



William Guman & Associates, Ltd.

Bill Guman, PLA, ASLA, APA | Principal
Colorado Springs City Councilman 1993-2001
Colorado Springs Planning Commissioner 1992-1993
Regional Building Commissioner 1997-2001

URBAN PLANNING | COMMUNITY DESIGN | LANDSCAPE ARCHITECTURE | ENTITLEMENT COORDINATION

731 North Weber Street, Suite 10 | Colorado Springs, CO 80903 | (719) 633-9700
<http://www.gumanltd.com>

**AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS
AMERICAN PLANNING ASSOCIATION**



LETTER OF INTENT

Fall Mountain Farm Agritainment Venue PCD File # PPR 2246

November 21, 2022

OWNER:

Fall Mountain Farm, Steve and Cathy Roscio
16300 Mount Herman Lane
Monument, CO 80132
(719) 800-1244
info@FallMountainFarm.com

CONSULTANT/APPLICANT:

William Guman & Associates, Ltd.
731 North Weber Street, Suite 10
Colorado Springs, CO 80903
(719) 633-9700
bill@guman.net

SITE DATA:

TSN: 7100000355, 71228002002, 7129001003
MAIN PARCEL ADDRESS: 16300 Mount Herman Lane, Monument, CO 80132
ACREAGE: 35.68
ZONING: RR 5.0
USE: Primary Residence, community farm, agritainment

William Guman & Associates, Ltd. requests approval of this application to allow for expanded agritainment uses on the existing site as allowed within the RR-5.0 zone district.

OVERVIEW/SUMMARY:

Approved

By: *Justin Kilgore*
Planning Manager
Date: 03/01/2023

El Paso County Planning & Community Development



Fall Mountain Farm is a family-owned small community farm that raises fruits, pumpkins, vegetables, beef cattle, sheep, and other small farm animals. The owners are requesting “*agritainment*” status to be included on the property and to be open to the public for part of the year to educate guests about agricultural operations, farm to table programs, animal care and agricultural history.

A pumpkin patch will be featured for entertainment along with hayrides, a petting zoo, farm tours, children’s games and activities, apple picking, nature trails and a Halloween Trail, storytelling, mazes, and similar family-fun activities. Farm products and other small farm-related gifts will be offered for purchase. Food vendors may be on-site at times depending on scheduled activities. The resultant land disturbance based on developments to the site will total 15,378 square feet (.353 acres) of impermeable surface.

Total site area is comprised of 35.68-acres. It will remain owner-occupied in its entirety. The existing use within the RR-5 zone district of the property is for agritainment and farming, which are compatible with all proposed uses.

Surrounding and adjacent properties are also zoned RR-5.0. All adjacent property owners within 1,000’ have been notified via USPS certified mail of this application and proposal. The owners have received acknowledgment of their intent from their neighbors with no registered concerns or complaints; no adjacent property owner has opposed the application.

ACCESS:

Primary access to Fall Mountain Farm will remain via Mt. Herman Lane at the east of the site. A two-direction twenty-four-foot-wide gravel driveway and parking area for no more than 50 vehicles is proposed, with the initial fifty feet off Mt. Herman Lane being paved. Gravel footpaths and trails will lead guests from the parking lot to the farmhouse, barn, kids’ play area, small animal petting zoo, pumpkin patch, and an auxiliary prefabricated restroom structure. A ticket booth and ancillary shelter are the extent of new structures to be constructed (architectural drawings for both accompany this submittal).

Additional trails will lead to an orchard and outlying grazing pastures. All pedestrian accessible paths and parking will provide for wayfinding signage. A footpath leading west from the barn and primary agritainment areas will provide for a hiking loop for individuals and small groups and a horse-drawn hayride link. Emergency access points are located on Fallon Road (private road classification) and Mt. Herman Lane.

UTILITIES:

Existing water and wastewater are provided to the main farmhouse residence by existing well and septic. The event barn will not be serviced by water or sewer. Events will have water and drinks supplied by outside vendors for individual events. An auxiliary prefabricated mobile restroom facility will be provided and maintained by the owner.

GEOLOGIC HAZARDS:

The proposed agritainment event center is located outside of any existing floodplain and no structures exist or are proposed to be located within any drainageway. A geotechnical and soils study was not required with this application.

WILDLIFE:

No new development or construction associated within this site will negatively affect wildlife. There are no known wildlife trails or habitats located on the property.

EL PASO COUNTY ROAD IMPACT FEE PROGRAM:

This project will be subject to participation in the El Paso County Road Impact Fee Program. Upfront Road Impact fees are due at plat recordation.

WILDFIRE:

There is no proposed development or construction associated with this site and agritainment use that would negatively contribute to an increased risk of wildfire. The site is identified as having moderate wildfire risk potential by the Colorado State Forest Service. Vegetation on the site includes oak shrubland, shrubland, Ponderosa Pine and grassland.

DISTRICTS SERVING THE PROPERTY:

Lewis Palmer School District No. 38, Tri-Lakes Monument Fire Protection, Intermountain Rural Electric Association (IREA), Pikes Peak Library

1. The Fall Mountain Farm agritainment use is consistent with the applicable Your El Paso County Master Plan (adopted May 2021):

YOUR EL PASO MASTER PLAN CRITERIA:

PLACETYPE:

Rural. *Land Use: Primary Agriculture, Parks/Open Space. Farm/Homestead Residential*

Mountain Interface. *Land Use: Primary Parks/Open Space. Supporting: Commercial Services (Limited), Tourism Commercial (Arts, Entertainment)*

PRIORITY DEVELOPMENT AREAS:

Housing and Communities Framework. *Mountain Interface, Rural, Large Lot Residential*

RECREATION & TOURISM:

Justification Statement: The proposed Fall Mountain Farm agritainment venue will expand the County's recreation and tourism option and enhances tourism in unincorporated areas of the County.

Supported by:

Core Principle 7: *Maintain and expand the County's recreation and tourism options.*

Goal 7.1: *Support high-quality sustainable outdoor recreation as a key amenity for residents and visitors.*

William Guman & Associates, Ltd.

Goal 7.2: Explore projects, programs, and initiatives for enhancing tourism in unincorporated areas.

Goal 7.3: Plan for and provide a variety of parks, trails, and open space within the region.

Niche Experiences:

“The rising demand for niche travel and customized experiences is even more crucial to address. Small group tourist experiences provide tourist attractions in a more controlled setting and offer an alternative way to spend your leisure time in the region while avoiding crowds in public spaces and at events. Small group activities can include... horseback riding sessions... Forming partnerships with small businesses and outdoor recreation providers and giving them a platform to offer travel experiences for tourist

ECONOMIC DEVELOPMENT:

Justification Statement: The proposed Fall Mountain Farm agritainment venue will provide a new option for fun and recreation for residents and guests.

Supported by:

Goal ED1 – Recruit new businesses and spur the development of growing sectors.

Objective ED1-3: To help activate spaces, provide more options for fun and recreation to residents.

Objective ED1-4: *Attract more visitors to the County by emphasizing development of entertainment uses in Regional centers.*

Objective ED1-5: *All residents to manage compatible, low intensity personal businesses from their home to create greater opportunities for new companies to be established.*

RECREATION & TOURISM:

Justification Statement: The proposed Fall Mountain Farm agritainment venue introduces new recreational and tourism opportunities for residents and visitors.

Supported by:

Core Principle: Maintain and expand the County’s recreation and tourism options.

Goal RT1 – Support high-quality, sustainable outdoor recreation as a key amenity for residents and visitors.

ENVIRONMENT:

Justification Statement: The environmental impact proposed by expansion of an agritainment venue at the Fall Mountain Farm site is minimal.

Supported by:

Core Principle: Prioritize and protect the County’s natural environment.

Goal E1 – Consider the environmental impacts related to natural resource conservation, air quality, water quality, wildlife habitat, and waste management during all steps of the planning and approval process.

Objective E1-1: *Establish or expand public or private neighborhood parks, reserves and other protected areas (e.g., wildlife sanctuaries and private reserves).*

Fall Mountain Farm will be compatible with the rural character of the surrounding neighborhood and will be harmonious with existing and permitted land uses in the area.

The barn will maintain the existing harmony of the existing Fall Mountain Farm farmhouse and that of the existing neighborhood in which this agritainment venue will be located. New development on the 35.68-acre site is proposed to occur away from existing neighboring homes. Minimal light or noise intrusion will occur. Operating hours of the venue will be almost exclusively during daylight hours on most weekdays and on the weekend, with a rare exception of an evening holiday event. Outside vendors will cater food and drink and no new temporary or permanent food preparation facility is proposed.

The impact of this proposed use does not overburden or exceed the capacity of nearby public facilities and services. Drinking water for the venue will be provided by caterers and restroom facilities will be provided by an auxiliary facility maintained by the owner. There is no anticipated increased impact to the existing well and septic system which serves the existing farmhouse.

Fall Mountain Farm will comply with applicable local, state and federal laws and regulations related to air, water, light, and noise. There are no anticipated or foreseen impacts to wildlife at this location. Business operations will only occur during daylight hours, so there are no requirements for “dark sky” compliance. An agritainment venue at this location will comply with all applicable County rules, regulations and ordinances.

END.

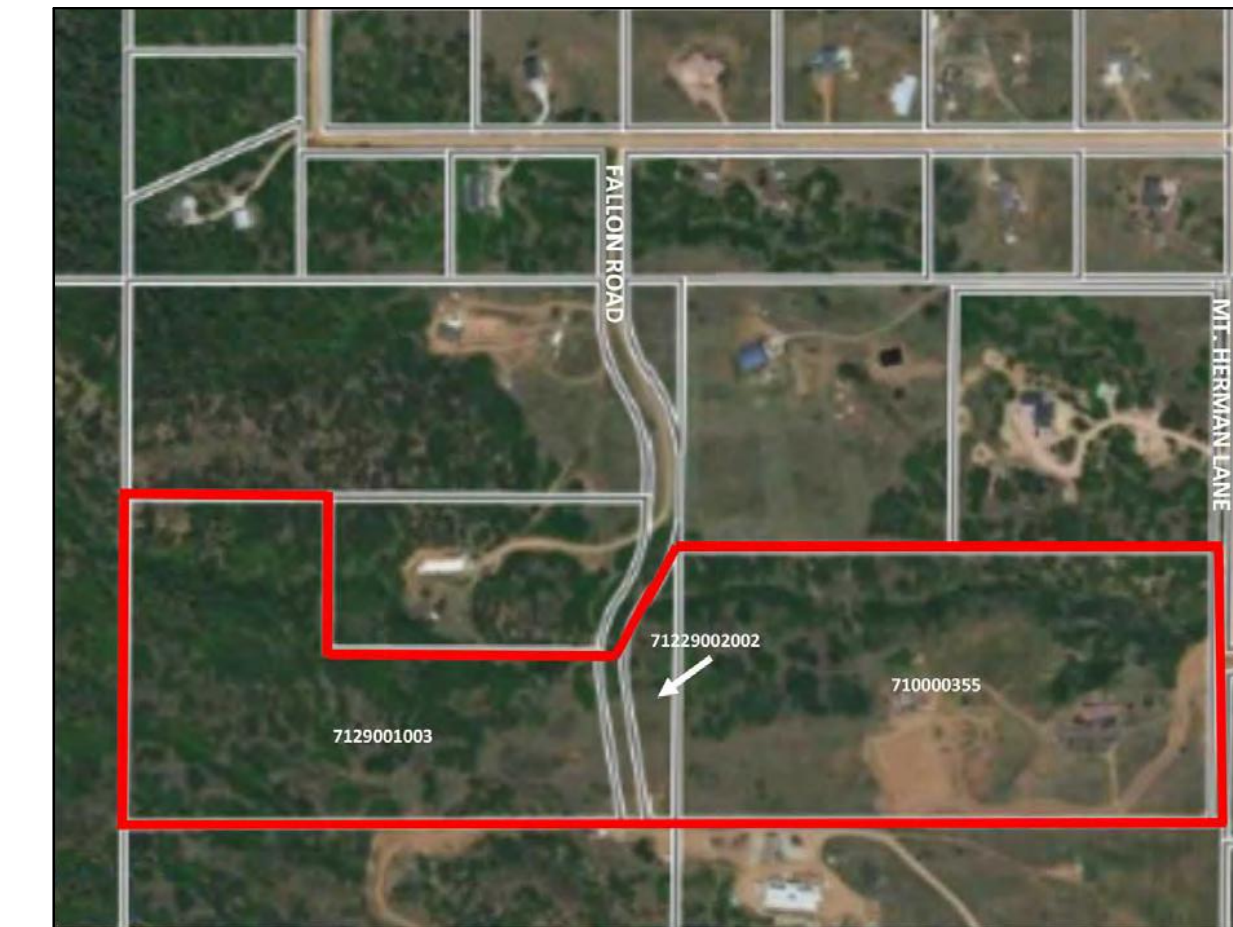
OWNER NAME AND ADDRESS:
 STEVE & CATHY ROSCIO
 FALL MOUNTAIN FARM COMPANY
 16300 MT. HERMAN LANE
 MONUMENT, COLORADO 80132
 PHONE: (719) 800-1244
 EMAIL: info@FallMountainFarm.com

PLAN PREPARER:
 WILLIAM GUMAN & ASSOC., LTD.
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 PHONE: (719) 633-9700
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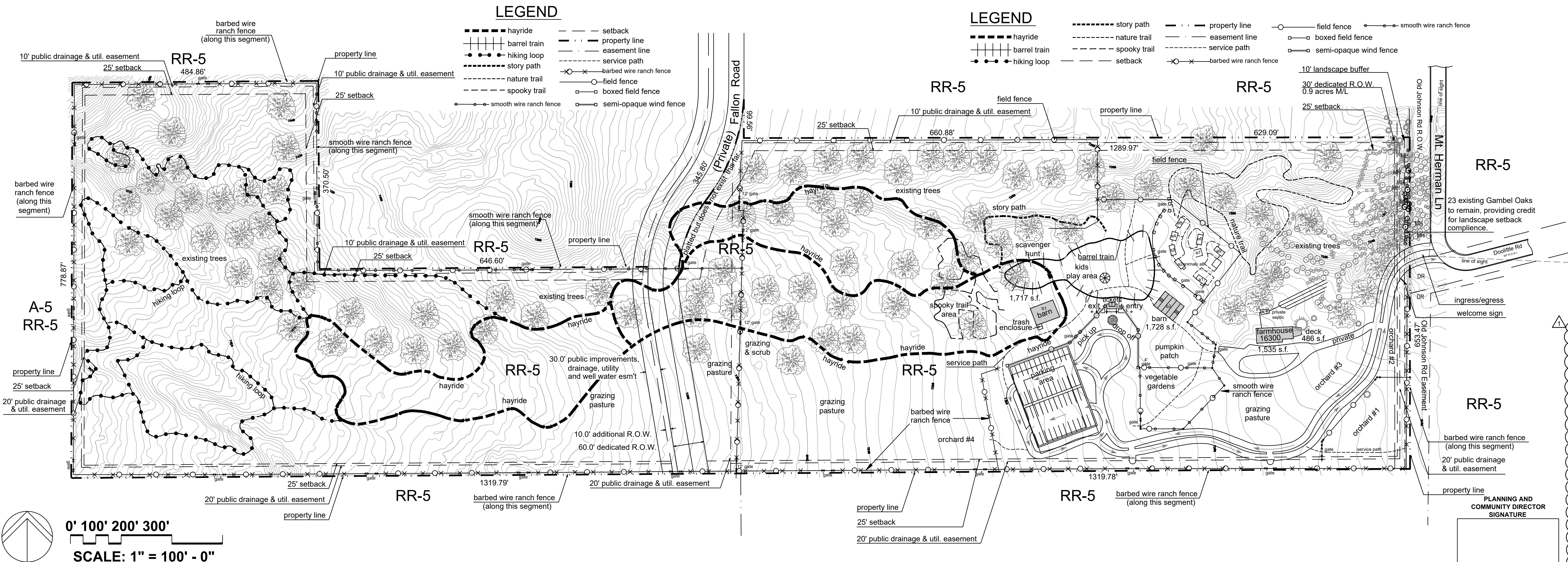
VICINITY MAP



SHEET	TITLE
ELECTRICAL	
DP0	ELECTRICAL COVER SHEET
DP1A	ELECTRICAL PHOTOMETRIC SITE PLAN - AREA A
DP1B	ELECTRICAL PHOTOMETRIC SITE PLAN - AREA B
DP1C	ELECTRICAL PHOTOMETRIC SITE PLAN - AREA C
DP2	CUT SHEETS

FALL MOUNTAIN FARM DEVELOPMENT PHOTOMETRIC SITE PLAN

16300 MOUNT HERMAN, MONUMENT, CO 80132



REVISIONS	MARK	DATE	COMMENT
1	Δ	04/22/2022	ISSUE FOR PLANNING REVIEW
2	Δ	12/08/2022	PLANNING REVIEW COMMENTS

ELECTRICAL COVER SHEET

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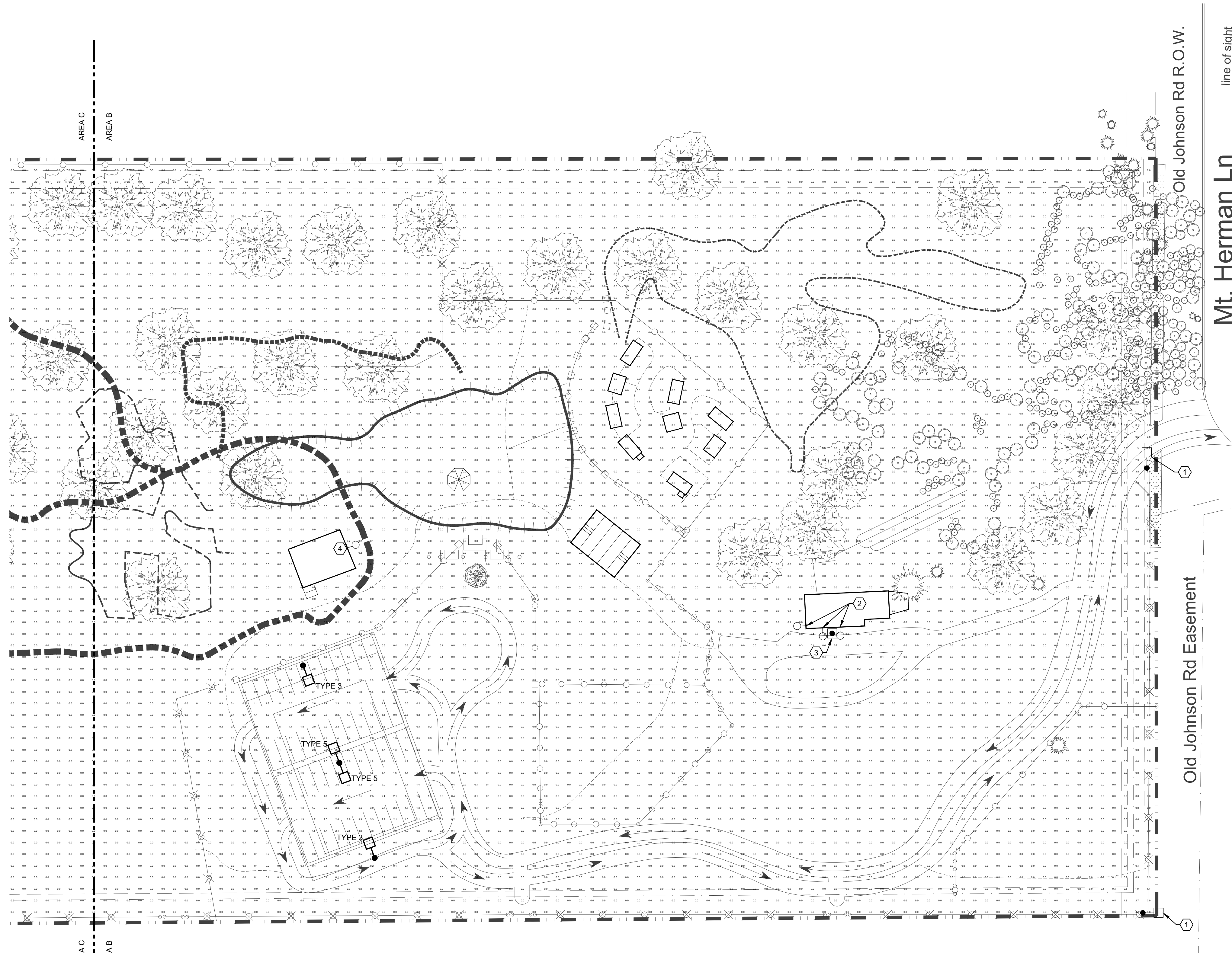
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DATE	12/08/2022
DRAWN	RSM
CHECKED	MPP

DP0

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 C:\projects\2022\22037 fall mountain farm site.dwg

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Farm Site	illuminance	Fc	0.03	5.9	0.0	N.A.	N.A.
Farm Site_15' Beyond Property	illuminance	Fc	0.03	2.9	0.0	N.A.	N.A.
Farm Site_Property Line	illuminance	Fc	0.05	5.9	0.0	N.A.	N.A.

Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	Mounting Height	
	2	DSX1_LED_P3_40K_70CRI_T3M_HS	Single	DSX1 LED P3 40K 70CRI T3M HS	0.850	11929	102.1727	204.345	20	
	1	DSX1_LED_P3_40K_70CRI_T5W	Back-Back	DSX1 LED P3 40K 70CRI T5W	0.850	14602	102.17	204.34	20	

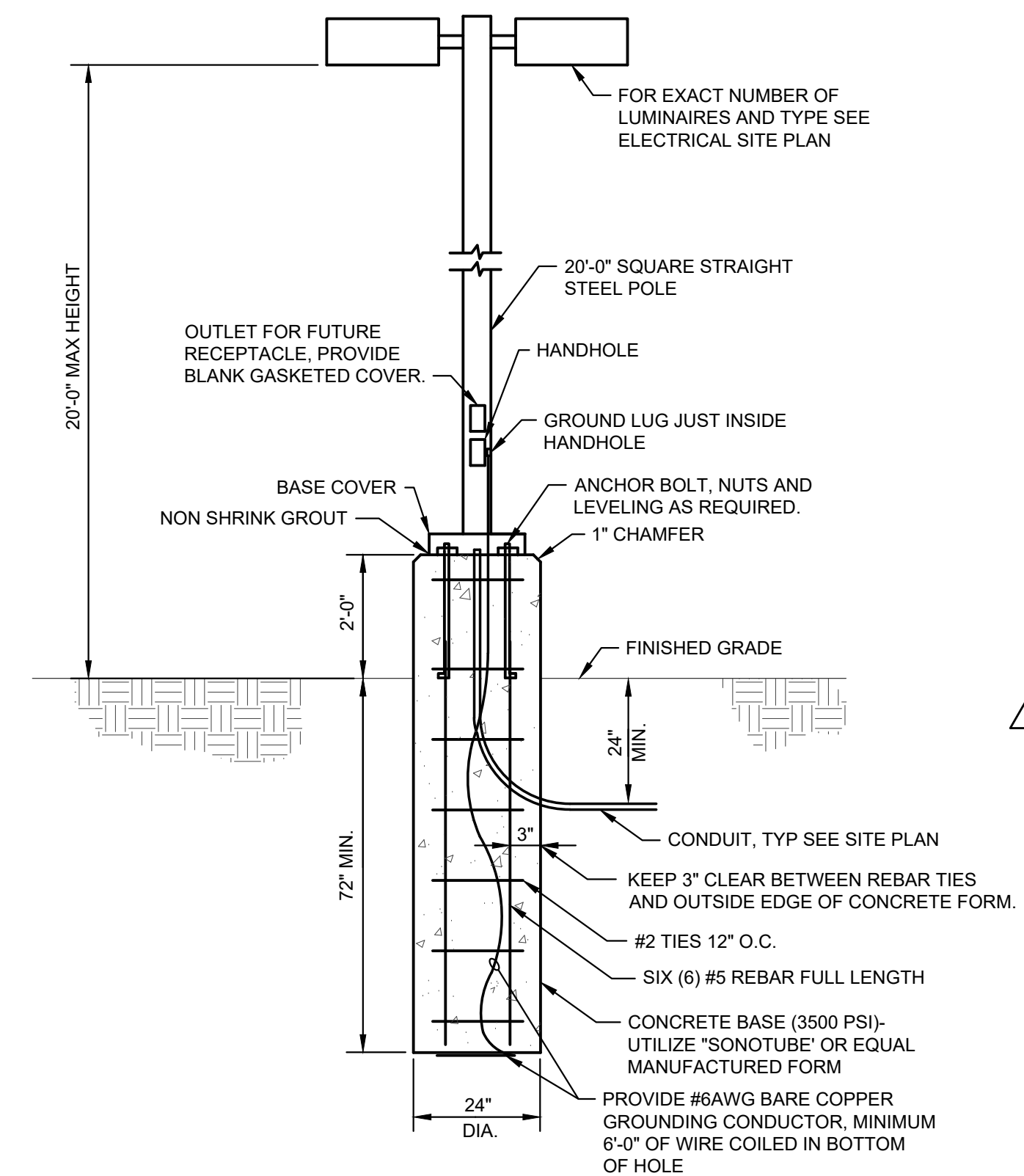
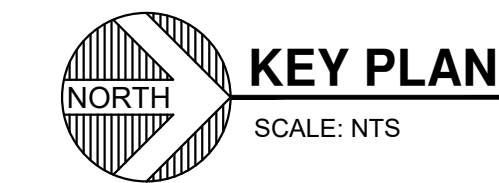
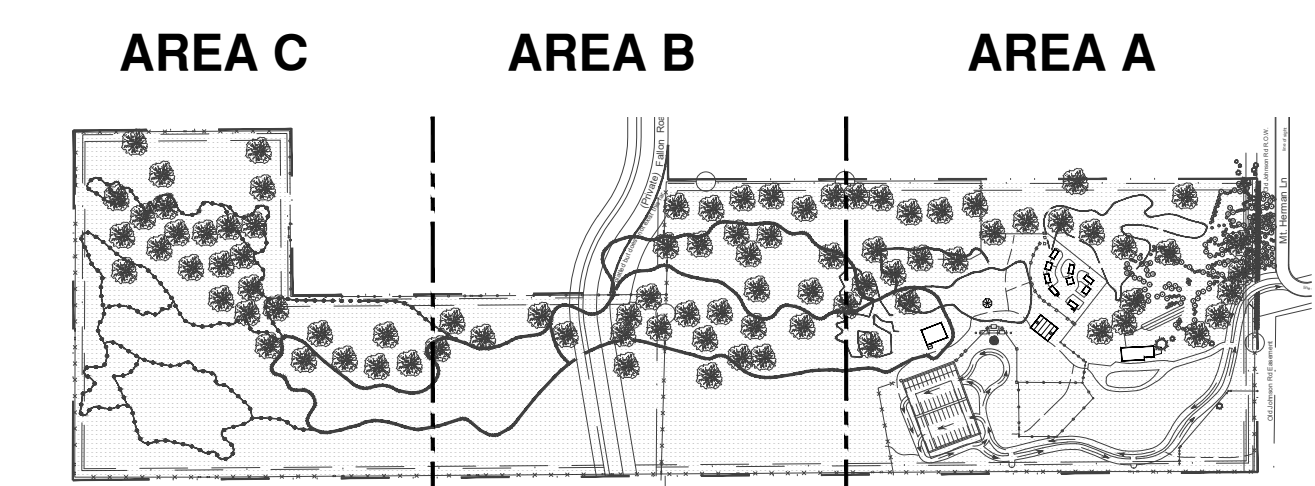


GENERAL PHOTOMETRY NOTES

- A. THESE PHOTOMETRIC CALCULATIONS ARE BASED ON MANUFACTURER'S IES FILES AND 0.85 LIGHT DEPRECIATION FACTOR.
- B. ACTUAL ILLUMINANCE LEVELS MAY DIFFER FROM THE FOOTCANDLE LEVELS SHOWN DUE TO VARIABLE FIELD CONDITIONS, SUCH AS NEARBY EXISTING LUMINAIRES, LUMINAIRE DIRT DEPRECIATION, LANDSCAPING, AND FUTURE DEVELOPMENTS.
- C. THIS PLAN IS BASED ON THE INFORMATION AVAILABLE. THE LUMINAIRE LOCATIONS SHOWN MUST BE COORDINATED WITH EXISTING OR FUTURE FIELD CONDITIONS.

KEYED NOTES

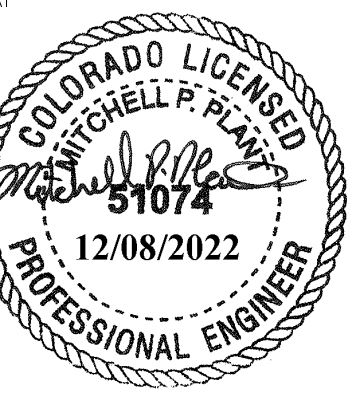
- ① EXISTING MVEA POLE MOUNT FIXTURE, MOUNTED AT +20' AFG.
- ② EXISTING WALL MOUNT FIXTURE AT FARMHOUSE GARAGE AND MAIN ENTRY, MOUNTED AT +7' AFG.
- ③ EXISTING DECORATIVE POST TOP AT THE CROSS OF THE FARMHOUSE ENTRY WALKWAY AND DRIVEWAY, MOUNTED AT +20' AFG.
- ④ EXISTING WALL MOUNT FIXTURE AT BARN B1, MOUNTED AT +15' AFG.



1 POLE BASE DETAIL
NOT TO SCALE

ELECTRICAL PHOTOMETRIC SITE PLAN - AREA A
SCALE: 1" = 50'-0"

PLANT
ENGINEERING CONSULTANTS
320 W FILLMORE SUITE 100 COLORADO SPRINGS CO 80907
719 473 7077
www.planteci.com



FALL MOUNTAIN FARM
DEVELOPMENT PHOTOMETRIC SITE PLAN
16300 MOUNT HERMAN, MONUMENT, CO 80132

REVISIONS	MARK	DATE	COMMENT
1	Δ	04/22/2022	ISSUE FOR PLANNING REVIEW
2	Δ	12/08/2022	PLANNING REVIEW COMMENTS

ELECTRICAL PHOTOMETRIC SITE PLAN - AREA A

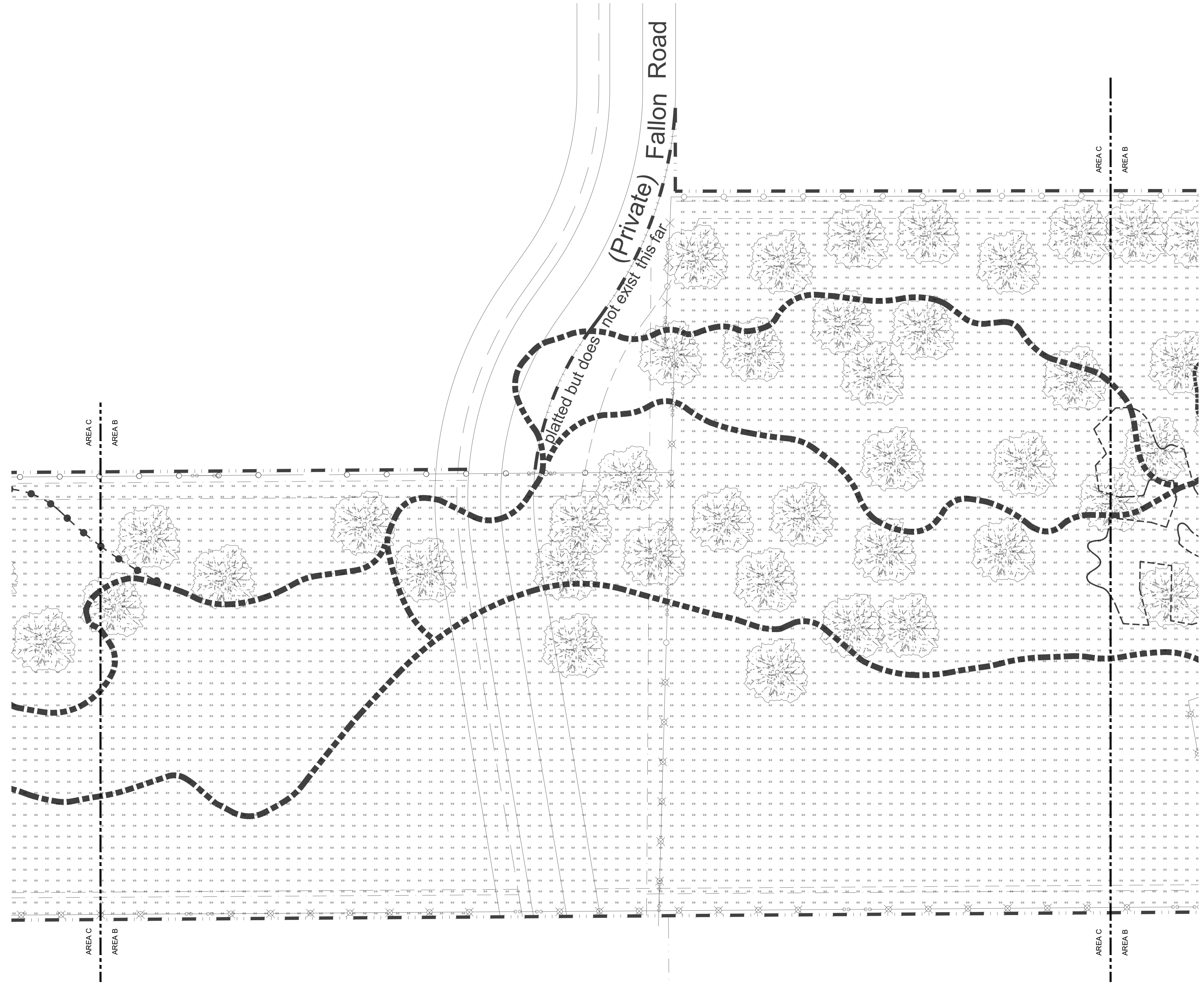
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PROJECT	22037
DATE	12/08/2022
DRAWN	RSM
CHECKED	MPP

SHEET
DP1A

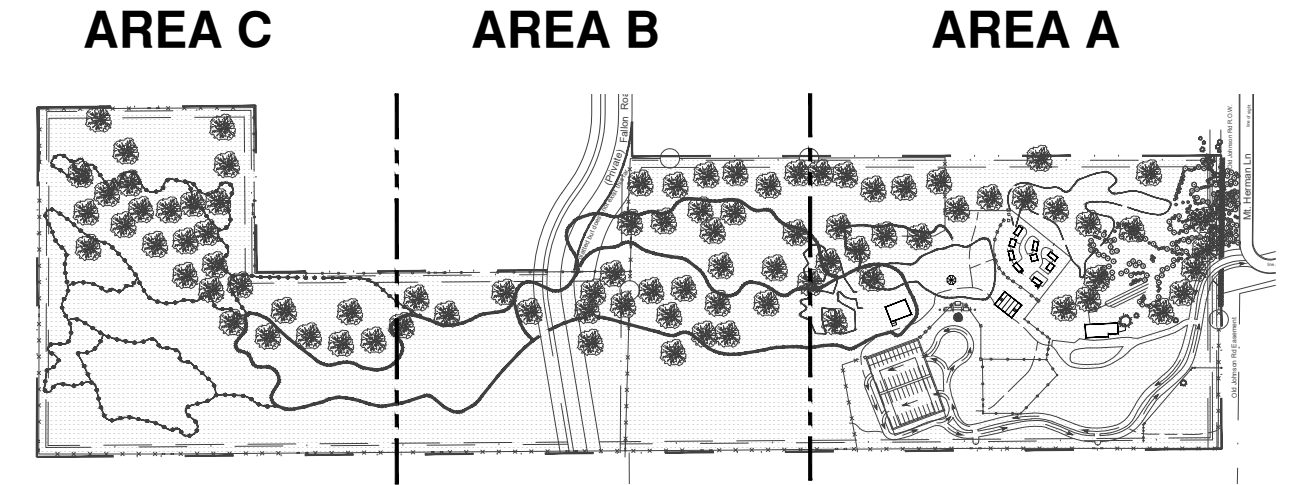
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KEY PLAN
 SCALE: NTS

ELECTRICAL PHOTOMETRIC SITE PLAN - AREA B
 SCALE: #####

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 ENGINEERING CONSULTANTS
 320 W FILLMORE SUITE 100 COLORADO SPRINGS CO 80907
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FALL MOUNTAIN FARM
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 16300 MOUNT HERMAN, MONUMENT, CO 80132

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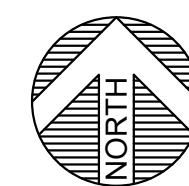
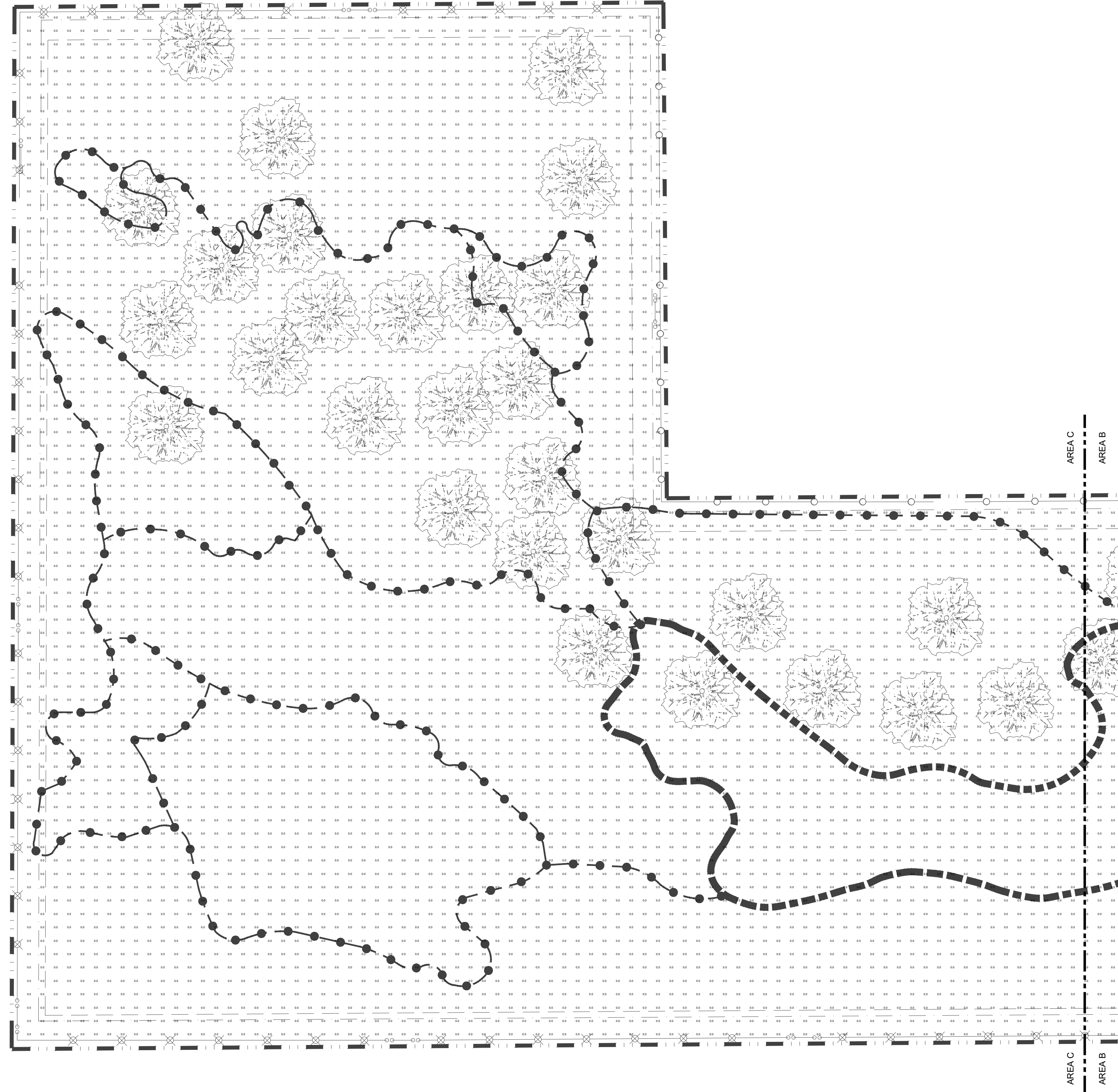
ELECTRICAL PHOTOMETRIC SITE PLAN - AREA B

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DRAWN	RSM
CHECKED	MPP

SHEET
DP1B

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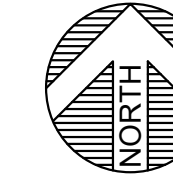
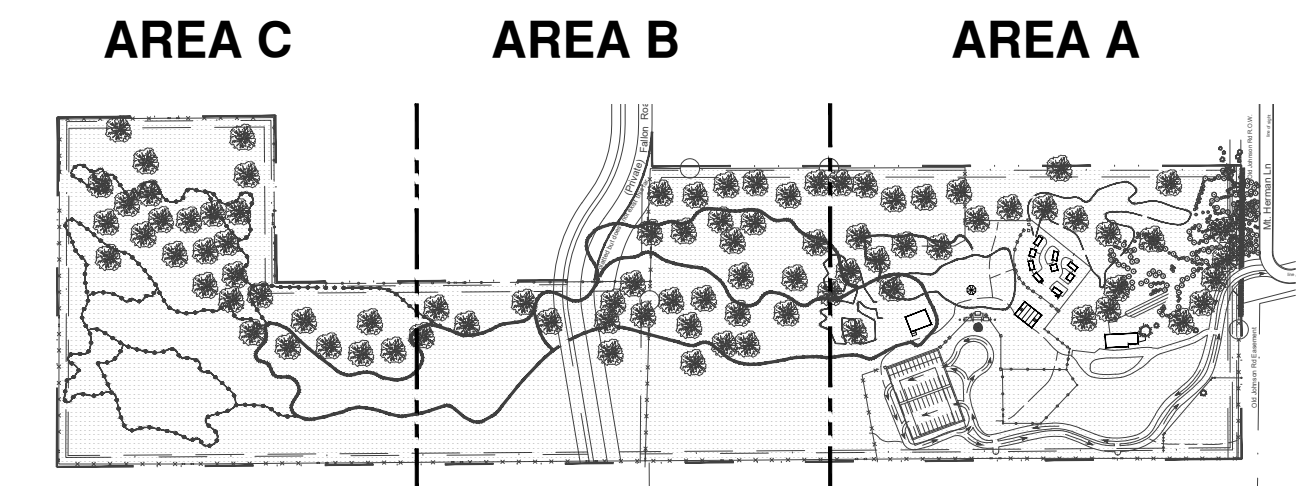


ELECTRICAL PHOTOMETRIC SITE PLAN - AREA C

SCALE: 1" = 50'-0"

GENERAL PHOTOMETRY NOTES

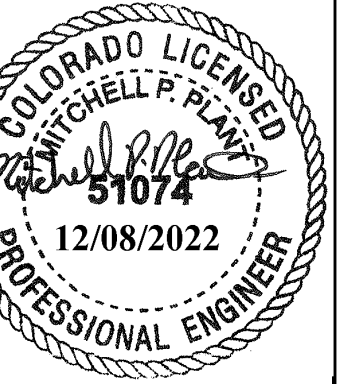
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KEY PLAN

SCALE: NTS

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 320 W FILLMORE SUITE 100 COLORADO SPRINGS CO 80907
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FALL MOUNTAIN FARM
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 16300 MOUNT HERMAN, MONUMENT, CO 80132

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ELECTRICAL PHOTOMETRIC SITE PLAN - AREA C

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PROJECT	22037
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CHECKED	MPP

SHEET

DP1C

LEGAL DESCRIPTION

TSN 710000355 : LOT 2 RAU SUB
 TSN 7129001003 : LOT 3 TORPHY SUB
 TSN 7129002002 : TR B TORPHY SUB

PROJECT STATEMENT:

Fall Mountain Farm is an agritainment / farm property comprised of 35.68 acres.

