

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

LEGAL DESCRIPTION

A YET TO BE DESCRIBED PORTION OF:

A LEASEHOLD INTEREST AS EVIDENCED BY THAT CERTAIN MEMORANDUM OF LEASE BY AND BETWEEN HIGHLANDS AT BRIARGATE SOUTH, LLC, A NORTH CAROLINA LIMITED LIABILITY COMPANY, AS LESSOR, AND DAVIS DEVELOPMENT, INC., A GEORGIA CORPORATION, AS LESSEE, RECORDED UPON THE TERMS AND CONDITIONS AS CONTAINED HEREIN RECORDED ON \_\_\_\_\_ AT RECEPTION NO. \_\_\_\_\_ IN AND TO THE FOLLOWING DESCRIBED LAND:

LOT 2, HIGHLANDS AT BRIARGATE FILING NO. 4, RECORDED IN REAL PROPERTY RECORDS OF THE CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO, UNDER RECEPTION NO. 219714302.

TOGETHER WITH AN EASEMENT FOR THE PURPOSE OF MAINTAINING LIGHT, AIR, AND VISIBILITY AS SET FORTH AND MORE FULLY DESCRIBED IN THE RESTRICTIVE EASEMENT RECORDED JANUARY 30, 1992 IN BOOK 5930 AT PAGE 671. COUNTY OF EL PASO, STATE OF COLORADO RECORDS.

TOGETHER WITH THE EASEMENTS, RIGHTS AND BENEFITS SET FORTH IN THE DECLARATION OF DRAINAGE EASEMENTS RECORDED NOVEMBER 8, 2017 AT RECEPTION NO. 217136047.

FOR INFORMATIONAL PURPOSES:

TAX ID NO.: 62333110041

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE WEST LINE OF SECTION 33, TOWNSHIP 12 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN AS BEARING N 00°21'38" WEST, MONUMENTED AS SHOWN HEREON.

BENCHMARK

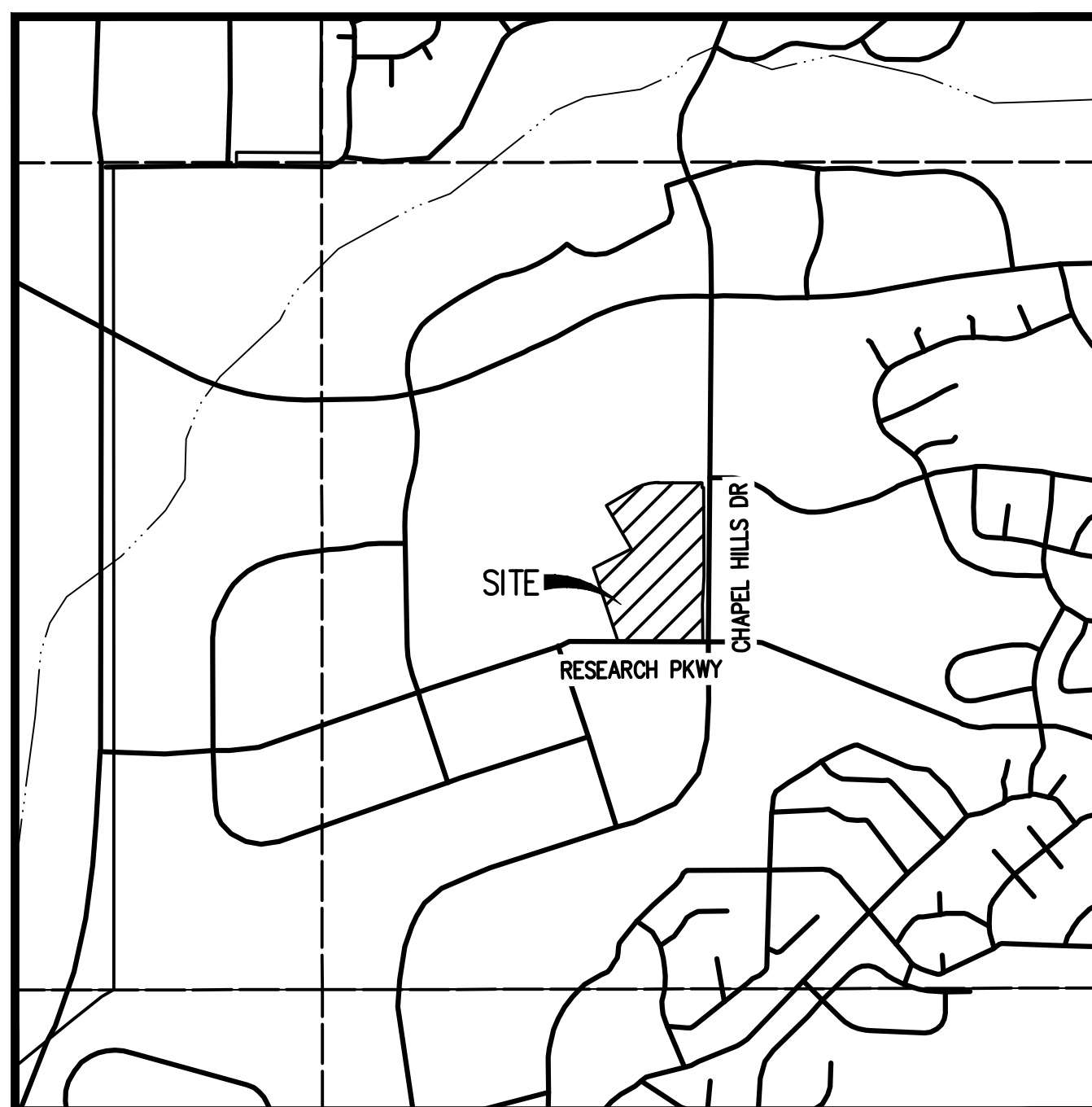
PROJECT BENCHMARK: FIMS MONUMENT NUMBER 107 IS A BERNTSEN C1DB 3/25-INCH DIAMETER BRASS CAP MONUMENT SET ON TOP OF A RETAINING WALL LOCATED ON THE NORTH SIDE OF BRIARGATE PARKWAY AT THE INTERCHANGE WITH INTERSTATE HIGHWAY 25 (EXIT 151). REFERENCES TO THE MARK CONSIST OF A REBAR WITH A FIMS CAP SOUTHWESTERLY 9.74 FEET, A FIMS WASHER SET IN THE EDGE OF ASPHALT SOUTHERLY 3.31 FEET, AND A FIMS WASHER SET ON THE TOP OF A GUARD RAIL POST SOUTHEASTERLY 36.07 FEET.

ELEVATION = 6610.98 US SURVEY FEET NAVD 29 DATUM

GENERAL NOTES:

- 1. ALL LIGHTING FIXTURES SHALL HAVE FULL CUT-OFF SHIELDING OR FIXTURES TO REDUCE OFF-SITE LIGHTING IMPACTS.
2. ALL SIDEWALKS SHOWN ON DEVELOPMENT PLAN ARE TO BE 5' CONCRETE UNLESS OTHERWISE SPECIFIED.
3. PRIVATE DRIVES ARE TO BE PAVED ASPHALT WITH CONCRETE CURBS.
4. ALL PRIVATE TRAFFIC SIGNAGE SHALL BE IN CONFORMANCE WITH MUTCD GUIDELINES AND INSTALLED BY THE DEVELOPER. SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982, 2880 INTERNATIONAL CIRCLE FOR SIGN PERMIT APPLICATION.
5. ALL EXISTING CURB, GUTTER, PEDESTRIAN RAMPS AND CROSSPANS POSING A SAFETY HAZARD DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG PUBLIC STREETS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.
6. THE DEVELOPMENT MUST COMPLY WITH 2015 INTERNATIONAL FIRE CODE ACCESS AND LOADING (2018 CSFC SECTION 3310.1)
7. 2015 IFC - REQUIRED ACCESS DURING CONSTRUCTION. APPROVED VEHICLE ACCESS FOR FIRE FIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED TO TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS, CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS ROADS ARE AVAILABLE. (2018 CSFC SECTION 3310.1)
8. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. PRIVATE ROADS WILL BE BUILT TO MEET A MINIMUM OF 27000LBS SINGLE AXLE WEIGHT AND 75000LBS TOTAL APPARATUS WEIGHT.
9. PRIOR TO CERTIFICATE OF OCCUPANCY OF THE FIRST BUILDING, A FIRE INSPECTION TO VERIFY FIRE LANE MARKING INSTALLATION SHALL OCCUR. A FIRE INSPECTION MAY BE REQUESTED BY CALLING 719-385-5978.
10. FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NUMBER 08041C0508G EFFECTIVE DATE, DECEMBER 7, 2018, INDICATES THE AREA IN THE VICINITY OF THIS PARCEL OF LAND TO BE A ZONE X (AREA DETERMINED TO BE OUT OF THE 500 YEAR FLOODPLAIN).
11. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
12. ACCESS TO THIS SITE IS RESTRICTED TO THOSE SHOWN ON THE DEVELOPMENT PLAN.
13. MASTER DEVELOPMENT IS RESPONSIBLE FOR ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY. THE ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL BE PER THE CITY'S STANDARD DRAWING AND SPECIFICATIONS. CITY INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
14. THIS DEVELOPMENT IS GOVERNED BY THE CONSTRUCTION DOCUMENTS OF HIGHLANDS AT BRIARGATE.
15. THIS DEVELOPMENT APPLICATION IS SUBJECT TO THE PARKLAND DEDICATION ORDINANCE. SEE FINAL LAND/FEE NOTES ON THE LOWER RIGHT CORNER OF THE RECORDED PLAT.

HIGHLANDS AT BRIARGATE
SITUATED IN THE WEST HALF OF SECTION 33, TOWNSHIP 12 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO
HIGHLANDS AT BRIARGATE DEVELOPMENT PERMIT



VICINITY MAP
SCALE: 1" = 1000'

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Table with 2 columns: SITE DATA and SITE DATA. Rows include: TAX ID NUMBER, TOTAL AREA, DEVELOPMENT SCHEDULE, DRAINAGE BASIN, MASTER PLAN, CURRENT ZONING, CURRENT USE, PROPOSED USE, PROPOSED DENSITY, LOT STANDARDS, BUILDING SETBACKS, LANDSCAPE SETBACKS/BUFFERS, PARKING, ADA SPACES, OPEN SPACE.

Table with 2 columns: ABBREVIATIONS and ABBREVIATIONS. Rows include: BNDY, CD, CY, DIP, DIST, DOM, E, ELEV, ESMT, EX, FH, FL, FT, GV, HYD, IRRG, LF, MAX, MH, MIN, N, NO, PR, PROP, PUD, PVC, REQ, ROW, SQ, SS, ST, STA, STM, TYP, UGE, UGT, UTIL, WAT, W.

Project: K:\210639\ENGINEERING\DEVELOPMENT PERMIT\TOP - COVER.DWG Layout: LAYOUT
Plotter: FILE 05/03/22 3:06:34P By: Tim Hoffmann

DEVELOPER

DAVIS DEVELOPMENT
3330 CUMBERLAND BLVD SUITE 425
ATLANTA, GA 30339
WWW.DAVISDEVELOPMENT.COM
P: 770.644.0075

ARCHITECT

GHEBER LEWIS ASSOCIATES
1325 LOGAN CIRCLE NW
ATLANTA, GA 30318
WWW.GLAATL.COM
P: 470.355.4378

LANDSCAPE ARCHITECT

NORRIS DESIGN
1101 BANNOCK STREET
DENVER, COLORADO 80204
WWW.NORRIS-DESIGN.COM
P: 303.892.1166

CIVIL ENGINEER

HKS HARRIS KOCHER SMITH
1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

Table with 2 columns: ISSUE DATE, PROJECT #, DATE, REVISION COMMENTS.

REVISION DATE:

ISSUE DATE: 04-22-2022

SHEET 1 OF 26

COVER

HIGHLANDS AT BRIARGATE

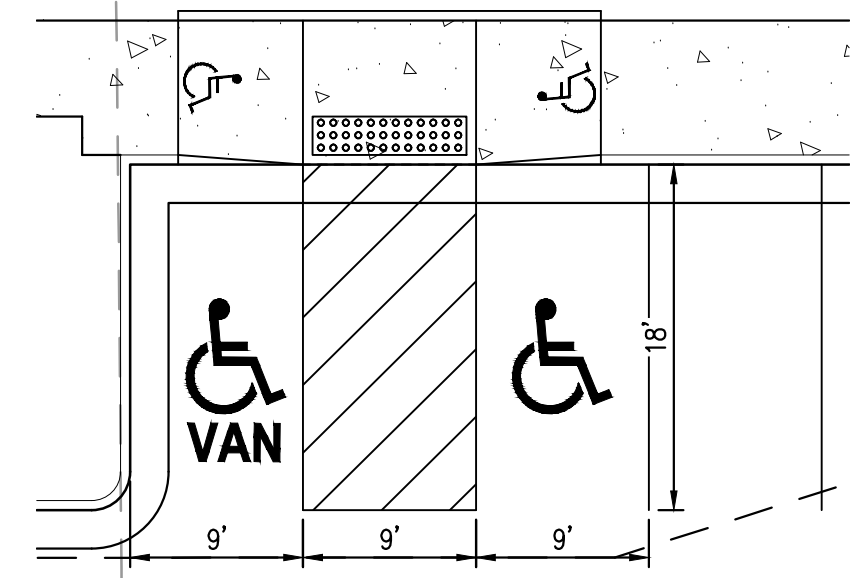
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2368 RESEARCH PKWY

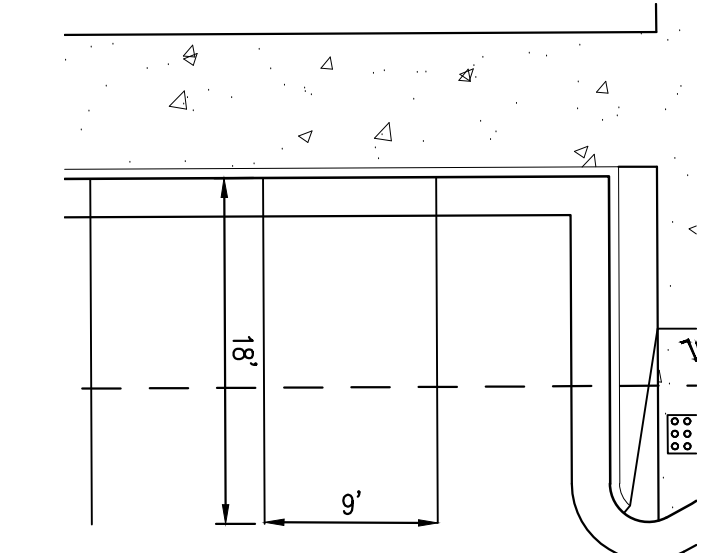
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8605-8685 EXPLORER DR

