTY PRIOR TO CONSTRUCTION.
- CONTRACTOR TO POT-HOLE AND VERIFY EXISTENCE OF OTHER UTILITIES WITHIN ANY PUBLIC RIGHT OF WAYS.
- CONTRACTOR TO MAINTAIN 5.5' MINIMUM COVER OVER ALL WATER MAINS CONSTRUCTED.
- ALL VALVES SHOWN FOR SCHEMATIC PURPOSES ONLY. NO VALVES SHALL BE INSTALLED IN CURB AND GUTTER OR CROSS PANS.
- STANDARD WATER SERVICE LOCATIONS TO BE 5' FROM THE DOWNSTEAM PROPERTY LINE AND EXTENDED 15' TO THE UTILITY EASEMENT.
- STANDARD WASTEWATER SERVICES TO BE IN A COMMON TRENCH WITH STANDARD WATER SERVICES. SHALL BE LOCATED A MINIMUM OF 30' FROM CENTER OF PIPE. SEE WOODMEN HILLS METRO DISTRICT STANDARD SPECIFICATIONS DETAIL W-13.
- STANDARD SERVICES SHALL BE MARKED WITH 2'X4" POST AT TERMINATION POINT FOR LOCATION DURING CONNECTION TO RESIDENCE. POSTS SHALL BE SPRAY-PAINTED BLUE FOR WATER AND GREEN FOR SEWER.
- CURB STOPS ARE NOT TO BE INSTALLED IN CONCRETE CURBS, CROSS PANS, SIDEWALKS, OR DRIVEWAYS.
- SEE PLANS FOR THE LOCATION OF STANDARD SERVICES ON CORNER LOTS.

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CONSTRUCTION DOCUMENTS
 FALCON MEADOWS AT BENT GRASS FILING NO. 4
 FOR
 CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD
 FALCON, CO 80831 - EL PASO COUNTY

#	Date	Issue / Description	Init.

Project No:	CLH000021
Drawn By:	CMWJ
Checked By:	RGD
Date:	03/22/2024

UTILITY NOTES AND TYPICAL SECTION



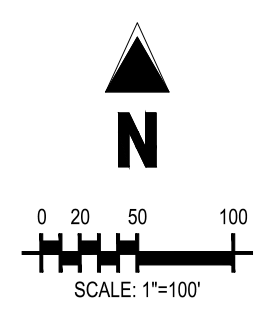
LOT 3, THE MEADOWS FILING NO. 3
ZONE: RR-5
PLAT NO.: 10713
PARCEL NO.: 5301005033

LOT 4, THE MEADOWS FILING NO. 3
ZONE: RR-5
PLAT NO.: 10713
PARCEL NO.: 5301005034

LOT 5, THE MEADOWS FILING NO. 3
ZONE: RR-5
PLAT NO.: 10713
PARCEL NO.: 5301005035

LOT 13, THE MEADOWS FILING NO. 3
ZONE: RR-5
PLAT NO.: 10713
PARCEL NO.: 5301005043

LOT 14, THE MEAD...
ZONE:
PLAT NO.:
PARCEL NO.:



LEGEND

---	EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
---	EXISTING PROPERTY LINE
- - - - -	PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
---	EXISTING RIGHT OF WAY LINE
- - - - -	PROPOSED RIGHT OF WAY LINE
- - - - -	EXISTING LOT LINE
---	PROPOSED LOT LINE
---	EXISTING EASEMENT
---	PROPOSED EASEMENT
---	EXISTING ROADWAY CENTER LINE
---	PROPOSED ROADWAY CENTER LINE
---	EXISTING STORM DRAIN PIPE
---	PROPOSED STORM DRAIN PIPE
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING SANITARY SEWER LINE
---	PROPOSED SANITARY SEWER LINE
---	EXISTING DRAINAGE FEATURE OUTLINE
---	PROPOSED DRAINAGE FEATURE OUTLINE
---	EXISTING SWALE WITH FLOW DIRECTION
---	PROPOSED SWALE WITH FLOW DIRECTION
---	100-YEAR FEMA FLOODPLAIN
---	PROPOSED CONCRETE
---	PROPOSED GRAVEL PER EOM TABLE D-7
---	PROPOSED RIP RAP
---	EXISTING CONCRETE PAVING
---	EXISTING GRAVEL PER EOM TABLE D-7
---	EXISTING 1" TO 2" CRUSHED ROCK
---	EXISTING RIP RAP
---	EXISTING GROUDED BOULDERS
---	PROPOSED LOT #
---	EXISTING LOT #
---	PROPOSED ADA RAMP
---	PROPOSED FIRE HYDRANT
---	PROPOSED GATE VALVE
---	PROPOSED REDUCER
---	PROPOSED WATER BEND/TEE
---	PROPOSED SANITARY MANHOLE
---	PROPOSED FEES
---	PROPOSED STORM MANHOLE
---	PROPOSED CDDT TYPE R STORM INLET

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CHALLENGER HOMES

CONSTRUCTION DOCUMENTS
FALCON MEADOWS AT BENT GRASS FILING NO. 4
FOR
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BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD
FALCON, CO 80831 - EL PASO COUNTY

#	Date	Issue / Description	Init.

Project No: CLH000021
Drawn By: CMWJ
Checked By: RGD
Date: 03/22/2024

OVERALL SHEET

BASIS OF BEARINGS
ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N001°34'57"W AND MONUMENTED AS SHOWN.

BENCHMARK
THE SOUTHWESTERLY CORNER OF LOT 1, WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L#4 24954 ELEVATION = 6947.67

CAUTION -- NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

811
Know what's below.
Call before you dig.

WARRANTY DEED
RECEPTION NO: 21303554
OWNER: FALCON STORAGE PARTNERS, LLLP

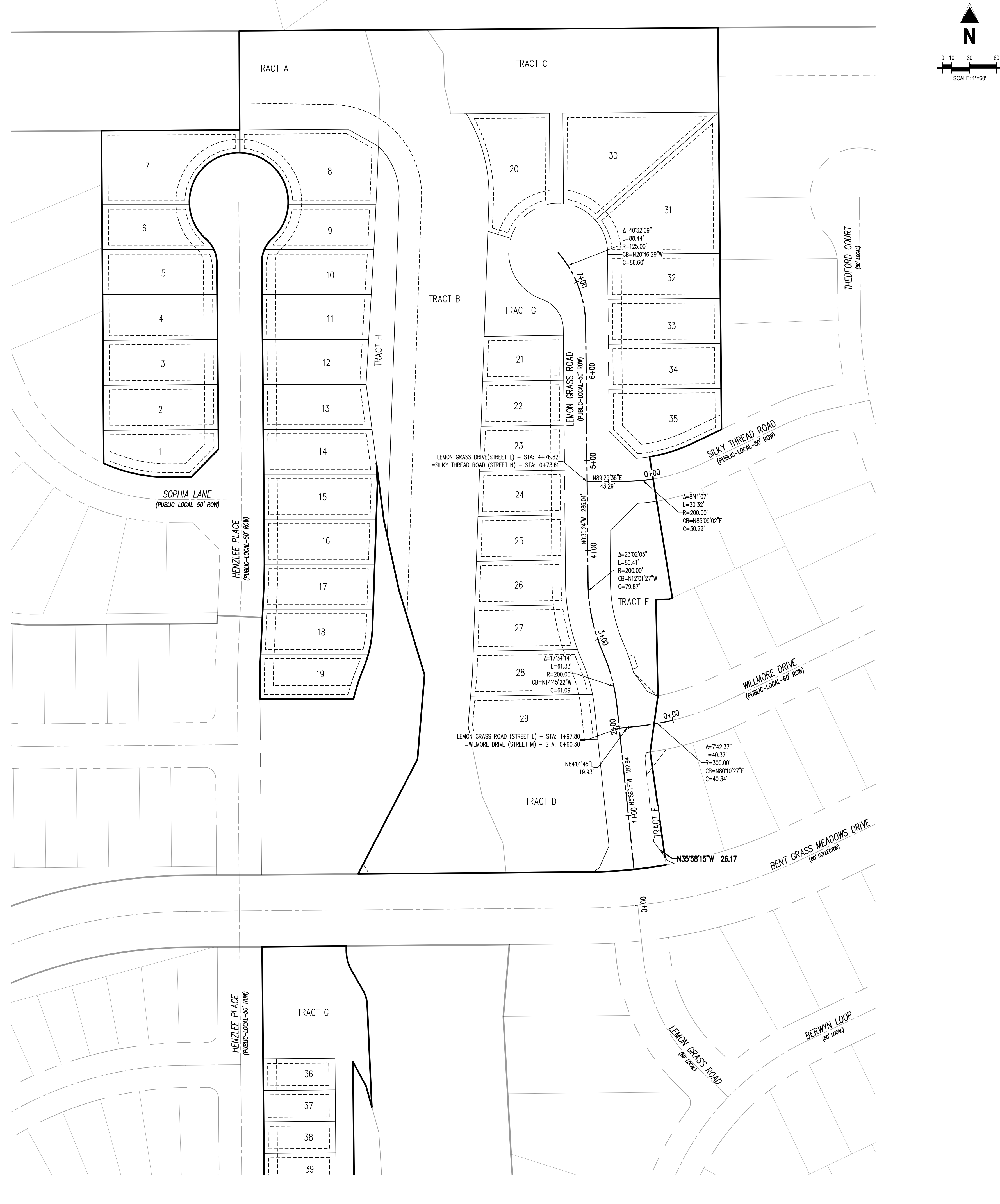
DEYOUNG RANDALL L
ZONE: I-2
RECEPTION NO: 208053974
PARCEL NO.: 5301000016

#	Date	Issue / Description	Init.

Project No: CLH000021
 Drawn By: CMWJ
 Checked By: RGD
 Date: 03/22/2024

OVERALL HORIZONTAL CONTROL

U0.3
Sheet 4 of 11



LEGEND

- EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
- EXISTING RIGHT OF WAY LINE
- PROPOSED RIGHT OF WAY LINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING ROADWAY CENTER LINE
- PROPOSED ROADWAY CENTER LINE

BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N00°13'48"W AND MONUMENTED AS SHOWN.

BENCHMARK

THE SOUTHWESTERN CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L#4 24954 ELEVATION = 6947.67

CAUTION - NOTICE TO CONTRACTOR

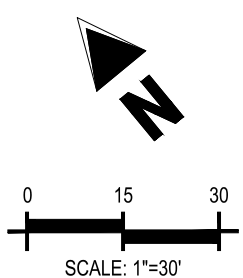
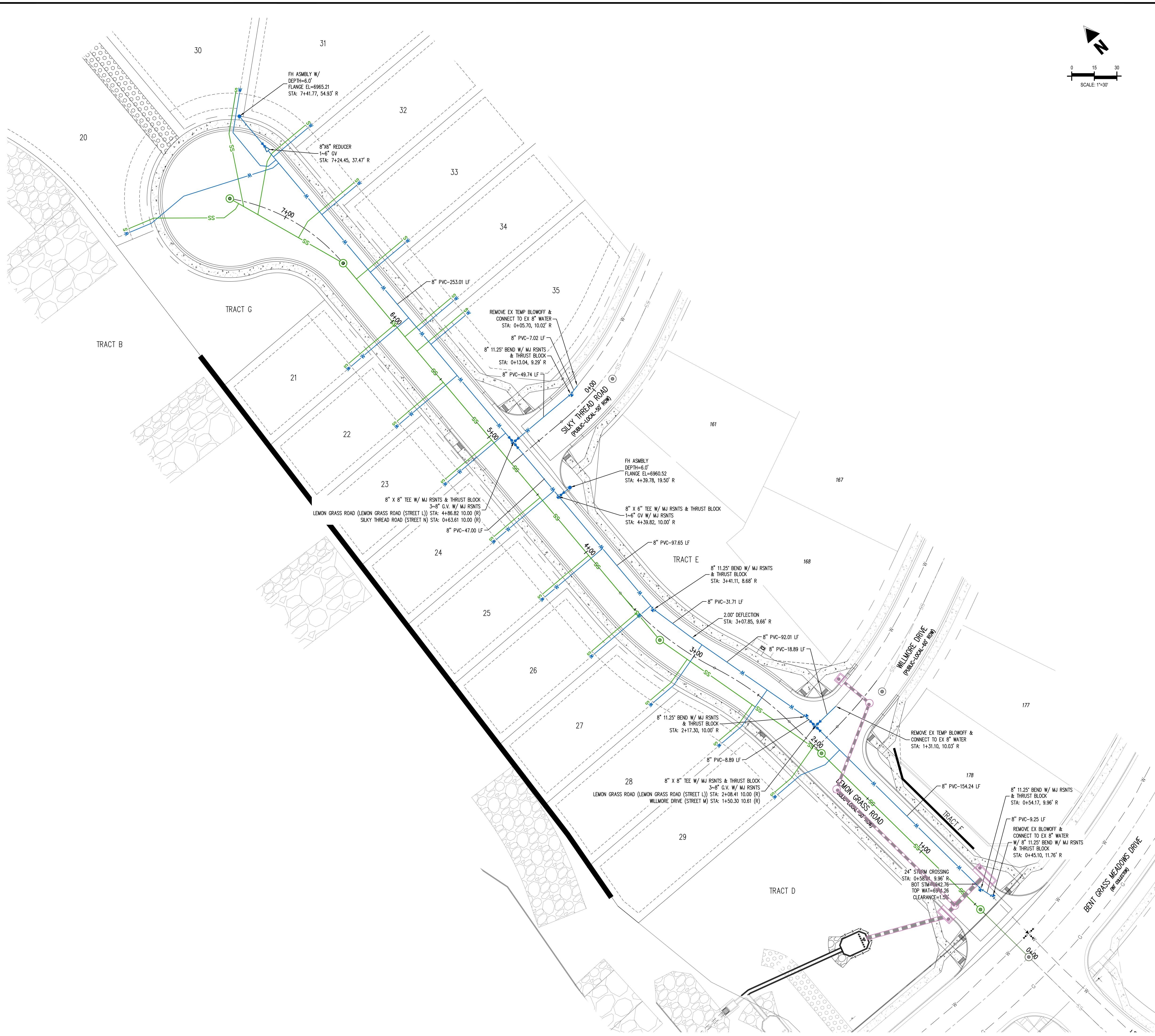
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Know what's below.
Call before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