GENERAL NOTES:

- FEDERAL EMERGENCY MANAGEMENT AGENCY, Flood Insurance Rate Map Number 08041CO258 G, effective date December 7, 2018, indicates the area in the vicinity of this parcel of land to be a Zone X (area determined to be out of the 500 year flood plain), El Paso County 080059 area of minimal flood hazard Zone X.
- Light standard: all lighting shall be arranged to reflect away from adjoining properties and public rights-of-way, and shall be shielded to contain all direct rays of light on the site. Light levels from the project shall not exceed 1.5 foot-candles, as measured along the property line. All street lights or public lights are to be full cut off fixtures with no sag lens per city code.
- Financial assurances will be provided prior to platting as defined out in the fiscal impact analysis agreement.
- Refer to civil plans for detailed information on grading, drainage, water quality ponds, and retaining walls.
- Refer to landscape plans and details for detailed information on planting and fencing.
- Improvements within the development include new driveway, parking, children's play area, landscaping, pumpkin patch, fencing, vegetable garden, barrel train, farm animal interaction area, hayride, scavenger hunt area, hiking loop, story path ticket booth, produce storage shed and a nature trail.
- The owner of record is responsible for maintenance of the common areas, landscaping, storage areas, fencing and drives.
- The installation of all fencing shown shall be the responsibility of the developer.
- The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by the City of Colorado Springs does not assure compliance with the ADA or any other Federal or State accessibility laws or any regulations or guidelines enacted or promulgated under or with respect to such laws. Sole responsibility for compliance with Federal and State accessibility laws lies with the property owner.
- Agricultural stands shall be setback a minimum of 35' from all property lines.

SITE DATA

ADDRESS: 16300 MOUNT HERMAN LANE,
 MONUMENT, COLORADO 80132

TAX SCHEDULE NUMBERS: 710000355, 7129001003, 7129002002

ADDRESS FOR TSN 710000355: 16300 MOUNT HERMAN LANE,
 MONUMENT, COLORADO 80132

ADDRESS FOR TSN 7129001003: 16456 FALLON ROAD,
 MONUMENT, COLORADO 80132

ADDRESS FOR TSN 7129002002: 16455 FALLON ROAD,
 MONUMENT, COLORADO 80132

TAX STATUS: TAXABLE

AREA: 35.68 ACRES

EXISTING USE: SINGLE FAMILY RESIDENTIAL (710000355)
 VACANT RESIDENTIAL LOT (7129001003)
 VACANT RESIDENTIAL LOT (7129002002)

PROPOSED USE: AGRITAINMENT / FARM

ZONING: RR-5

LOT COVERAGE (BUILDINGS): 4,848 SQUARE FEET (.2%)

TOTAL SITE AREA: 1,554,220 SQUARE FEET

IMPERMABLE AREA: 15,378 SQUARE FEET (1%)

PERMABLE AREA: 1,538,842 SQUARE FEET (99%)

DWELLING UNITS: 1

ROADSIDE LANDSCAPE BUFFER AREA: 2,938 SQUARE FEET

CULTURAL RESOURCES: No significant features located on this site.

SCHEDULE OF DEVELOPMENT: October 1, 2022

SETBACKS FOR RR-5

Maximum Lot Coverage: 25%

Front yard: Twenty-five (25) feet

Side yard: Twenty-five (25) feet

Rear yard: Twenty-five (25) feet

MAX. BLDG. HT. FOR RR-5

30' maximum height

PARKING (PROPOSED):

23,839 SF

PARKING (SPACES):

Shall not exceed 50 (per LDC)

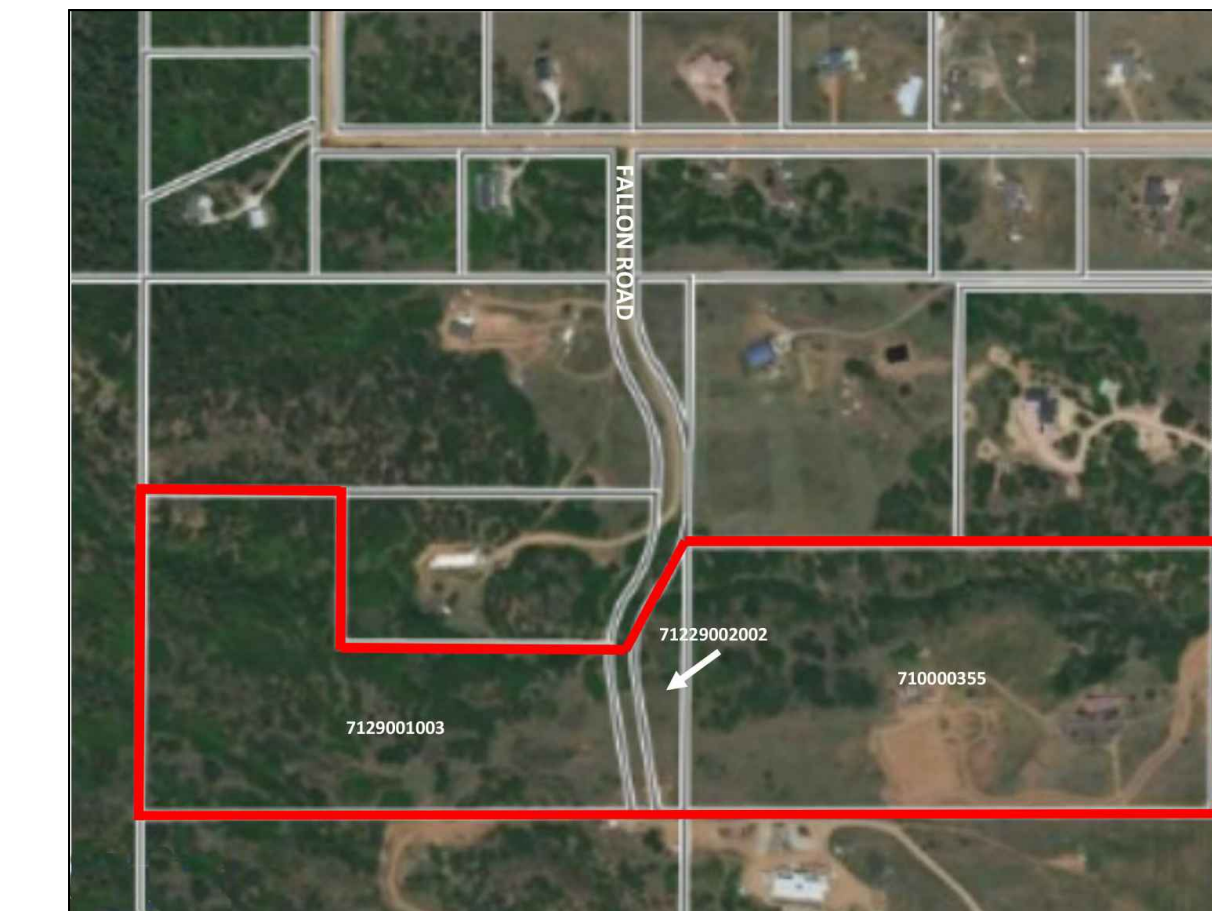
BUILDING	SIZE	AREA	DESCRIPTION
16300	30' x 51'	1,535 sf	farmhouse
16300-A1	10' x 20'	200 sf	livestock shed (pigs)
16300-A2	10' x 20'	200 sf	livestock shed / hay storage
16300-A3	10' x 20'	200 sf	livestock shed (goats)
16300-A4	12' x 16'	192 sf	livestock shed (sheep)
16300-A5	10' x 20'	200 sf	livestock shed (mini cows)
16300-A6	10' x 20'	200 sf	livestock shed (tortoise/reptile)
16300-A7	14' x 14'	196 sf	livestock shed / calving shed / vet/prep
16300-A8	12' x 16'	192 sf	livestock shed (donkeys)
16300-A9	10' x 20'	200 sf	livestock shed (rabbits)
16300-B1	-x-	1,717 sf	tractor / pumpkin barn
16300-B2	36' x 48'	1,728 sf	future cow barn - not planned to build for a few years
16300-S1	10' x 20'	200 sf	lean-to shed - intend to build soon
16300-S2	10' x 20'	200 sf	lean-to shed - intend to build soon
16300-T	8' x 12'	96 sf	future ticket booth - intend to build soon

OWNER NAME AND ADDRESS:
 STEVE & CATHY ROSCIO
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 PHONE: (719) 800-1244
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 EMAIL: bill@guman.net

VICINITY MAP

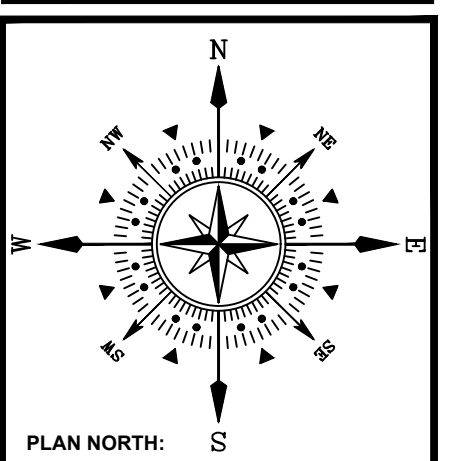


William Guman & Associates, Ltd.
 LANDSCAPE ARCHITECTURE
 731 North Weber Street
 Colorado Springs, CO 80903
 (719) 633-9700
 www.guman.net
 bill@guman.net

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ONLY DRAWINGS BEARING THE OFFICIAL STAMP OF THE LICENSED LANDSCAPE ARCHITECT IN THE STATE OF COLORADO ARE VALID FOR CONSTRUCTION PURPOSES.



FALL MOUNTAIN FARM
16300 MOUNT HERMAN LANE
MONUMENT, CO 80132
SITE DEVELOPMENT PLAN

PROJECT NAME:
 PROJECT ADDRESS:
 PROJECT DESCRIPTION:

DATE: 07/29/2022
 DESIGNED: GEM
 CHECKED: WFG

REVISIONS:

DATE:	BY:	DESCRIPTION:
R1 11/18/2022	GEM	RESPOND TO INITIAL COMMENTS

NOTES:

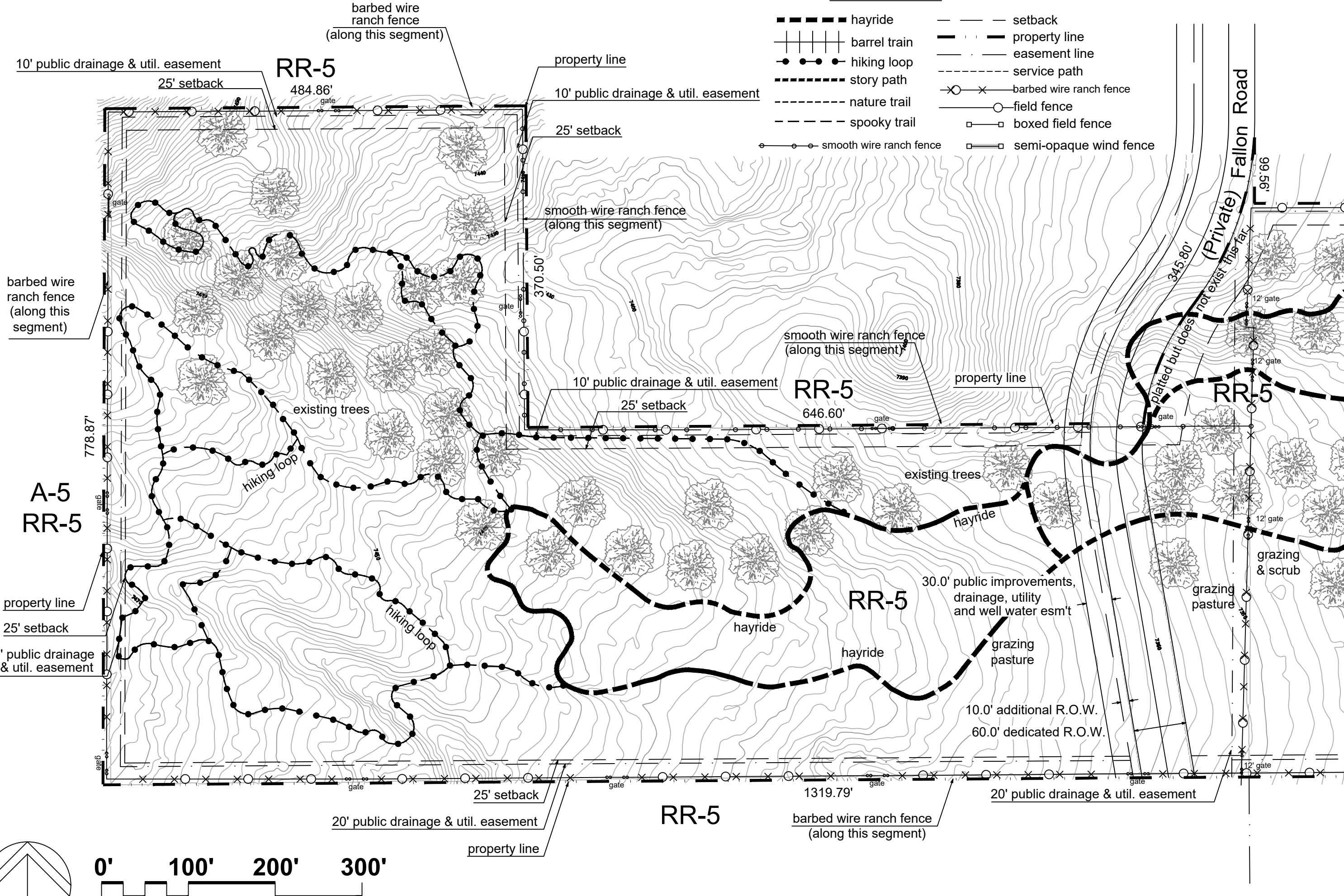
PLAN SCALE: 1" = 100' (OR AS NOTED ON PLAN)

SHEET TITLE: **SITE DEVELOPMENT PLAN**

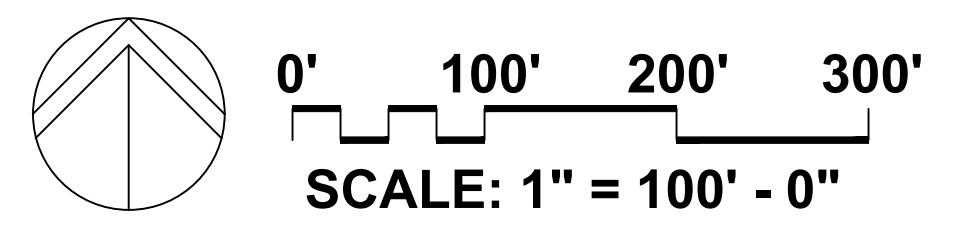
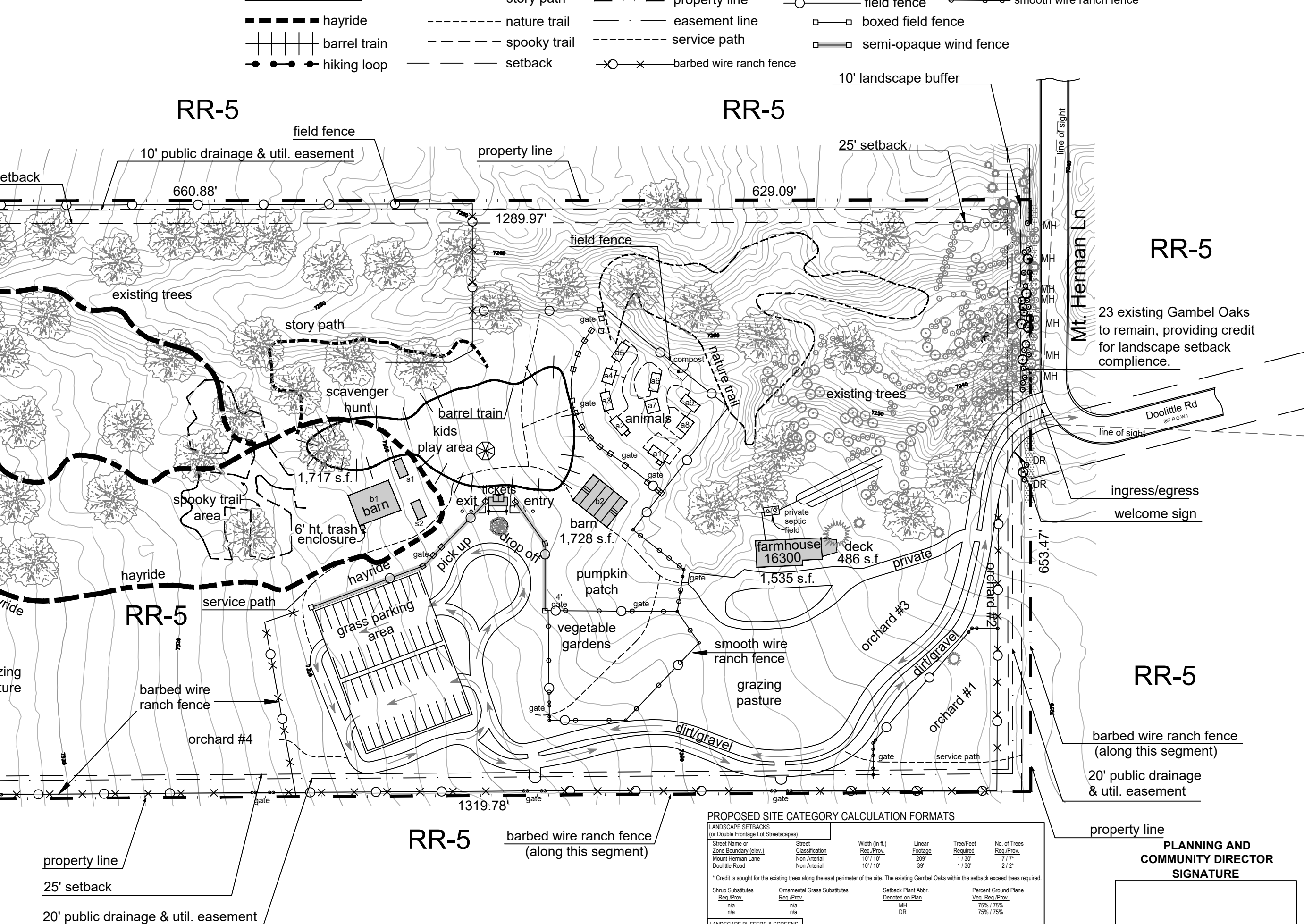
SHEET NO. **1** OF 1 SHEETS

FILE NO. **PCD FILE# PPR 2246**

LEGEND



LEGEND



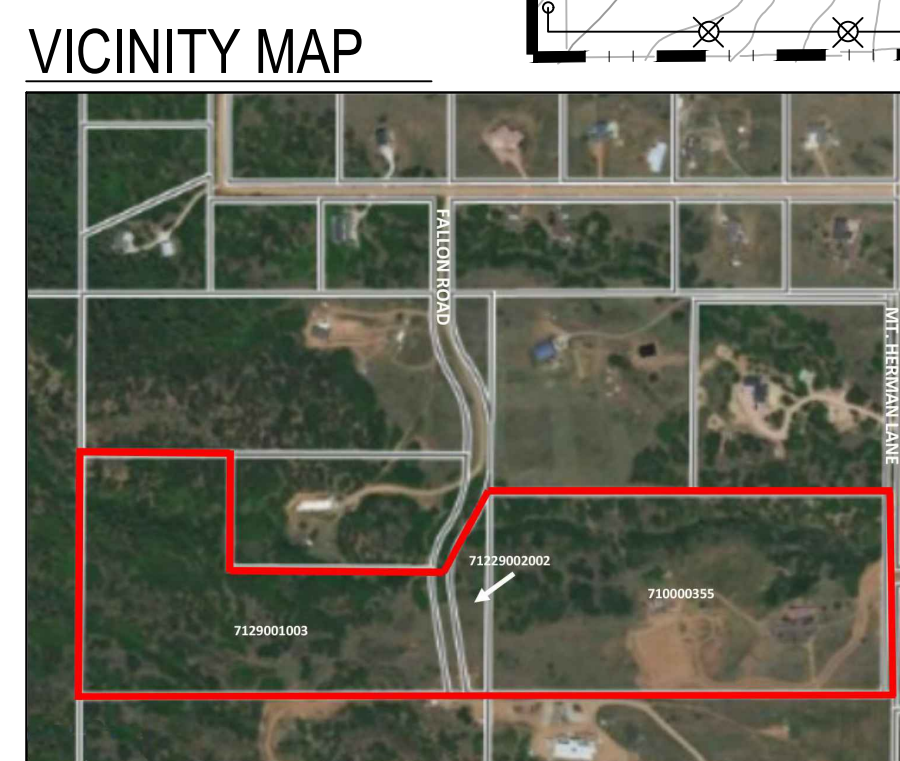
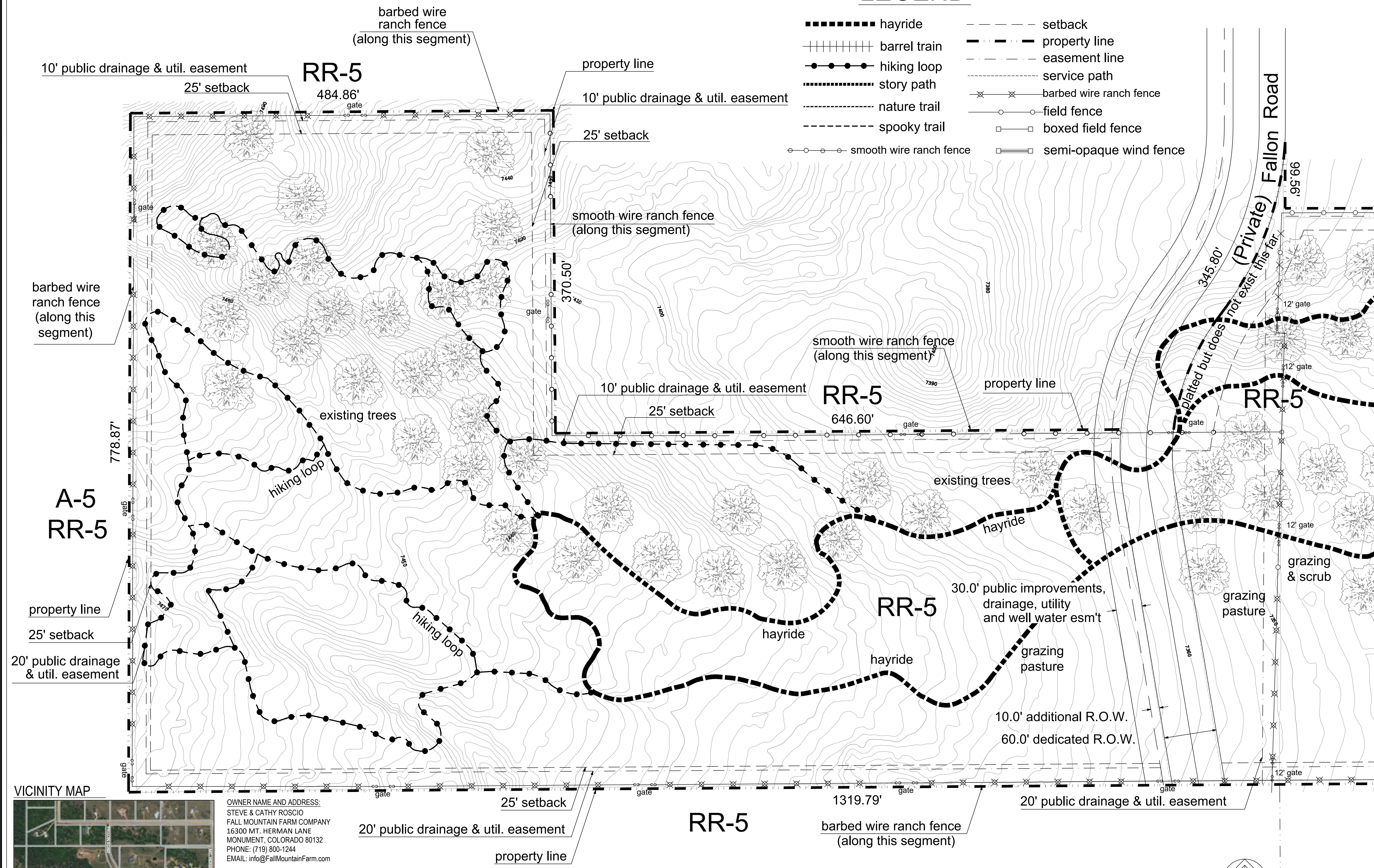
PROPOSED SITE CATEGORY CALCULATION FORMATS