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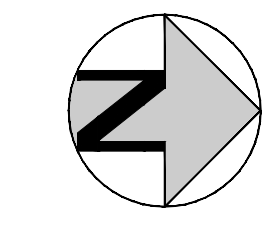
LOT 2  
HIGHLANDS AT BRIARGATE  
FILING NO. 4  
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ACCESSIBLE PARKING DIMENSIONS  
SCALE: 1" = 10'



PARKING DIMENSIONS  
SCALE: 1" = 10'

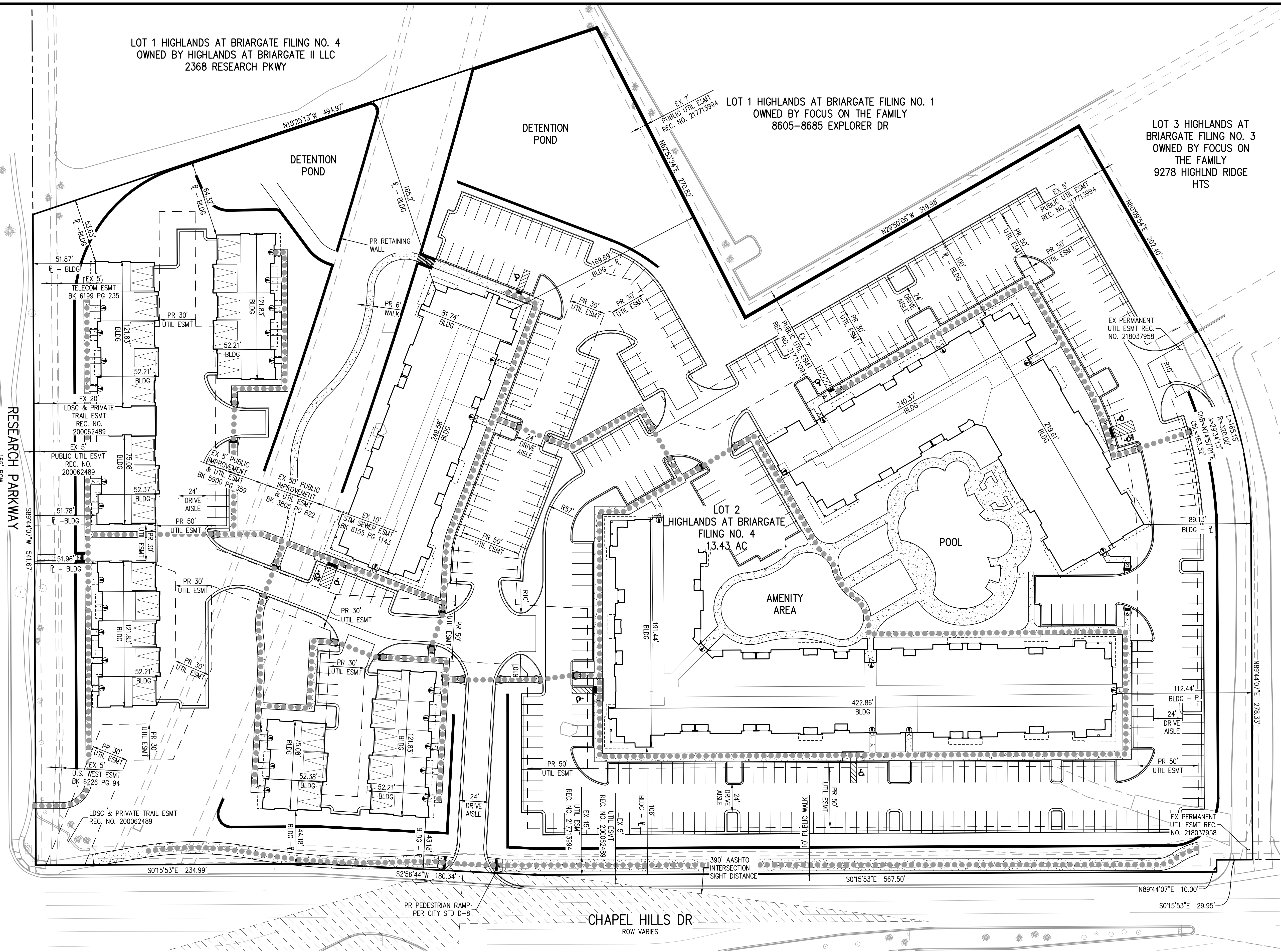


LEGEND

- PROPERTY LINE
- ACCESSIBLE ROUTE
- BUILDING ENTRANCE
- HANDICAP RAMP
- BUILDING NUMBER/TYPE
- SURFACE PARKING COUNT
- CONCRETE
- SIGHT DISTANCE TRIANGLE

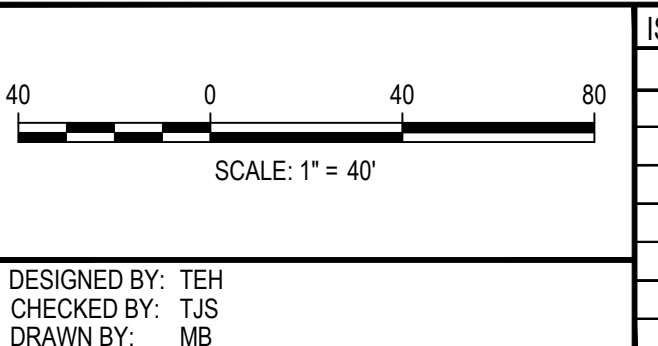
NOTES

1. ALL FLOWLINE RADII ALONG FIRE ACCESS DRIVES ARE 33' MIN.
2. ALL FLOWLINE RADII ALONG NON-FIRE ACCESS DRIVES ARE 15' UNLESS OTHERWISE NOTED.
3. ALL FLOWLINE RADII ENTERING HEAD-IN PARKING ARE 2'.
4. ALL CURB & GUTTER ON SITE IS A 4" MOUNTABLE.
5. ALL NON HANDICAPPED PARKING SPACES ARE 9'X18' UNLESS OTHERWISE NOTED
6. ALL VAN HANDICAPPED PARKING SPACES ARE 11'X18' UNLESS OTHERWISE NOTED
7. ALL HANDICAPPED AISLES ARE 5'X18' UNLESS OTHERWISE NOTED
8. SITE DISTANCE TRIANGLES ARE DESIGNED PER AASHTO STANDARDS (NO ITEMS THAT ARE WIDER THAN 18 INCHES MAY BE TALLER THAN 30" WITHIN THE AASHTO SIGHT TRIANGLE EXCEPT FOR STREET TREES AND TRAFFIC CONTROL DEVICES AND EQUIPMENT)



RESEARCH PARKWAY  
165' ROW

CHAPEL HILLS DR  
ROW VARIES



DATE	REVISION COMMENTS
04-22-2022	ISSUE DATE



DAVIS DEVELOPMENT

HIGHLANDS AT BRIARGATE  
SITE PLAN

PRELIMINARY  
NOT FOR  
CONSTRUCTION

CSU PROJ: AR\_PUD\_22-XXXXX  
PROJECT #: 210639  
SHEET NUMBER  
**2**  
2 OF 26

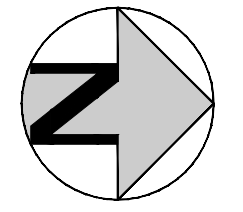
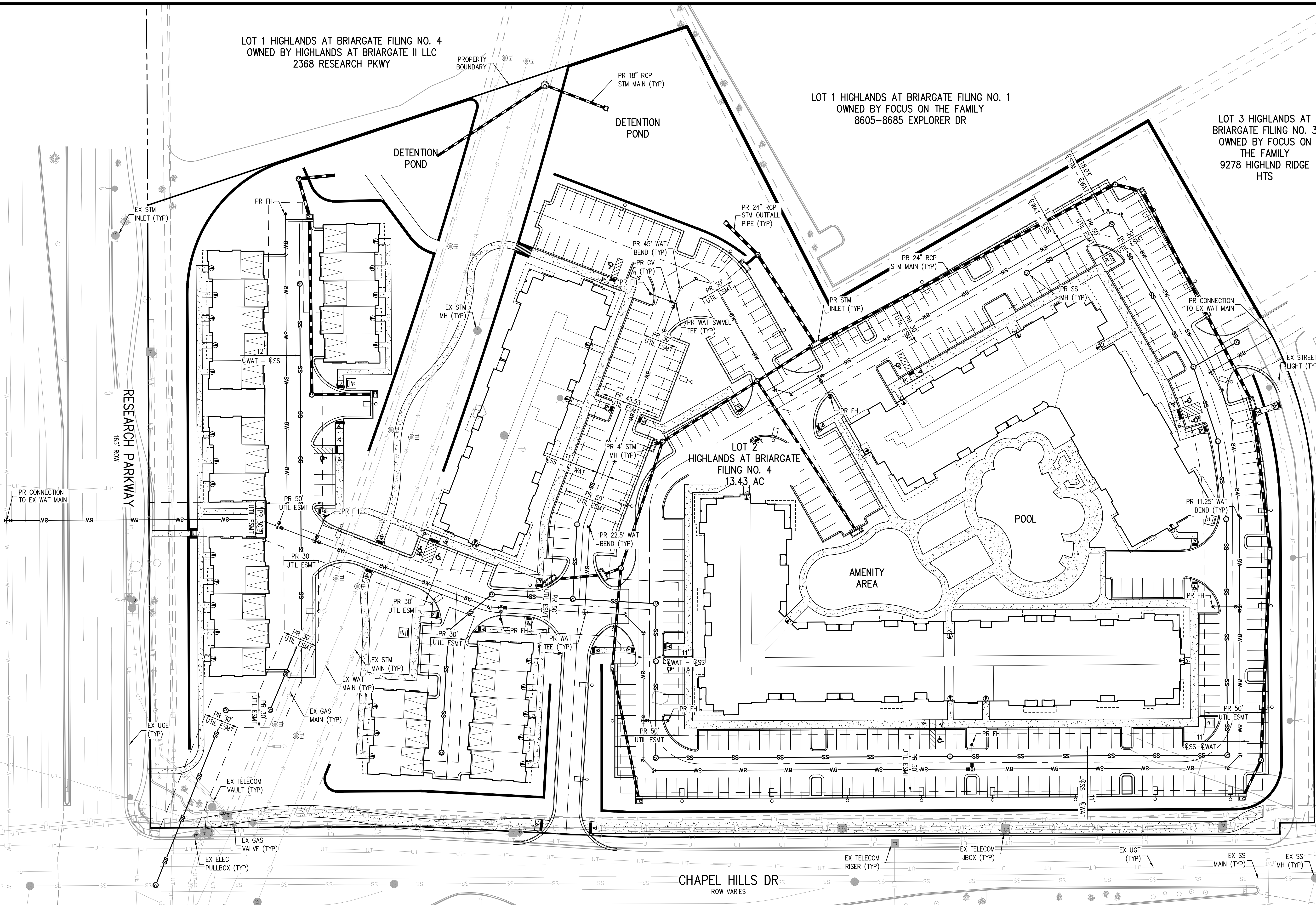
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS-KOCHER SMITH.  
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DESIGNED BY: TEH  
CHECKED BY: TJS  
DRAWN BY: MB  
PLOTTED: FRI 04/22/22 12:06:57P BY: TIM HOFFMAN



LOT 1 HIGHLANDS AT BRIARGATE FILING NO. 4  
OWNED BY HIGHLANDS AT BRIARGATE II LLC  
2368 RESEARCH PKWY

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LOT 3 HIGHLANDS AT  
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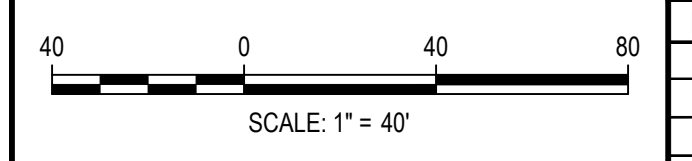
**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	---	---
SANITARY SEWER PIPE	SS	SS
WATER PIPE	W	BW
STORM SEWER PIPE	ST	ST
JOINT TRENCH	---	---
GAS	G	GT
UNDERGROUND TELEPHONE	UT	UT
UNDERGROUND ELECTRIC	UE	UE
OVERHEAD ELECTRIC	OE	OE
MANHOLE	⊕	⊕
GATE VALVE	⊕	⊕
HYDRANT	⊕	⊕
TEE & FITTINGS	⊕	⊕
WATER METER W/ CURB STOP	⊕	⊕
INLET	⊕	⊕
OUTLET	⊕	⊕
LIGHT	⊕	⊕
TELEPHONE VAULT	⊕	⊕
TELEPHONE JUNCTION BOX	⊕	⊕
ELECTRIC PULL BOX	⊕	⊕
FENCE POST/BOLLARD	⊕	⊕
TRANSFORMER	⊕	⊕

**NOTES:**

- FOR ALL PROPOSED GAS MAINS, 18"-21" SHALL BE REQUIRED FOR 390,000 AND LESS BTU, 24"-28" SHALL BE REQUIRED FOR 390,001-910,000 BTU, AND 910,000-1,400,000 BTU SHALL FIRST BE APPROVED BY CSU FIELD SERVICES.
- ALL PROPOSED STORM SEWER IS TO BE PRIVATE UNLESS OTHERWISE NOTED.
- ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY ENGINEERING DEVELOPMENT REVIEW INSPECTOR.
- ALL SANITARY AND WATER MAIN ARE TO BE PUBLIC UNLESS OTHERWISE NOTED.
- ALL FIRE SERVICE LINES ARE TO BE HDPE UNLESS OTHERWISE NOTED.
- ALL STORM INLETS AND MANHOLES WILL BE CONCRETE. SEE HIGHLANDS AT BRIARGATE CIVIL CONSTRUCTION DOCUMENTS FOR DETAILS.