:\P\2024\Bent Grass\Drawings\CLH000021\T13S R65W (Public-Local-50' ROW).DWG, 03/22/2024 11:44:00 AM, User: J. W. [unreadable]



KEY MAP	
SCALE: 1"=500'	
[Symbol]	EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
[Symbol]	EXISTING PROPERTY LINE
[Symbol]	PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
[Symbol]	EXISTING RIGHT OF WAY LINE
[Symbol]	PROPOSED RIGHT OF WAY LINE
[Symbol]	EXISTING LOT LINE
[Symbol]	PROPOSED LOT LINE
[Symbol]	EXISTING EASEMENT
[Symbol]	PROPOSED EASEMENT
[Symbol]	EXISTING ROADWAY CENTER LINE
[Symbol]	PROPOSED ROADWAY CENTER LINE
[Symbol]	EXISTING STORM DRAIN PIPE
[Symbol]	PROPOSED STORM DRAIN PIPE
[Symbol]	EXISTING WATER LINE
[Symbol]	PROPOSED WATER LINE
[Symbol]	EXISTING SANITARY SEWER LINE
[Symbol]	PROPOSED SANITARY SEWER LINE
[Symbol]	EXISTING DRAINAGE FEATURE OUTLINE
[Symbol]	PROPOSED DRAINAGE FEATURE OUTLINE
[Symbol]	EXISTING SWALE WITH FLOW DIRECTION
[Symbol]	PROPOSED SWALE WITH FLOW DIRECTION
[Symbol]	100-YEAR FEMA FLOODPLAIN
[Symbol]	PROPOSED CONCRETE
[Symbol]	PROPOSED GRAVEL PER EGM TABLE D-7
[Symbol]	PROPOSED RIP RAP
[Symbol]	EXISTING CONCRETE PAVING
[Symbol]	EXISTING GRAVEL PER EGM TABLE D-7
[Symbol]	EXISTING 1" TO 2" CRUSHED ROCK
[Symbol]	EXISTING RIP RAP
[Symbol]	EXISTING GROUTED BOULDERS
[Symbol]	PROPOSED LOT #
[Symbol]	EXISTING LOT #
[Symbol]	PROPOSED ADA RAMP
[Symbol]	PROPOSED FIRE HYDRANT
[Symbol]	PROPOSED GATE VALVE
[Symbol]	PROPOSED REDUCER
[Symbol]	PROPOSED WATER BEND/TEE
[Symbol]	PROPOSED SANITARY MANHOLE
[Symbol]	PROPOSED FES
[Symbol]	PROPOSED STORM MANHOLE
[Symbol]	PROPOSED CDOT TYPE R STORM INLET

- ### NOTES
1. ALL WATER MAINS SHALL BE NO CLOSER THAN FIVE FEET (5') TO EDGES OF CONCRETE CUR AND/OR CUTTER.
 2. WATER MAINS SHALL BE DESIGNED FOR A MINIMUM OF FIVE FEET SIX INCHES (5'-6") AND A MAXIMUM OF SIX FEET SIX INCHES (6'-6") OF COVER, EXCEPT WHERE ANOTHER UTILITY CAUSES A CONFLICT, IN WHICH CASE THE WATER MAIN SHALL BE LOWERED AS NECESSARY.
 3. A VALVE SHALL ALWAYS BE PROVIDED WHERE A MAIN WILL BE EXTENDED IN THE FUTURE TO FACILITATE CONNECTING TO AN EXISTING MAIN WITHOUT DISRUPTING SERVICE. THERE SHALL BE A TWENTY FOOT (20') STUB PAST THE VALVE TO FACILITATE EASE OF CONNECTION.
 4. CONTRACTOR TO READ AND BECOME FAMILIAR WITH THE WOODMEN HILLS METROPOLITAN DISTRICT WATER AND WASTEWATER SYSTEM STANDARD SPECIFICATIONS, CRITERIA MANUAL AND DETAILS PRIOR TO BEGINNING CONSTRUCTION.

BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R56W AND THE WEST QUARTER CORNER SECTION 1, T13S, R56W IS N00°15'46"W AND MONUMENTED AS SHOWN.

BENCHMARK

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR LS# 24954 ELEVATION = 6947.67

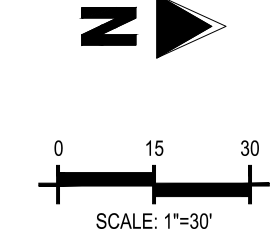
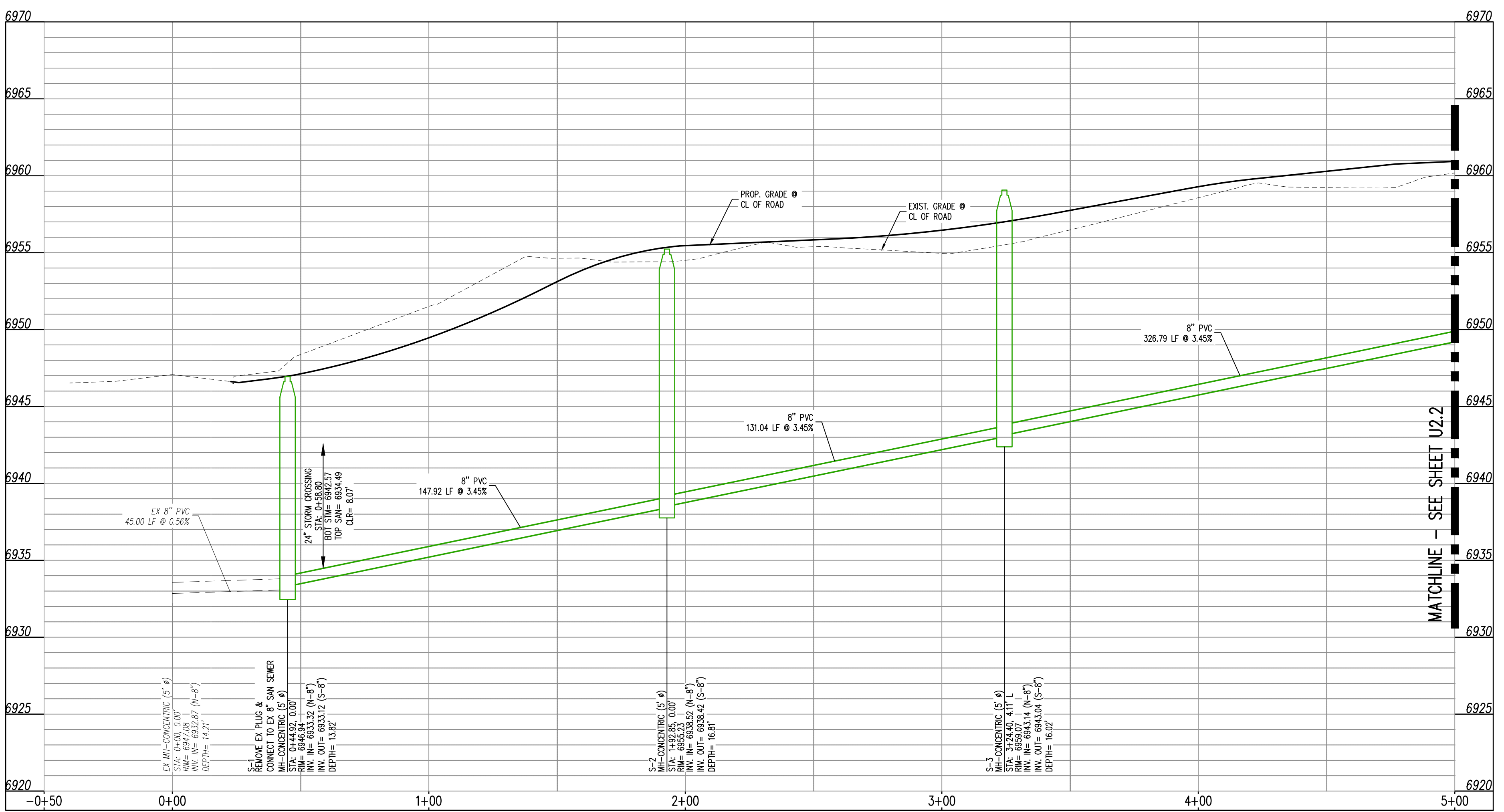
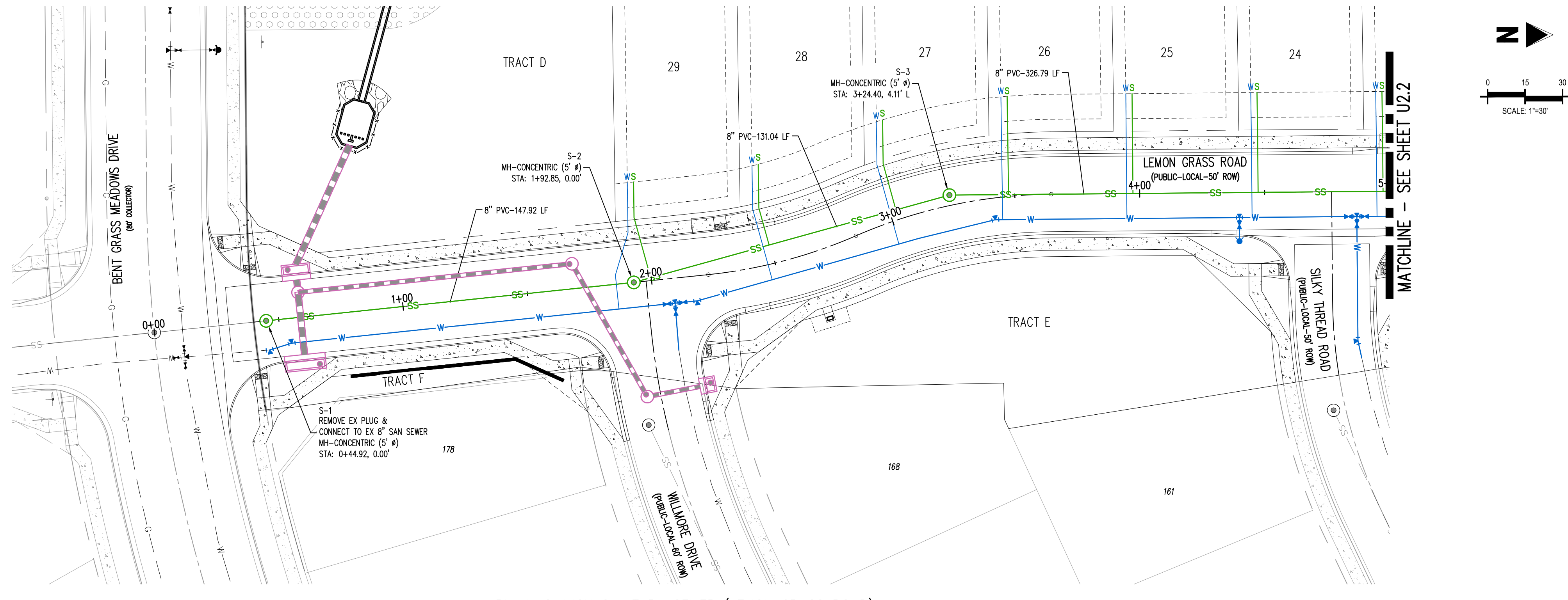
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#	Date	Issue / Description	Init.