Category	Area (sq. ft.)	Area (sq. ft.)	Area (sq. ft.)	Area (sq. ft.)	Area (sq. ft.)
Open Space	1,538,842	100%			
Impermeable	15,378	1%			
Permeable	1,538,842	99%			
Total	1,554,220				

PLANNING AND COMMUNITY DIRECTOR SIGNATURE

LEGEND

- ▬▬▬▬▬▬▬ hayride
- ||||||||| barrel train
- hiking loop
- ▬▬▬▬▬▬▬ story path
- nature trail
- spooky trail
- smooth wire ranch fence
- setback
- - - - - property line
- - - - - easement line
- - - - - service path
- ×××××× barbed wire ranch fence
- field fence
- boxed field fence
- ▬▬▬▬▬ semi-opaque wind fence



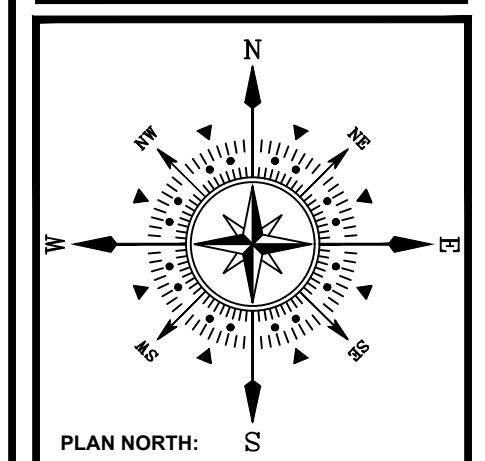
OWNER NAME AND ADDRESS:
 STEVE & CATHY ROSCIO
 FALL MOUNTAIN FARM COMPANY
 16300 MT. HERMAN LANE
 MONUMENT, COLORADO 80132
 PHONE: (719) 800-1244
 EMAIL: info@FallMountainFarm.com

APPLICANT:
 WILLIAM GUMAN & ASSOC., LTD.
 731 N. WEBER STREET
 COLORADO SPRINGS, COLORADO 80903
 PHONE: (719) 633-9700
 EMAIL: bill@guman.net

PLAN PREPARER:
 WILLIAM GUMAN & ASSOC., LTD.
 731 N. WEBER STREET
 COLORADO SPRINGS, COLORADO 80903
 PHONE: (719) 633-9700
 EMAIL: bill@guman.net

William Guman & Associates, Ltd.
 URBAN PLANNING | COMMUNITY DESIGN | LANDSCAPE ARCHITECTURE
 731 North Weber Street
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FALL MOUNTAIN FARM
16300 MOUNT HERMAN LANE
MONUMENT, CO 80132

PROJECT NAME: FALL MOUNTAIN FARM
 PROJECT ADDRESS: 16300 MOUNT HERMAN LANE, MONUMENT, CO 80132
 PROJECT DESCRIPTION: PRELIMINARY LANDSCAPE PLAN

DATE: 07/29/2022
 DESIGNED: GEM
 CHECKED: WFG

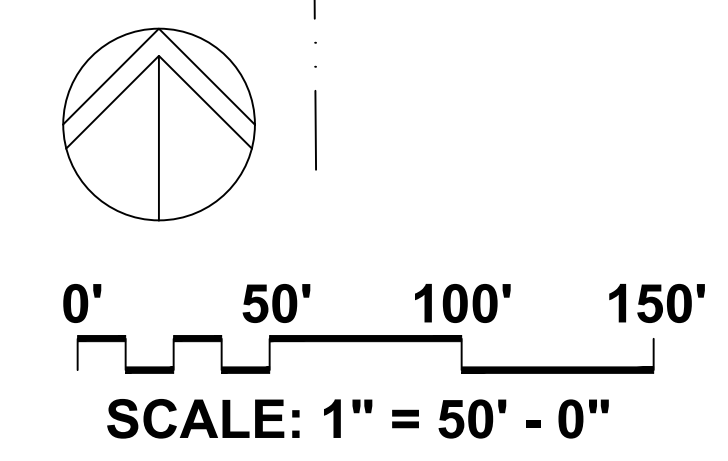
REVISIONS:	DATE:	BY:	DESCRIPTION:
R1	11/18/2022	GEM	RESPOND TO INITIAL COMMENTS

PLAN SCALE: 1" = 50' - 0" (OR AS NOTED ON PLAN)

SHEET TITLE:
LANDSCAPE PLAN

SHEET NO.
1
 1 OF 3 SHEETS

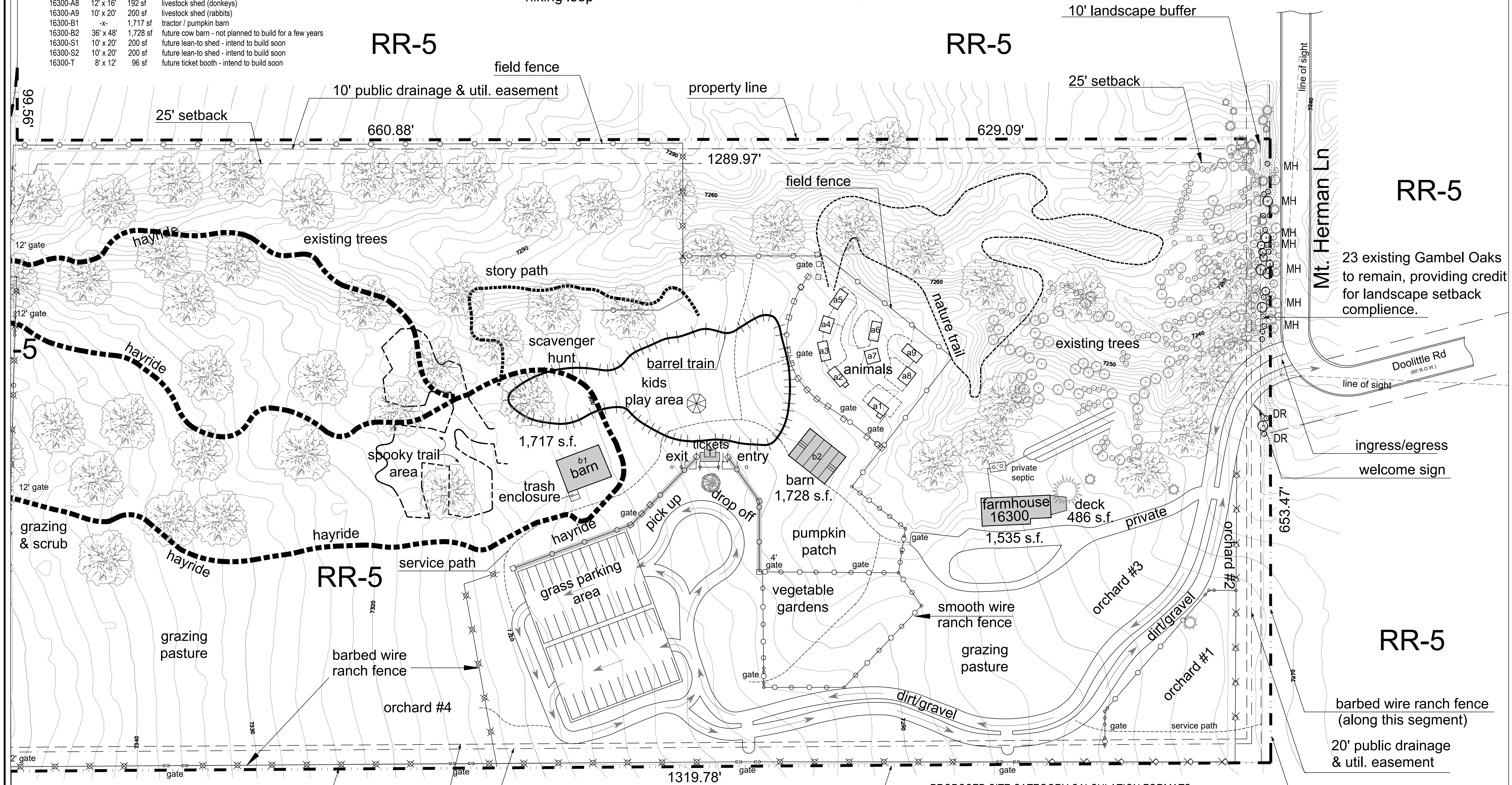
FILE NO.
 PCO FILE# PPR 2246



BUILDING	SIZE	AREA	DESCRIPTION
16300	30' x 51'	1,535 sf	farmhouse
16300-A1	10' x 20'	200 sf	livestock shed (pigs)
16300-A2	10' x 20'	200 sf	livestock shed / hay storage
16300-A3	10' x 20'	200 sf	livestock shed (goats)
16300-A4	12' x 16'	192 sf	livestock shed (sheep)
16300-A5	10' x 20'	200 sf	livestock shed (mini cows)
16300-A6	10' x 20'	200 sf	livestock shed (tortoise/reptile)
16300-A7	14' x 14'	196 sf	livestock shed / calving shed / vet/prep
16300-A8	12' x 16'	192 sf	livestock shed (donkeys)
16300-A9	10' x 20'	200 sf	livestock shed (rabbits)
16300-B1	-	1,717 sf	tractor / pumpkin barn
16300-B2	36' x 48'	1,728 sf	future cow barn - not planned to build for a few years
16300-S1	10' x 20'	200 sf	future lean-to shed - intend to build soon
16300-S2	10' x 20'	200 sf	future lean-to shed - intend to build soon
16300-T	8' x 12'	96 sf	future ticket booth - intend to build soon

LEGEND

- - - - - hayride
- - - - - nature trail
- - - - - property line
- - - - - field fence
- - - - - smooth wire ranch fence
- +++++ barrel train
- - - - - spooky trail
- - - - - easement line
- □ □ boxed field fence
- ● ● hiking loop
- - - - - setback
- - - - - service path
- x x x barbed wire ranch fence
- □ □ semi-opaque wind fence



RR-5

23 existing Gambel Oaks to remain, providing credit for landscape setback compliance.

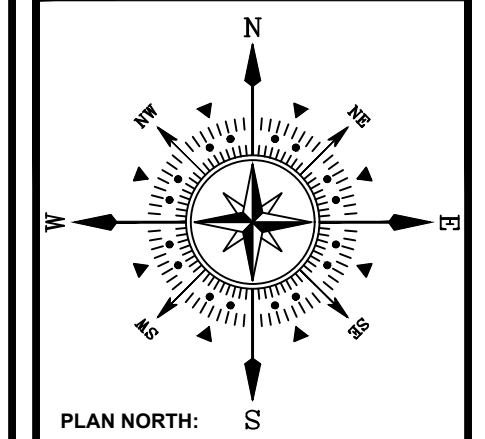
RR-5

RR-5

RR-5

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FALL MOUNTAIN FARM
16300 MOUNT HERMAN LANE
MONUMENT, CO 80132
 PRELIMINARY LANDSCAPE PLAN

DATE: 07/29/2022
 DESIGNED: GEM
 CHECKED: WFG

REVISIONS:	DATE:	BY:	DESCRIPTION:
R1	11/18/2022	GEM	RESPOND TO INITIAL COMMENTS

PLAN SCALE: 1" = 50' (OR AS NOTED ON PLAN)

SHEET TITLE:
LANDSCAPE PLAN

SHEET NO.
2
2 OF 3 SHEETS

FILE NO.
PCD FILE# PPR 2246

PROPOSED SITE CATEGORY CALCULATION FORMATS

LANDSCAPE SETBACKS (or Double Frontage Lot Streetscapes)

Street Name or Zone Boundary (elev.)	Street Classification	Width (in ft.) Req./Prov.	Linear Footage	Tree/Foot Required	No. of Trees Req./Prov.
Mount Herman Lane	Non Arterial	10' / 10'	209'	1 / 30'	7 / 7'
Doolittle Road	Non Arterial	10' / 10'	39'	1 / 30'	2 / 2'

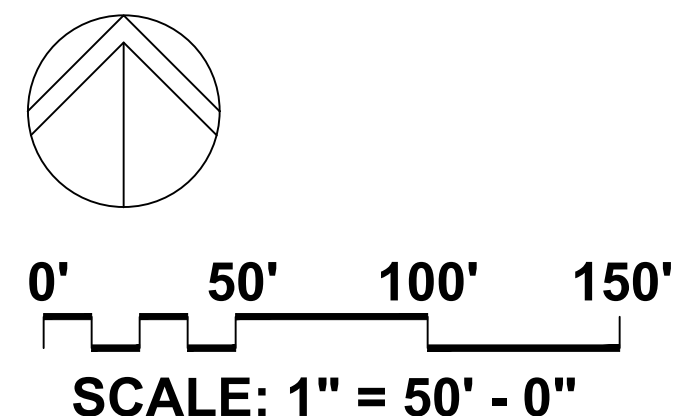
* Credit is sought for the existing trees along the east perimeter of the site. The existing Gambel Oaks within the setback exceed trees required.

Shrub Substitutes Req./Prov.	Ornamental Grass Substitutes Req./Prov.	Setback Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req./Prov.
n/a	n/a	MH	75% / 75%
n/a	n/a	DR	75% / 75%

LANDSCAPE BUFFERS & SCREENS

Street Name or Property Line	Width (in ft.) Req./Prov.	Linear Footage	Buffer Trees (120') Required / Provided	Evergreen Trees Req. (50%) / Provided
n/a	n/a	n/a	n/a	n/a
Length of 6 ft. Opaque Structure Req. / Prov.	Buffer Tree Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Provided	n/a	n/a

NOTE: DUE TO LIMITED WATER AVAILABLE ON SITE, ANY PROPOSED LANDSCAPE MATERIAL WILL BE ESTABLISHED VIA HAND WATERING.



LANDSCAPE SCHEDULE (Outlying Areas):
Planting Schedule:

QTY.	SYM.	KEY	DROUGHT (TOLERANT / DEER RESISTANT)	BOTANICAL/COMMON NAME	MATURE HT./WD.	PLANTING SIZE	NOTES

Percent Signature Trees** (60% minimum- Policy 311.3.K)	Signature Trees: 9 Total No. of Trees: 9 = 100% Signature Trees
--	--

QTY.	SYM.	KEY	DROUGHT (TOLERANT / DEER RESISTANT)	BOTANICAL/COMMON NAME	MATURE HT./WD.	PLANTING SIZE	NOTES

Percent Signature Shrubs** (60% minimum- Policy 311.3.K)	Signature Shrubs: 468 Total No. of Shrubs: 585 = 80% Signature Shrubs
---	--

QTY.	SYM.	KEY	DROUGHT (TOLERANT / DEER RESISTANT)	BOTANICAL/COMMON NAME	MATURE HT./WD.	PLANTING SIZE	NOTES

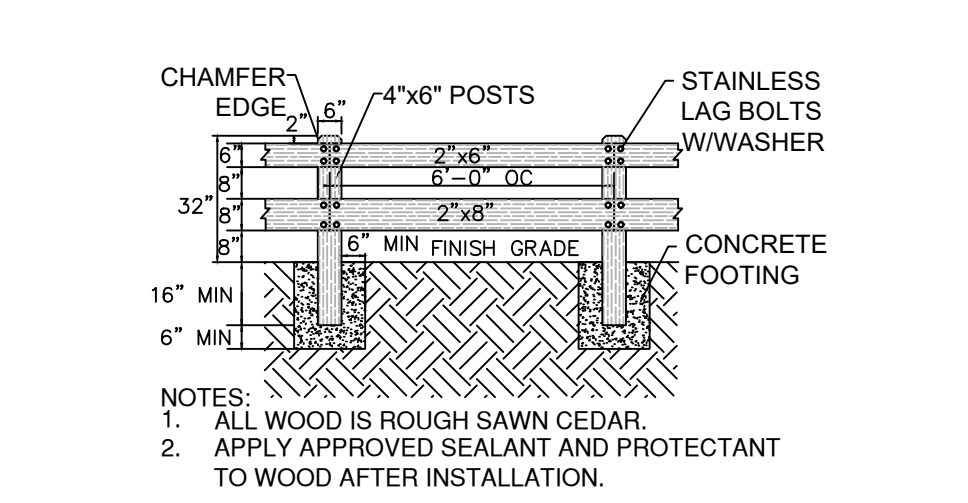
SYMBOL KEY:

SYMBOL	DESCRIPTION/REMARKS
	STEEL MAINTENANCE EDGE; 3/16" x 4" ROLL TOP STEEL, GREEN COLOR
	NO SYMBOL
	SEEDING TURF (El Paso County All Purpose Low Grow Mix for Upland and Transition Areas): [25% BUFFALOGRASS, 20% BLUE GRAMA, 29% SIDEOATS GRAMA, 5% GREEN NEEDLEGRASS, 20% WESTERN WHEATGRASS, 1% SAND DROPSSEED] Seed rate (lbs PLS/acre) : 42 irrigated broadcast or irrigated hydroseeded.
	SEEDING TURF (El Paso County Conservation District All Purpose Mix for Upland, Transition and Permanent Control Measure Areas): [20% BIG BLUESTEM, 10% BLUE GRAMA, 10% GREEN NEEDLEGRASS, 20% WESTERN WHEATGRASS, 10% SIDEOATS GRAMA, 10% SWITCHGRASS, 10% PRAIRIE SAND REED, 10% YELLOW INDIAN GRASS] Seed rate (lbs PLS/acre) : 19.3 irrigated broadcast or irrigated hydroseeded.
	ORGANIC MULCH TYPE 'A': 'DECO SHRED' BARK MULCH, PLACED TO A UNIFORM 3" DEPTH ON FABRIC UNDERLAYMENT [Equal to that supplied by Pioneer Sand and Gravel, Colorado Springs, CO]
	NEW SOD: FESCUE/HTN KENTUCKY BLUEGRASS 4-WAY BLEND ON PREPARED SOIL.
	AGGREGATE 'A': 1-1/2" SIZE WHOLE WASHED WHITE RIVER ROCK PLACED TO A UNIFORM DEPTH OF 3" ON FABRIC UNDERLAYMENT. [Equal to that supplied by Pioneer Sand and Gravel, Colorado Springs, CO]
	AGGREGATE 'B': 1-1/2" SIZE WHOLE WASHED WHITE RIVER ROCK PLACED TO A UNIFORM DEPTH OF 3" ON FABRIC UNDERLAYMENT. [Equal to that supplied by Pioneer Sand and Gravel, Colorado Springs, CO]
	LOW CEDAR PEDESTRIAN SAFETY FENCE (Per Detail)

PLANTED BOULDERS: Equal to Sileam quarried boulders (Canon City, CO), avg. 3' width, set in grade w/ 18-24" ht. exposed above grade (Per Detail).

