



Work Session May 2, 2023
Proposed Code Amendments- Carports



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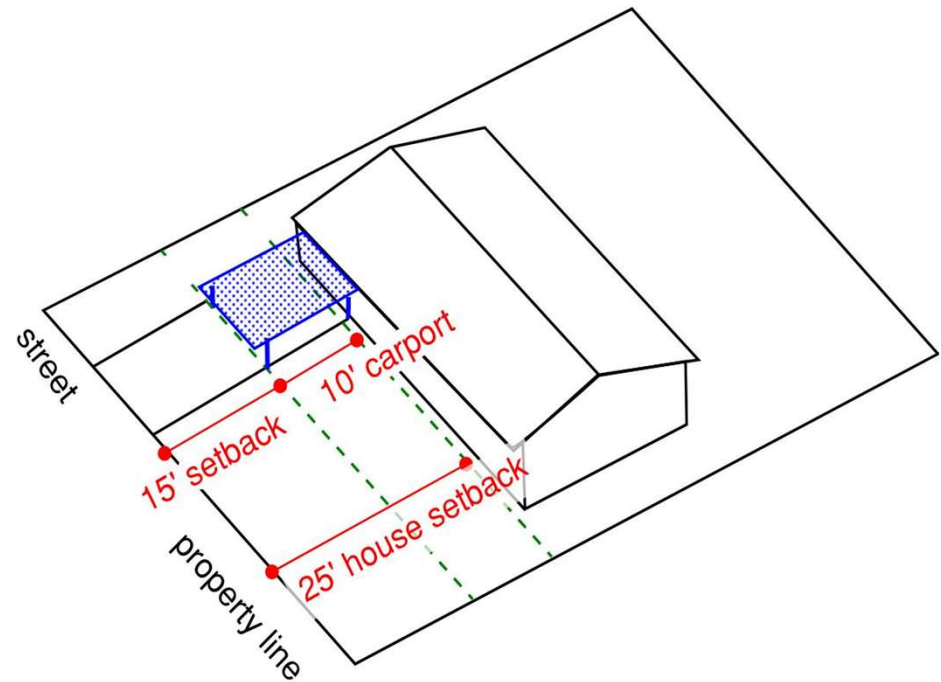
719.520.6813



Current Code

Carport, Temporary— A detached covered structure without walls that is not subject to the building code and is used to offer limited protection to vehicles from rain and snow.

An open sided temporary carport, metal or canvas, which is not classified as a structure under the Building Code, may extend into the required front yard setback to a point 15 feet from the property line as long as any site visibility is maintained, and into the side and/or rear yard setback.

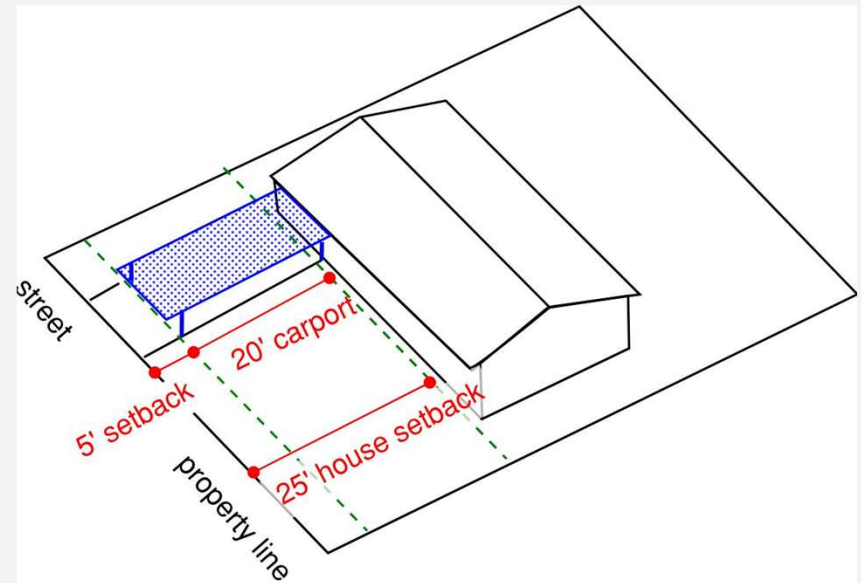




Proposed Amendments

Decrease front yard setback requirements from 15 feet to a minimum of 5 feet

- Carports required to be at least 5 feet rearward of the property line and/or sidewalk (if present) pending compliance with clear zone requirements per the Engineering Criteria Manual.





