



FINISH GRADE LEDGEND

AVERAGE FINISH GRADE = (AFG)
 AFG = $\frac{99 + 99 + 94 + 92 + 89 + 89 + 88}{7} = 92.9$

BUILDING HEIGHT = 13.0 + (FF - AFG) =
 BUILDING HEIGHT = 13.0 + (100 - 92.9) = 20.1

(A) = 99
 (B) = 99
 (C) = 94
 (D) = 88
 (E) = 88
 (F) = 88
 (G) = 92

ASSEMBLY NOTES:

- R1** -ROOF:
Composite asphalt shingle(Class A fire rating) on underlayment and 7/16" sheathing over factory built trusses or rafters w/ specified insulation. Note for elevations 7000' and above, provide required ice and water shield starting at the eave and continuing to a point 24" inside the exterior wall line. Provide R-49 BATT insulation per attached IECC requirements
- R2** -FASCIA/SOFFIT:
1x10 fascia board over 2x8 sub-fascia. 5" gutter and down spouts w/ minimum 3'-0" extensions @ grade. Soffit on 2x ledgers with backer at buttjoints and 2x framing 24" O.C. Provide soffit vents as required by code.
- W1** -EXTERIOR WALL:
2x6 wood studs 16" O.C., double top plates w/ 48" minimum laps. Exterior solidly sheathed, Batt insulation, vapor barrier (warm side). Finish interior face w/ 1/2" gypsum board. Exterior face, 7/16" OSB sheathing, Acrylic thin coat stucco system over lath and vapor retarder. Provide R-23 Blown-in insulation per attached IECC requirements.
- W2** -FOUNDATION WALL:
Concrete foundation wall with fluid applied dampproofing per IRC section R406.1 dampproofing from top of the footing to the finish grade. Provide Stucco skim coat at exposed portions of exterior face. At basement walls finish interior face with 2x4 furring, insulate per IECC certificate, vapor barrier (warm side) beneath 1/2" gypsum board.
- W3** -PERIMETER DRAIN SYSTEM:
Perforated perimeter drain system set in free draining gravel wrapped in geo-textile fabric. Daylight to headwall as indicated or drain to sump pumped to storm drain.
- F1** -FRAMED FLOOR SYSTEM:
23/32" T&G sub-floor on 7"-joist framing system with joist mfr's OSB rim joist. Refer to Floor Framing Plans
- F2** -EXTERIOR DECK SYSTEM:
3" Concrete topping over membrane over plywood over joists. OR Composite lumber over joists. Refer to Floor Framing Plans
- F3** -SLAB ON GRADE (4" CONCRETE):
4" thick un-reinforced concrete, over subgrade as required by soils engineer. Provide 1/2" expansion material at perimeter and all penetrations.
- A1** -STAIRS:
7 3/4" maximum rise, 10" minimum run. 36" minimum wide. Provide handrails as required by the IRC 2012. The minimum headroom in all parts of the stairway shall not be less than 6'-8". Provide landings as required by IRC 2012
- A2** -RAILING SYSTEM:
36" high rail system w/ maximum 4" openings. Handrail grip surface to conform to IRC Code. Handrails shall be provided on a min of one side of continuous treads of a run of four or more risers running continuously the entire flight at a vertical distance of 34" min to 36" max from stair nosing.
- A3** -EGRESS WINDOW:
Egress window shall have egress hardware. A minimum net clear opening of 5.7 square feet. The minimum net clear height shall be 24". The minimum net clear width shall be 20"

COMMON SYMBOLS:

- KEYNOTE - SEE INDIVIDUAL SHEETS AS NEEDED
- ASSEMBLY NOTE - SEE INDIVIDUAL SHEETS AS NEEDED
- REFERENCE GRID LINE
- SPOT ELEVATION
- BUILDING ELEVATION
- INTERIOR/FRAMING ELEVATION
- BUILDING SECTION
- WALL SECTION
- DETAIL SECTION
- DETAIL REFERENCE
- REVISION BUBBLE
- REVISION NUMBER

ABBREVIATIONS:

- AFF = ABOVE FINISH FLOOR
- B.C. = BOTTOM CHORD
- BOW = BOTTOM OF WALL
- BRG = BEARING
- BTM = BOTTOM
- C = CENTERLINE
- C OR COL = COLUMN
- CAB = CABINET
- CANT = CANTILEVER
- CLG BRK = CEILING BREAK
- CLR. = CLEARANCE
- CONC = CONCRETE
- (D) = DROPPED
- DV = DIRECT VENT
- (E) = EXISTING
- EA = EACH
- E.E. = EACH END
- ELEC = ELECTRICAL
- (F) = FLUSH
- F.F. = FINISH FLOOR
- FXD = FIXED
- FND = FOUNDATION
- (FV) or F.V. = FIELD VERIFY
- GLB = GLULAM BEAM
- GYP = GYPSUM
- H or HDR = HEADER
- H.B. = HOSE BIBB
- HGR/HNGR = HANGER
- H or HGT = HEIGHT
- ICC = INTERNATIONAL CODE COUNCIL
- INSUL = INSULATION
- JST or JSTS = JOIST/JOISTS
- K = KING STUD
- LL = LOWER LEVEL
- LVL = LAMINATED VENEER LUMBER
- MFG = MANUFACTURER
- MAX = MAXIMUM
- MIN = MINIMUM
- ML = MAIN LEVEL
- (N) = NEW
- O.C. = ON CENTER
- OFOI = OWNER FURNISH/OWNER INSTALL
- O.H. = OVERHANG
- P = PLATE LINE
- P.T. = PRESSURE TREATED
- # PSF = POUNDS PER SQUARE FOOT
- (R) = REMOVE
- REQ'D = REQUIRED
- R.S. = ROUGH SAWN
- SHWR = SHOWER
- SF or SQ.FT. = SQUARE FEET OR SQUARE FOOT
- SI or SQ.IN. = SQUARE INCH OR SQUARE INCHES
- TEMP. = TEMPERED
- T = TRIMMER
- TBD = TO BE DETERMINED
- TOF = TOP OF FOUNDATION
- TOW = TOP OF WALL
- TYP = TYPICAL
- UL = UPPER LEVEL
- U.N.O. = UNLESS NOTED OTHERWISE
- VL = VERSA LAM
- VTR = VENT THROUGH ROOF
- WO = WALKOUT
- WP = WEATHER PROTECTED

GENERAL NOTES:

- SUB-CONTRACTORS, SUPPLIERS AND OWNER SHALL FAMILIARIZE THEMSELVES & VERIFY ALL NOTES, SPECIFICATIONS, DIMENSIONS AND DRAWINGS SHOWN ON THESE DOCUMENTS PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THOSE PARTIES TO REPORT ANY CHANGES OR DISCREPANCIES TO THE DESIGNER/CONTRACTOR. QUESTIONS REGARDING THESE DOCUMENTS INCLUDING INTERPRETATION, DIMENSIONS, NOTES, SCALE AND OTHER SIMILAR QUESTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER/CONTRACTOR IMMEDIATELY IN WRITING. FAILURE TO DO ANY OF THE ABOVE SHALL RELIEVE THE DESIGNER OF ANY ERRORS. DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY CHANGES NOT NOTED IN WRITING TO THESE DRAWINGS AND SPECIFICATIONS.
- ALL MANUFACTURED PRODUCTS SHALL BE INSTALLED & USED PER MFG SPECS. & ICC-UL REPORTS.
- UNLESS NOTED OTHERWISE ALL FOUNDATION WALLS ARE 8".
- UNLESS NOTED OTHERWISE ALL EXTERIOR WOOD STUD FRAMED WALLS ARE 5 1/2".
- UNLESS NOTED OTHERWISE ALL INTERIOR WOOD STUD FRAMED WALLS ARE 3 1/2".
- UNLESS NOTED OTHERWISE ALL ANGLES ARE 45° OR 90°.
- WINDOWS & DOORS ARE NOTED IN NOMINAL FEET & INCHES. EXAMPLE: 2668 = 2'-6" X 6'-8"