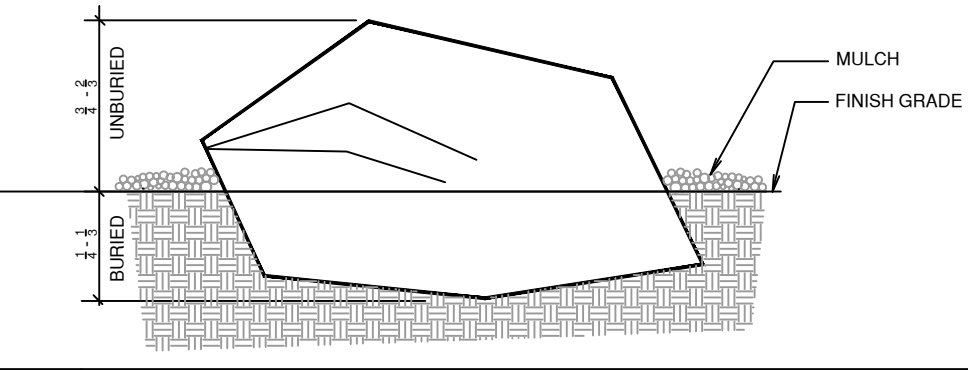
LANDSCAPE NOTES:

- REFER TO SPECIFICATION SECTION 32-94-00: LANDSCAPE ACCESSORIES FOR REQUIRED INSTALLATION AND WORKMANSHIP STANDARDS FOR NEW LANDSCAPING IN THE EVENT OF A CONFLICT THE MOST STRINGENT INTERPRETATION WILL PREVAIL.
- DRAWINGS ARE DIAGRAMMATIC; PRECISE PLACEMENT OF LANDSCAPE ACCESSORIES MAY NOT BE POSSIBLE AS INDICATED. CONSULT PROJECT LANDSCAPE ARCHITECT PRIOR TO MAKING RANDOM FIELD CHANGES WHICH MAY ALTER DESIGN INTENT.
- QUANTITIES ARE PROVIDED FOR REFERENCE ONLY. VERIFY ALL QUANTITIES PRIOR TO SUBMITTING COST PROPOSAL. IN THE EVENT OF A CONFLICT BETWEEN SCHEDULED, IMPLIED OR EXPRESSED QUANTITIES, QUANTITIES WHICH CAN BE DETERMINED GRAPHICALLY FROM THE DRAWINGS WILL PREVAIL IN ANY CASE.
- THE CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND VERIFICATION OF ALL FIELD CONDITIONS AND RESOLVING CONFLICTS PERTAINING TO DIMENSIONS, LAYOUT, ETC., WHICH MAY AFFECT THE LANDSCAPE INSTALLATION. MOBILIZING SHALL BE CONSTRUED AS ACCEPTANCE OF CONDITIONS.
- COORDINATE ALL WORK INDICATED ON THESE DRAWINGS WITH WORK OF OTHER TRADES.
- THE PROJECT LANDSCAPE ARCHITECT RESERVES THE RIGHT TO CONSIDER AND APPROVE ALTERNATE INSTALLATIONS AT ANY TIME WHICH IN THE LANDSCAPE ARCHITECT'S OPINION MAXIMIZES THE CONSTRUCTION BUDGET AND MAINTAINS DESIGN INTENT.
- PROVIDE A 3 FOOT CLEAR SPACE AROUND THE CIRCUMFERENCE AROUND ALL FIRE HYDRANTS AND LIGHTING STANDARDS.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS MAY BE AVAILABLE. IF THE AMOUNT OF TOPSOIL NEEDED TO COMPLETE FINAL GRADING IS NOT AVAILABLE, THE CONTRACTOR SHALL IMPORT THE AMOUNT OF SOIL NEEDED.
- CONTRACTOR SHALL ENSURE THAT PROPER IRRIGATION VIA THE IRRIGATION SYSTEM IS CAPABLE OF EXTENDING AMOUNT OF WATER REQUIRED TO ESTABLISH AND SUSTAIN PLANT GROWTH AT THE TIME OF INSTALLATION.
- ALL LANDSCAPE AND IRRIGATION MAINTENANCE SHALL BE COMMENCED BY THE OWNER UPON COMPLETION AND FINAL ACCEPTANCE OF ALL LANDSCAPE AND IRRIGATION SYSTEM INSTALLATIONS.
- SOIL AMENDMENT AND FINAL GRADING FOR ALL SOD AND SEEDED TURF AREAS TO BE PROVIDED IN ACCORDANCE WITH SPECIFICATIONS.
- AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE IRRIGATION SYSTEM DRAWING AND SPECIFICATIONS:
 - IN LANDSCAPE SETBACK AREAS ALONG ROAD FRONTAGES; IN-LINE DRIP EMITTER RINGS FOR ALL TREES
 - NEW SODDED TURF INTERIOR LANDSCAPE AREAS; 20' ROTOR SPRINKLERS AND POP-UP SPRAY SPRINKLERS
 - NEW SEEDED TURF AREAS; 30' ROTOR SPRINKLERS AND POP-UP SPRAY SPRINKLERS SHRUBS AND TREES; IN-LINE DRIP EMITTER RINGS FOR ALL TREES, EMITTERS FOR ALL SHRUBS
- 4"x14 GAUGE GALVANIZED STEEL MAINTENANCE EDGING TO BE INSTALLED TO SEPARATE ALL ORGANIC AND AGGREGATE MULCHES FROM ADJACENT SOD AND SEEDED TURF AREAS. PIN EDGING WITH 12" STEEL EDGING PINS AT 24" SPACING.
- ALL PLANT MATERIAL TO BE INSTALLED PER DETAILS AND SPECIFICATIONS. GUY AND STAKE ALL DECIDUOUS AND EVERGREEN TREES PER DETAILS. PROVIDE SHREDDED MULCH RINGS IN RETENTION BASINS AROUND ALL TREES PLANTED IN SOD AND SEEDED AREAS (MULCH RINGS ARE NOT REQUIRED FOR TREES PLANTED IN AGGREGATE MULCH AREAS).
- PLANT QUANTITIES AND SIZES INDICATED ARE THE MINIMUM TO SATISFY LANDSCAPE CODE REQUIREMENTS; NO SUBSTITUTIONS ARE PERMITTED WITHOUT PRIOR APPROVAL OF THE MUNICIPAL REVIEWING AGENCY.



A LOW CEDAR PEDESTRIAN FENCE
NOT TO SCALE

NOTE: LIMITED SECTIONS AROUND THE PERIMETER.



B PLANTED BOULDER
NOT TO SCALE

NOTE: THE PERIMETER OF THE ENTIRE SITE IS FENCED WITH BARBED WIRE. EVERY 300 FT. +/- THERE IS A FIELD GATE FOR EMERGENCY ACCESS, ANIMAL RELOCATION AND NEIGHBOR ACCESS.

C STEEL MAINTENANCE EDGE
NOT TO SCALE



G SMOOTH WIRE RANCH FENCE (6'-7' HEIGHT)
NOT TO SCALE



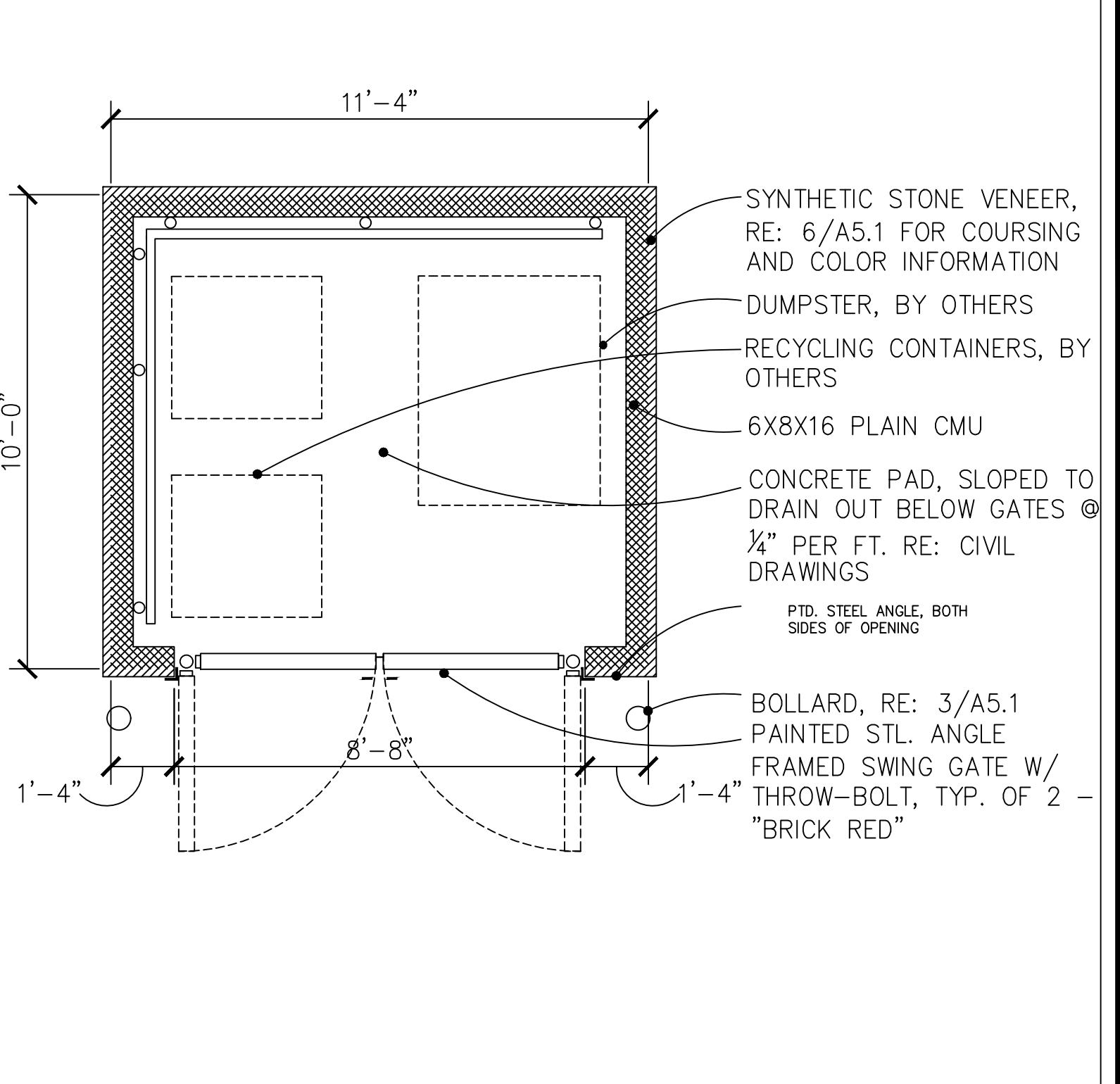
H BARBED WIRE FENCE
NOT TO SCALE

THE GRAZING AREA IS PRIMARILY FENCED WITH BARBED WIRE. A PORTION OF THE GRAZING AREA IS PLAIN FIELD FENCE LEFT OVER FROM THE PREVIOUS OWNER.

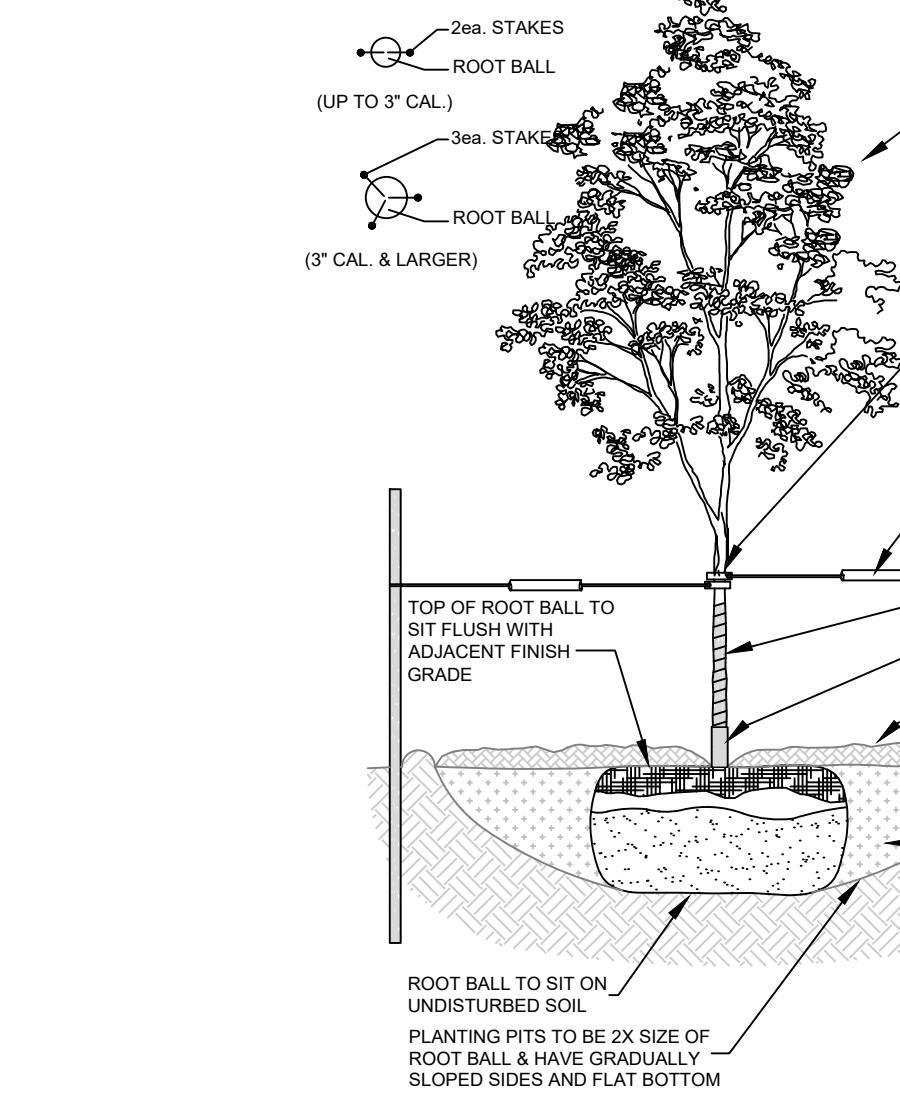
I SEMI-OPAQUE WIND FENCE
NOT TO SCALE



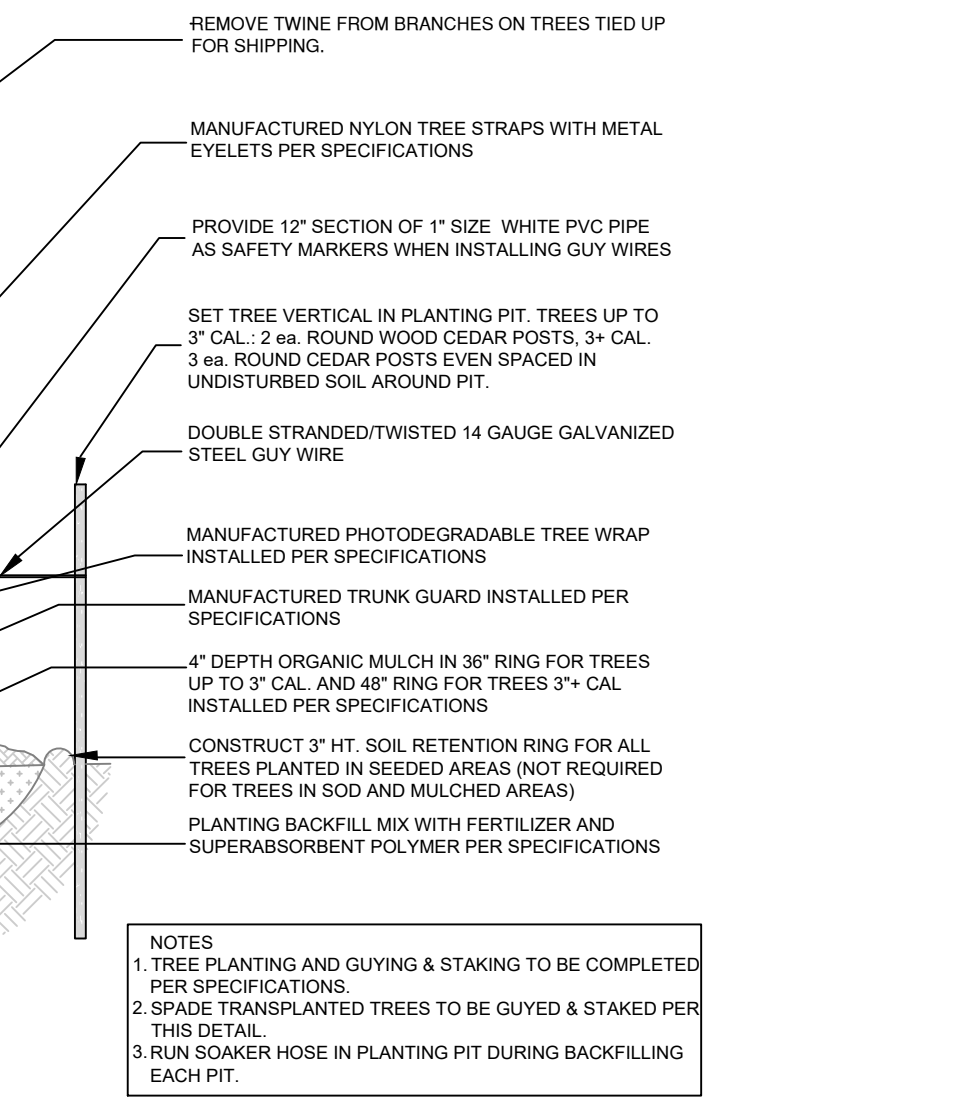
J FIELD FENCE
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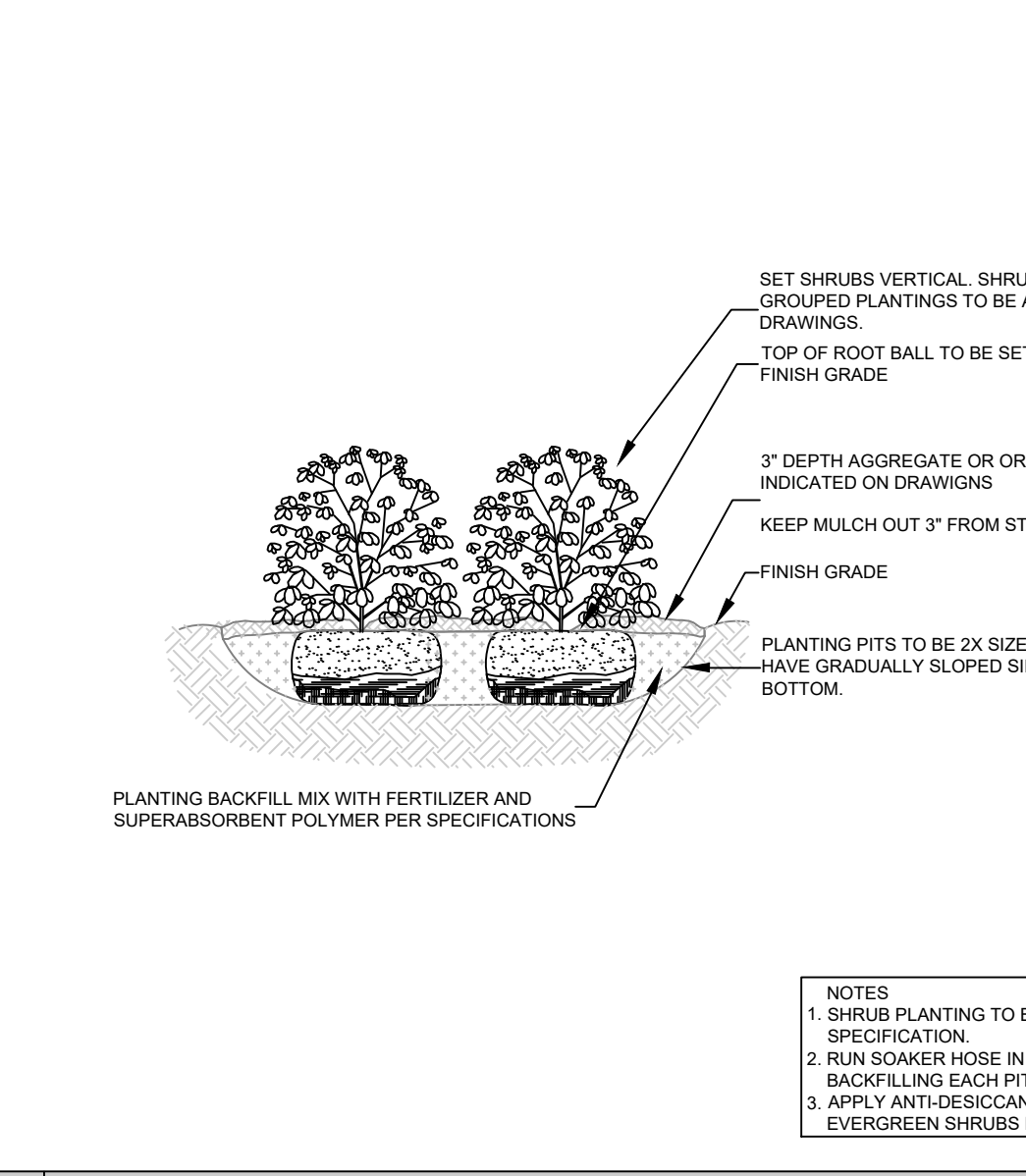
J TRASH ENCLOSURE PLAN
NOT TO SCALE



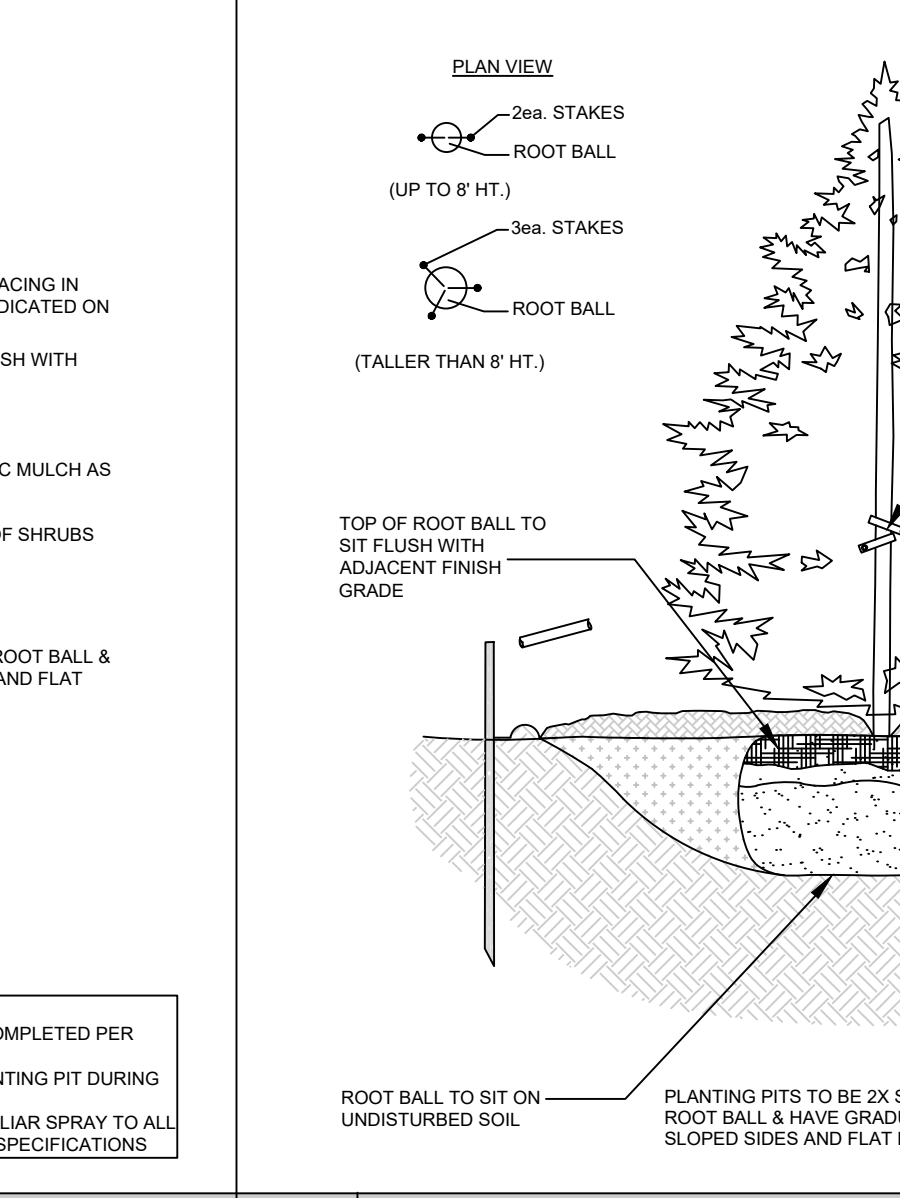
D DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