Project No: CLH000021
 Drawn By: CMWJ
 Checked By: RGD
 Date: 03/22/2024



- LEGEND**
- EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
 - EXISTING PROPERTY LINE
 - PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
 - EXISTING RIGHT OF WAY LINE
 - PROPOSED RIGHT OF WAY LINE
 - EXISTING LOT LINE
 - PROPOSED LOT LINE
 - EXISTING EASEMENT
 - PROPOSED EASEMENT
 - EXISTING ROADWAY CENTER LINE
 - PROPOSED ROADWAY CENTER LINE
 - EXISTING STORM DRAIN PIPE
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 - PROPOSED SANITARY SEWER LINE
 - EXISTING DRAINAGE FEATURE OUTLINE
 - PROPOSED DRAINAGE FEATURE OUTLINE
 - EXISTING SWALE WITH FLOW DIRECTION
 - PROPOSED SWALE WITH FLOW DIRECTION
 - 100-YEAR FEMA FLOODPLAIN
 - PROPOSED CONCRETE
 - PROPOSED GRAVEL PER EDM TABLE D-7
 - PROPOSED RIP RAP
 - EXISTING CONCRETE PAVING
 - EXISTING GRAVEL PER EDM TABLE D-7
 - EXISTING 1" TO 2" CRUSHED ROCK
 - EXISTING RIP RAP
 - EXISTING GROUTED BOULDERS
 - EXISTING LOT #
 - PROPOSED ADA RAMP
 - PROPOSED FIRE HYDRANT
 - PROPOSED GATE VALVE
 - PROPOSED REDUCER
 - PROPOSED WATER BEND/TEE
 - PROPOSED SANITARY MANHOLE
 - PROPOSED FES
 - PROPOSED STORM MANHOLE
 - PROPOSED CDOT TYPE R STORM INLET

- NOTES**
- ALL STATION CALLOUTS ARE TO THE CENTERLINE OF ROADWAY, THEREFORE MANHOLE RIMS MAY APPEAR TO NOT MEET FINISH GRADE.
 - CONTRACTOR TO READ AND BECOME FAMILIAR WITH THE WOODMEN HILLS METROPOLITAN DISTRICT WATER AND WASTEWATER SYSTEM STANDARD SPECIFICATIONS, CRITERIA MANUAL AND DETAILS PRIOR TO BEGINNING CONSTRUCTION.

BASIS OF BEARINGS
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BENCHMARK
 THE SOUTHWESTERN CORNER OF LOT 1, WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR US# 24554 ELEVATION = 6947.67

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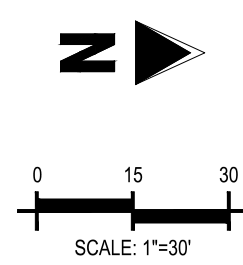
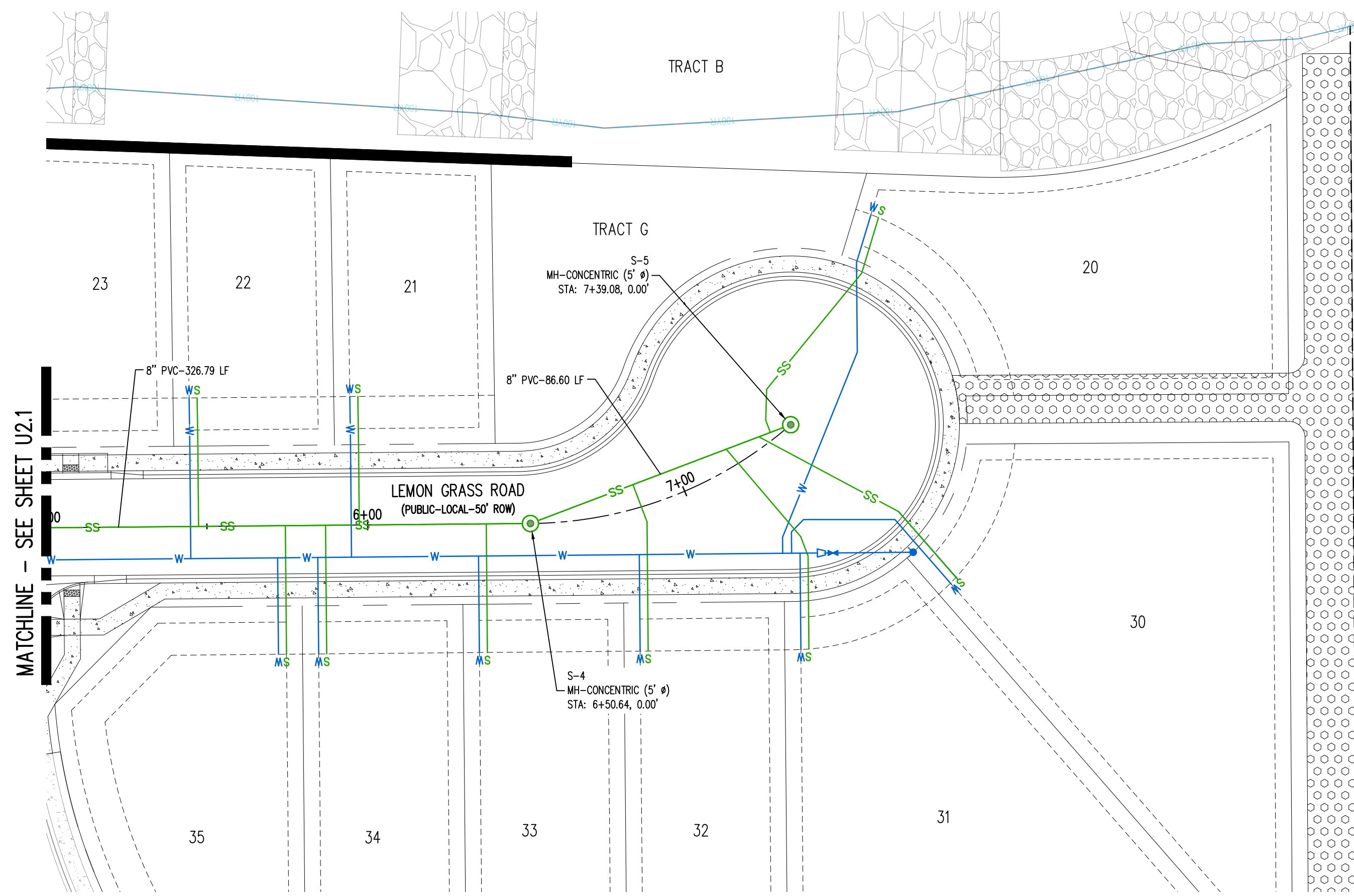


CONSTRUCTION DOCUMENTS
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 FOR
 CHALLENGER COMMUNITIES, LLC

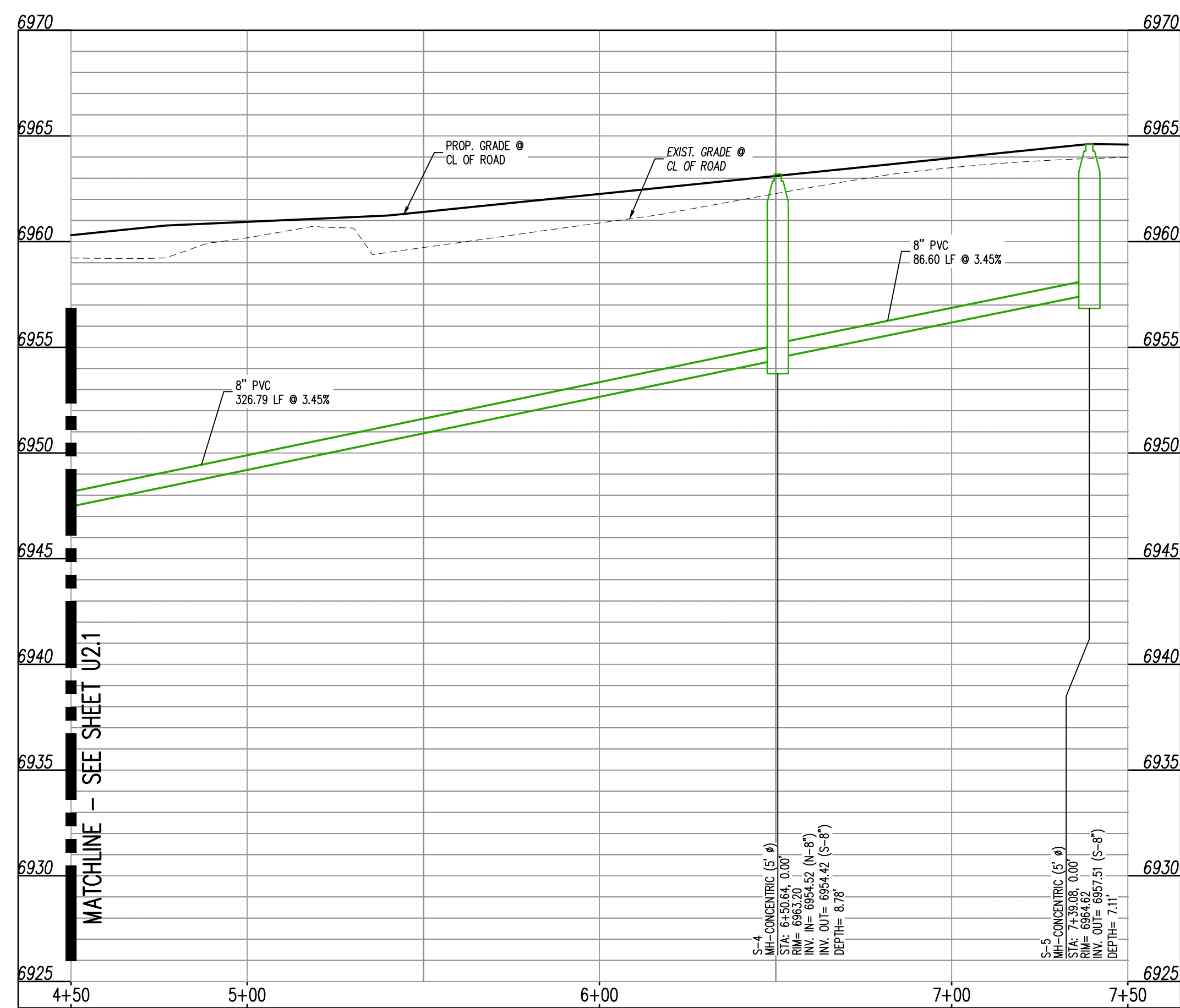
BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD
 FALCON, CO 80831 - EL PASO COUNTY

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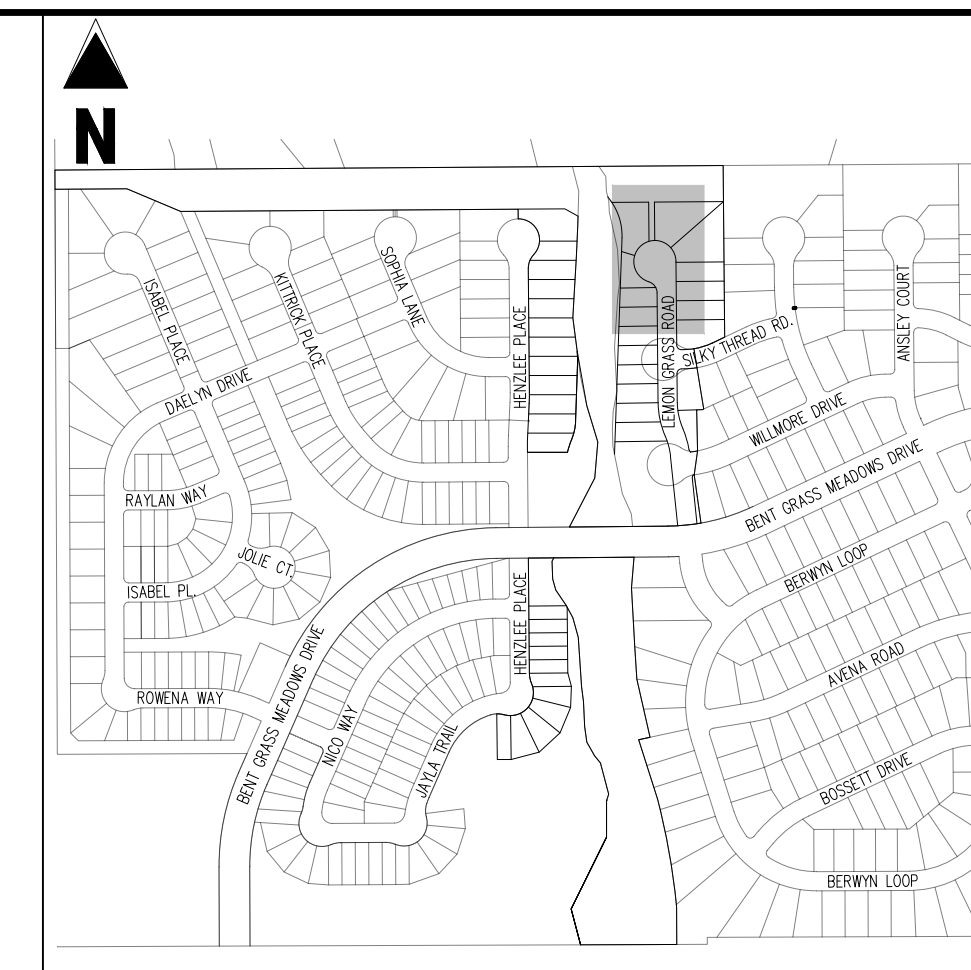
Project No: CLH000021
 Drawn By: CMWJ
 Checked By: RGD
 Date: 03/22/2024



PLAN: 8-INCH SANITARY SEWER (LEMON GRASS ROAD)
STA: 4+50.00 - 7+50.00



LEMON GRASS ROAD (STREET L)
STA: 4+50 - 7+50
SCALE: H: 1"=30' V: 1"=5'



KEY MAP
SCALE: 1"=500'

