



Planning Commission May 18, 2023

Proposed Code Amendments- Carports



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If you are watching remotely and wish to
comment on this item, please email your
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Current Code

1.15: Carport, Temporary — A detached covered structure without walls that is not subject to the building code and is used to offer limited protection to vehicles from rain and snow.

5.4.3 (E)(1) Projections into Residential Zoning District: An open sided temporary carport, metal or canvas, which is not classified as a structure under the Building Code, may extend into the required front yard setback to a point 15 feet from the property line as long as any site visibility is maintained, and into the side and/or rear yard setback. No portion shall project into any utility or drainage easement except with the permission the agency or agencies having jurisdiction over the easement. Approval of a residential site plan is required prior to placement or construction of a carport.



Current Code

- No specific use standards for carports
- Administrative Relief or a dimensional variance from the Board of Adjustment is required for a reduction in setback requirements. Administrative Relief (maximum of 20%) and dimensional variances are subject to approval.
 - Administrative Relief - \$587.00
 - Board of Adjustment - \$1,037



Proposed Amendments

- Update the definition to remove the word temporary:

Carport: A detached structure consisting of a roof supported on posts with three or four open sides used to offer limited protection to vehicles.

- Shall not exceed five hundred (500) square feet and shall not exceed twelve (12') feet at the highest point
- Must be accessed from an approved driveway
- Have one enclosed side only if the enclosed side abuts the principal structure
- Shall not have side panels or screening in the area between grade level and sixty (60) inches above grade level