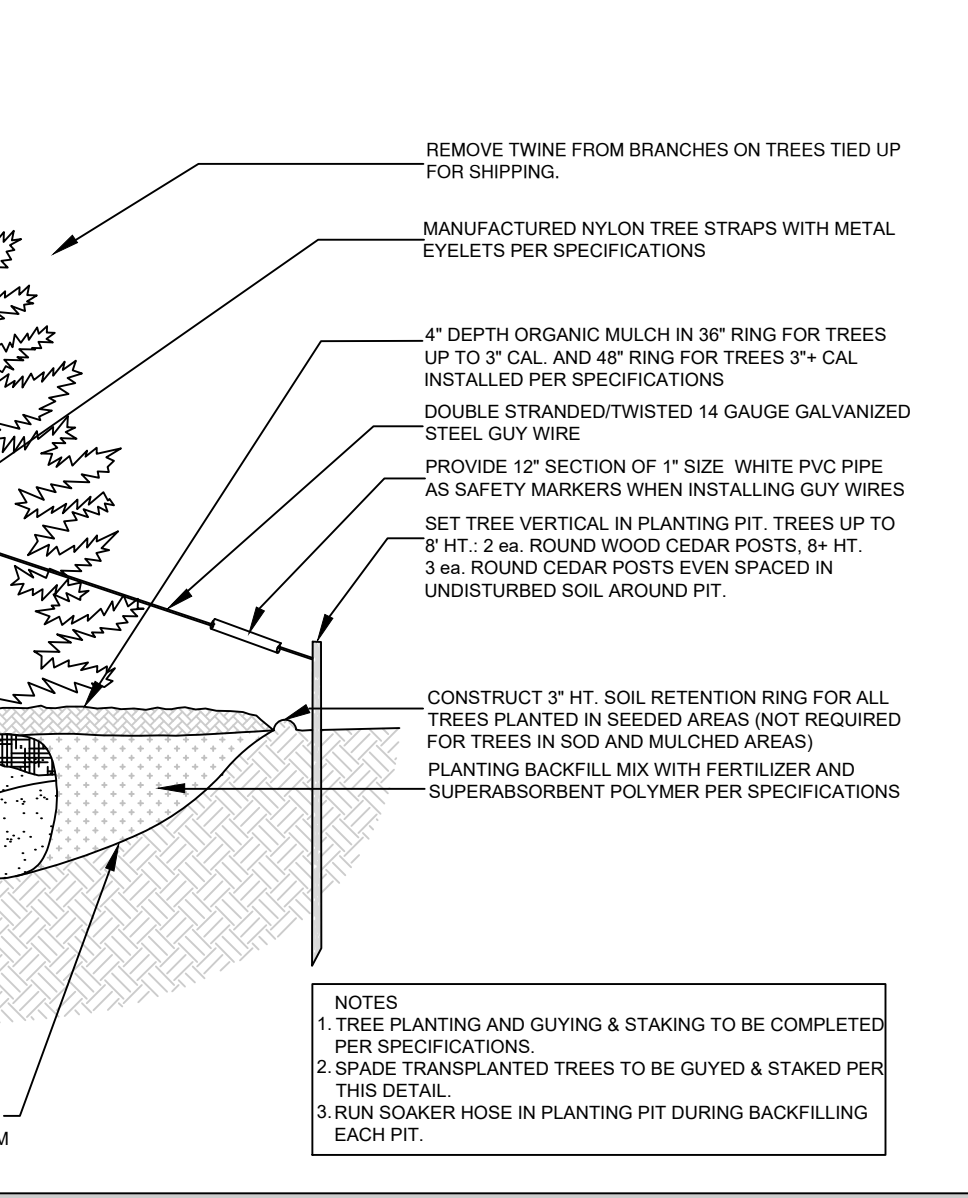
F EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



E SHRUB PLANTING DETAIL
NOT TO SCALE



F EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

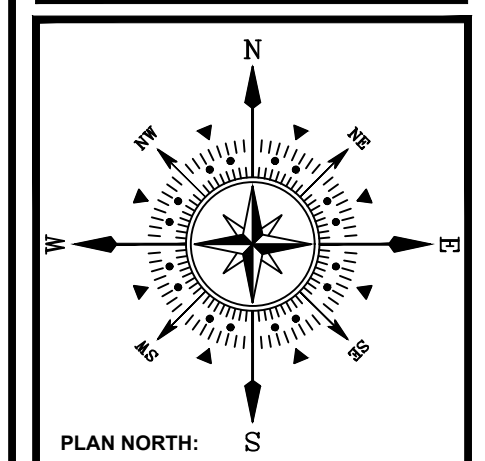


J FIELD FENCE
NOT TO SCALE



J FIELD FENCE
NOT TO SCALE

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FALL MOUNTAIN FARM
16300 MOUNT HERMAN LANE
MONUMENT, CO 80132

PROJECT NAME: FALL MOUNTAIN FARM
PROJECT ADDRESS: 16300 MOUNT HERMAN LANE, MONUMENT, CO 80132

DATE:	07/29/2022
DESIGNED:	GEM
CHECKED:	WFG

REVISIONS:	DATE:	BY:	DESCRIPTION:
R1	11/18/2022	GEM	RESPOND TO INITIAL COMMENTS

PLAN SCALE: 1" = 50' (OR AS NOTED ON PLAN)

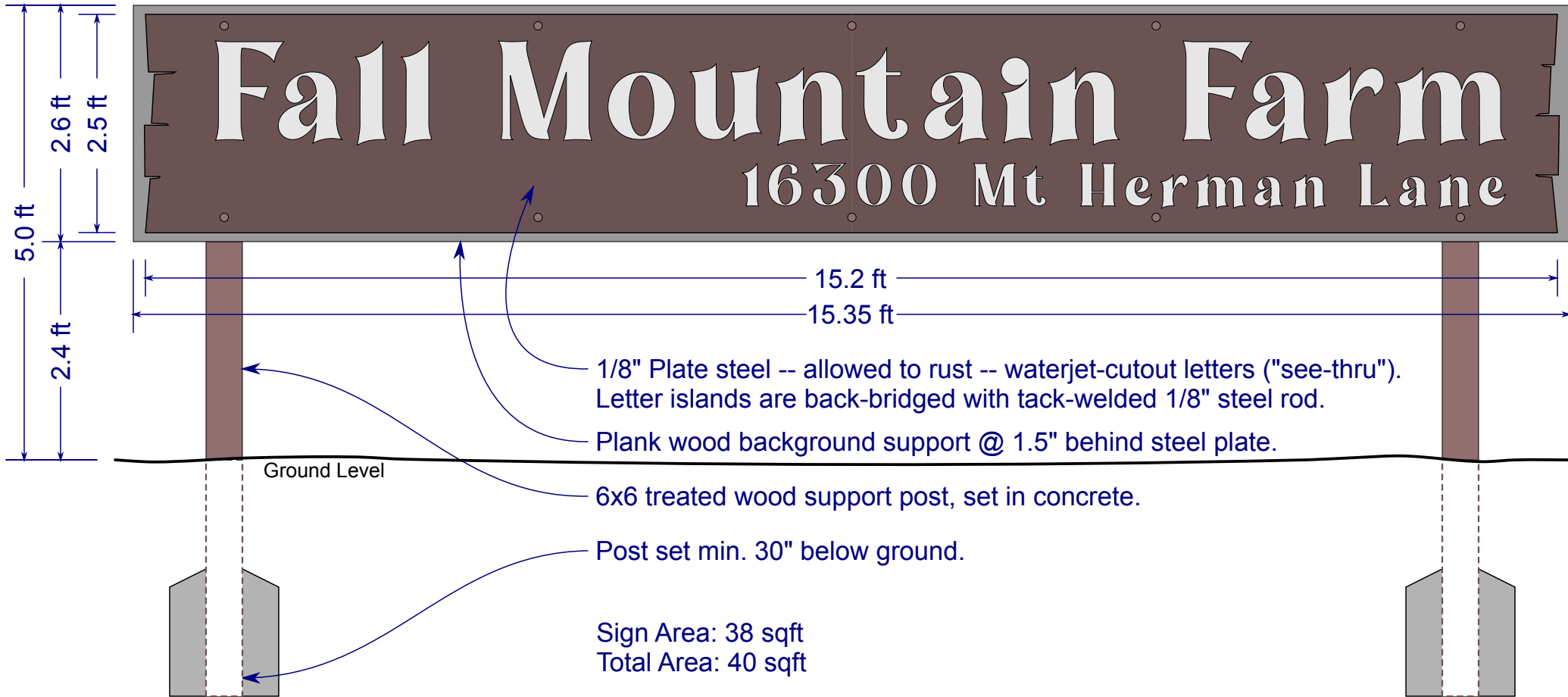
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LANDSCAPE DETAILS

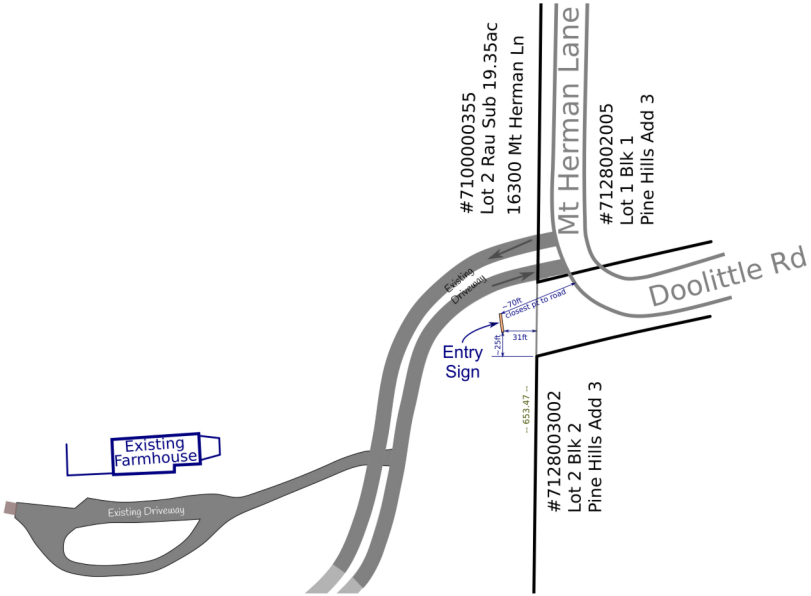
SHEET NO.
3
3 of 3 SHEETS

FILE NO.
PCD FILE# PPR 2246

Fall Mountain Farm Company

On-premise Identification Sign - Permanent, Pole (Freestanding), Low Profile, Single Face





Existing Farmhouse

Existing Driveway

Entry Sign

Existing Driveway

#7100000355
Lot 2 Rau Sub 19.35ac
16300 Mt Herman Ln

Mt Herman Lane

#7128002005
Lot 1 Blk 1
Pine Hills Add 3

Doolittle Rd

#7128003002
Lot 2 Blk 2
Pine Hills Add 3

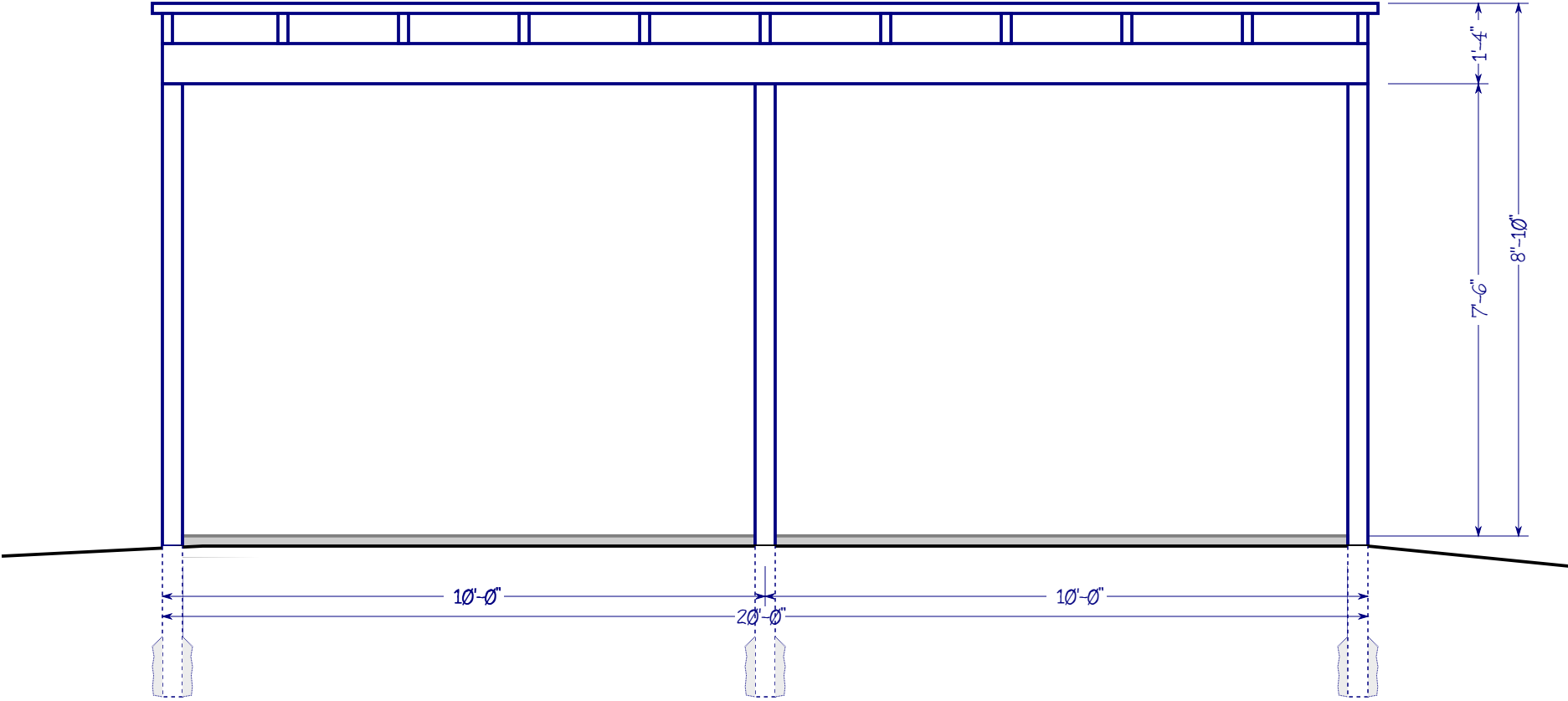
-- 653.47 --

70ft
closest pt to road

25ft
31ft

Fall Mountain Farm Produce Storage Shed

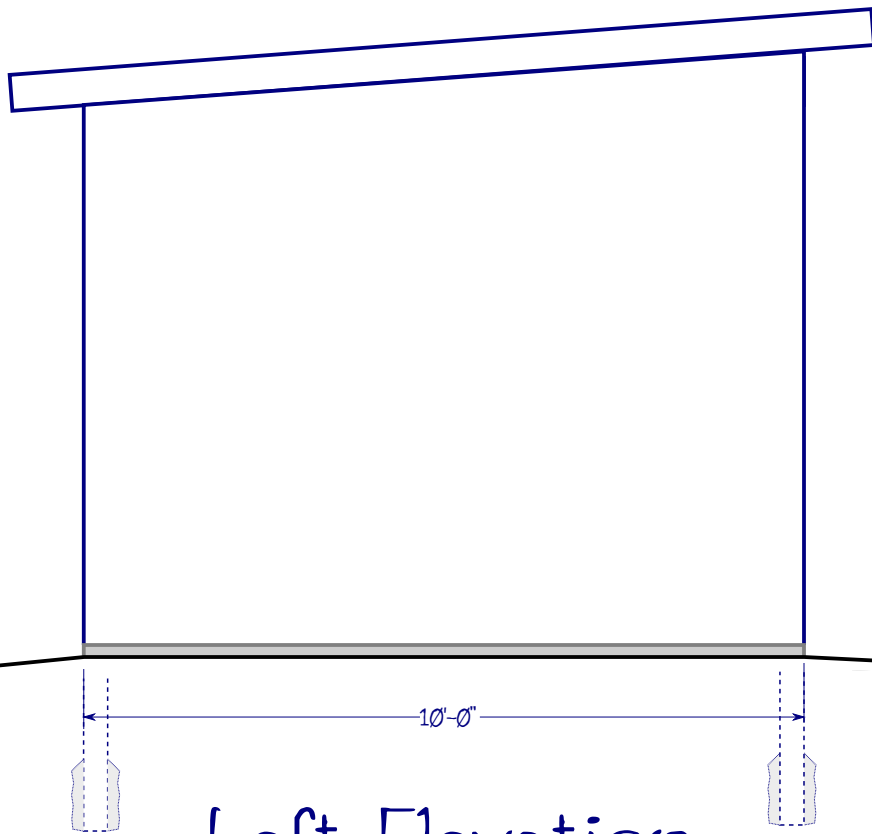
10' x 20' (200 sqft) Pole-frame Lean-to Three-sided Shed