Proposed Amendments

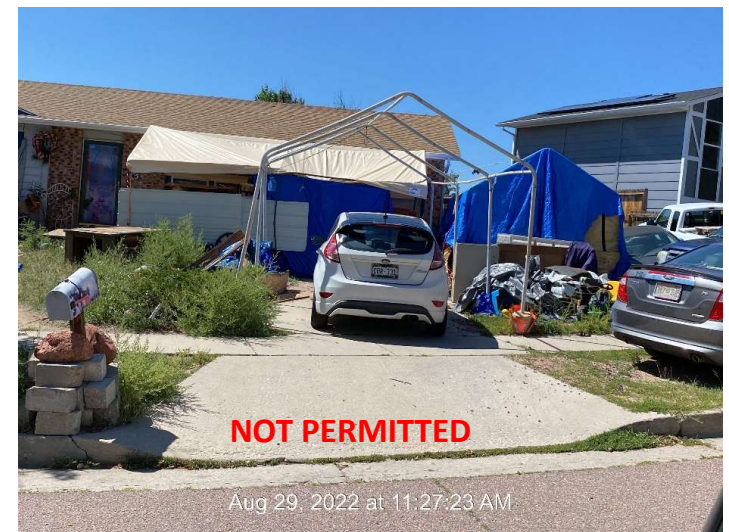
- Update the definition to remove the word temporary:
Carport: A detached structure consisting of a roof supported on posts with three or four open sides used to offer limited protection to vehicles.
- Shall not exceed five hundred (500) square feet and shall not exceed twelve (12') feet at the highest point
- Must be accessed from an approved driveway
- Have one enclosed side only if the enclosed side abuts the principal structure
- Shall not have side panels or screening in the area between grade level and sixty (60) inches above grade level





Proposed Amendments

- Made of wood and/or galvanized metal and painted to match the color of the body or trim of the primary structure
- Shall not be made of non-durable or flexible materials, including but not limited to, canvas, plastic, polyester, or other tent-like materials
- Comply with all applicable provisions of the Pikes Peak Regional Building Code
- Meet all other applicable standards in this Code for accessory use structures unless specifically modified by this Section





Planning Commission Informal April 20, 2023

Allow carports greater than 200 square feet without requiring a building permit?

- Accessory structures such as carports that exceed 200 sq. ft. require a building permit.
- The International Code Council has determined that residential accessory structures 200 sq. ft. or less create minimal life safety issues, therefore can be constructed without permit or inspection.

Recommend continuing to allow for carports to encroach into the side yard setback and easements.

How does the City compare to our proposal?

How many permits has the City issued since changing their code?

If the carport is attached, would we still allow the reduced setback?

- If a carport is attached to the principal structure, it is no longer an accessory structure and the setback requirements for principal structures applies.