Proposed Amendments

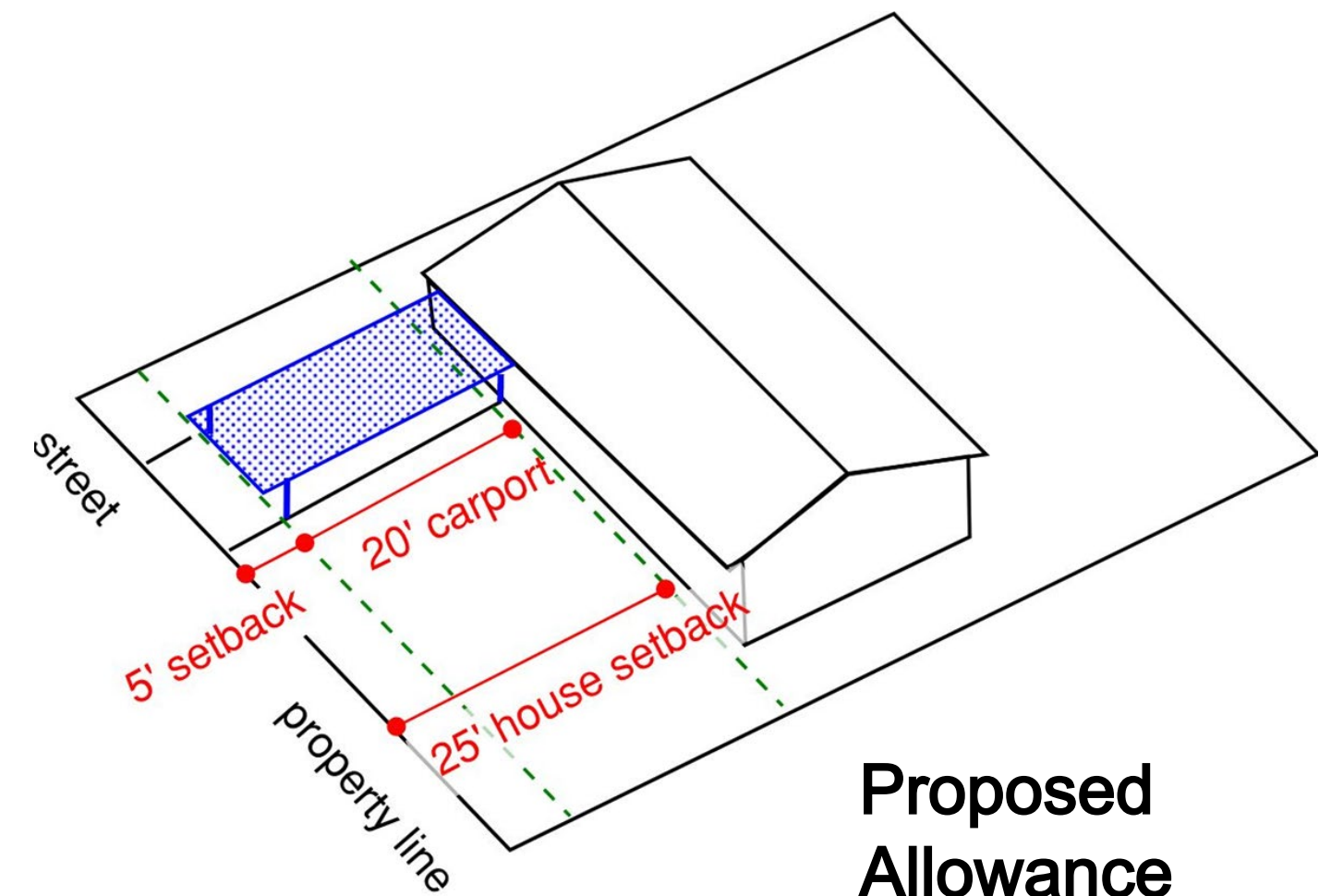
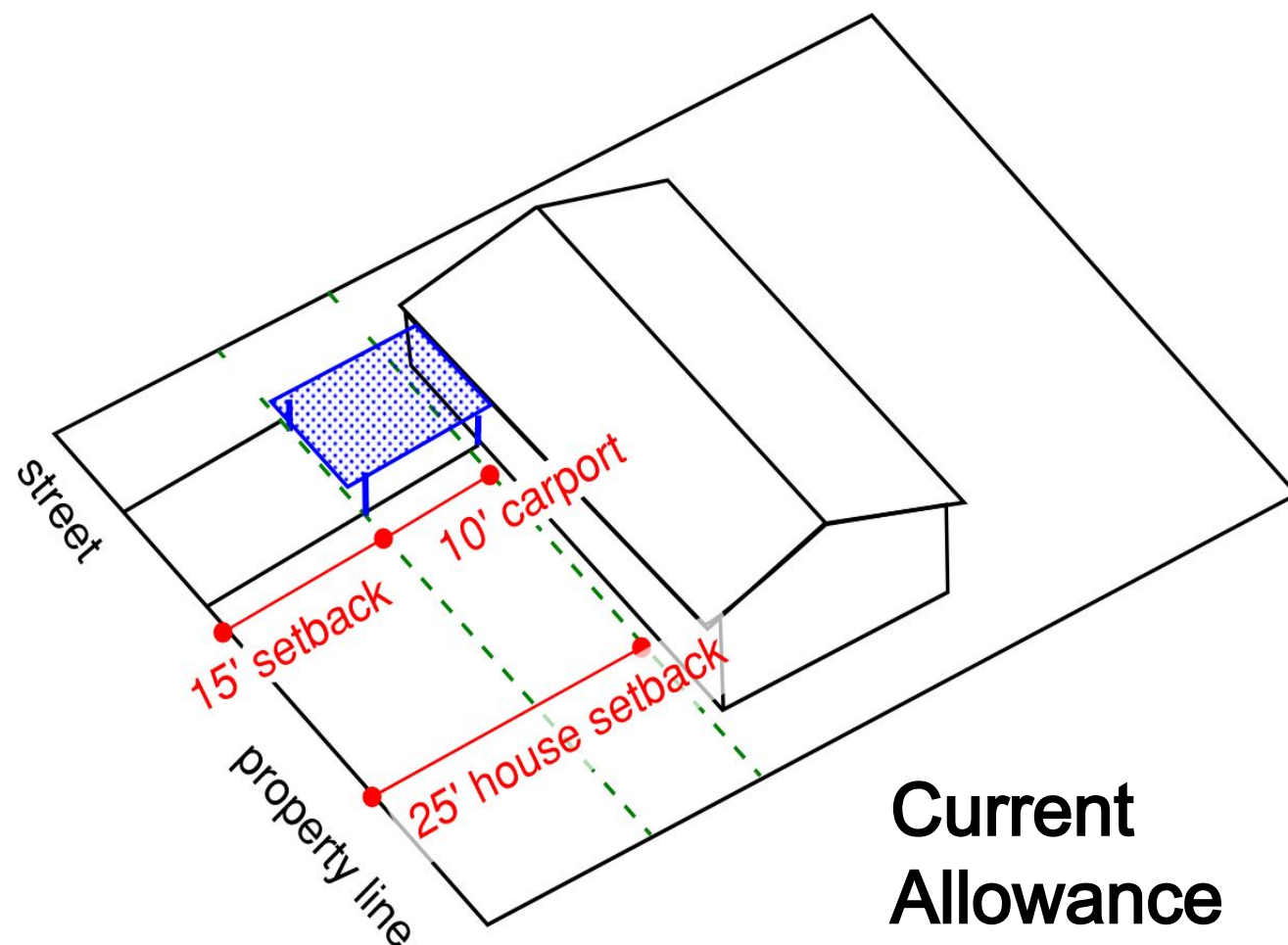
- Made of wood and/or galvanized metal and painted to match the color of the body or trim of the primary structure
- Shall not be made of non-durable or flexible materials, including but not limited to, canvas, plastic, polyester, or other tent-like materials
- Comply with all applicable provisions of the Pikes Peak Regional Building Code
- Meet all other applicable standards in this Code for accessory use structures unless specifically modified by this Section