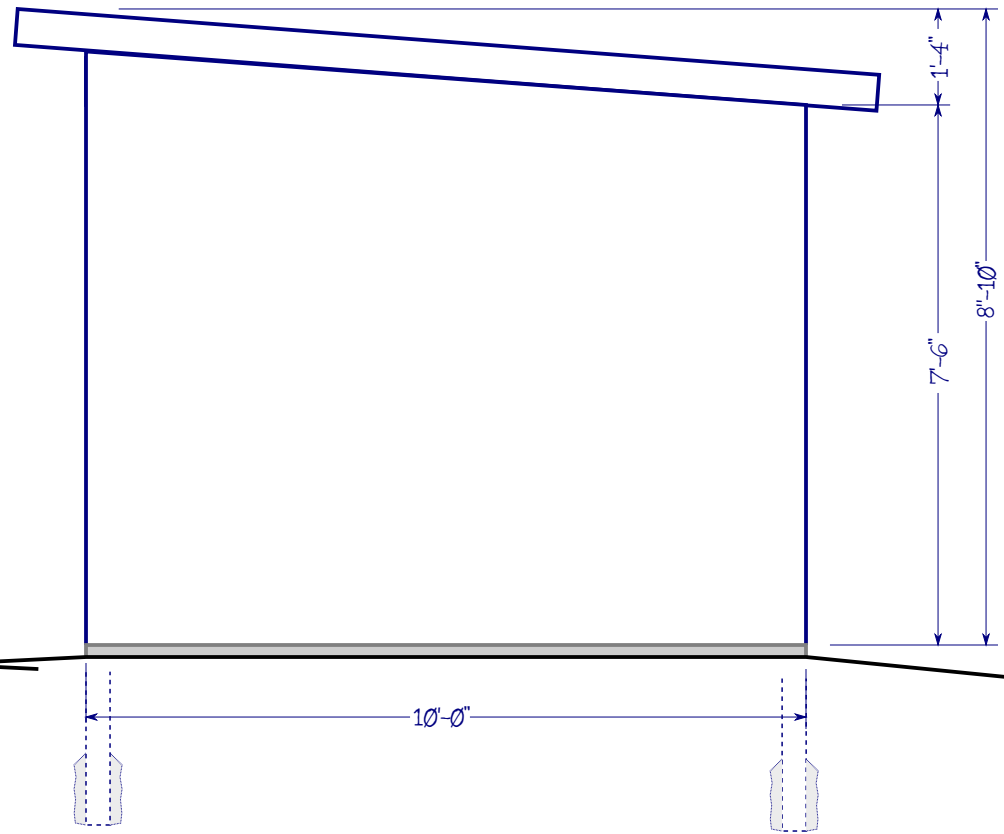
Front Elevation

Fall Mountain Farm Produce Storage Shed

10' x 20' (200 sqft) Pole-frame Lean-to Three-sided Shed



Left Elevation

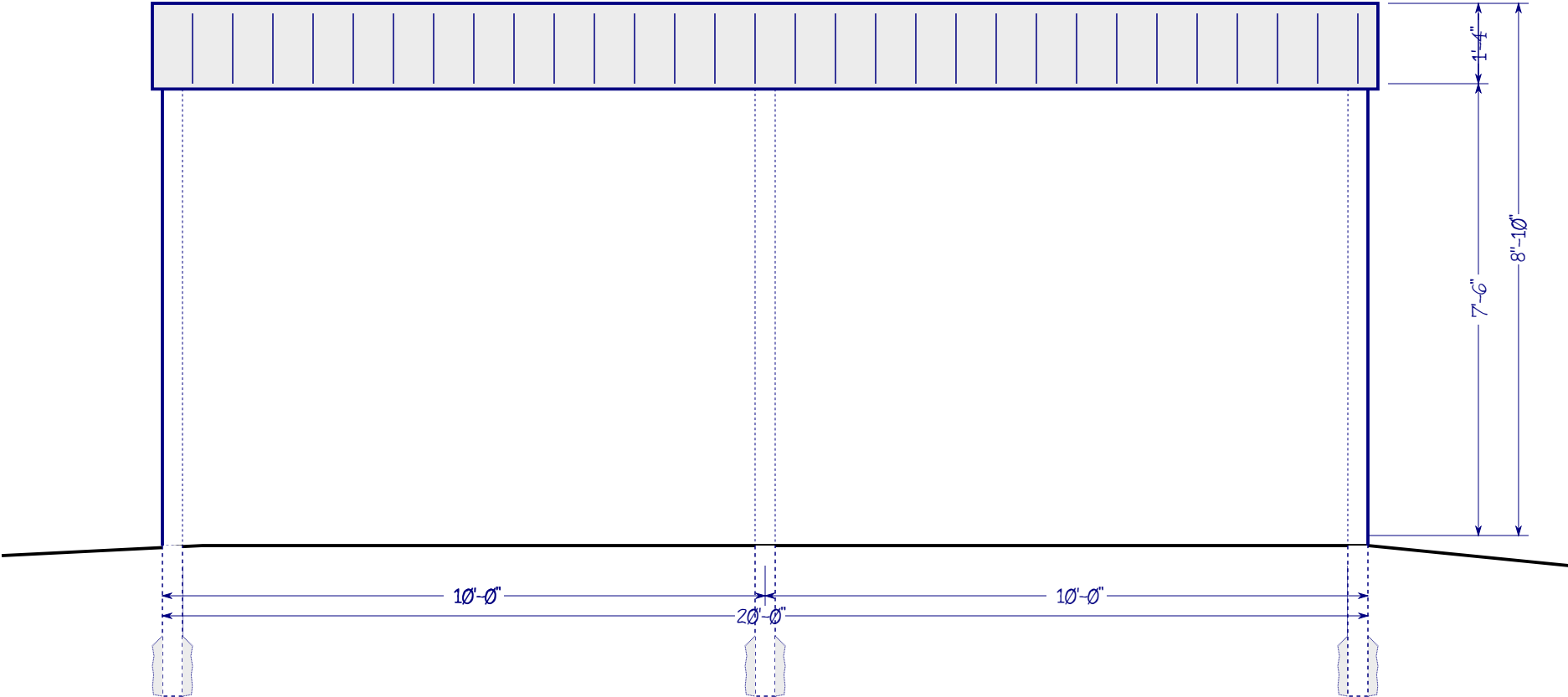


Right Elevation

Fall Mountain Farm

Produce Storage Shed

10' x 20' (200 sqft) Pole-frame Lean-to Three-sided Shed



Back Elevation

Fall Mountain Farm

Produce Storage Shed

10' x 20' (200 sqft) Pole-frame Lean-to Three-sided Shed

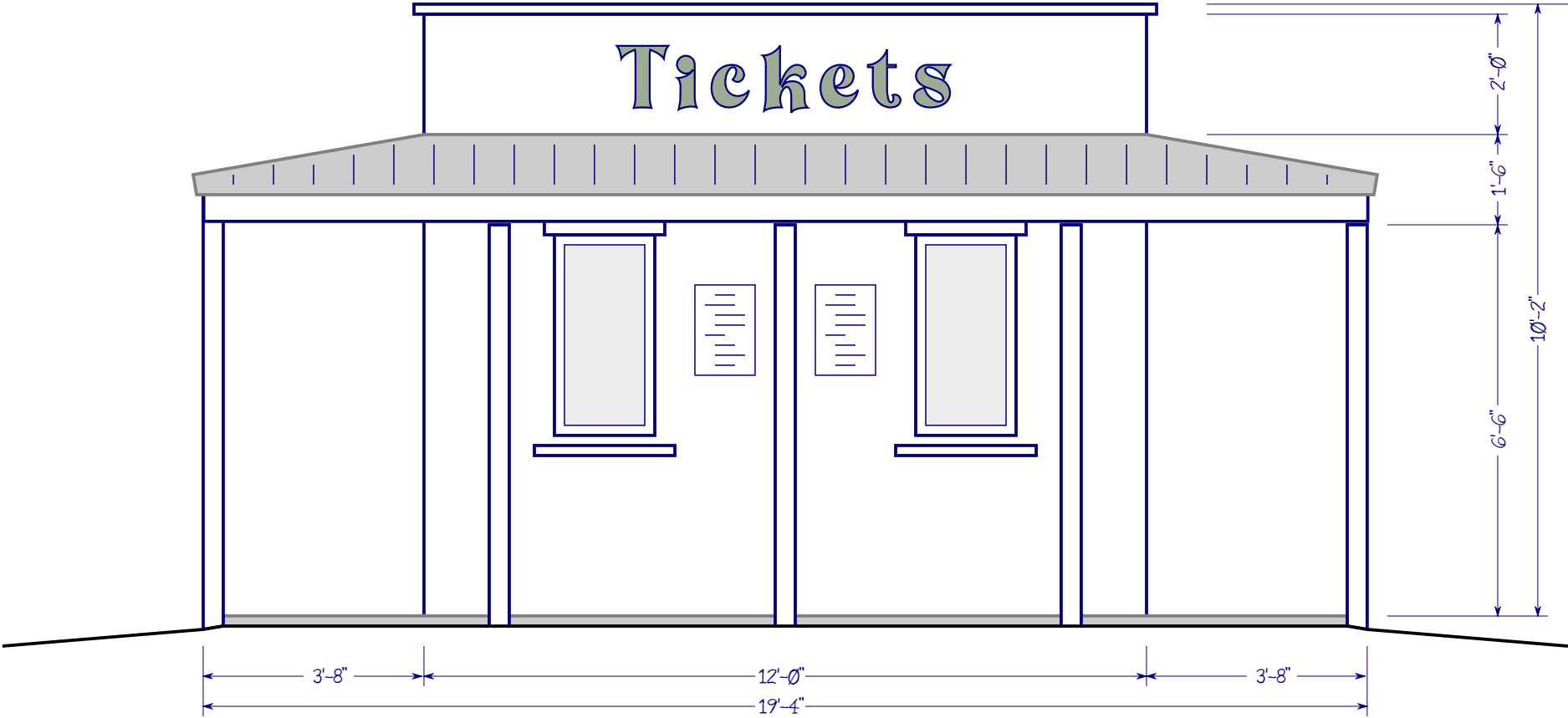


Plan View

Fall Mountain Farm

Ticket Booth

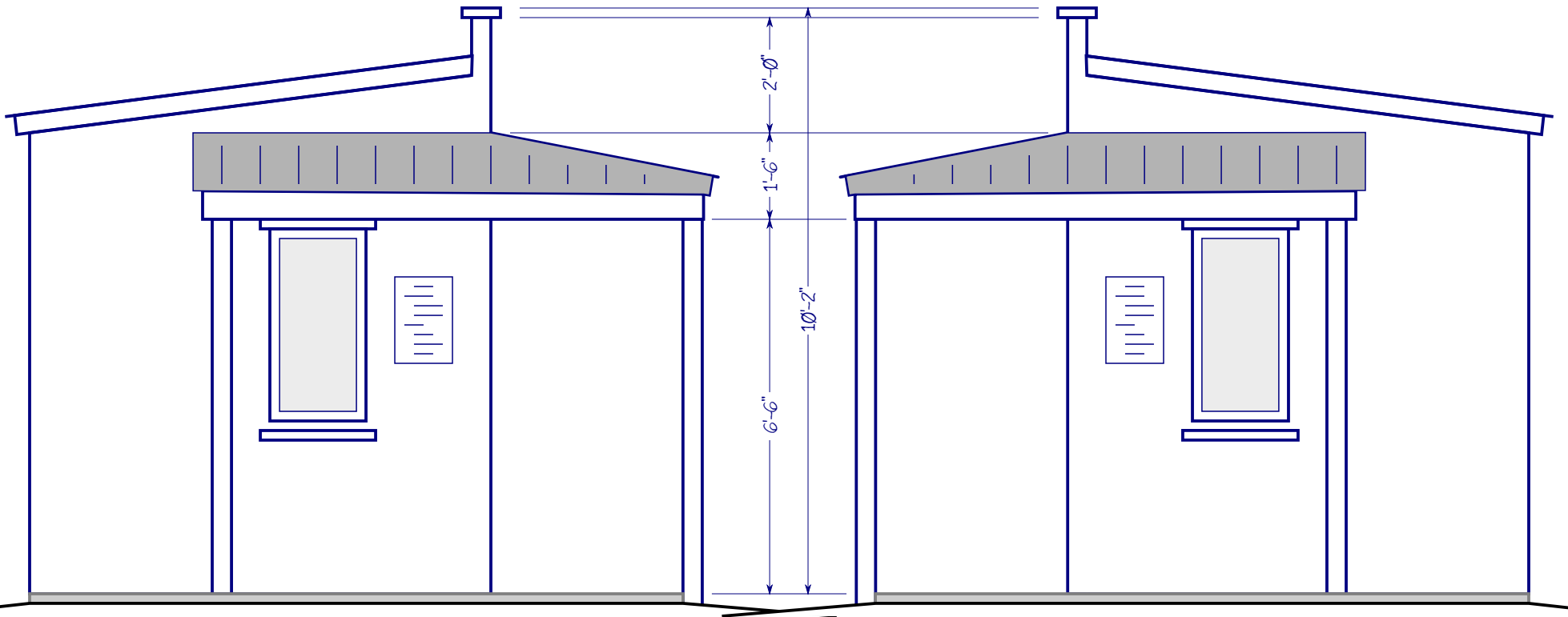
8' x 12' (96 sqft) Pole-frame Structure



Front Elevation

Fall Mountain Farm Ticket Booth

8' x 12' (96 sqft) Pole-frame Structure

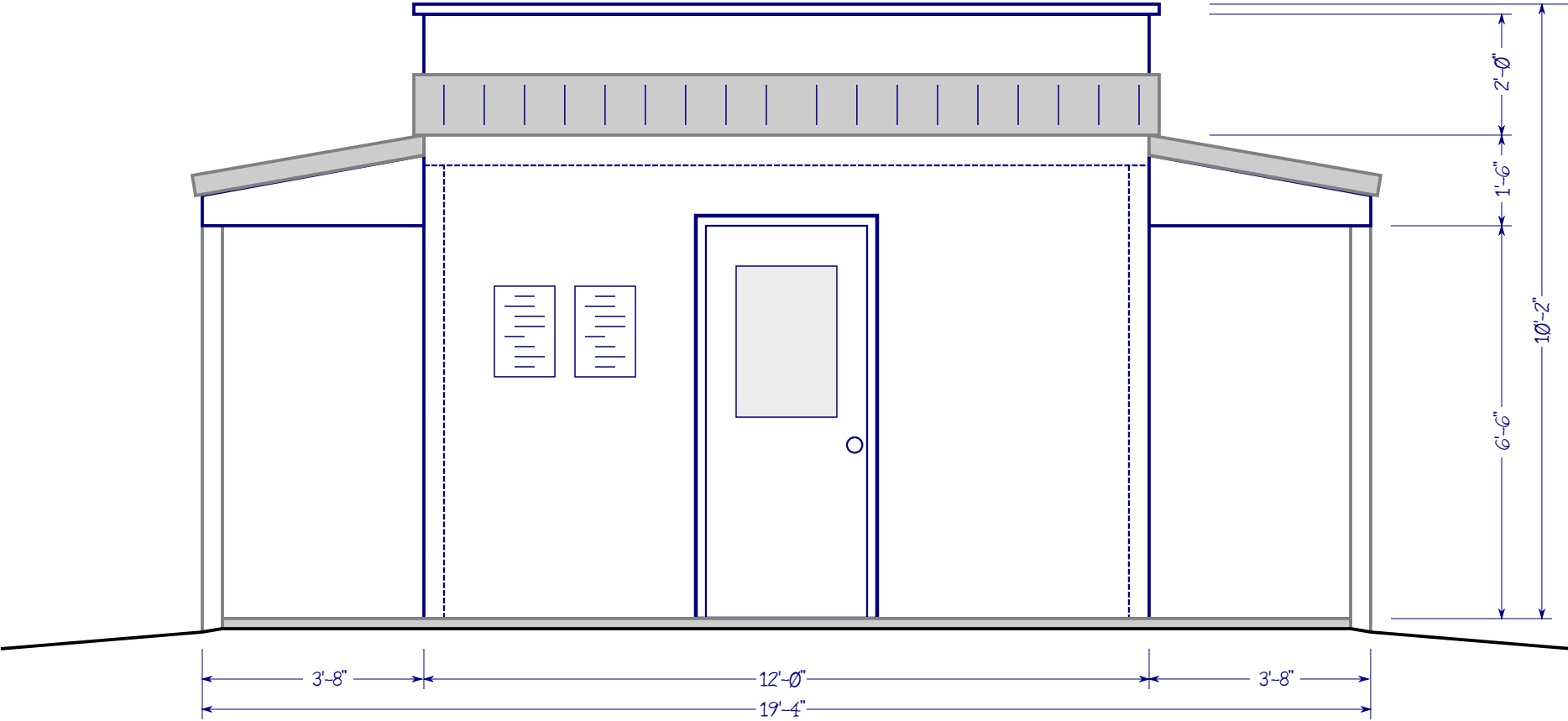


Left Elevation

Right Elevation

Fall Mountain Farm Ticket Booth

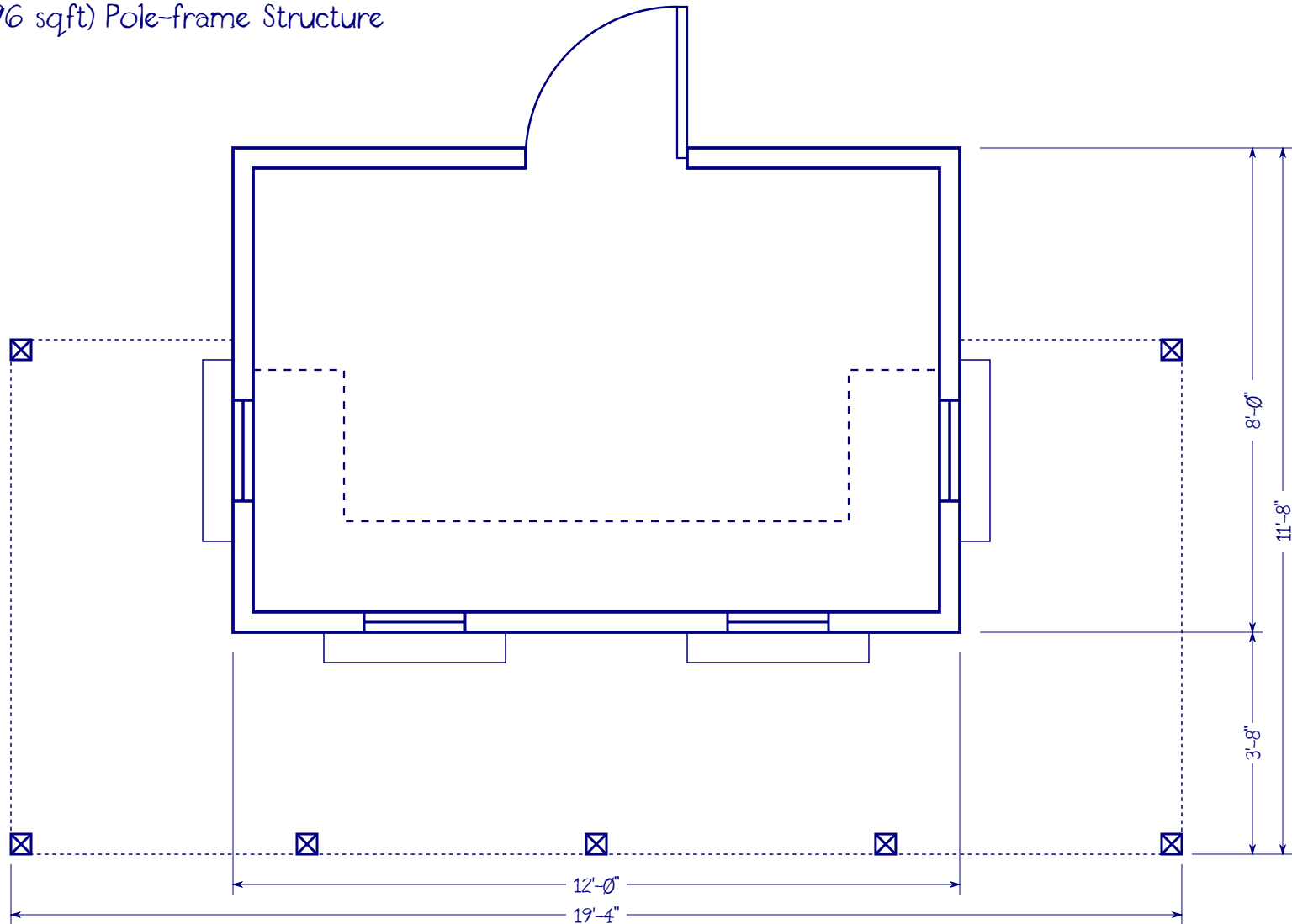
8' x 12' (96 sqft) Pole-frame Structure



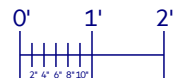
Back Elevation

Fall Mountain Farm Ticket Booth

8' x 12' (96 sqft) Pole-frame Structure

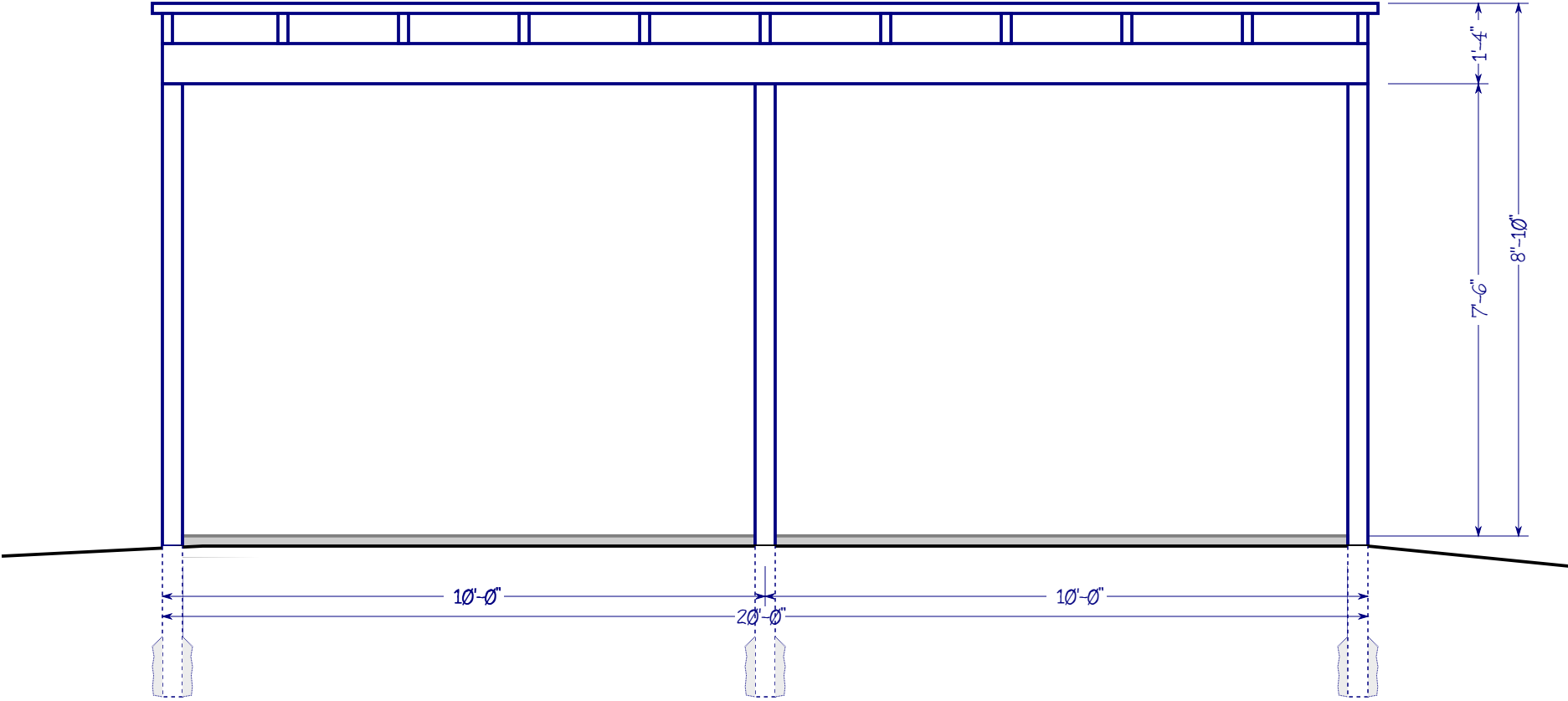


Plan View



Fall Mountain Farm Produce Storage Shed

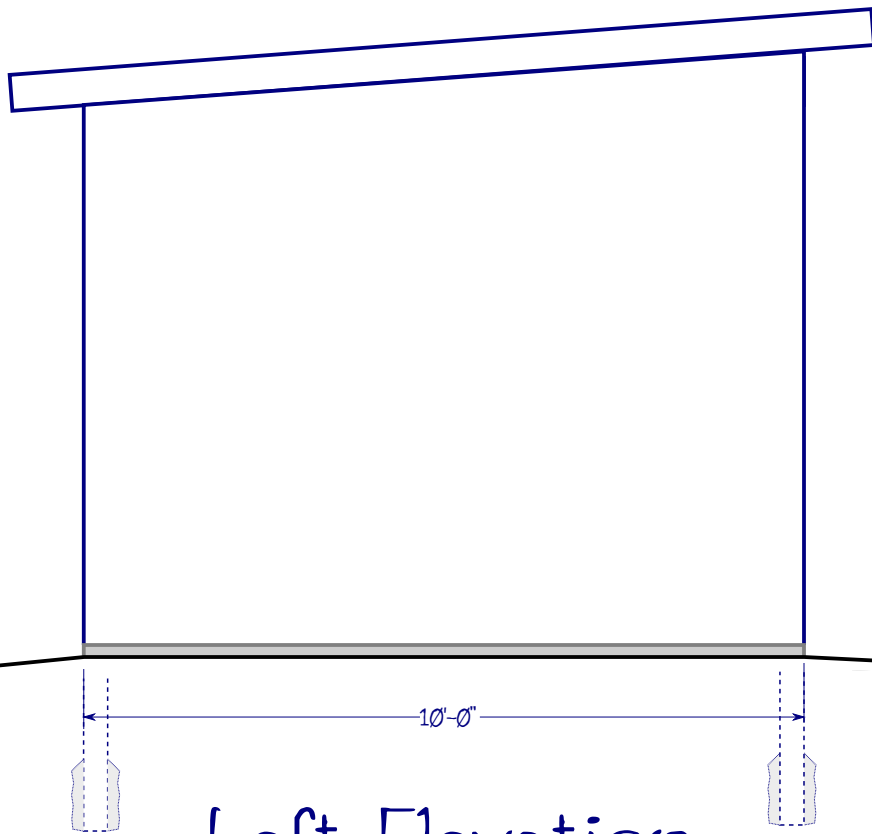
10' x 20' (200 sqft) Pole-frame Lean-to Three-sided Shed