LEGEND

[Symbol]	EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
[Symbol]	EXISTING PROPERTY LINE
[Symbol]	PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
[Symbol]	EXISTING RIGHT OF WAY LINE
[Symbol]	PROPOSED RIGHT OF WAY LINE
[Symbol]	EXISTING LOT LINE
[Symbol]	PROPOSED LOT LINE
[Symbol]	EXISTING EASEMENT
[Symbol]	PROPOSED EASEMENT
[Symbol]	EXISTING ROADWAY CENTER LINE
[Symbol]	PROPOSED ROADWAY CENTER LINE
[Symbol]	EXISTING STORM DRAIN PIPE
[Symbol]	PROPOSED STORM DRAIN PIPE
[Symbol]	EXISTING WATER LINE
[Symbol]	PROPOSED WATER LINE
[Symbol]	EXISTING SANITARY SEWER LINE
[Symbol]	PROPOSED SANITARY SEWER LINE
[Symbol]	EXISTING DRAINAGE FEATURE OUTLINE
[Symbol]	PROPOSED DRAINAGE FEATURE OUTLINE
[Symbol]	EXISTING SWALE WITH FLOW DIRECTION
[Symbol]	PROPOSED SWALE WITH FLOW DIRECTION
[Symbol]	100-YEAR FEMA FLOODPLAIN
[Symbol]	PROPOSED CONCRETE
[Symbol]	PROPOSED GRAVEL PER ECM TABLE D-7
[Symbol]	PROPOSED RIP RAP
[Symbol]	EXISTING CONCRETE PAVING
[Symbol]	EXISTING GRAVEL PER ECM TABLE D-7
[Symbol]	EXISTING 1" TO 2" CRUSHED ROCK
[Symbol]	EXISTING RIP RAP
[Symbol]	EXISTING GROUDED BOULDERS
[Symbol]	PROPOSED LOT #
[Symbol]	EXISTING LOT #
[Symbol]	PROPOSED ADA RAMP
[Symbol]	PROPOSED FIRE HYDRANT
[Symbol]	PROPOSED GATE VALVE
[Symbol]	PROPOSED REDUCER
[Symbol]	PROPOSED WATER BEND/TIE
[Symbol]	PROPOSED SANITARY MANHOLE
[Symbol]	PROPOSED FES
[Symbol]	PROPOSED STORM MANHOLE
[Symbol]	PROPOSED CDOT TYPE R STORM INLET

- NOTES**
- ALL STATION CALLOUTS ARE TO THE CENTERLINE OF ROADWAY, THEREFORE MANHOLE RIMS MAY APPEAR TO NOT MEET FINISH GRADE.
 - CONTRACTOR TO READ AND BECOME FAMILIAR WITH THE WOODMEN HILLS METROPOLITAN DISTRICT WATER AND WASTEWATER SYSTEM STANDARD SPECIFICATIONS CRITERIA MANUAL AND DETAILS PRIOR TO BEGINNING CONSTRUCTION.

BASIS OF BEARINGS
ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, 113S, R65W AND THE WEST QUARTER CORNER SECTION 1, 113S, R65W IS N007°14'46"W AND MONUMENTED AS SHOWN.

BENCHMARK
THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L5# 24554 ELEVATION = 6947.67

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



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CONSTRUCTION DOCUMENTS
FALCON MEADOWS AT BENT GRASS FILING NO. 4
FOR
CHALLENGER COMMUNITIES, LLC
BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD
FALCON, CO 80831 - EL PASO COUNTY

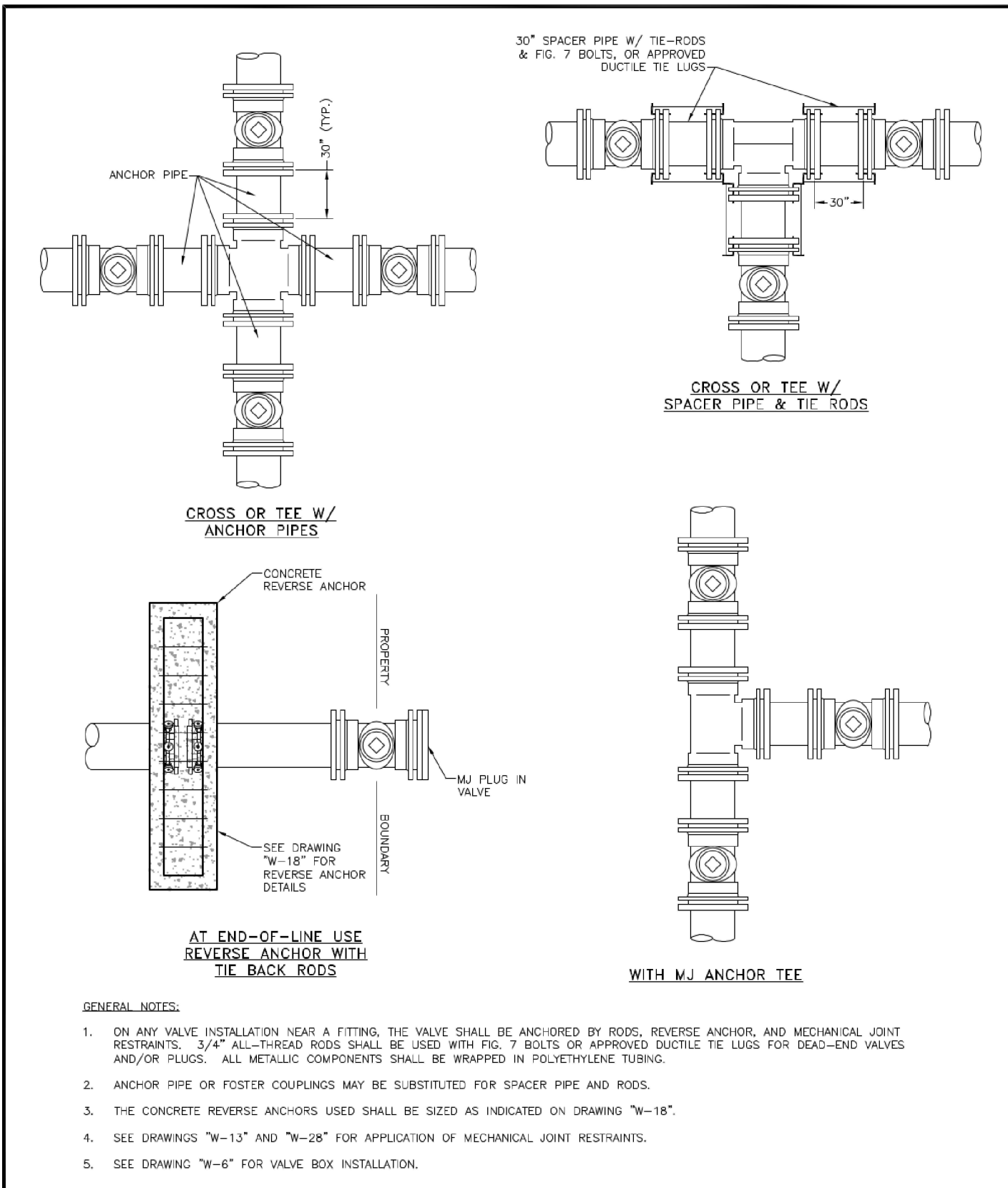
#	Date	Issue / Description	Init.

Project No: CLH000021
Drawn By: CMWJ
Checked By: RGD
Date: 03/22/2024

WASTEWATER PLAN & PROFILE

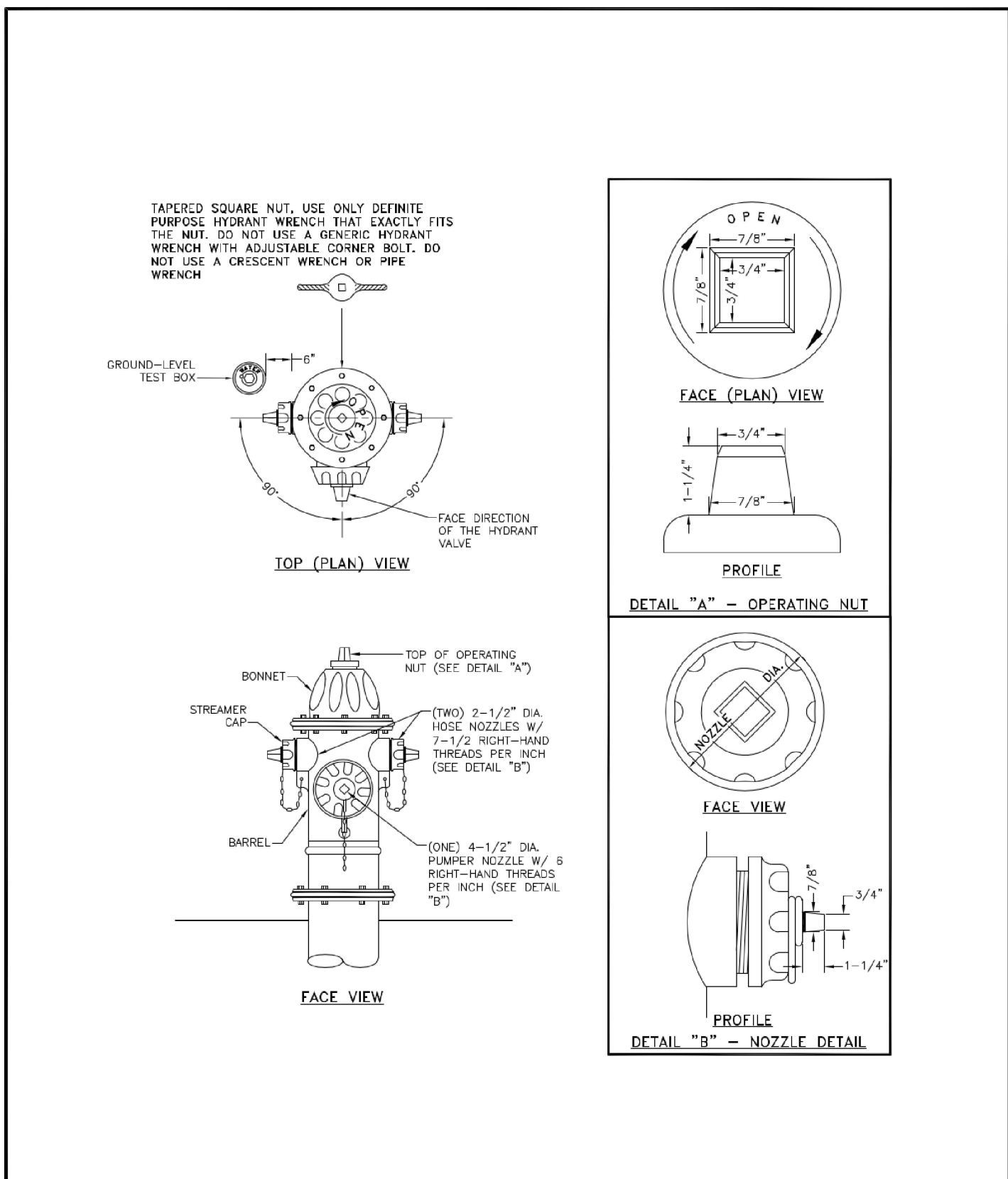
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Project No:	CLH000021
Drawn By:	CMWJ
Checked By:	RGD
Date:	07/01/2022



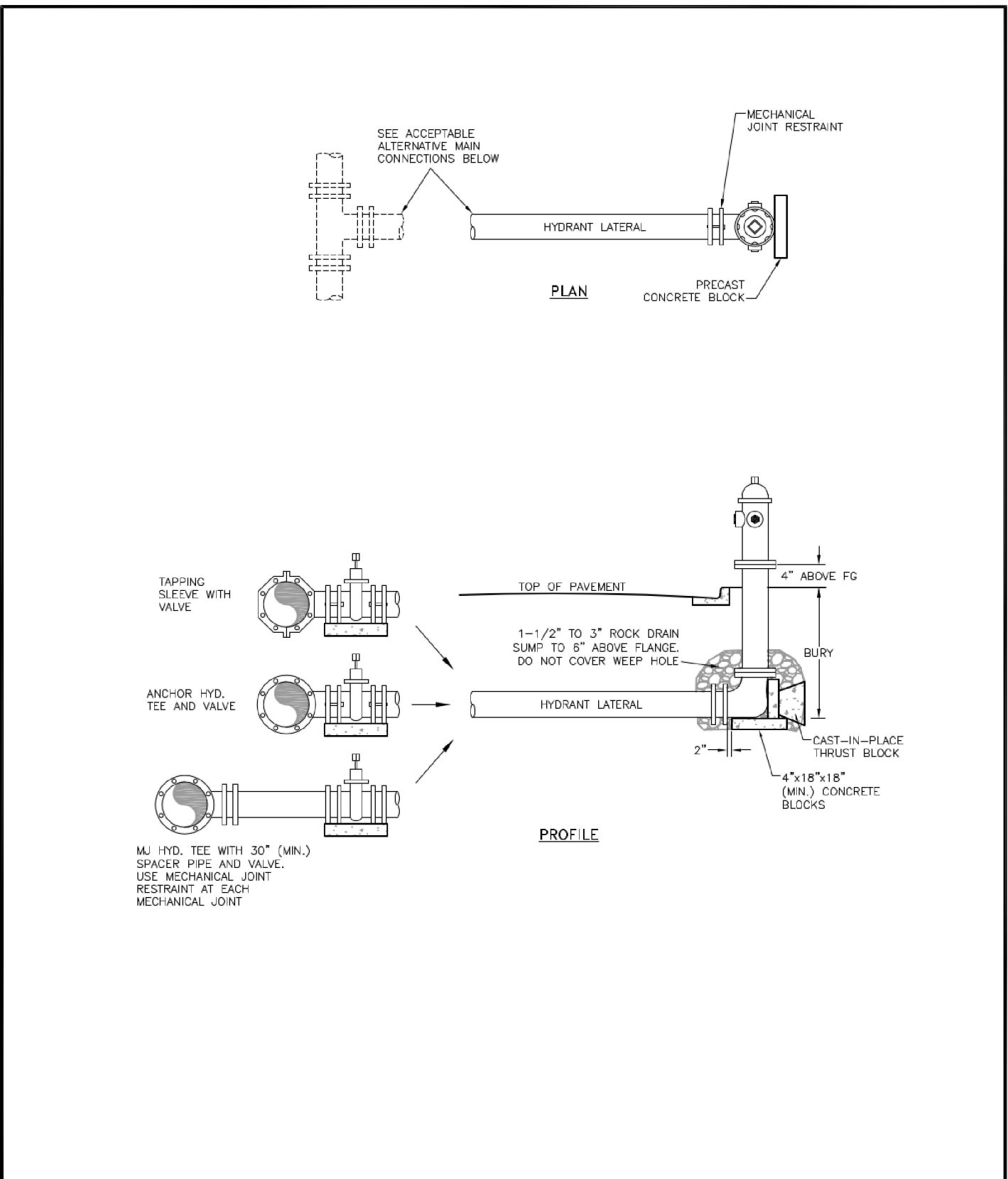
VALVE INSTALLATION & LOCATION

Sheet: 00M	Revised: DECEMBER 2021	WOODMEN HILLS WATER & WASTEWATER SYSTEM METROPOLITAN DISTRICT STANDARD SPECIFICATIONS	W-5
Date: MARCH 2011	Revised:		
Scale: N.T.S.	Revised:		