Proposed Amendments

Decrease front yard setback requirements from 15 feet to a minimum of 5 feet

- Carports required to be at **least 5 feet from the property line** and/or sidewalk (if present) pending compliance with clear zone requirements per the Engineering Criteria Manual.





Carport Right of Way & Safety Considerations

- Carports shall not be constructed in the Right of Way (ROW)
- Carport setback no less than 5 feet from the front property line and/or sidewalk (if present) and outside of the clear zone
- Roadway clear zones maintained (12 feet urban local road classification) for vehicle accident run off and pedestrian safety
- Carports only permitted within easements by permission of easement holder





Not allowed (under current Code or proposed amendment)





Planning Commission Informal April 20, 2023

Allow carports greater than 200 square feet without requiring a building permit?

- Accessory structures such as carports that exceed 200 sq. ft. require a building permit.
- The International Code Council has determined that residential accessory structures 200 sq. ft. or less create minimal life safety issues, therefore can be constructed without permit or inspection.

How many permits has the City issued since changing their code in 2021?

- 31 requests were processed through the City's Land Use Review division

If the carport is attached, would we still allow the reduced setback?

- If a carport is attached to the principal structure, it is no longer an accessory structure and the setback requirements for principal structures applies.



Comparison - City of Colorado Springs- Differences

- Application (including neighbor notification) and permit required
- Have a minimum of four inch (4") wide fascia along the roofline
- Have a minimum of four -inch (4") roof overhang on all sides
- Roof sheeting shall not continuously extend downward along the sides.

Front yard carports shall not be permitted unless:

- The side and rear yards are each inaccessible/unusable due to insufficient width or size or due to steep terrain; or
- The Manager determines that use of the side or rear yards for a carport would have a material negative effect on the use and enjoyment of the applicant's property or of adjoining properties.
- The front yard carport shall comply with any applicable historic preservation overlay district or neighborhood design standards
- The front yard carport shall not be installed in a recorded easement.
- The front yard carport shall not jeopardize the health and safety of adjacent property, people, and users of the City's rights-of-way



Additional Information

- Homeowner Associations may still prohibit carports
- Enforcement is complaint based - proactive enforcement action would not be taken if the proposed amendments are approved
- No action is needed for approved existing carports



Additional Information

- Draft of the proposed amendment was posted on the Planning and Community Development website on April 24, 2023
- Information on the proposed amendment posted on the County's Facebook page on May 4, 2023

Feedback received

- Allow for other types of metal coatings (not just galvanized metal)
 - Change "painted to match the body or trim of the primary structure" to "color of the carport must be compatible with the body or trim of the primary structure"
 - Require carports to be located over an approved driveway and access point
 - General questions about existing carports
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- BoCC Work Session held on May 3, 2023



Questions?