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CHECKED BY: TJS  
DRAWN BY: MB  
PLOTTED: FRI 04/22/22 12:06:18P BY: TIM HOFFMAN



DATE	REVISION COMMENTS
04-22-2022	ISSUE DATE

**HKS HARRIS KOCHER SMITH**  
1120 Lincoln Street, Suite 1000  
Denver, Colorado 80203  
P: 303.623.6300 F: 303.623.6311  
HarrisKocherSmith.com

DAVIS DEVELOPMENT

HIGHLANDS AT BRIARGATE  
UTILITY PLAN

PRELIMINARY  
NOT FOR  
CONSTRUCTION

CSU PROJ: AR\_PUD 22-XXXXX  
PROJECT #: 210639  
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**4**  
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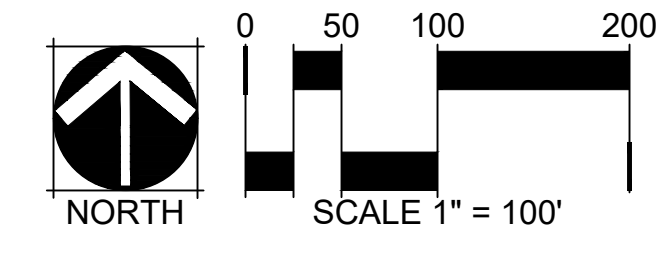


**GENERAL LANDSCAPE NOTES:**

- THE CONTRACTOR AND OWNER'S REPRESENTATIVE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF ANY WORK SHOWN ON THESE PLANS.
- THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
- DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
- IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, NORRIS DESIGN RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
- UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBTSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS.
- NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
- COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
- THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
- MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.

- THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
- THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
- THE USE OF REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW OR HAY BALES OR TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE IS PROHIBITED.
- OPEN SPACE SWALES: IF SWALES ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE CONVEYANCE OF WATER WITHIN THE SWALES DURING THE CONTRACT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIVERSION OR PUMPING OF WATER IF REQUIRED TO COMPLETE WORK. ANY SWALES DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE SWALE NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
- DETENTION AND WATER QUALITY PONDS: IF DETENTION PONDS AND WATER QUALITY PONDS ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE PONDS, DRAINAGE STRUCTURES AND SPILLWAYS DURING CONSTRUCTION. ALL PONDS, DRAINAGE STRUCTURES AND SPILLWAYS SHALL BE MAINTAINED IN OPERABLE CONDITIONS AT ALL TIMES. ANY POND OR SPILLWAY AREAS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE POND NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
- MAINTENANCE ACCESS BENCHES: IF MAINTENANCE BENCHES OR ACCESS ROADS EXIST ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE BENCHES OR ACCESS ROADS DURING CONSTRUCTION. ANY BENCHES OR ACCESS ROADS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING BENCHES AND ACCESS ROADS DURING THE CONSTRUCTION PERIOD. IF ACCESS NEEDS TO BE BLOCKED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INTERRUPTION OF ACCESS.
- LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.
- SOIL PREPARATION INCLUDES AMENDMENT, TILLING, AND ANY NECESSARY DE-COMPACTION OR EXCAVATION.
- SLOPE PROTECTION, RECLAMATION AND EROSION CONTROL AS NEEDED PROVIDED OVER AND ABOVE SWMP PERMIT FOR RE-VEGETATION AND ESTABLISHMENT OF NATIVE SEED (OR COMPARABLE) WITHIN THE LANDSCAPE PROCESS.
- A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- AN AUTOMATIC IRRIGATION SYSTEM WILL BE IDENTIFIED AT ALL AREAS SHOWING LANDSCAPE VEGETATION.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS.
- STREET TREES, LANDSCAPE IMPROVEMENTS, AND VEGETATION WITHIN THE CITY ROW SHALL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.
- THE DEVELOPER WILL BE RESPONSIBLE FOR ALL ROADWAY IMPROVEMENTS DESCRIBED IN TRAFFIC IMPACT STUDY.
- DOG PARK IS COMPOSED OF CRUSHER FINES. SEE DECOMPOSED GRANITE DETAIL.

**LANDSCAPE DIAGRAM**



**LANDSCAPE REQUIREMENTS**

Internal Landscaping (IL)			Internal Trees (1/500SF)			
Net Site Area (SF)	Percent Minimum Internal Area (%)	Internal Area (SF) Provided	Internal Trees			
			Required	Trees Provided	Additional Tree Equivalents Provided	
584,811	15%	87,722	175	189	0	

**NOTES:**  
1. Parking lot trees account for 27 of required internal trees, per Colorado Springs landscape standards.

Landscape Setbacks (SB)						
Street Name or Zone Boundary	Road Classification	Length	Width Required	Width Provided	Trees Required	Trees Provided
Buffer A - Research Parkway (1 Tree per 20 LF)		957 LF			48	48
Buffer B - Chapel Hills Drive (1 Tree per 20 LF)		528 LF			27	29
Buffer D - Highland Ridge Heights Road (1 Tree per 30 LF)	Local	393 LF	10 ft		14	18
Buffer E - Western Buffer (1 Tree per 30 LF)	Non-Street	1309 LF	Not Required	Not Required	66	66
<b>Totals:</b>					155	161

**NOTES:**  
1. More than 50% of trees provided are evergreen variety for screening.

Motor Vehicle Lots (MV)		
No. of Vehicle Spaces (1 Tree per 15 Spaces)	Shade Trees Required	Shade Trees Provided
400	27	27

**LEGEND**

<b>REGIONAL PLANT COMMUNITIES</b>	<b>WATER REQUIREMENTS</b>	<b>LOW (7"-15" PER YEAR)</b>
1. SEMI-ARID SHRUBLANDS	D = DRY 13" - 20"	
2. PINION-JUNIPER WOODLANDS	A = ADAPTABLE 18" - 28"	<b>MODERATE (15"-25" PER YEAR)</b>
3. PRAIRIE	S = STEADY 23" - 38"	
4. LOWER ELEVATION RIPARIAN	W = WET > 36"	<b>HIGH (&gt;25" PER YEAR)</b>
5. PONDEROSA PINE FOREST		
6. UPPER ELEVATION RIPARIAN		
7. DOUGLAS FIR FOREST		

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 Know what's below. Call before you dig.	ISSUE DATE: XX-XX-XXXX DATE: _____ REVISION COMMENTS: _____ _____ _____ _____	 Planning   Landscape Architecture   Branding	DAVIS DEVELOPMENT	HIGHLANDS AT BRIARGATE LANDSCAPE NOTES	PROJECT #: SHEET NUMBER <span style="font-size: 2em; font-weight: bold;">S-01</span>
	DESIGNED BY: _____ CHECKED BY: _____ DRAWN BY: _____	5 OF 26			

**PLANT SCHEDULE**

DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	QTY
AC SE	ACER NEGUNDO 'SENSATION'	SENSATION BOX ELDER MAPLE	B & B	2" CAL	9
AC PL	ACER PLATANOIDES	NORWAY MAPLE	CONT.		3
AC FF	ACER SACCHARUM 'FALL FIESTA'	FALL FIESTA SUGAR MAPLE	B & B	2" CAL	12
AC FM	ACER X FREEMANII	FREEMAN MAPLE	CONT.		16
CA SP	CATALPA SPECIOSA	NORTHERN CATALPA	B & B	2" CAL	14
CE OC	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2" CAL	16
GY DI	GYMNOCLADUS DIOICA 'ESPRESSO'	KENTUCKY COFFEETREE	B & B	2" CAL	9
QU AL	QUERCUS ALBA	WHITE OAK	CONT.		7
QU MA	QUERCUS MACROCARPA	BURR OAK	B & B	2" CAL	13
QU RU	QUERCUS RUBRA	RED OAK	CONT.		7
UL PR	ULMUS AMERICANA 'PRINCETON'	AMERICAN ELM	B & B	2" CAL	6
VI WA	VIBURNUM LANTANA	WAYFARING TREE	CONT.		25
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	QTY
AB CO	ABIES CONCOLOR	WHITE FIR	B & B	6' HEIGHT	8
JU ME	JUNIPERUS SCOPULORUM 'MEDORA'	MEDORA JUNIPER	B & B	6' HEIGHT	3
PI PU	PICEA PUNGENS	COLORADO SPRUCE	B & B	6' HEIGHT	11
PI FA	PICEA PUNGENS 'FASTIGATA'	FASTIGIATE COLORADO SPRUCE	B & B	6' HEIGHT	10
PI BA	PICEA PUNGENS GLAUCA 'BAKERI'	BAKERI BLUE SPRUCE	B & B	6' HEIGHT	25
PI ED	PINUS EDULIS	PINON PINE	B & B	6' HEIGHT	15
PI HE	PINUS HELDREICHII	BOSNIAN PINE	B & B	6' HEIGHT	36
PI PO	PINUS PONDEROSA	PONDEROSA PINE	B & B	6' HEIGHT	8
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	QTY
AM AB	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	B & B	6' CLUMP	12
PR AM	PRUNUS AMERICANA	AMERICAN PLUM	B & B	6' CLUMP	24
PR CE	PRUNUS CERASIFERA	PURPLE-LEAF PLUM	CONT.		17
PY JA	PYRUS CALLERYANA 'JACK'	JACK FLOWERING PEAR	B & B	1.5" CAL	6
SY SU	SYRINGA PEKINENSIS	PEKING LILAC	CONT.		9
SOD/SEED	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY
NA SE	TURF SEED	NATIVE PRAIRE MIX	SEED		134,182 SF
TURF	TURF SOD	TEXAS HYBRID SOD	SOD		29,184 SF

**NATIVE SEED MIX**

(EL PASO COUNTY ALL-PURPOSE LOW GROW MIX) IRRIGATED BROADCAST			
COMMON NAME	BOTANICAL NAME	% OF TOTAL	PLS / ACRE
BUFFALOGRASS	BUCHLOA DACTYLOIDES	25%	9.6
BLUE GRAMA	BOUTELOUA GRACILIS	20%	10.8
SIDE-OATS GRAMA	BOUTELOUA CURTIPENDULA	29%	5.6
GREEN NEEDLEGRASS	NASSELLA VIRIDULA	5%	3.2
WESTERN WHEATGRASS	PASCOPYRUM SMITHII	20%	12
SAND DROPSEED	SPOROBOLUS CRYPTANDRUS	1%	0.8
(EL PASO COUNTY CONSERVATION DISTRICT) ALL PURPOSE MIX) NON-IRRIGATED BROADCAST			
COMMON NAME	BOTANICAL NAME	% OF TOTAL	PLS / ACRE
BIG BLUESTEM	ANDROPOGON GERARDII	20%	2.2
BLUE GRAMA	BOUTELOUA GRACILIS	10%	0.25
GREEN NEEDLEGRASS	NASSELLA VIRIDULA	10%	1
WESTERN WHEATGRASS	PASCOPYRUM SMITHII	20%	3.2
SIDE-OATS GRAMA	BOUTELOUA CURTIPENDULA	10%	1
SWITCHGRASS	PANICUM VIRGATUM	10%	0.4
PRAIRIE SANDREED	CALIMOVILFA LONGIFOLIA	10%	0.6
YELLOW INDIANGRASS	SORGHASTRUM NUTANS	10%	1

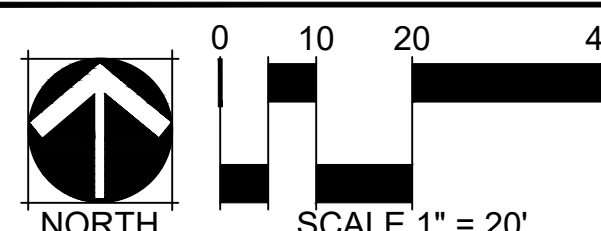
**TURF GRASS**

KENTUCKY BLUEGRASS BY  
ARKANSAS VALLEY SEED CO.  
OR APPROVED EQUAL

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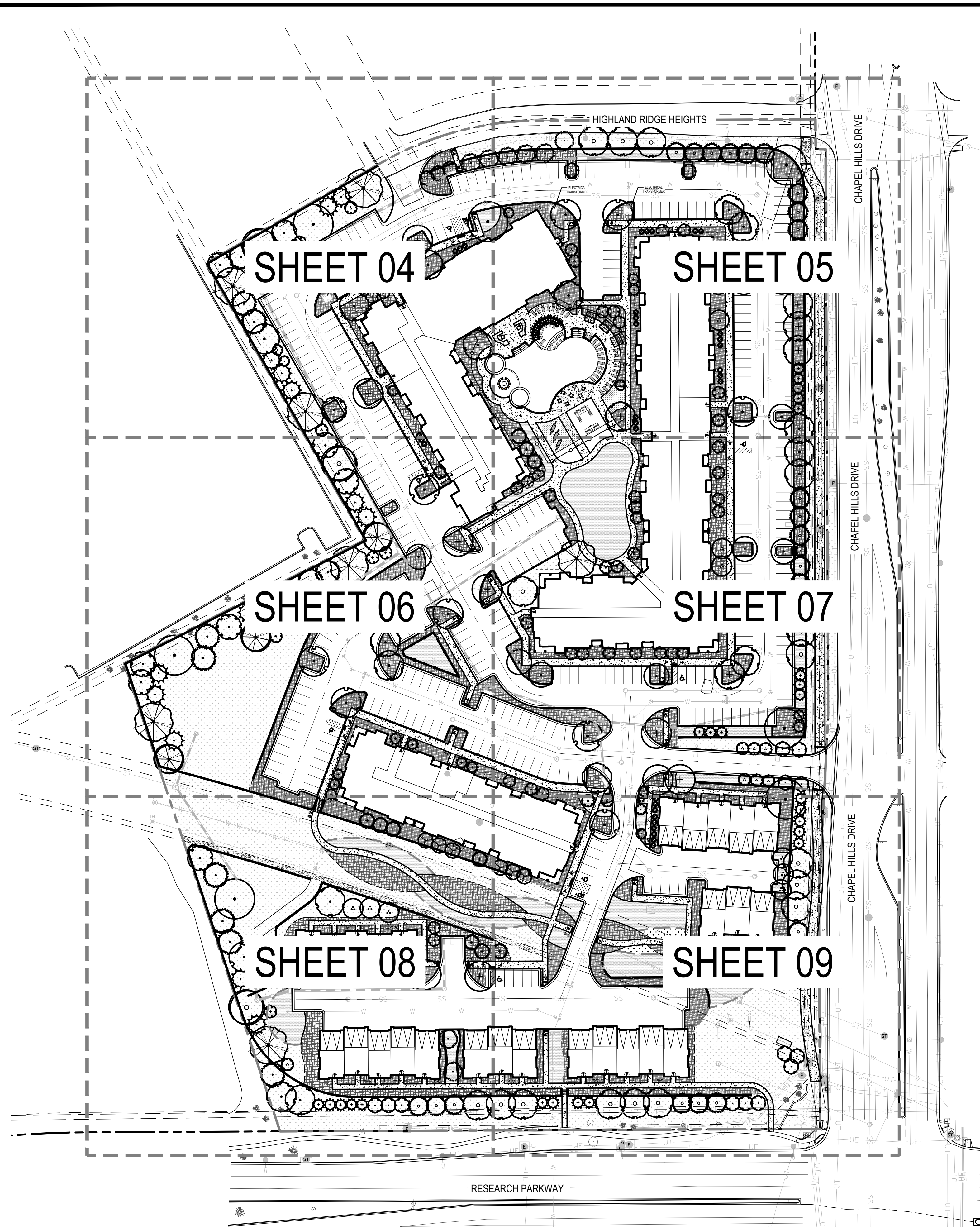
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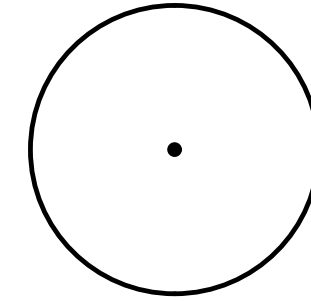
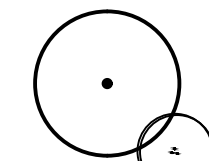
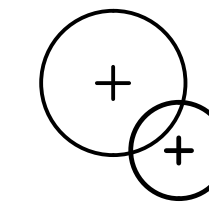
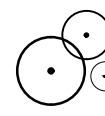
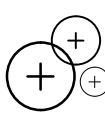
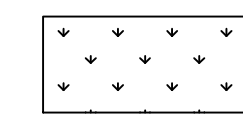
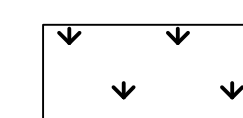
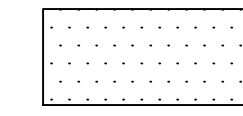