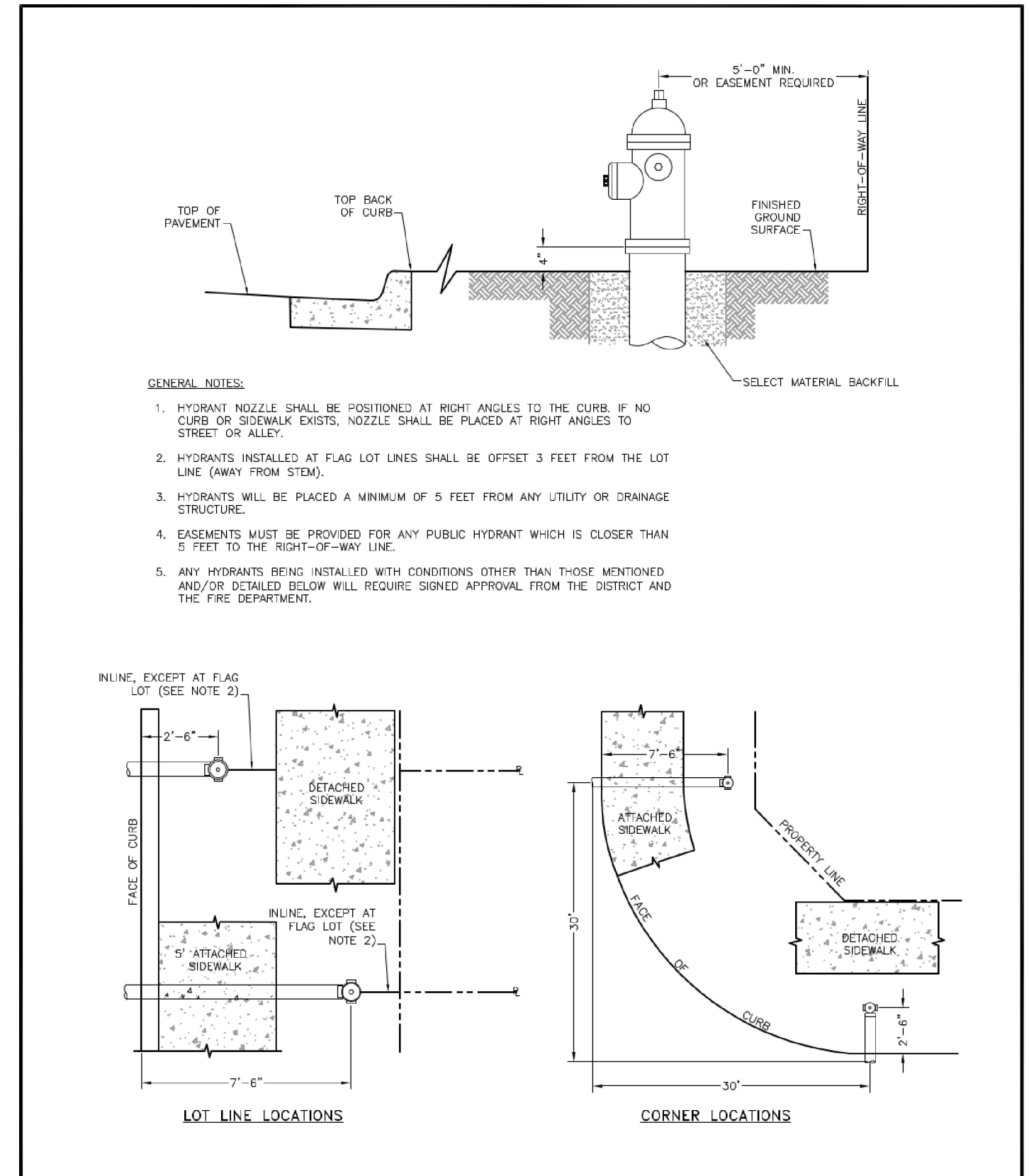
FIRE HYDRANT SPECIFICATIONS

Sheet: 00M	Revised: DECEMBER 2021	WOODMEN HILLS WATER & WASTEWATER SYSTEM METROPOLITAN DISTRICT STANDARD SPECIFICATIONS	W-3
Date: MARCH 2011	Revised:		
Scale: N.T.S.	Revised:		



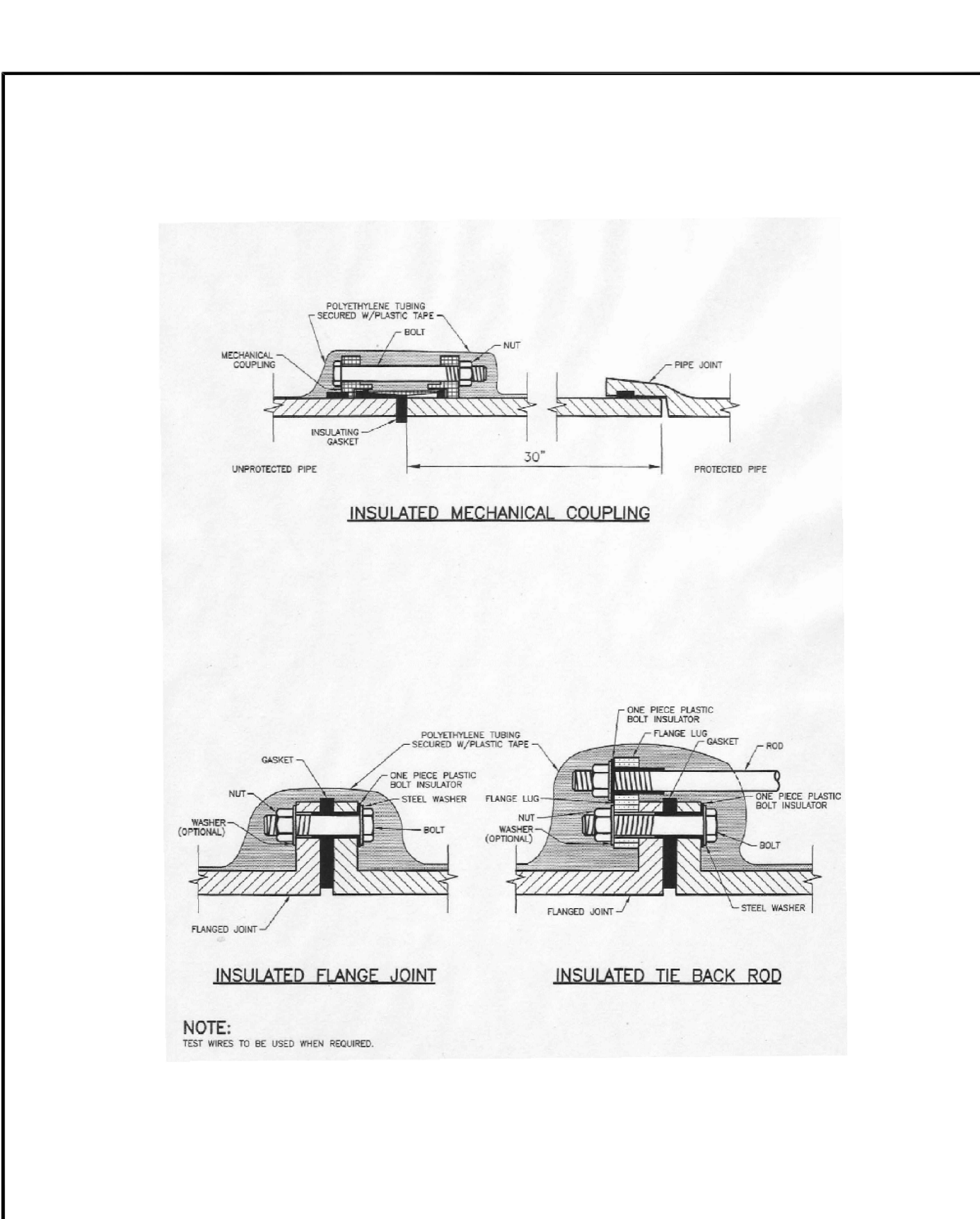
FIRE HYDRANT INSTALLATION

Sheet: 00M/360	Revised: DECEMBER 2021	WOODMEN HILLS WATER & WASTEWATER SYSTEM METROPOLITAN DISTRICT STANDARD SPECIFICATIONS	W-2
Date: MARCH 2011	Revised:		
Scale: N.T.S.	Revised:		



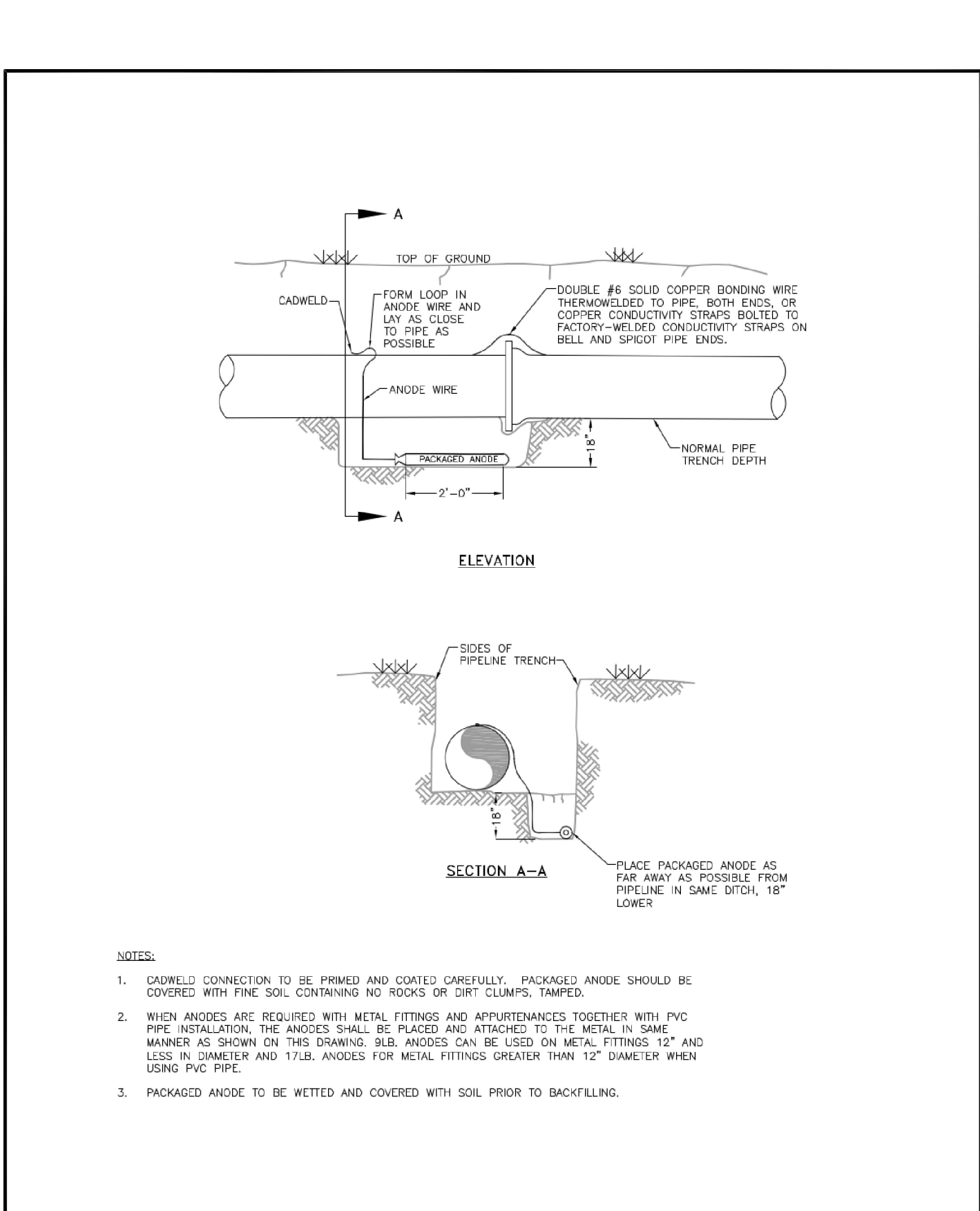
FIRE HYDRANT LOCATIONS

Sheet: 00M	Revised: DECEMBER 2021	WOODMEN HILLS WATER & WASTEWATER SYSTEM METROPOLITAN DISTRICT STANDARD SPECIFICATIONS	W-1
Date: MARCH 2011	Revised:		
Scale: N.T.S.	Revised:		