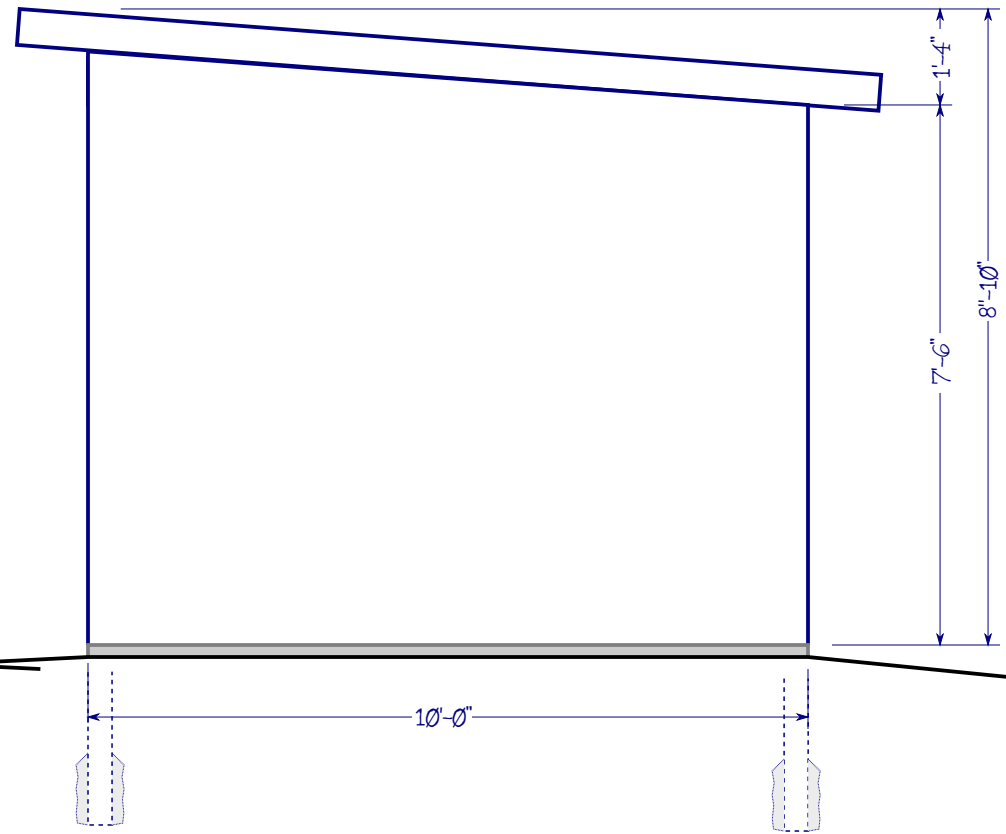
Front Elevation

Fall Mountain Farm Produce Storage Shed

10' x 20' (200 sqft) Pole-frame Lean-to Three-sided Shed



Left Elevation

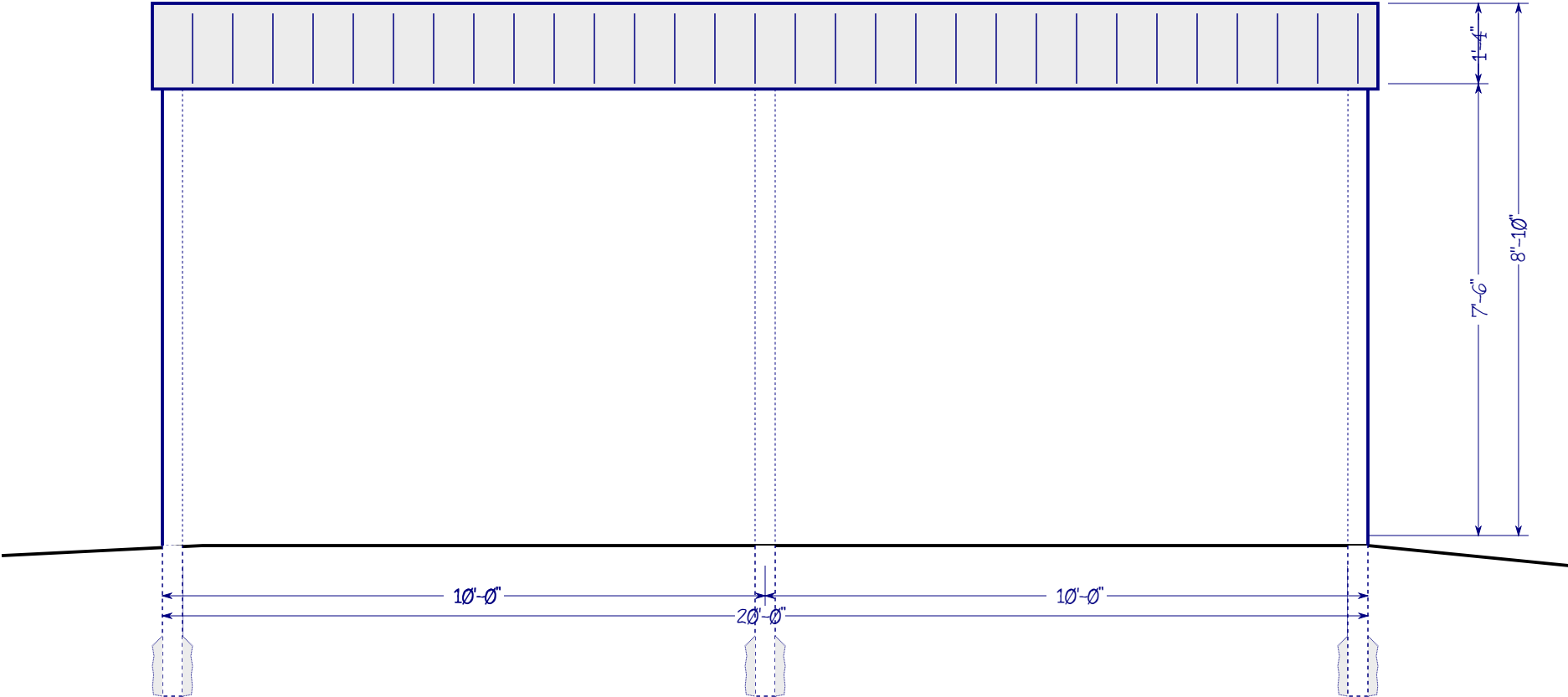


Right Elevation

Fall Mountain Farm

Produce Storage Shed

10' x 20' (200 sqft) Pole-frame Lean-to Three-sided Shed



Back Elevation

Fall Mountain Farm

Produce Storage Shed

10' x 20' (200 sqft) Pole-frame Lean-to Three-sided Shed

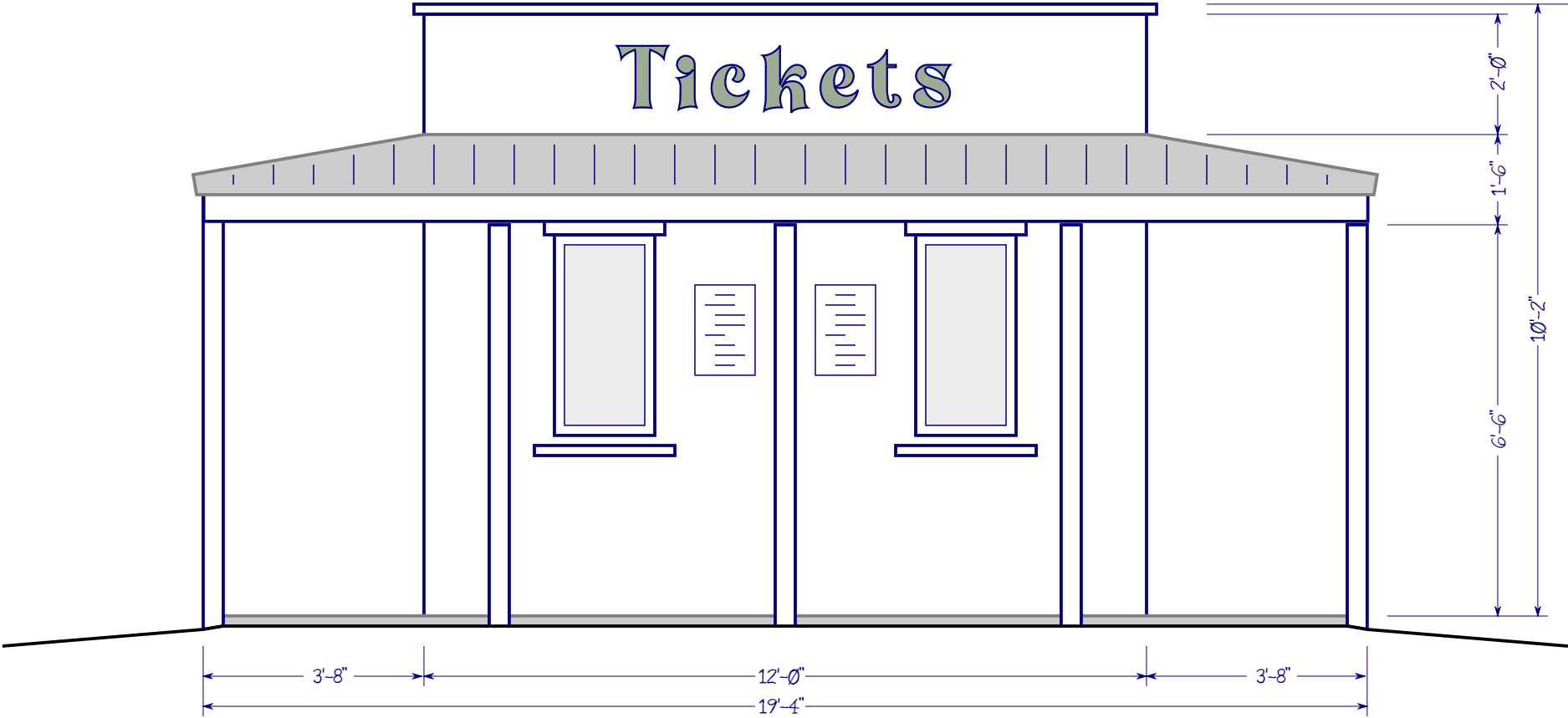


Plan View

Fall Mountain Farm

Ticket Booth

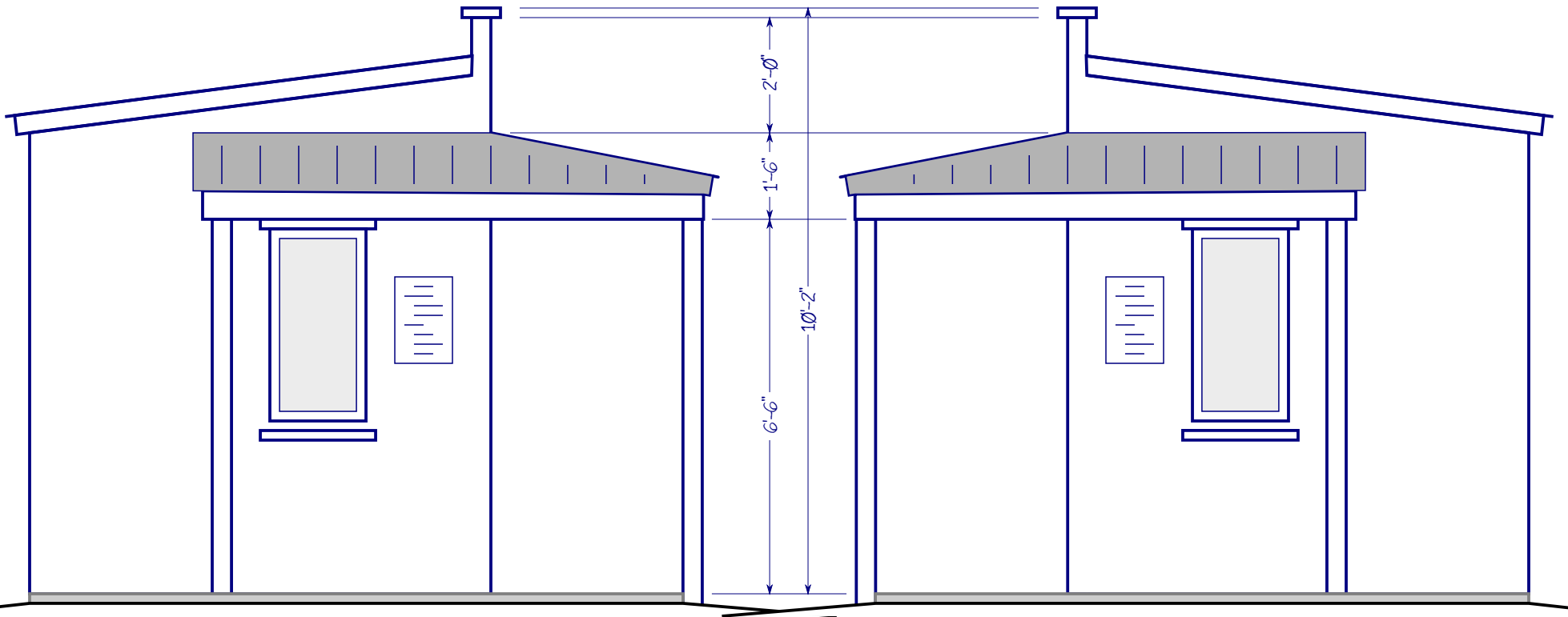
8' x 12' (96 sqft) Pole-frame Structure



Front Elevation

Fall Mountain Farm Ticket Booth

8' x 12' (96 sqft) Pole-frame Structure

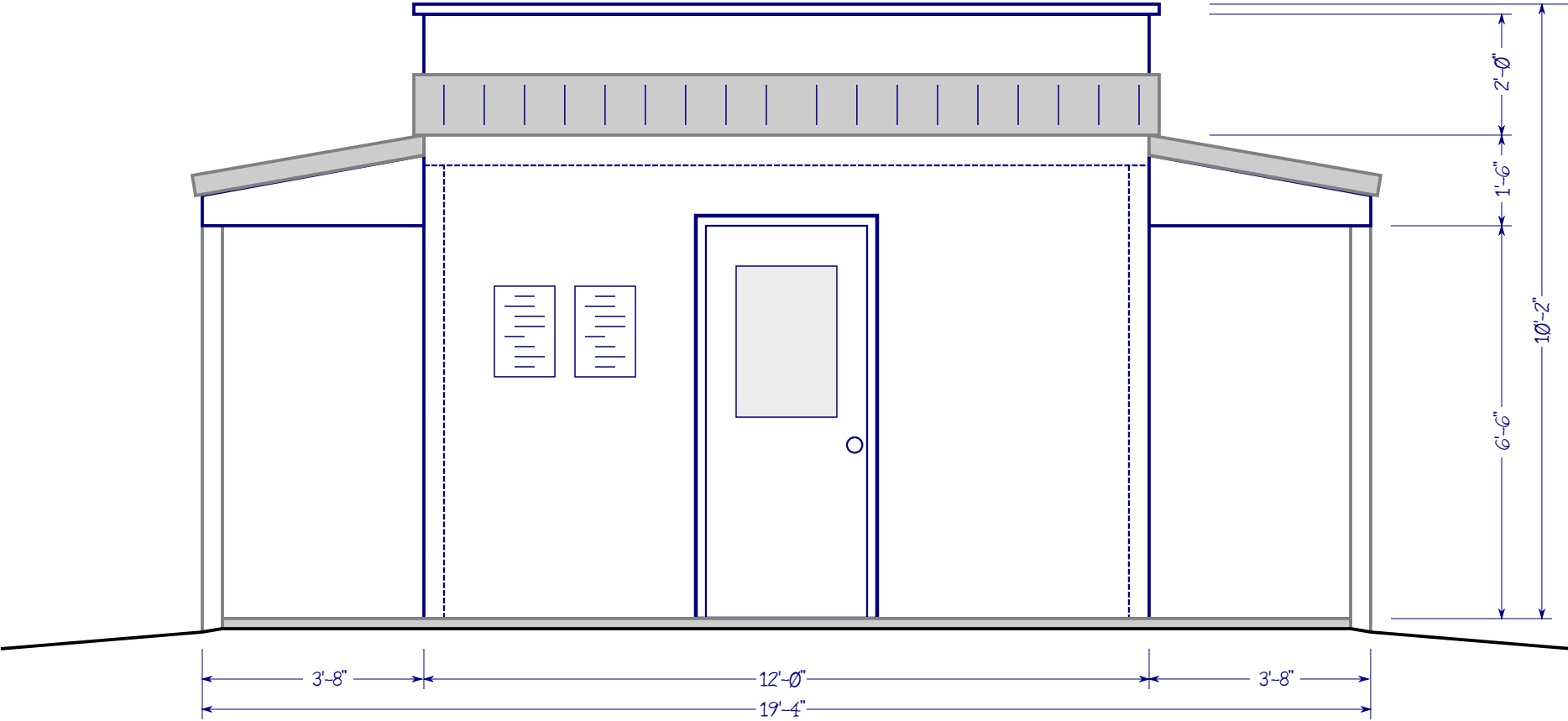


Left Elevation

Right Elevation

Fall Mountain Farm Ticket Booth

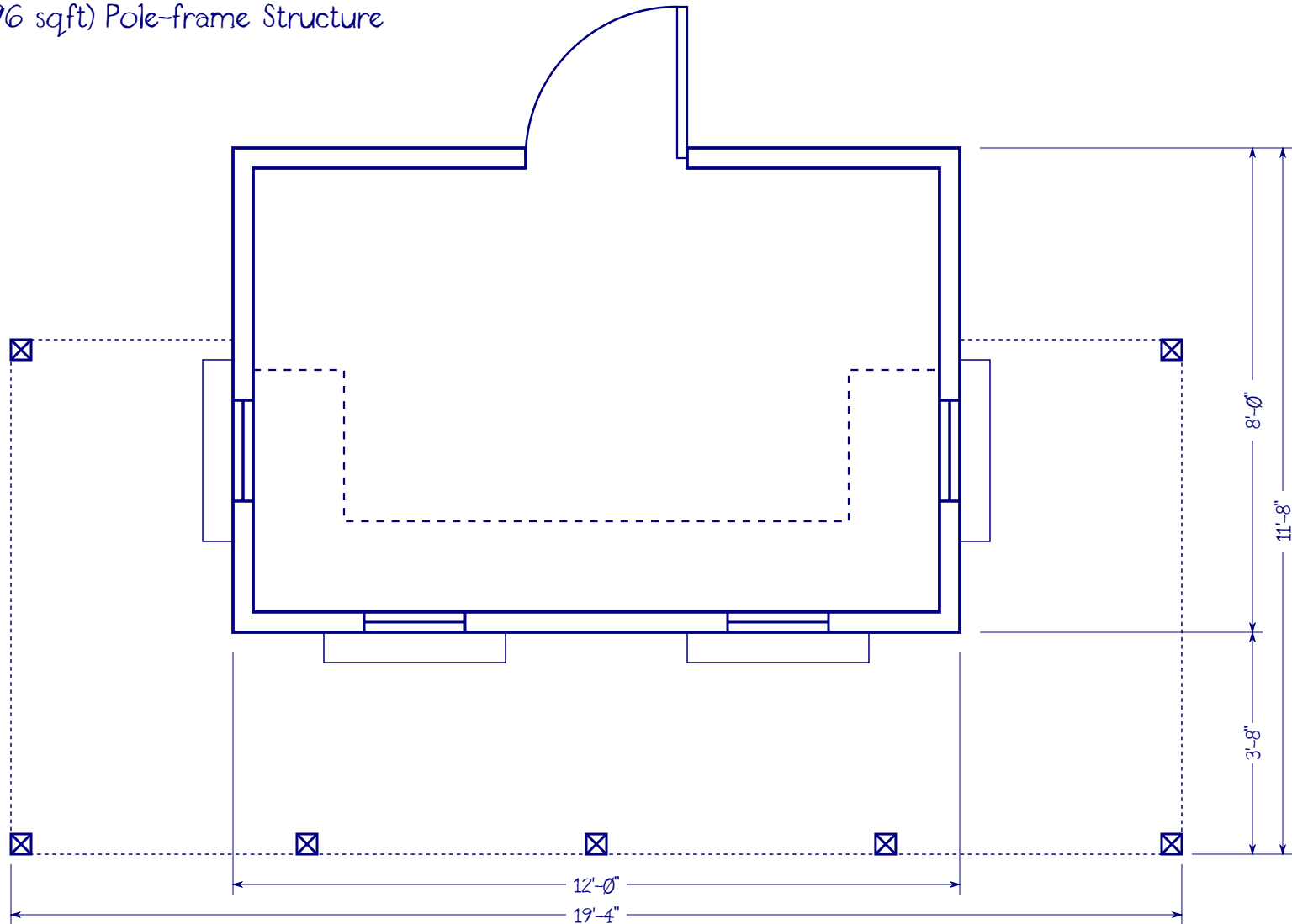
8' x 12' (96 sqft) Pole-frame Structure



Back Elevation

Fall Mountain Farm Ticket Booth

8' x 12' (96 sqft) Pole-frame Structure



Plan View