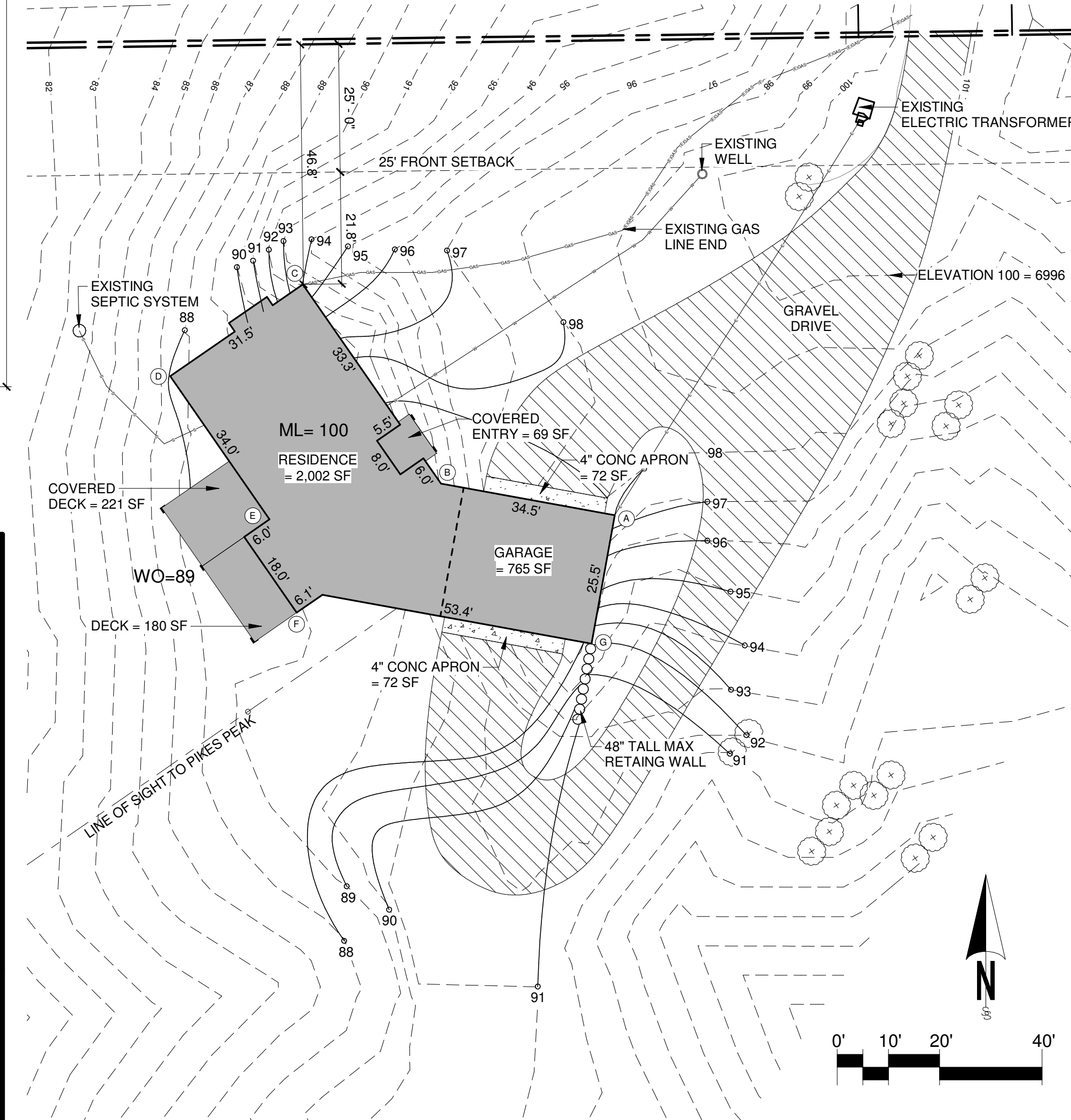
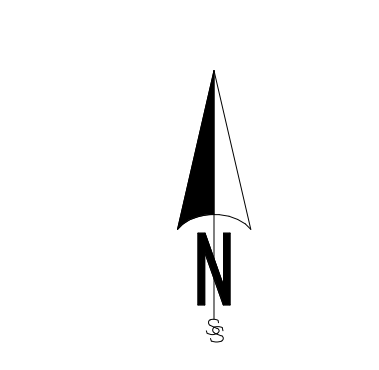
SITE NOTES:

- Limit cut and fill areas and limit material and vehicle storage to the building areas in order to minimize vegetation and site disturbance.
- Final landscaping to be determined by the Contractor/Owner(s). It shall minimize impact to the site. All landscaping to be completed by the Contractor/Owner(s).
- Use wattles & silt fence to minimize erosion during construction. And also stabilize area with seeded blankets for erosion control as necessary.
- Earth materials are not to be stockpiled on streets or sidewalks, but on site or staging areas.
- Provide positive drainage away from and around structure in all directions as shown.
- Any boulder retaining walls shown shall be 48" max high and 48'-60" min apart laterally if (2) or more retaining walls exist. Or retaining walls shall be engineered by a licenced CO soils engineer.