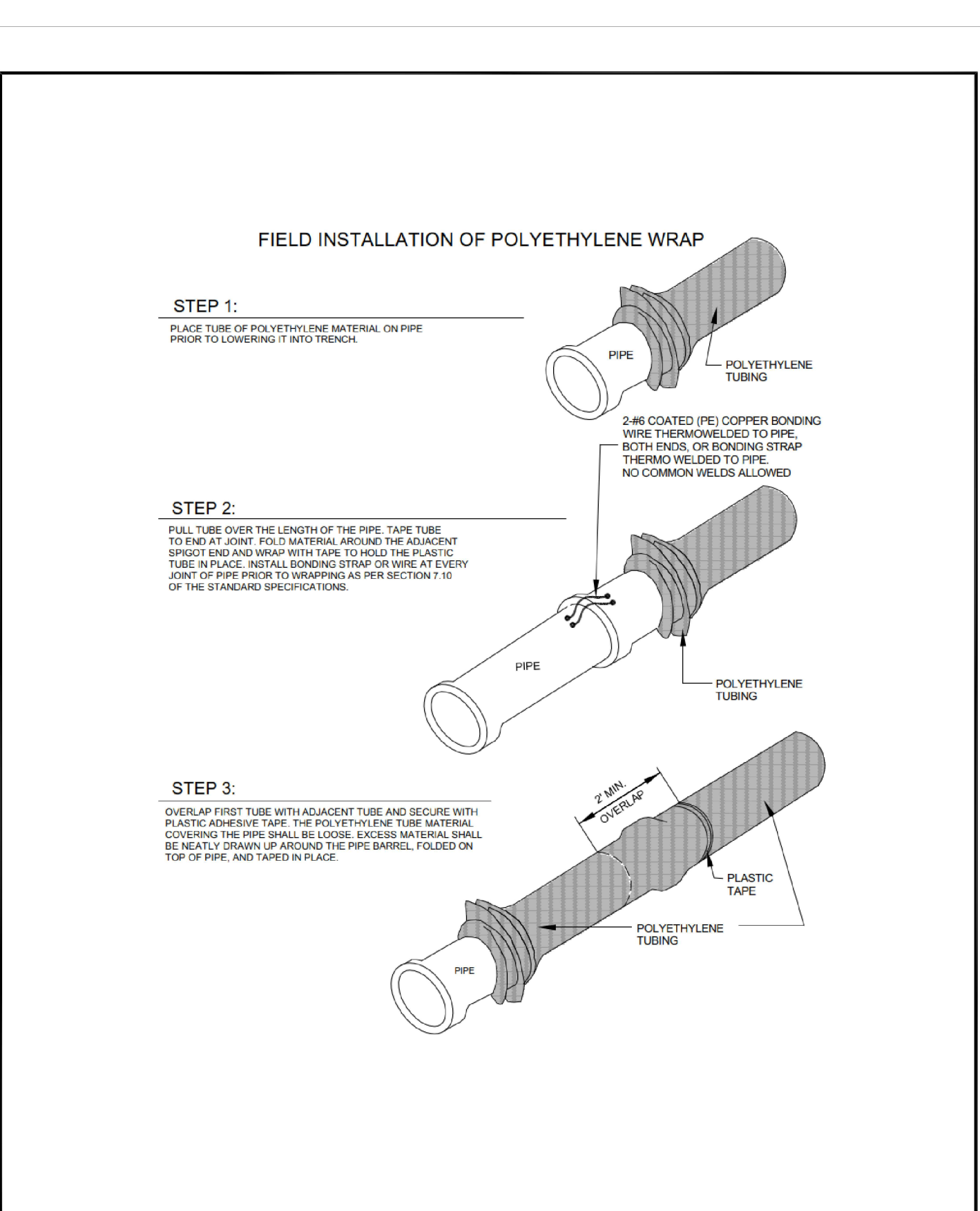
INSULATOR INSTALLATION

Sheet: 00M	Revised: DECEMBER 2021	WOODMEN HILLS WATER & WASTEWATER SYSTEM METROPOLITAN DISTRICT STANDARD SPECIFICATIONS	W-9
Date: MARCH 2011	Revised:		
Scale: N.T.S.	Revised:		



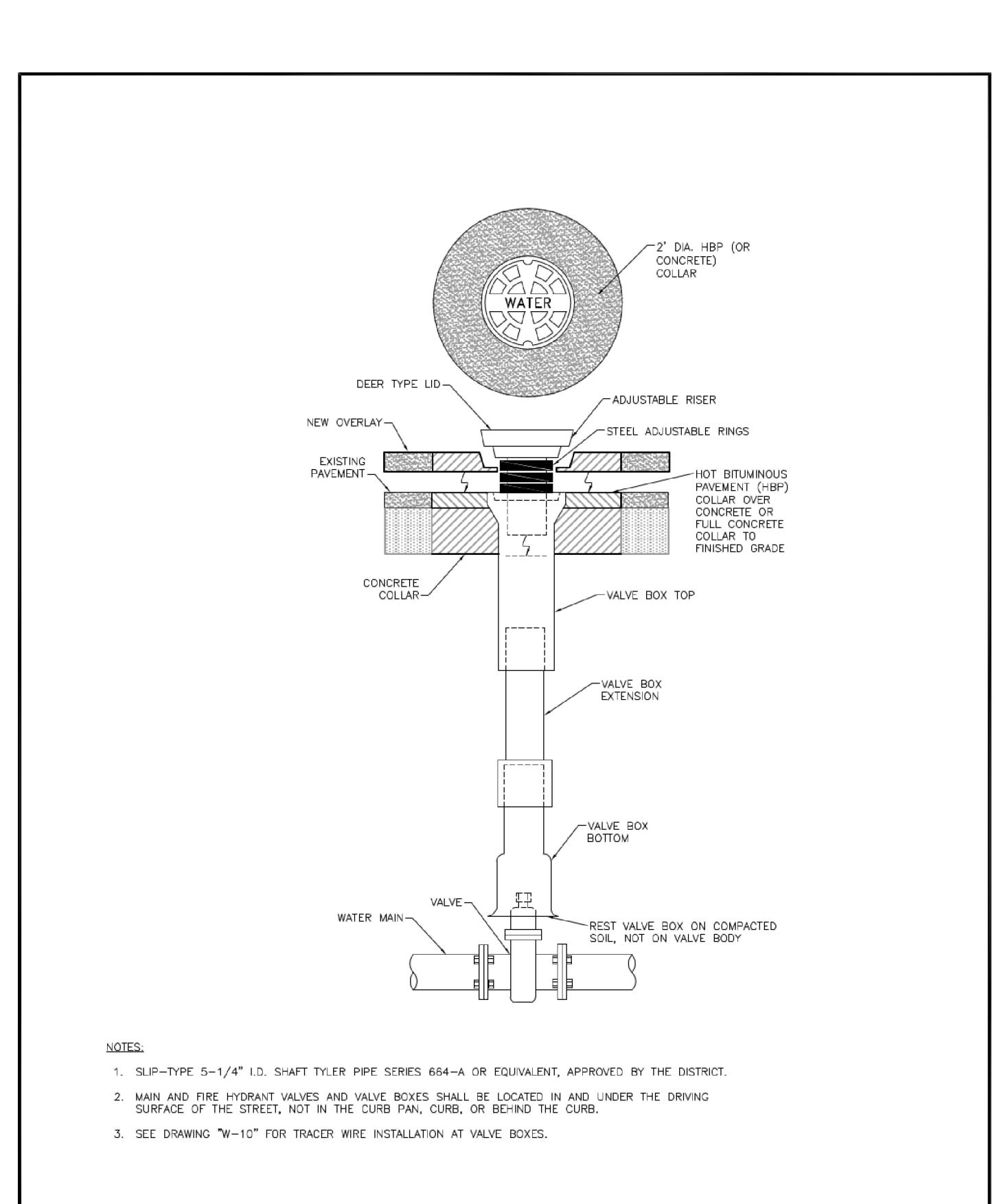
BONDING JOINT & ANODE INSTALLATION

Sheet: 00M	Revised: DECEMBER 2021	WOODMEN HILLS WATER & WASTEWATER SYSTEM METROPOLITAN DISTRICT STANDARD SPECIFICATIONS	W-8
Date: MARCH 2011	Revised:		
Scale: N.T.S.	Revised:		



POLYETHYLENE WRAP

Sheet: 00M	Revised: DECEMBER 2021	WOODMEN HILLS WATER & WASTEWATER SYSTEM METROPOLITAN DISTRICT STANDARD SPECIFICATIONS	W-7
Date: MARCH 2011	Revised:		
Scale: N.T.S.	Revised:		



VALVE BOX INSTALLATION

Sheet: 00M	Revised: DECEMBER 2021	WOODMEN HILLS WATER & WASTEWATER SYSTEM METROPOLITAN DISTRICT STANDARD SPECIFICATIONS	W-6
Date: MARCH 2011	Revised:		
Scale: N.T.S.	Revised:		