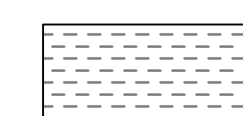
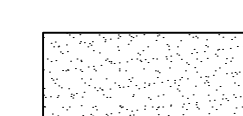
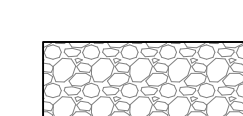
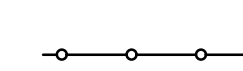



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HIGHLANDS AT BRIARGATE  
LANDSCAPE SCHEDULE

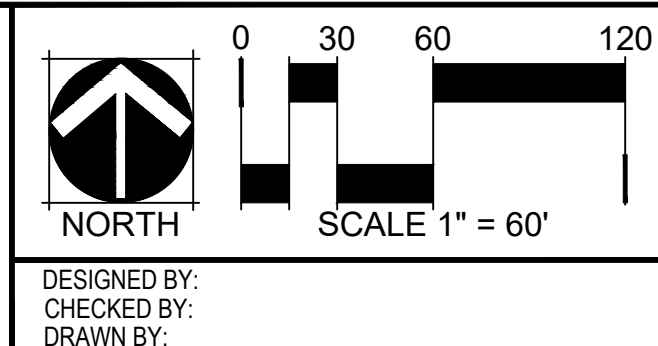
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**LEGEND**

-  DECIDUOUS SHADE TREES
-  DECIDUOUS ORNAMENTAL TREES
-  EVERGREEN TREES
-  DECIDUOUS SHRUBS
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-  CRUSHER FINES (2,062 SF)
-  ROCK COBBLE (39,052 SF)
-  FENCE (SEE DETAILS)
-  STEEL EDGER
-  SPADE CUT EDGE
-  PET WASTE STATION

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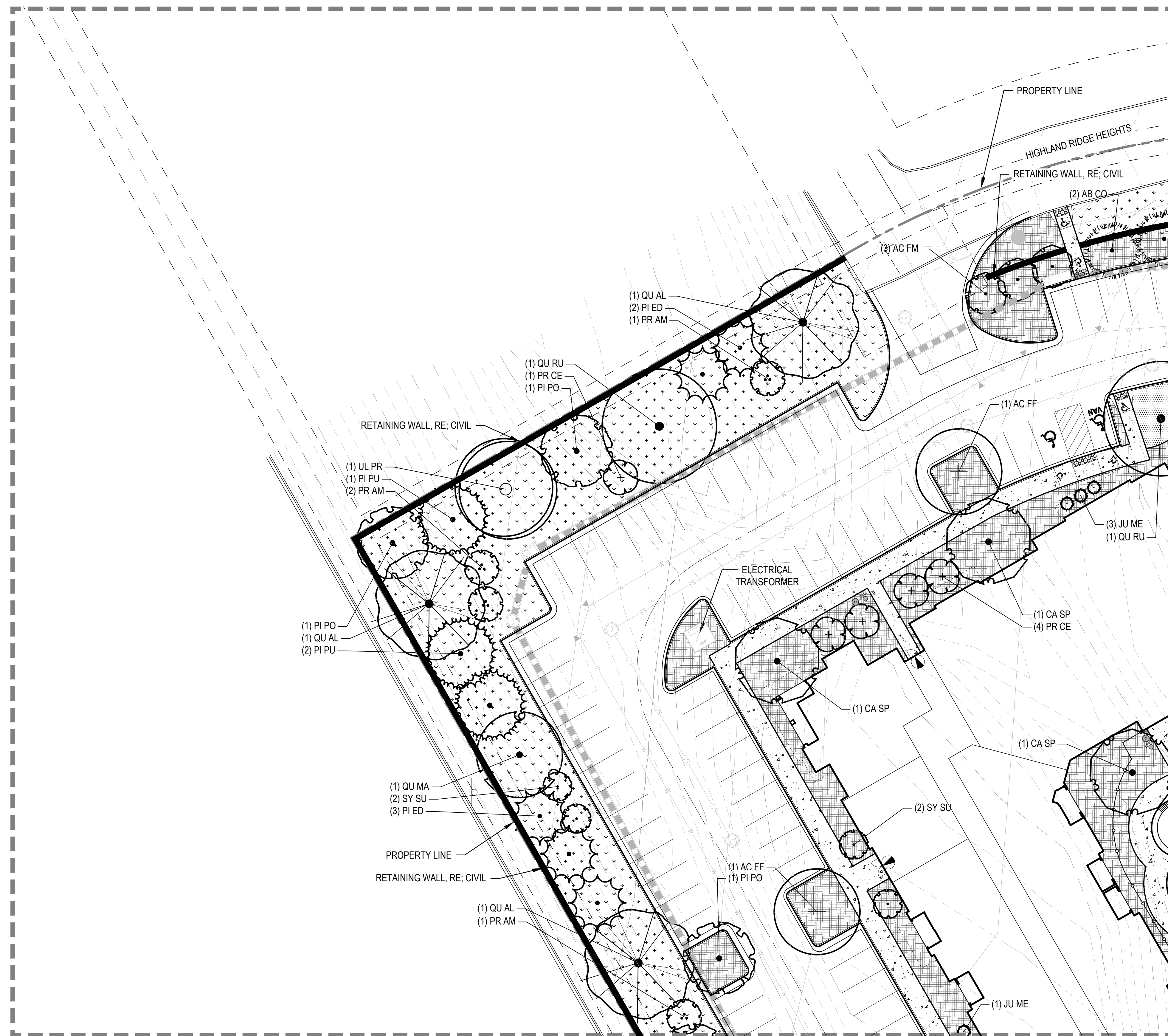


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HIGHLANDS AT BRIARGATE  
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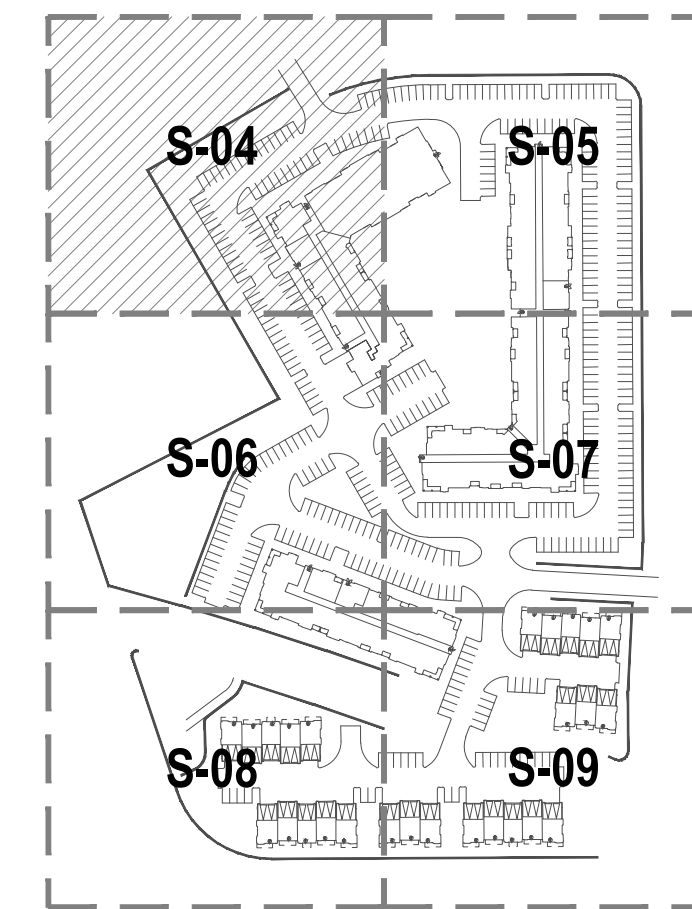
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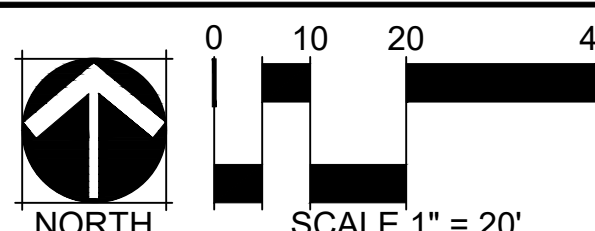


LEGEND

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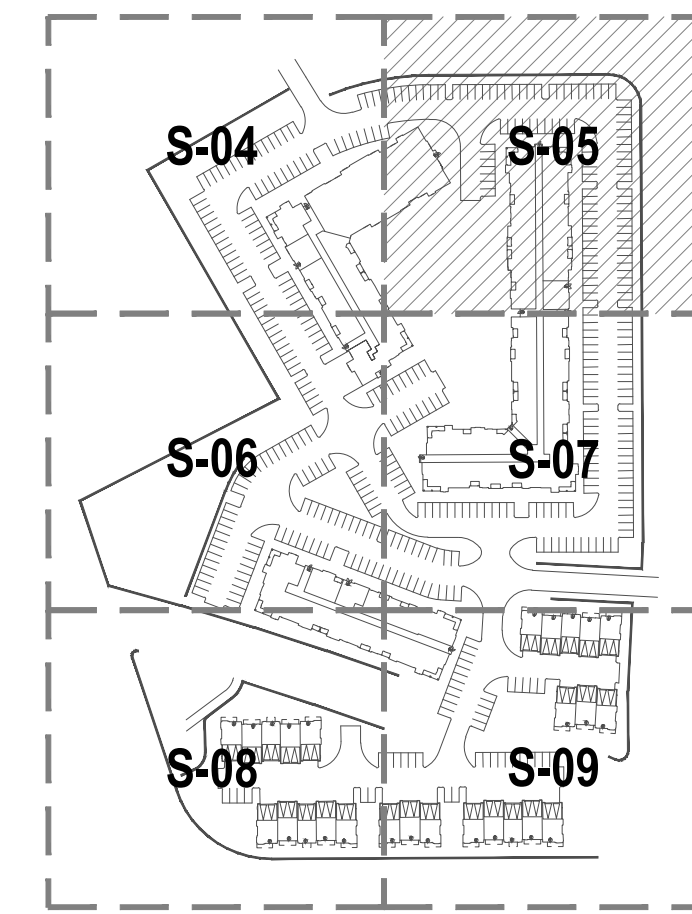
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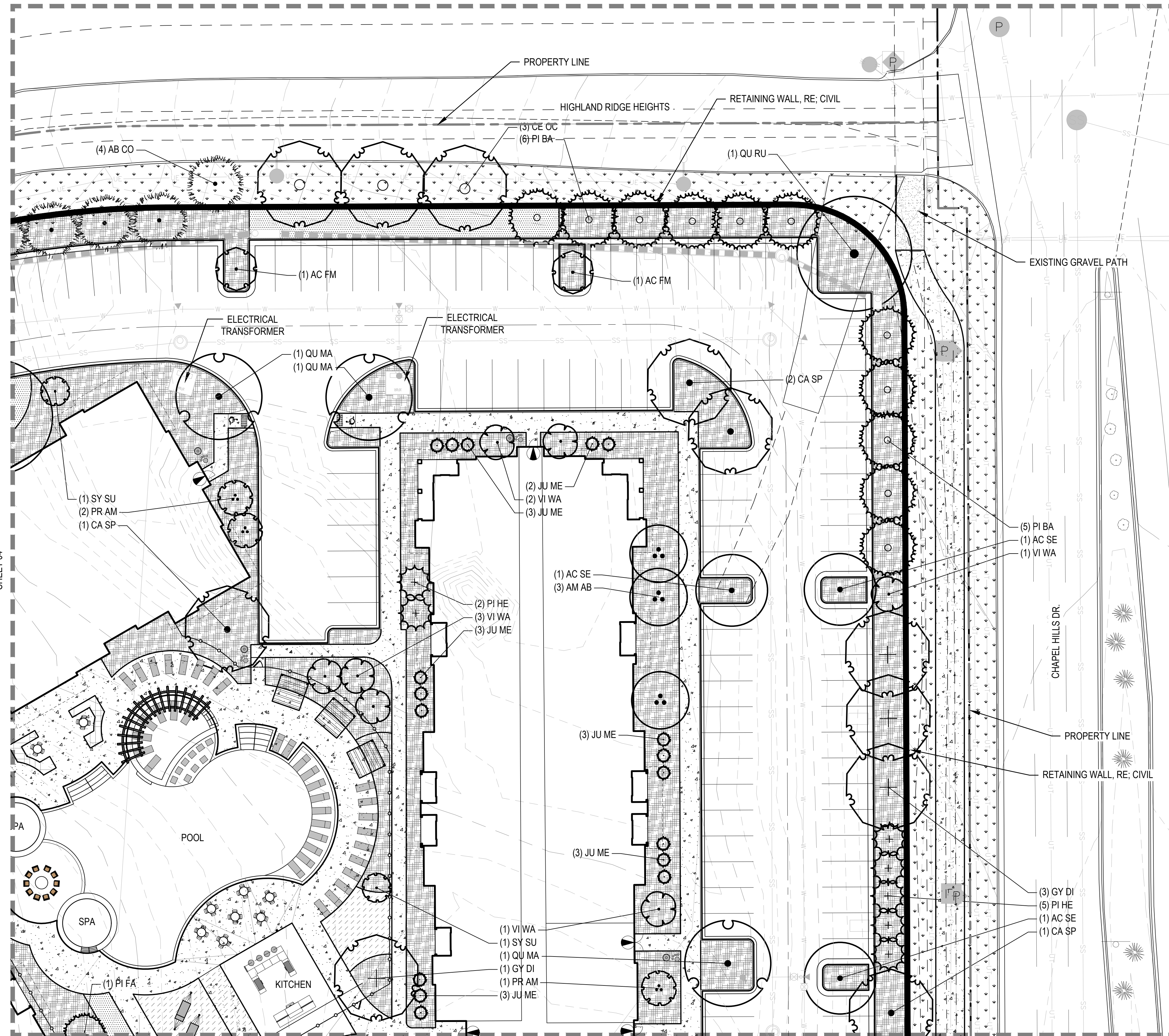