Additional Information

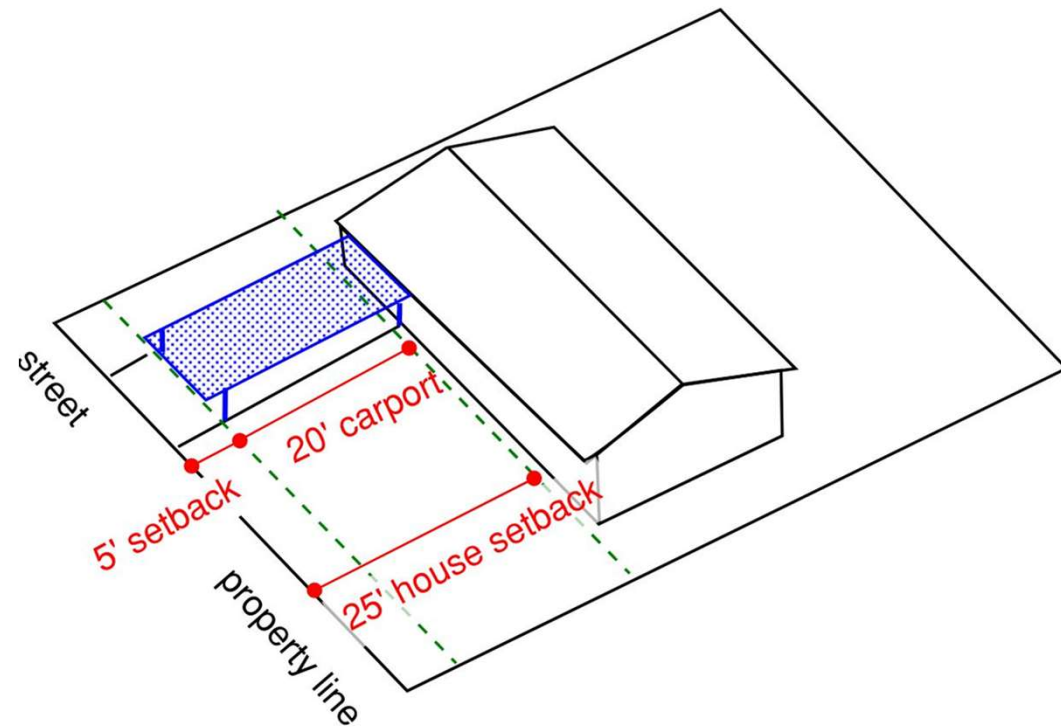
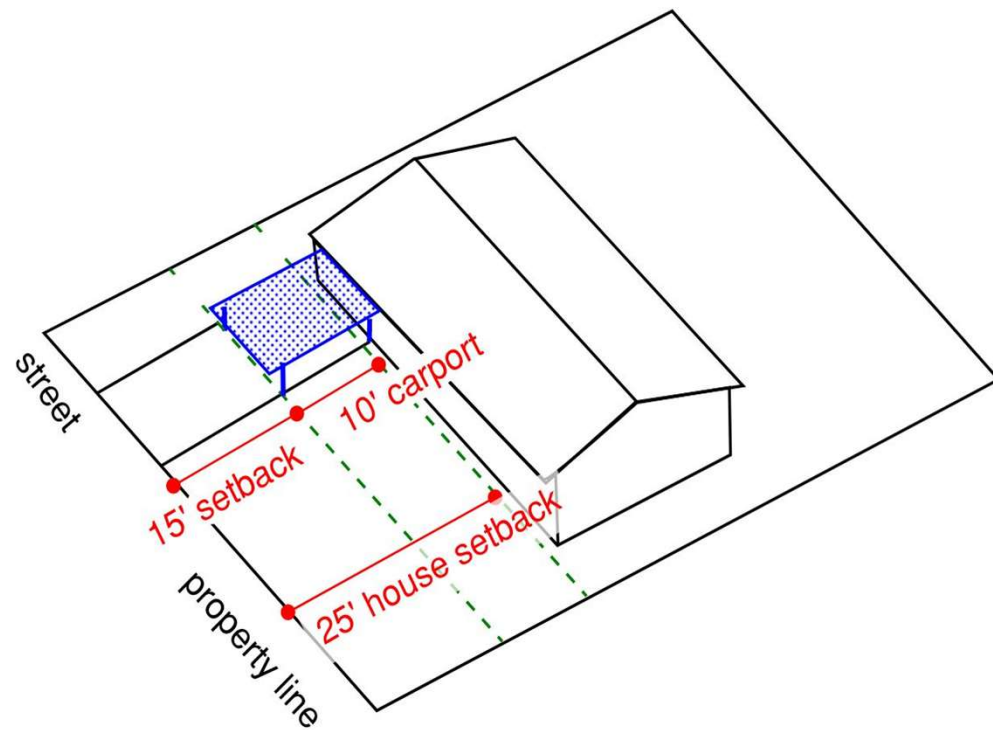
- Homeowner Associations may still prohibit carports
- Enforcement is complaint based- proactive enforcement action would not be taken if the proposed amendments are approved
 - 15-20 complaints received per year
- No action is needed for approved existing carports
- Draft of the proposed amendment is posted on the Planning and Community Development website
- Work with the Communications Department to post on social media







Current vs. Proposed





Proposed Amendments

Remove “temporary” from definition of carports

- Carport: A detached structure consisting of a roof supported on posts with three or four open sides used to offer limited protection to vehicles

Add carports to Table 5-2 Accessory Uses

- Site plan required for carports greater than 200 sq. ft. (setbacks still apply)
- Subject to specific use standards



Current Code

- No specific use standards for carports
- Site plan required for carports
- Code Enforcement receives 15-20 complaints per year
- Administrative Relief or a dimensional variance from the Board of Adjustment is required for a reduction in setback requirements. Administrative Relief (maximum of 20%) and dimensional variances are subject to approval.
 - Administrative Relief- \$587.00
 - Board of Adjustment- \$1,037



Current Code

1.15 Definitions of Specific Terms and Phrases

- **Carport, Temporary**— A detached covered structure without walls that is not subject to the building code and is used to offer limited protection to vehicles from rain and snow.

5.4.3 (E)(1) Projections in Residential Zoning Districts. For property located in residential zoning districts (including a residential PUD), containing a minimum required lot size of ½ acre or less:

An open sided temporary carport, metal or canvas, which is not classified as a structure under the Building Code, may extend into the required front yard setback to a point 15 feet from the property line as long as any site visibility is maintained, and into the side and/or rear yard setback. No portion shall project into any utility or drainage easement except with the permission the agency or agencies having jurisdiction over the easement. Approval of a residential site plan is required prior to placement or construction of a carport.