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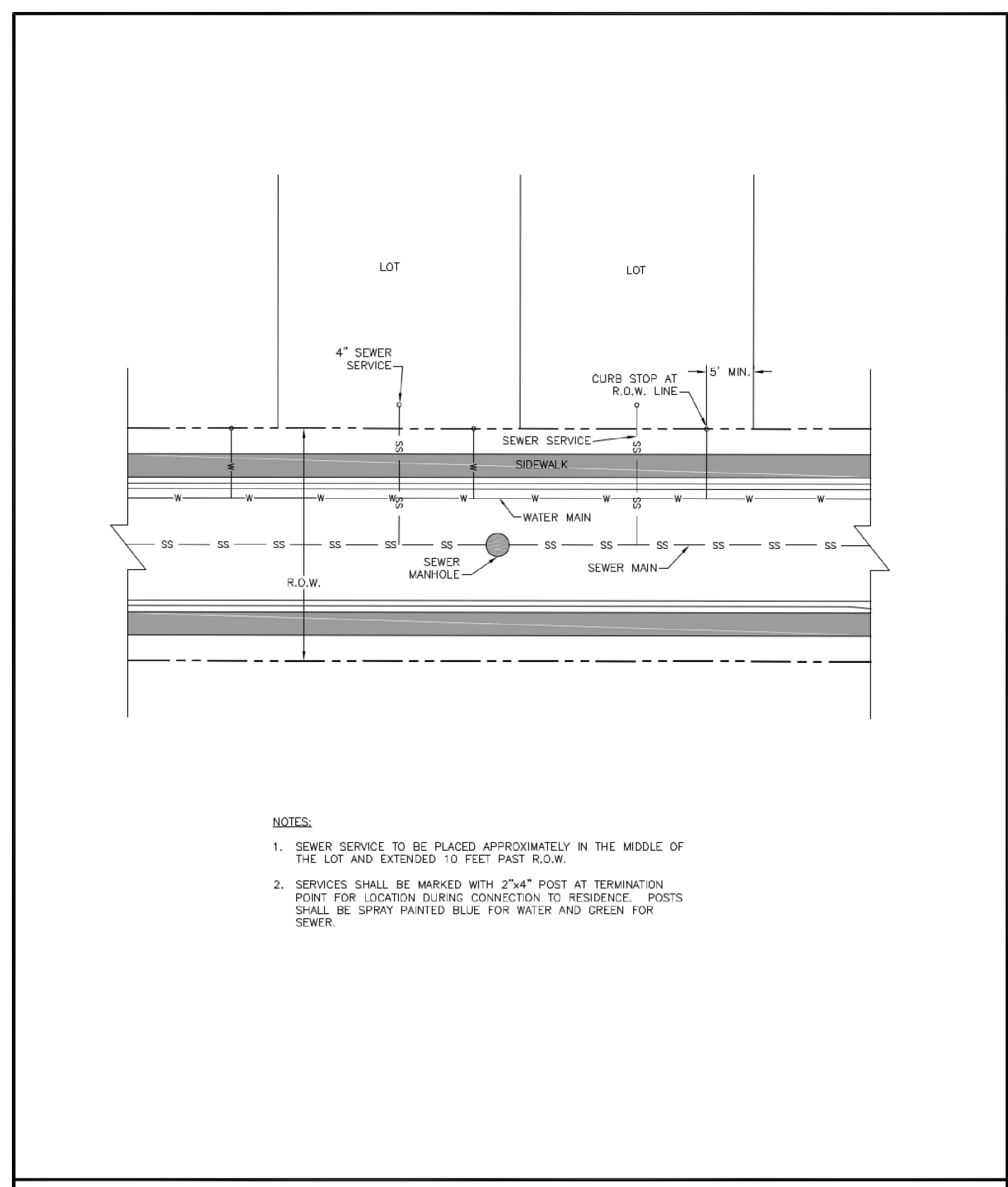
CONSTRUCTION DOCUMENTS
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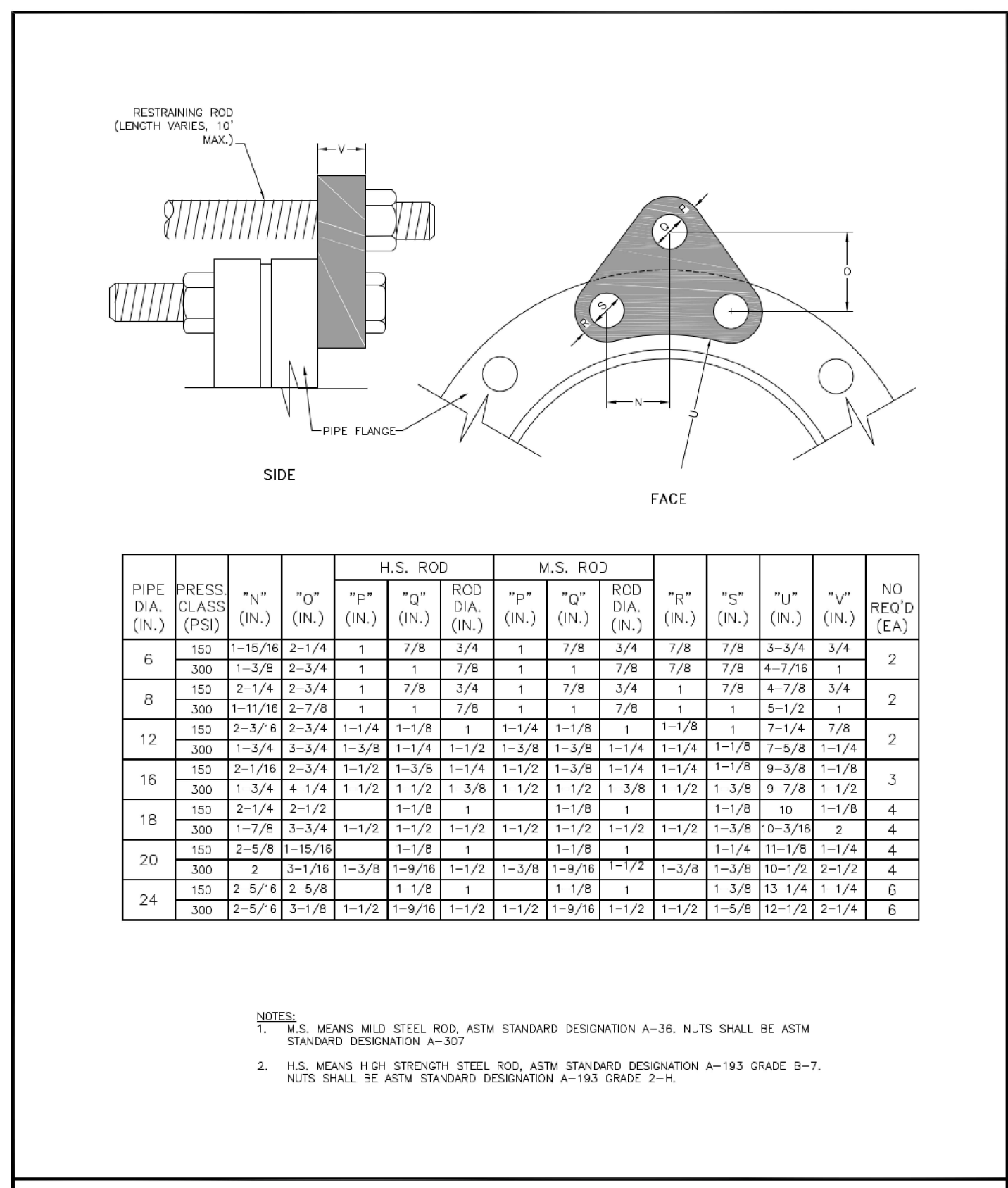
#	Date	Issue / Description	Init.