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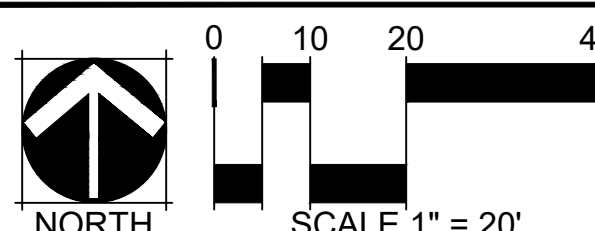
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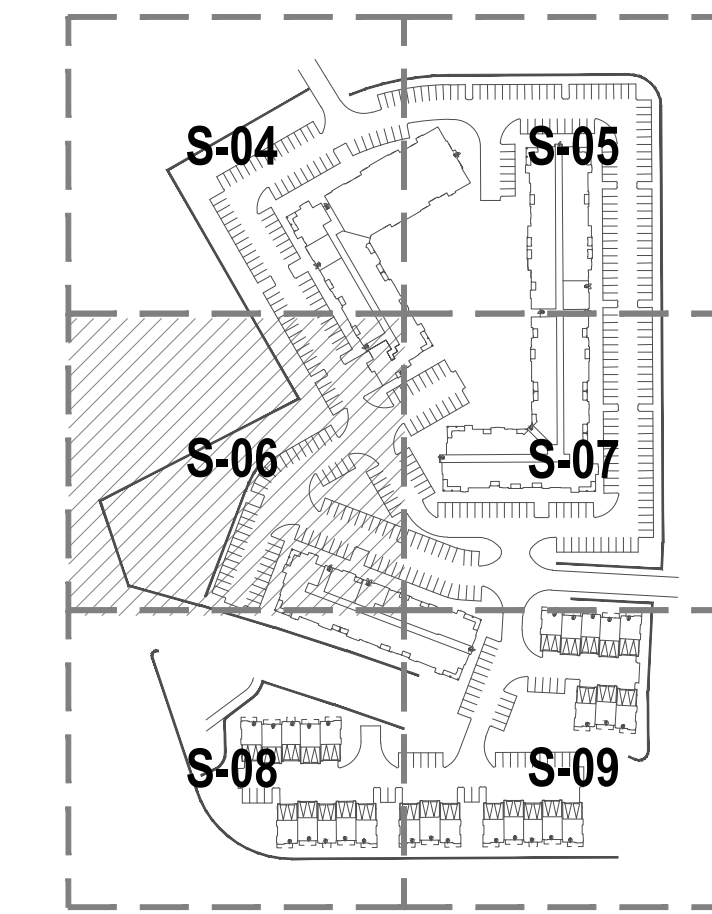
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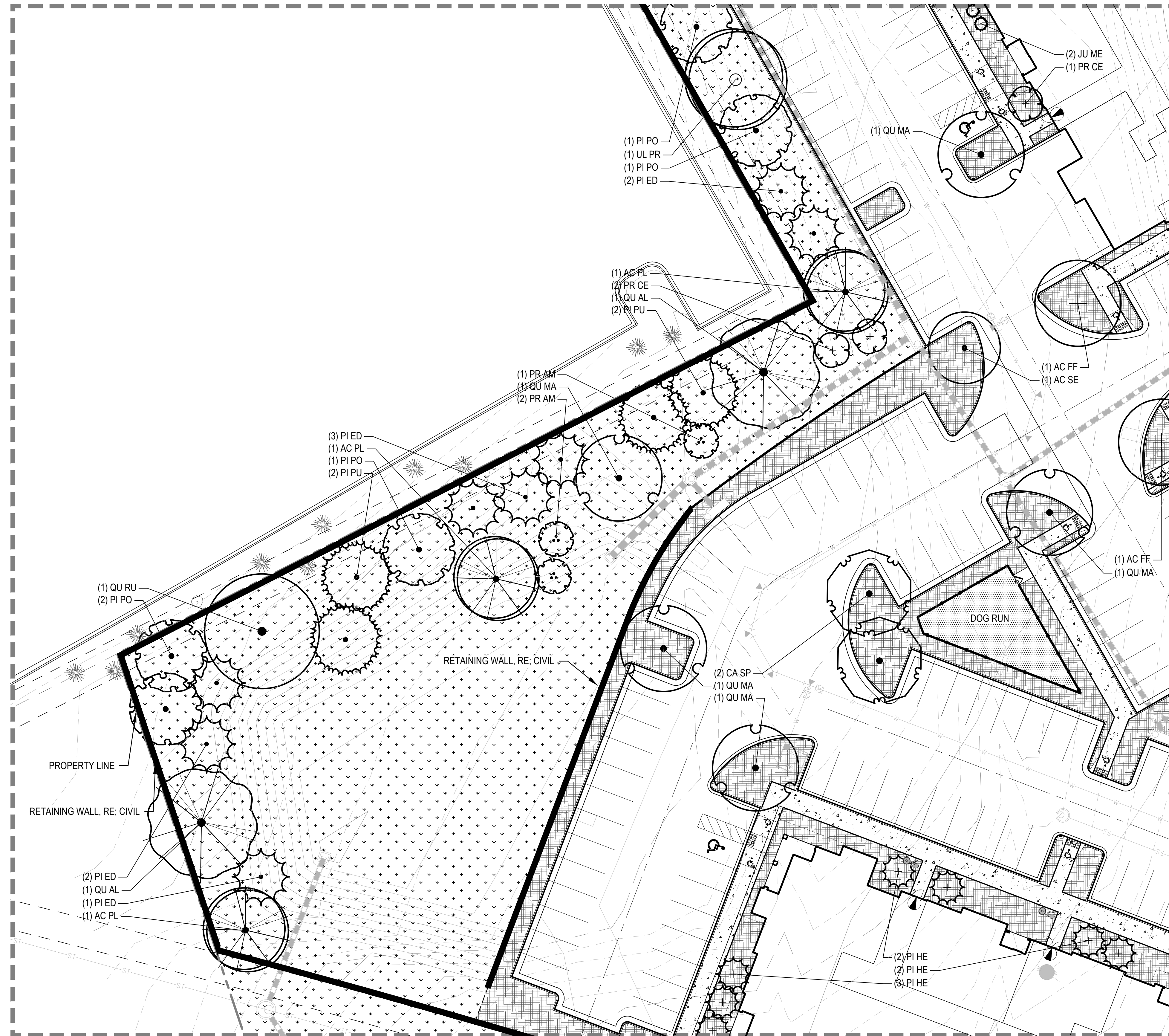
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LEGEND

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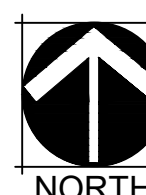
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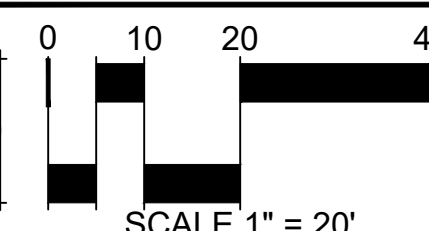
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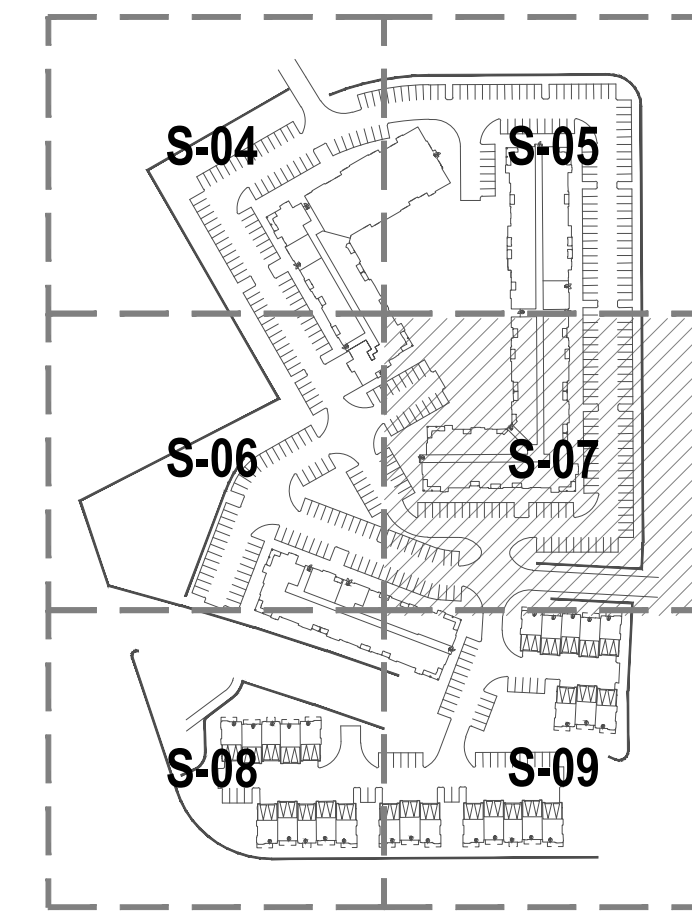
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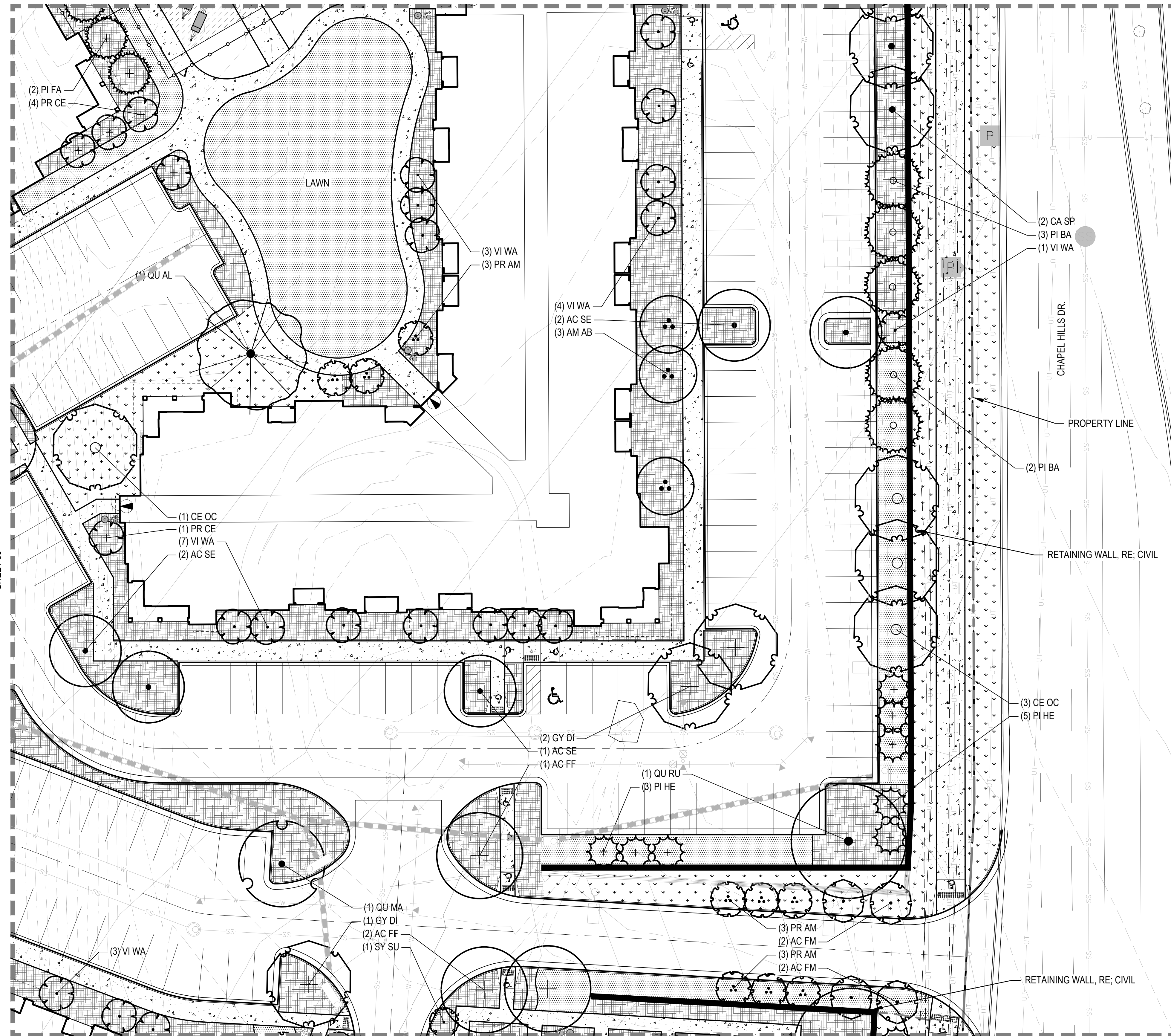
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KEYMAP



LEGEND

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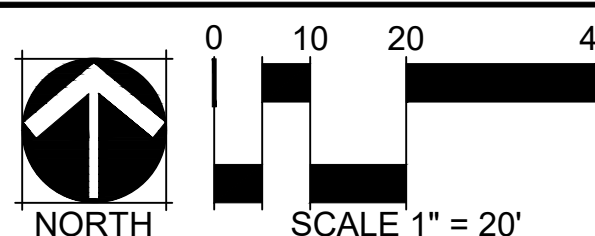
SHEET 06

SHEET 09

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 PLOTTED: FR 04/22/22 12:50:38P BY: BEN SEIDLIN