Comparison - City of Colorado Springs- Similarities

- Carports shall not exceed five hundred (500) square feet and shall not exceed twelve (12') feet at the highest point.
- Carports may have one enclosed side only if the enclosed side abuts the principal structure.
- Carports shall not have side panels or screening in the area between grade level and sixty (60) inches above grade level.
- Carports shall comply with all applicable provisions of the Pikes Peak Regional Building Code.
- Carports shall be made of wood and/or galvanized metal and shall be painted to match the color of the body or trim of the primary structure.
- Carports shall not be made of non-durable or flexible materials, including but not limited to, canvas, plastic, polyester, or other tent-like materials.
- Shall be set back at least five feet (5') from the near edge of the adjacent sidewalk.



Comparison - City of Colorado Springs- Differences

- Application (including neighbor notification) and permit required
- Have a minimum of four inch (4") wide fascia along the roofline
- Have a minimum of four-inch (4") roof overhang on all sides
- Roof sheeting shall not continuously extend downward along the sides.

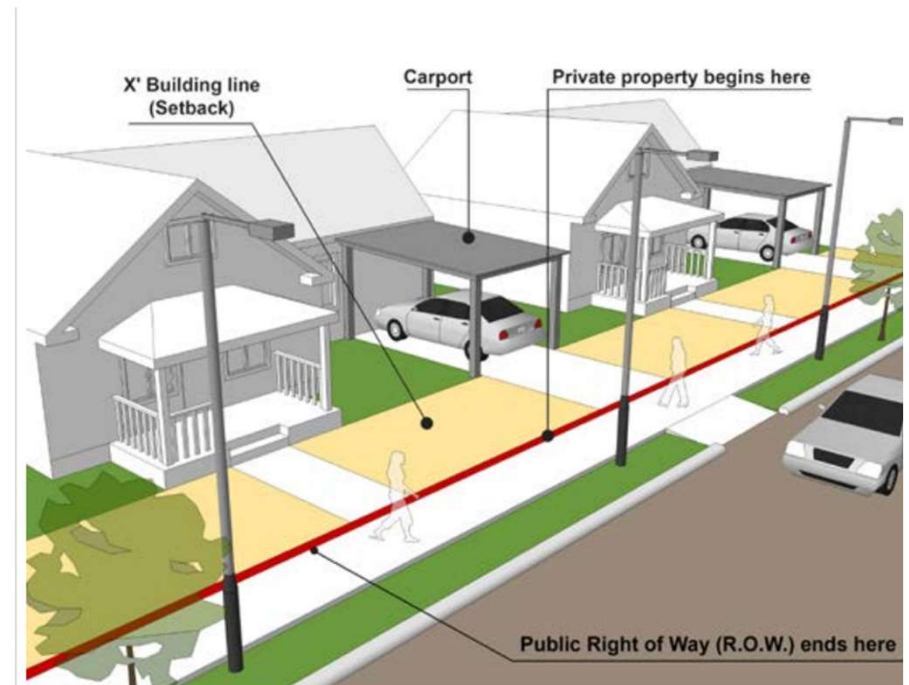
Front yard carports shall not be permitted unless:

- The side and rear yards are each inaccessible/unusable due to insufficient width or size or due to steep terrain; or
- The Manager determines that use of the side or rear yards for a carport would have a material negative effect on the use and enjoyment of the applicant's property or of adjoining properties.
- The front yard carport shall comply with any applicable historic preservation overlay district or neighborhood design standards
- The front yard carport shall not be installed in a recorded easement.
- The front yard carport shall not jeopardize the health and safety of adjacent property, people, and users of the City's rights-of-way



Carport Right of Way & Safety Considerations

- Carports shall not be constructed in the Right of Way (ROW)
- Carport setback at least 5 feet rearward of sidewalk (if present)
- If no sidewalk present, then 5 feet rearward of property line and outside of clear zone
- Roadway clear zones maintained (12 feet urban local road classification) for vehicle accident run off and pedestrian safety
- Carports only permitted within easements by permission of easement holder





Carport. A covered structure intended to provide minimal sheltering of motor vehicles. Carport may be constructed of standard building materials e.g. wood, metal, or composite and covered with standard roofing or a membrane material e.g. plastic, fabric, or composite materials. A carport is an accessory structure to one- or two-family dwelling units. It may be freestanding or attached to another structure. A carport must be entirely open on two or more sides except for structural supports. Carports not open on at least two sides shall be considered a private garage and shall comply with the provisions relating to a private garage.