Project No: CLH000021
Drawn By: CMWJ
Checked By: RGD

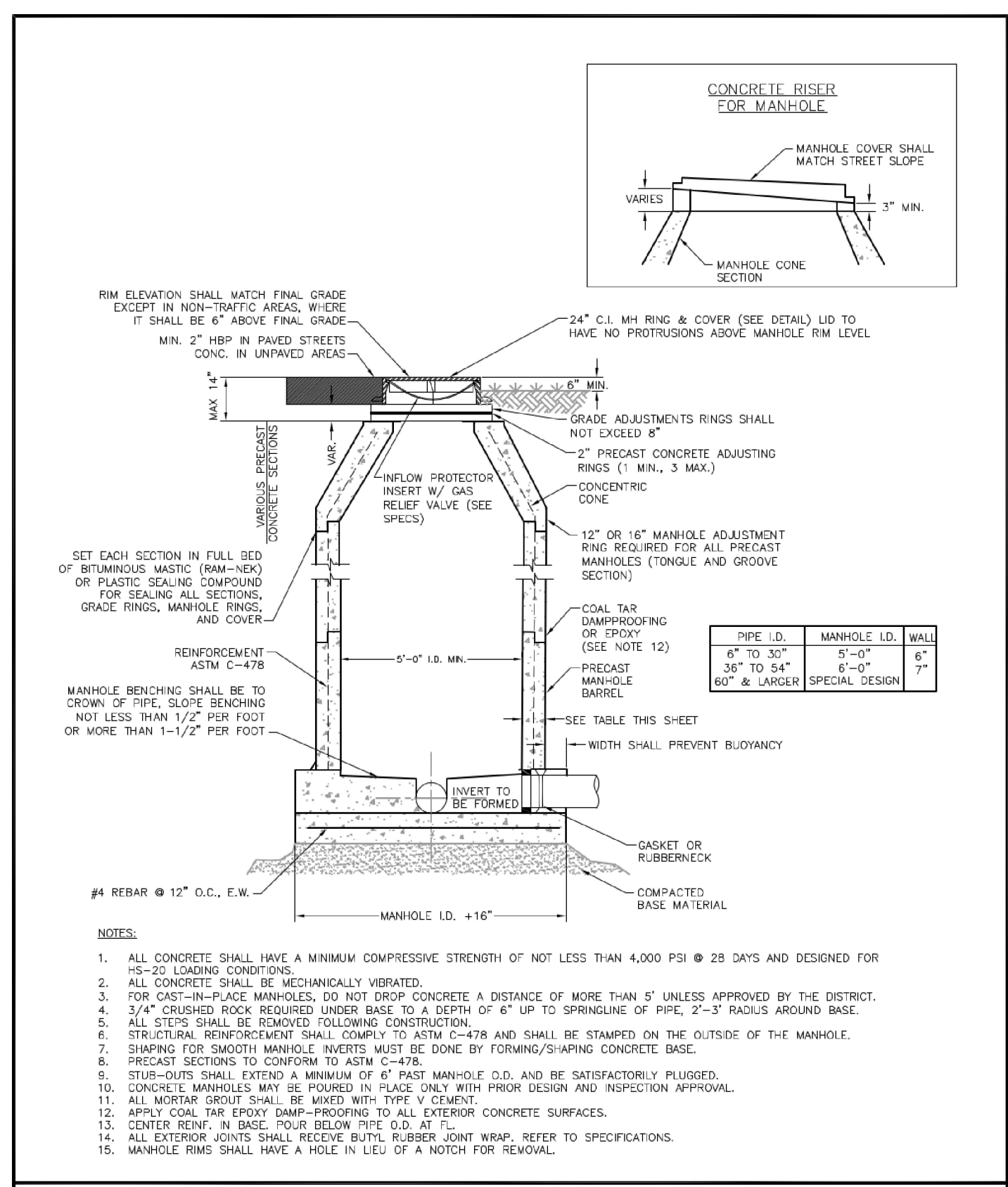
Date: 07/01/2022
WATER DETAILS SHEET 3



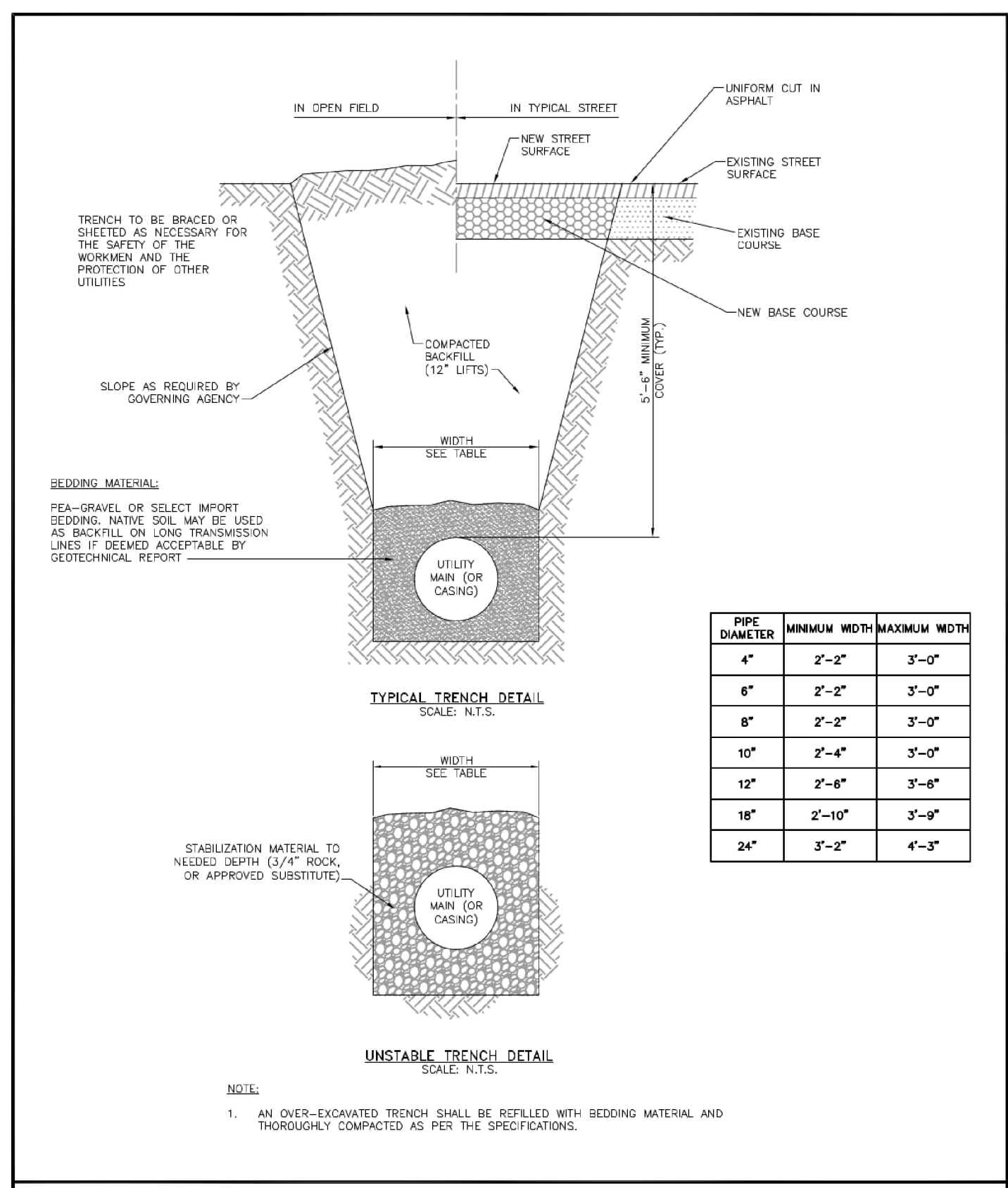
WOODMEN HILLS WATER & WASTEWATER SYSTEM
STANDARD SPECIFICATIONS
W-43



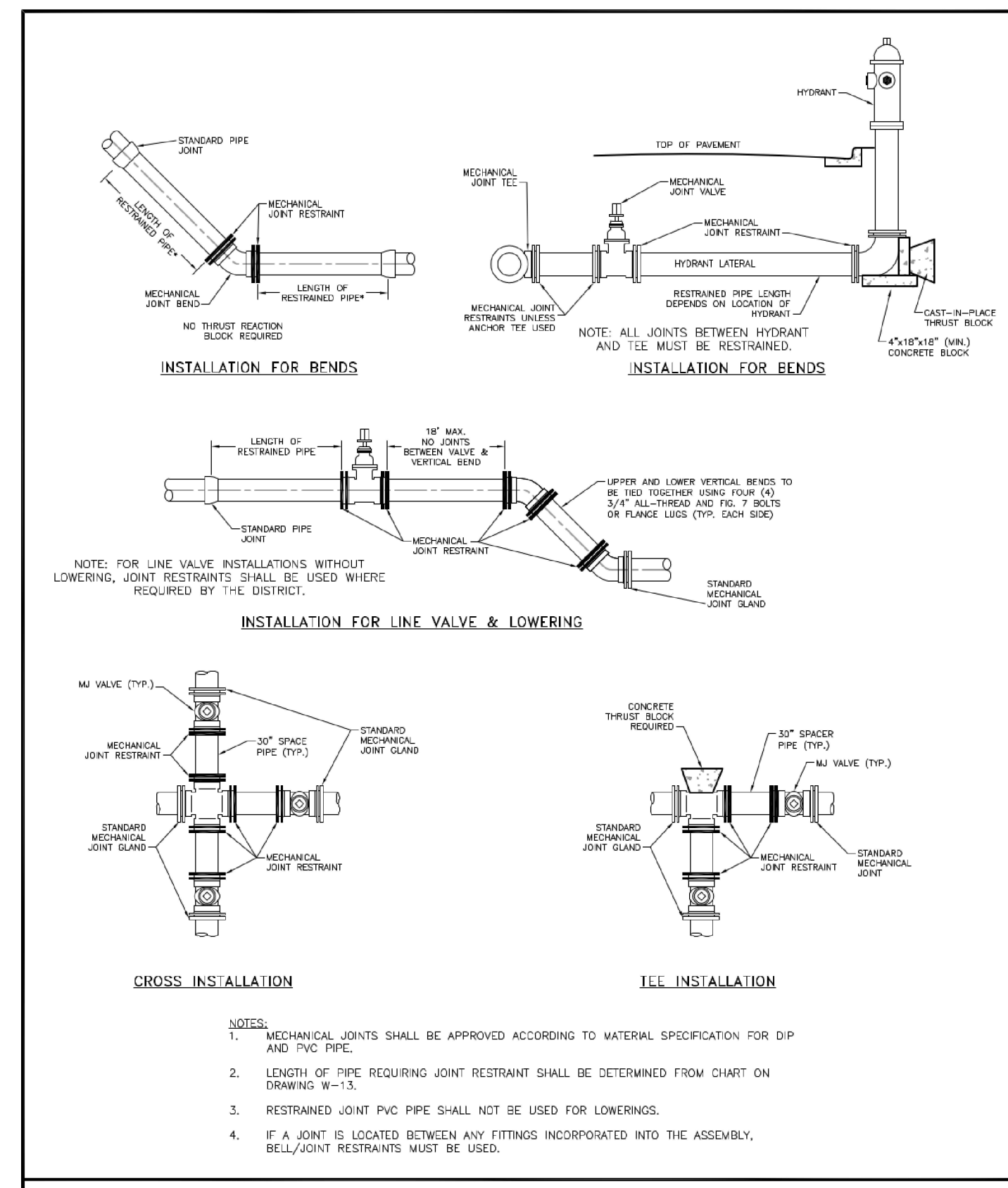
WOODMEN HILLS WATER & WASTEWATER SYSTEM
STANDARD SPECIFICATIONS
W-27



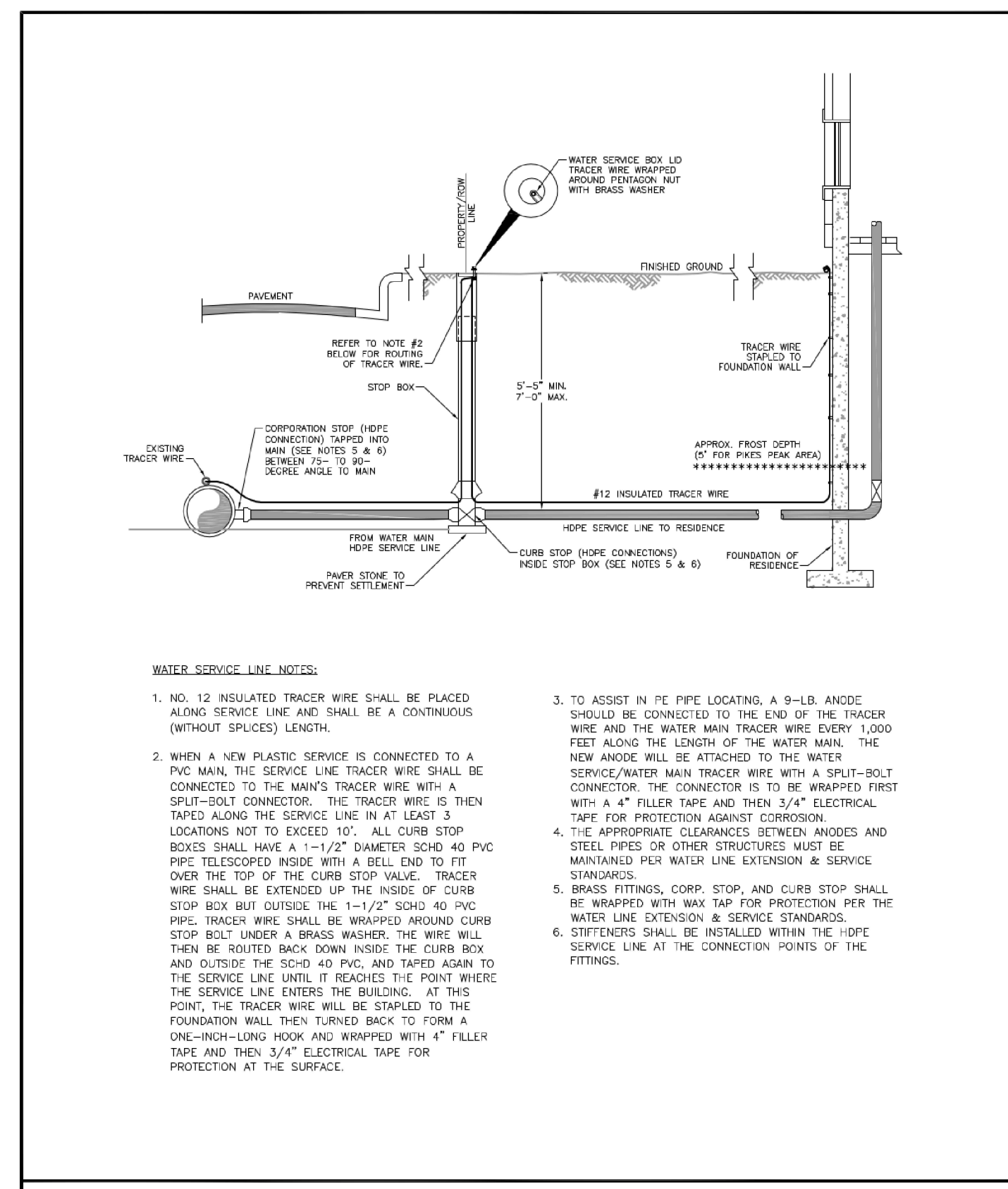
WOODMEN HILLS WATER & WASTEWATER SYSTEM
STANDARD SPECIFICATIONS
WW-2



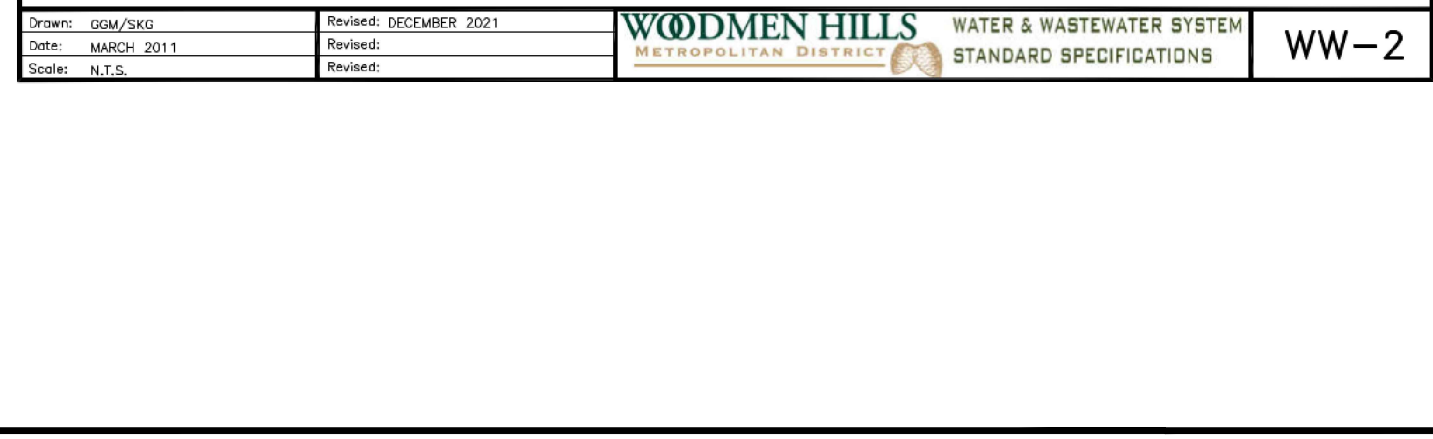
WOODMEN HILLS WATER & WASTEWATER SYSTEM
STANDARD SPECIFICATIONS
WW-1



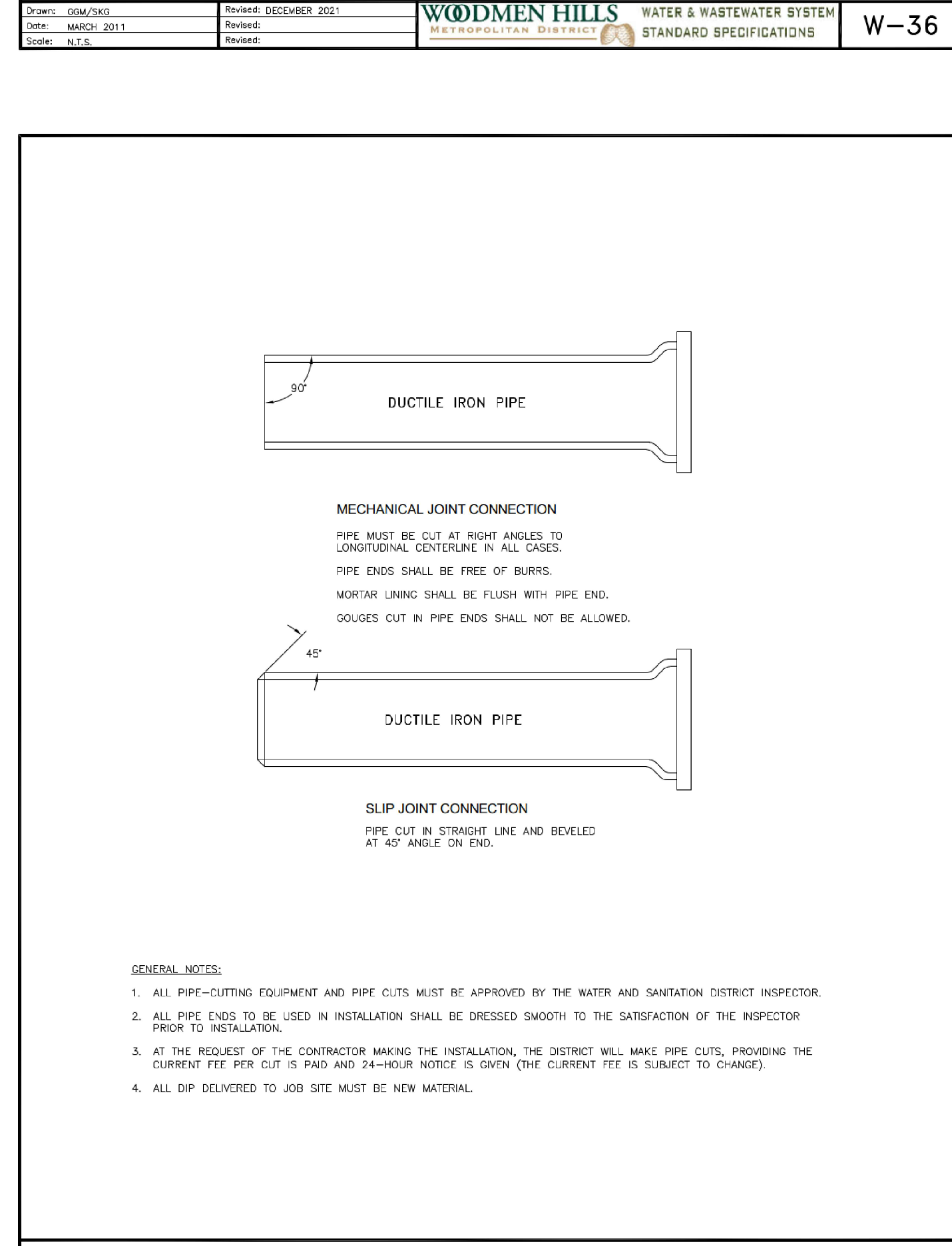
WOODMEN HILLS WATER & WASTEWATER SYSTEM
STANDARD SPECIFICATIONS
W-28



WOODMEN HILLS WATER & WASTEWATER SYSTEM
STANDARD SPECIFICATIONS
W-36



WOODMEN HILLS WATER & WASTEWATER SYSTEM
STANDARD SPECIFICATIONS
WW-4



WOODMEN HILLS WATER & WASTEWATER SYSTEM
STANDARD SPECIFICATIONS
WW-8