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DAVIS DEVELOPMENT

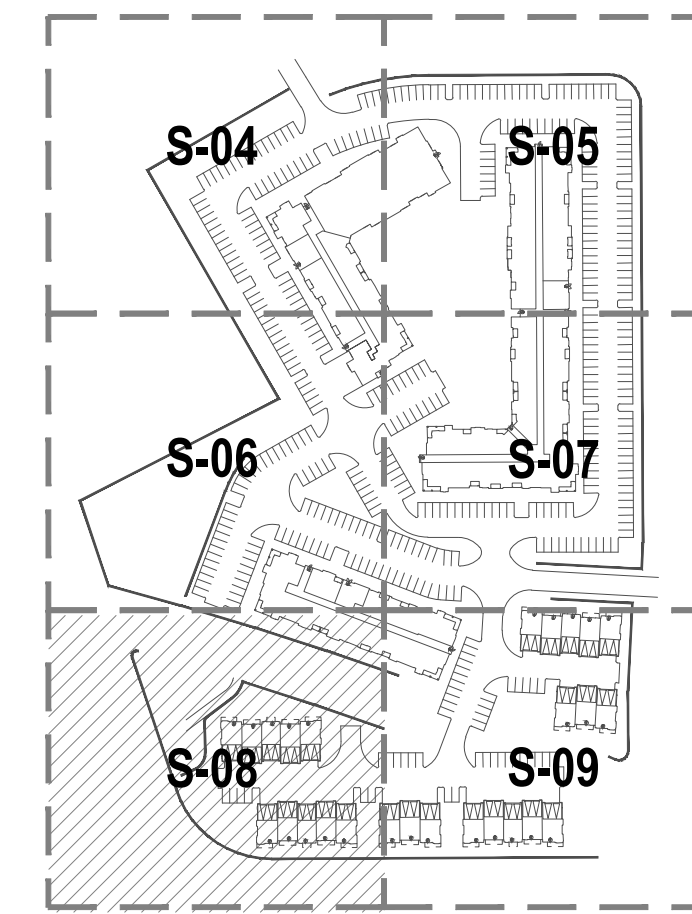
HIGHLANDS AT BRIARGATE  
 LANDSCAPE PLAN

PROJECT #:  
 SHEET NUMBER

S-07

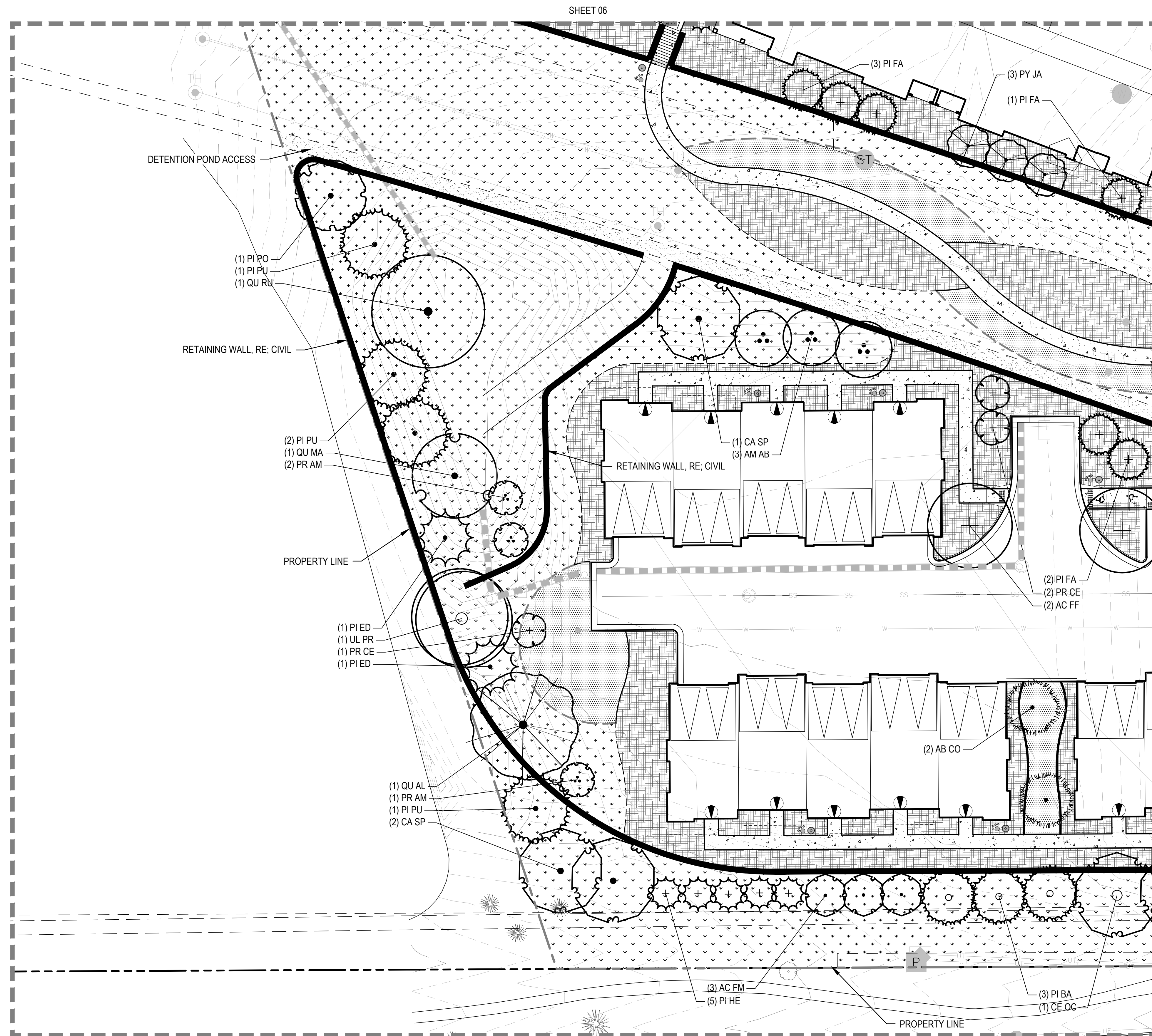
11 OF 26

KEYMAP



LEGEND

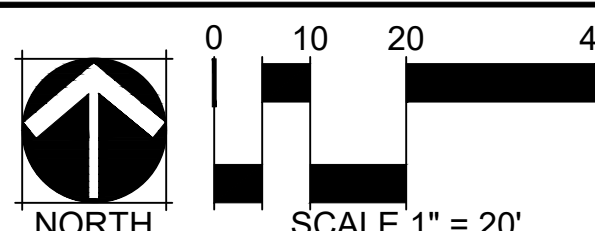
- DECIDUOUS SHADE TREES
- DECIDUOUS ORNAMENTAL TREES
- EVERGREEN TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- IRRIGATED NATIVE SEED - LOW GROW MIX (31,195 SF)
- NON-IRRIGATED NATIVE SEED - ALL-PURPOSE MIX (25,775 SF)
- TURF GRASS (39,303 SF)
- LANDSCAPE BED (51,530 SF)
- ARTIFICIAL TURF (7,550 SF)
- CRUSHER FINES (2,062 SF)
- ROCK COBBLE (39,052 SF)
- FENCE (SEE DETAILS)
- STEEL EDGER
- SPADE CUT EDGE
- PET WASTE STATION



FILEPATH: P:\DAVIS DEVELOPMENT - BRIARGATE © SPRINGS - 0658-01-3157\DRAWINGS\SUBMITTALS\PLAN-BRIARGATE-LAND.DWG LAYOUT: 08  
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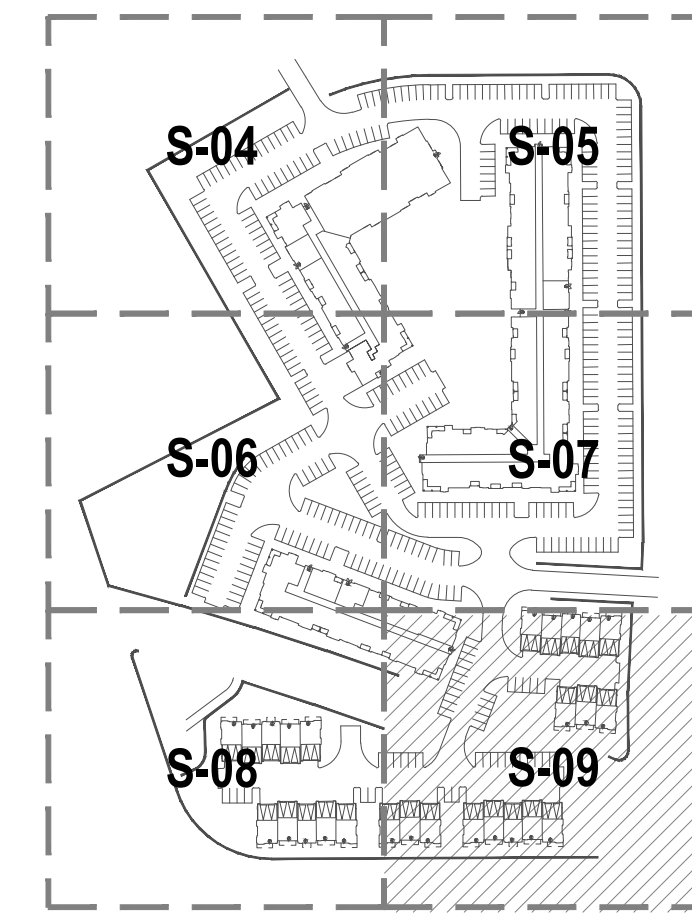
HIGHLANDS AT BRIARGATE  
LANDSCAPE PLAN

PROJECT #:  
SHEET NUMBER

S-08

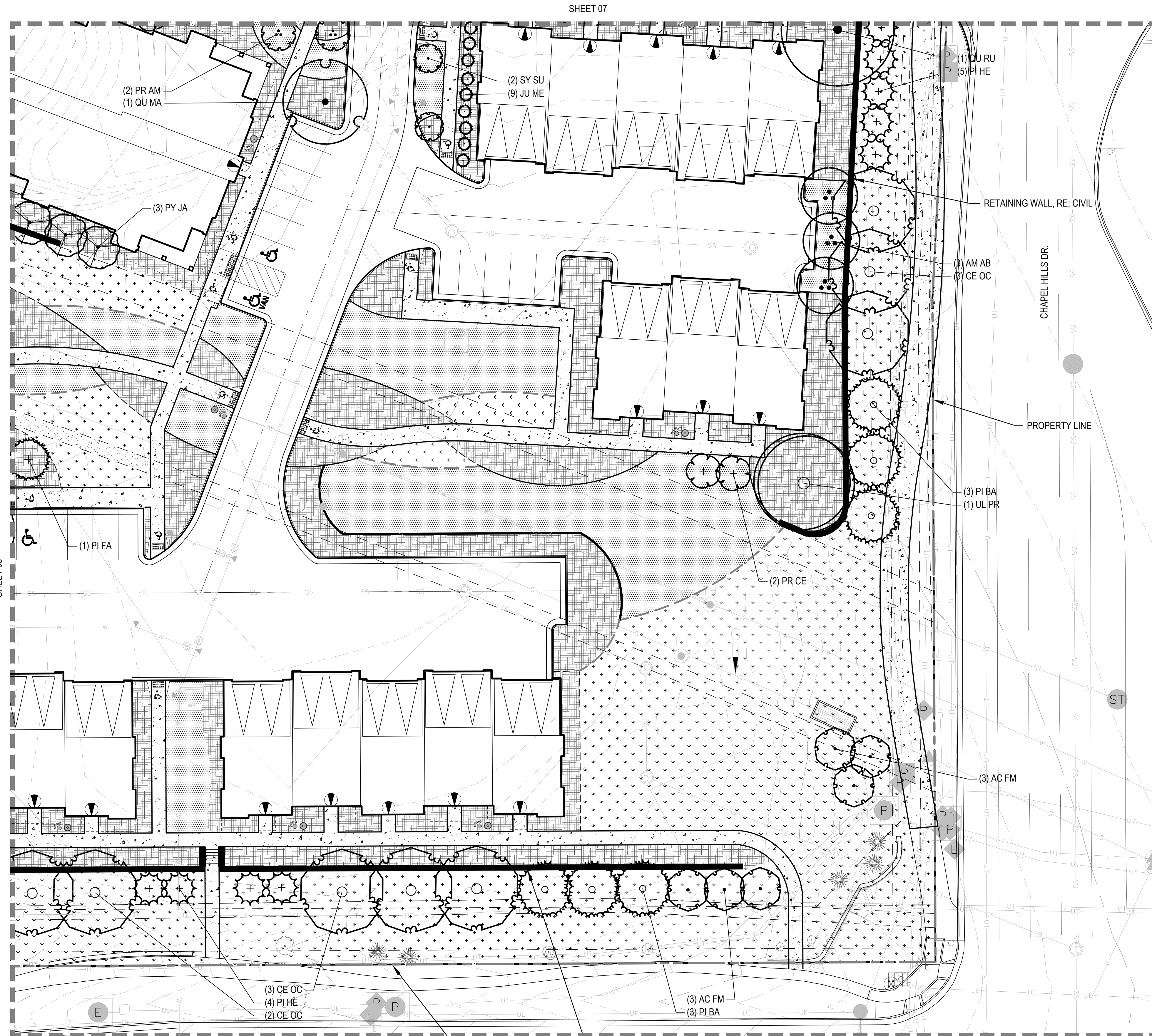
12 OF 26

KEYMAP



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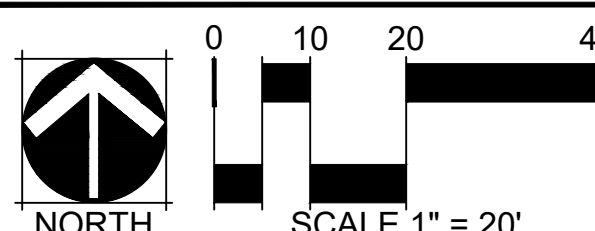
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FILEPATH: P:\DAVIS DEVELOPMENT - BRIARGATE © SPRINGS - 0658-01-3157\DRAWINGS\SUBMITTALS\PLAN-BRIARGATE-LAND.DWG LAYOUT: 09  
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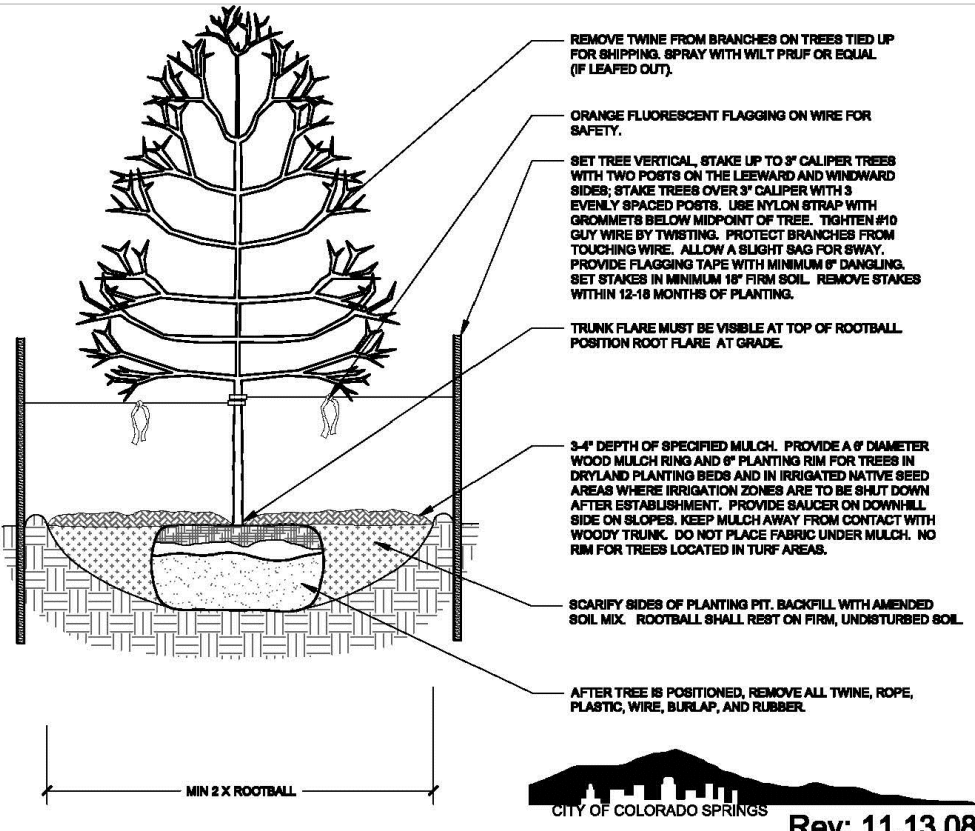
HIGHLANDS AT BRIARGATE  
LANDSCAPE PLAN

PROJECT #:  
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S-09

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- NOTES:
1. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
  2. AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE SCALE OF THE CROWN.
  3. STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
  4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  5. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
  6. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
  7. WASH TRUNK ON EXPOSED SIDES AND BRANCHES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE.
  8. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
  9. DEEP WATER ALL PLANTS AT TIME OF PLANTING.

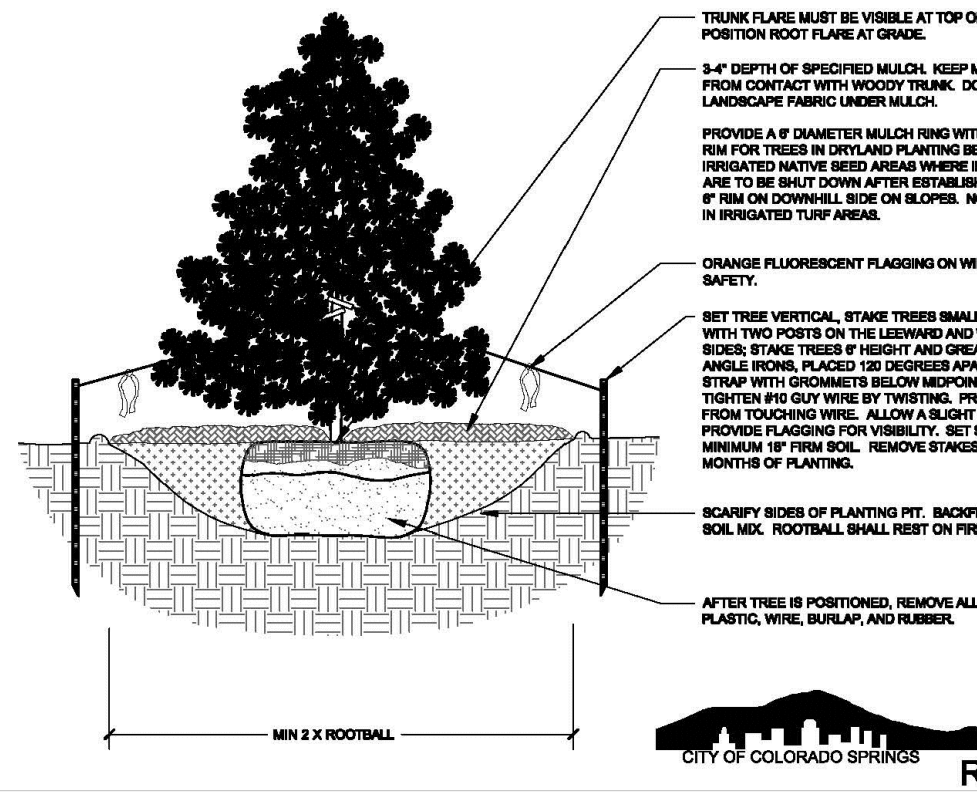


- NOTES:
1. DISCLAIMER THESE PLANTING DETAILS ARE FOR THE CITY REVIEW AND APPROVAL PROCESS ONLY AND SHALL NOT BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

### 1 DECIDUOUS TREE PLANTING

N.T.S.

- NOTES:
1. DO NOT REMOVE OR CUT LEADER.
  2. PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
  3. DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
  4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  5. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
  6. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
  7. PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
  8. ALL TREES TO BE DEEP WATERED AT TIME OF PLANTING.

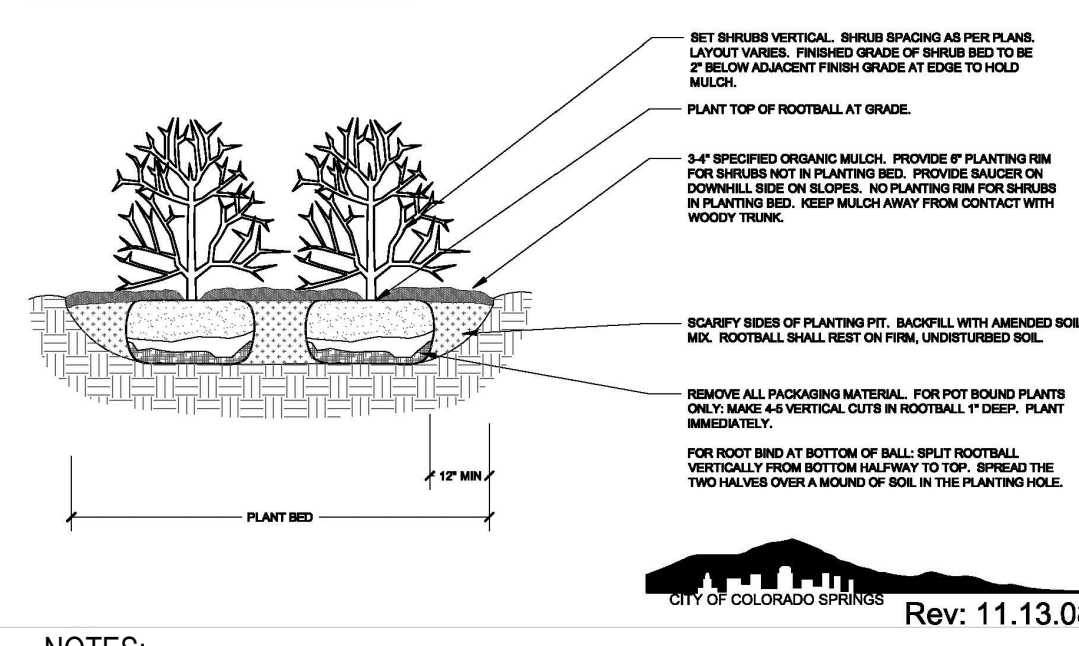


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### 2 EVERGREEN TREE PLANTING

N.T.S.

- NOTES:
1. PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
  2. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  3. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
  4. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
  5. ALL SHRUBS IN ROCK AREAS TO RECEIVE SPECIFIED MULCH RINGS.
  6. DEEP WATER ALL PLANTS AT TIME OF PLANTING.

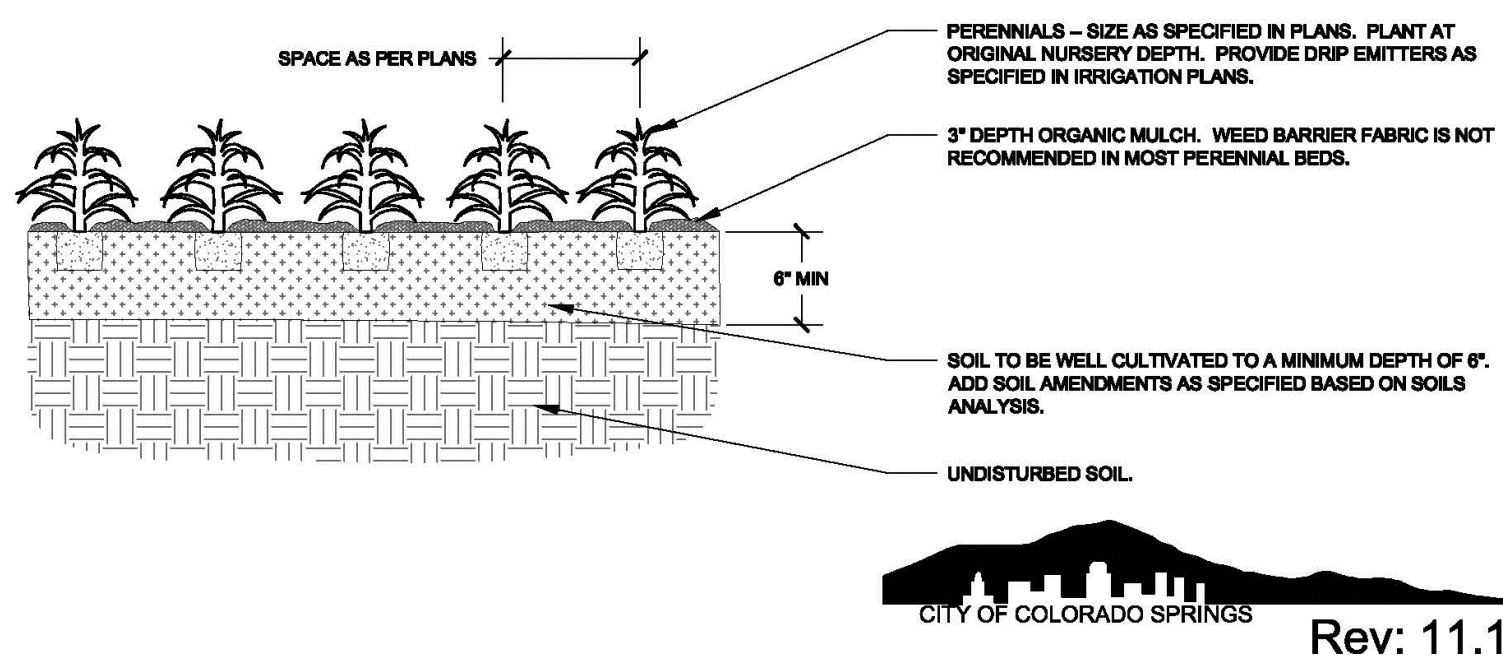


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### 3 SHRUB PLANTING

N.T.S.

- NOTES:
1. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  2. PLANT GROUND COVERS AND PERENNIALS LEVEL AND AT GRADE.
  3. PRUNE ALL DEAD OR BROKEN PARTS PRIOR TO PLANTING.
  4. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
  5. ALL PERENNIALS PLANTED IN ROCK MULCH AREAS TO HAVE ORGANIC MULCH RINGS AROUND THE BASE OF THE PLANT.

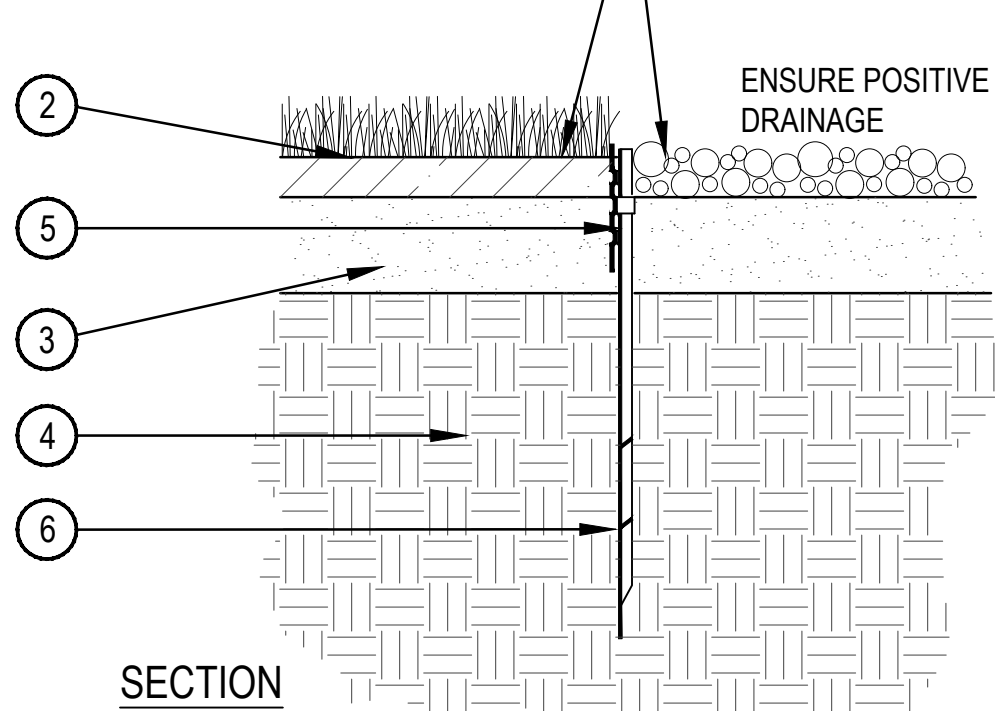


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### 4 PERENNIAL/ GROUNDCOVER PLANTING

N.T.S.

- (16) 1/2" DIA. HOLES MIN. AT ALL LOW POINTS
- LONGITUDINAL SECTION OF EDGER AT LOW POINT
- ENSURE POSITIVE DRAINAGE

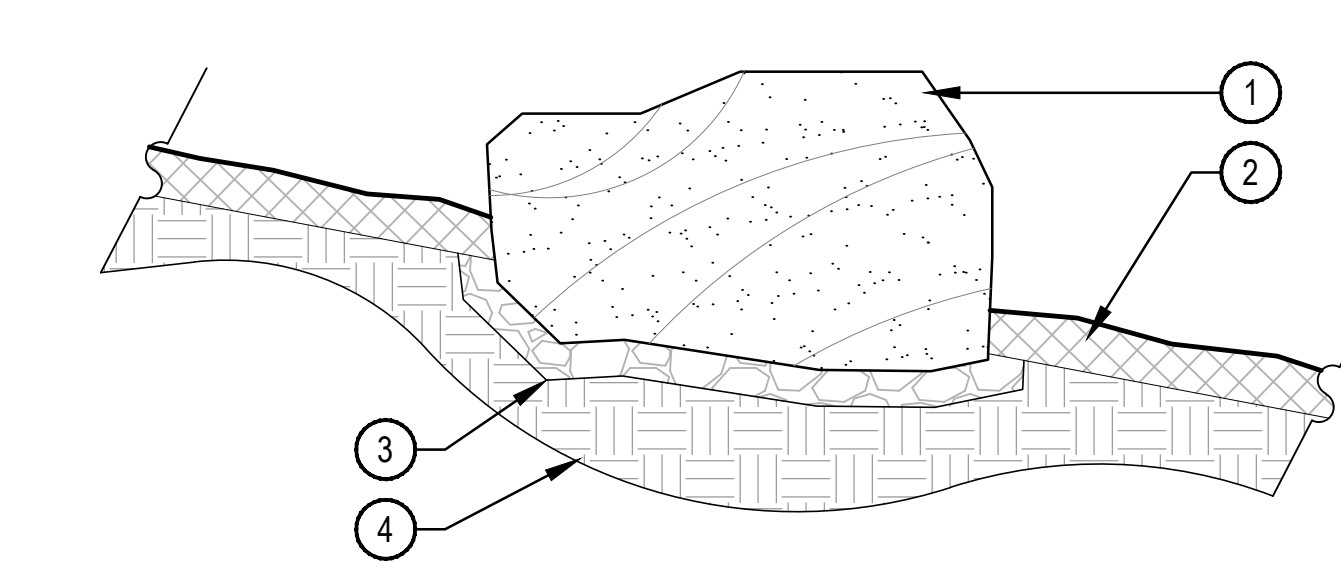


- 1 FINISHED GRADE - TOP OF SOD THATCH LAYER AND TOP OF MULCH OR CRUSHER FINES SHALL BE FLUSH WITH TOP OF EDGER
- 2 TURF THATCH
- 3 AMENDED SOIL PER SPECIFICATIONS
- 4 SUBGRADE
- 5 ROLLED TOP STEEL EDGER - DRILL (16) 1/2" DIA. HOLES 1" O.C. MIN. AT ALL LOW POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE ADEQUATE DRAINAGE
- 6 EDGER STAKE

- NOTES:
1. THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.
  2. CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.

### 5 STEEL EDGER DETAIL

SCALE: 1" = 1'-0"

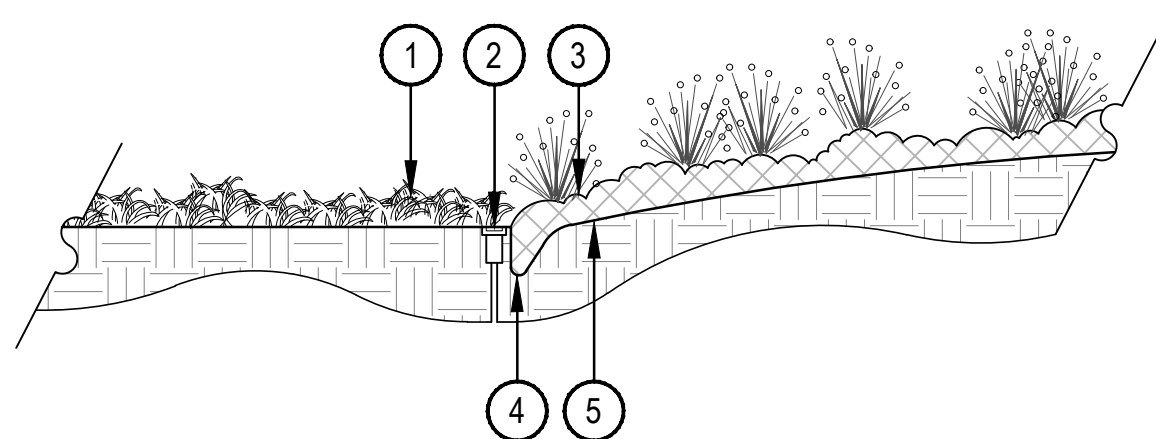


- 1 BOULDER, NATURALLY SET BOULDER SO THAT A MINIMUM 1/4 OF BOULDER IS BELOW FINISH GRADE. REFER TO MATERIAL SCHEDULE, SHEET L-XXX
- 2 SPECIFIED MULCH, CRUSHER FINES OR COBBLE, REFER TO PLAN
- 3 3" MINIMUM ROAD BASE COMPACTED TO 95% OF STANDARD PROXY DENSITY
- 4 UNDISTURBED GRADE

### 6 LANDSCAPE BOULDER

SCALE: 3/4" = 1'-0"

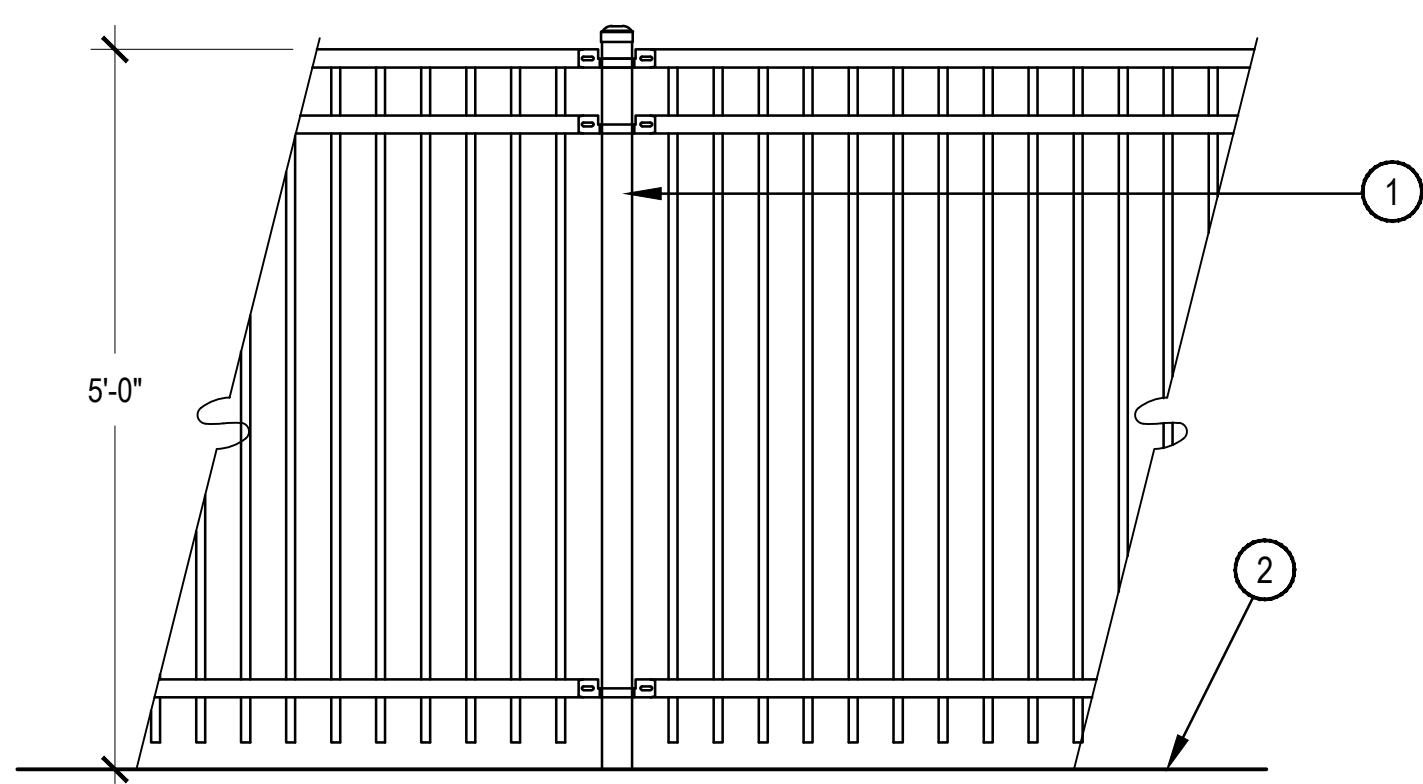
- 1 TURFGRASS OR DYLAND SEED
- 2 IRRIGATION HEADS SHOULD BE LOCATED ADJACENT TO MULCH BEDS, OFFSET HEAD INTO GRASS AREA TO ENSURE STABLE SUPPORT
- 3 PLANTING BED
- 4 VERTICAL SPADE CUT EDGE FILLED WITH SPECIFIED MULCH, TAPER EDGE OF BED SO MULCH IS DEEPER AGAINST SPADE EDGE
- 5 SPECIFIED DEPTH OF MULCH, TYPICALLY WOOD MULCH 3"-4" DEEP



### 7 SPADE CUT EDGE

SCALE: 1/2" = 1'-0"

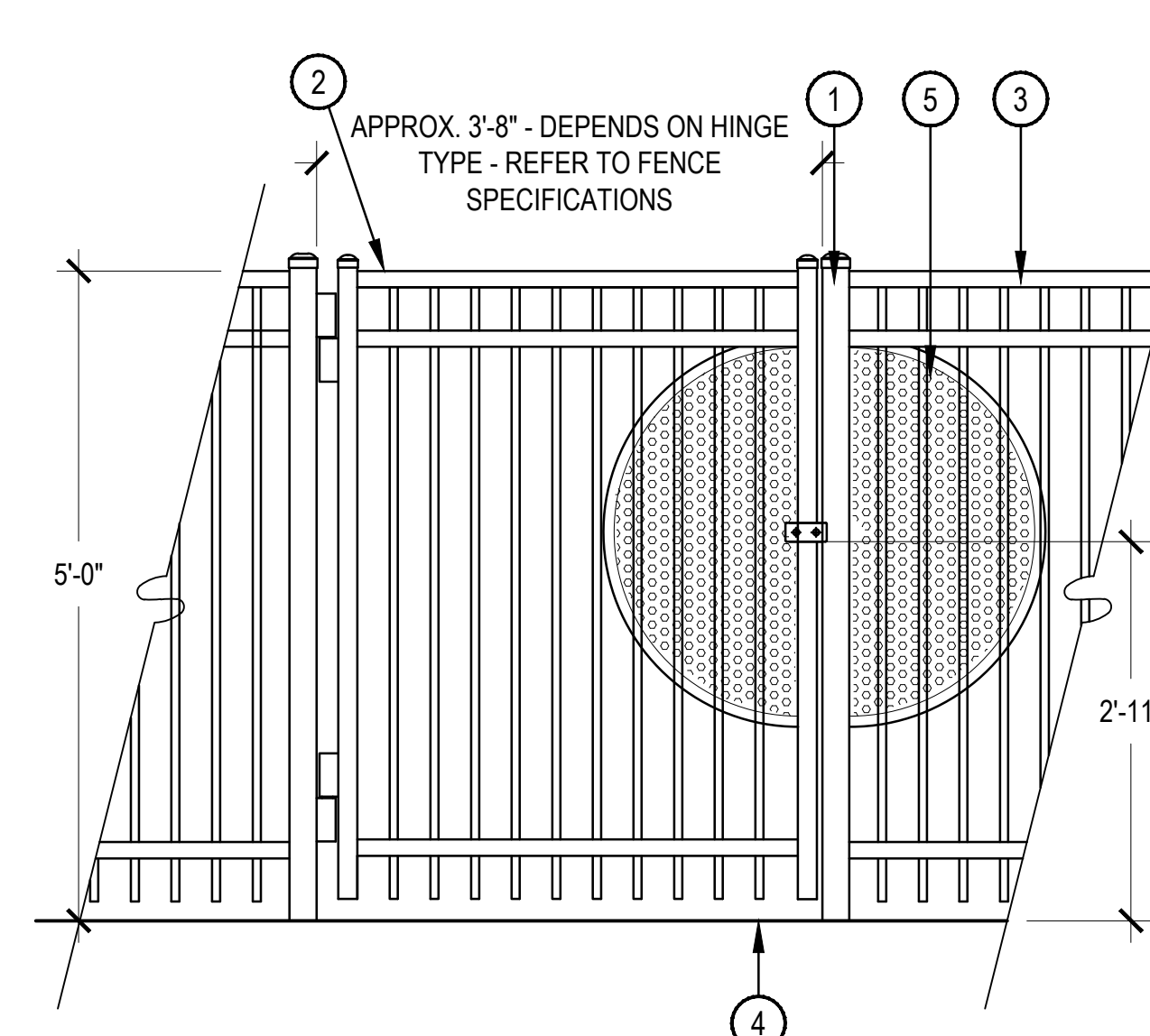
- FENCE POST - SET IN CONCRETE FOOTER, REFER TO FENCE SPECIFICATIONS FOR FOOTER INFORMATION
- 1 FINISH GRADE



- NOTES:
1. FENCE SHALL BE BY AMERISTAR FENCE OR APPROVED EQUAL. CONTACT: AARON COPE 918-879-5884 acope@ameristarfence.com www.ameristarfence.com
  2. FENCE STYLE FOR POOL ENCLOSURE SHALL BE: MONTAGE PLUS (POOL, PET, PLAY FENCING) MAGESTIC - 3 RAIL, NO FLUSH BOTTOM
  3. FENCE STYLE FOR ALL OTHER LOCATIONS SHALL BE: MONTAGE PLUS (STANDARD 4" PICKET SPACING) MAGESTIC - 3 RAIL, NO FLUSH BOTTOM
  4. COLOR: BRONZE
  5. ALL FENCING AROUND POOL AREA SHALL MEET CURRENT STATE AND IBC POOL ENCLOSURE CODE REQUIREMENTS.

### 8 ORNAMENTAL METAL FENCE

SCALE: 3/4" = 1'-0"



- 1 GATE POST TOP.
- 2 GATE: ALL GATES SHALL BE SELF CLOSING W/ GATE LOCK TO BE APPROVED BY OWNER. ALL POOL GATES SHALL MEET CURRENT STATE AND IBC POOL ENCLOSURE CODE REQUIREMENTS. PROVIDE PANIC HARDWARE ON PUSH SIDE OF GATE FOR EGRESS. SPRING HINGES, LEVER HANDLE LOCK SET WITH PUSH BUTTON KEYED ENTRY ON PULL SIDE.
- 3 ORNAMENTAL METAL FENCE
- 4 FINISH GRADE
- 5 FOR POOL GATES ONLY: PERFORATED POWDER COATED BRONZE TO MATCH FENCE STEEL PLATING W/ NO GAPS GREATER THAN 1/2" TYPE T.B.D.

- NOTES:
1. POOL GATE STYLE SHALL MATCH POOL FENCE STYLE
  2. REFER TO MANUFACTURERS FENCE SPECIFICATIONS FOR INFORMATION ON FOOTER DEPTH.

### 9 ORNAMENTAL FENCE GATE

SCALE: 3/4" = 1'-0"



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DAVIS DEVELOPMENT

HIGHLANDS AT BRIARGATE  
LANDSCAPE DETAILS

PROJECT #:  
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S-10

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