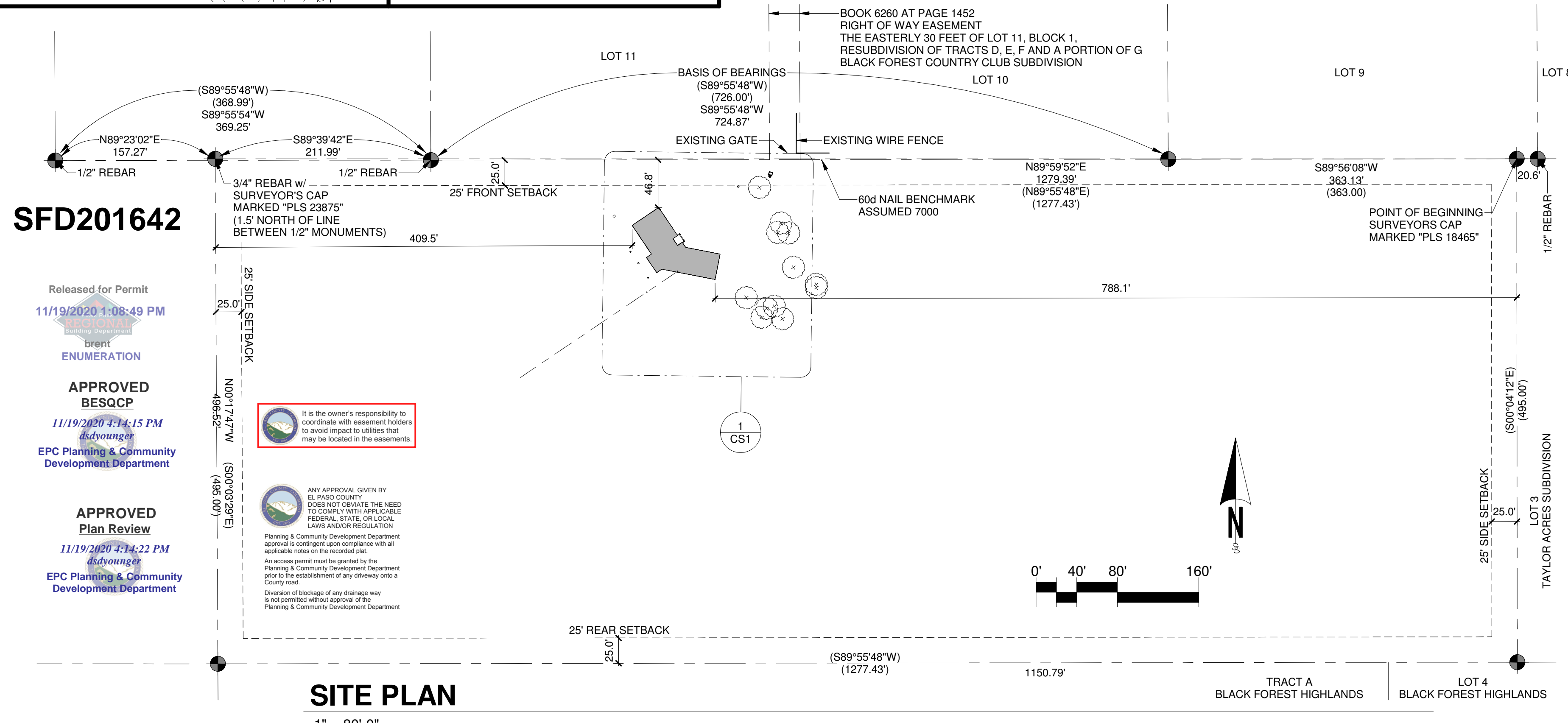
SITE LEGEND:

- PROPERTY LINES & CORNERS
- EXISTING CONTOURS
- PROPOSED CONTOURS
- ELECTRICAL LINE
- EXISTING GAS LINE
- GAS LINE
- WATER LINE
- SEPTIC LINE
- ML = MAIN LEVEL
- WO = WALK OUT LEVEL

VICINITY MAP:



1 SITE PLAN - ENLARGED @ HOUSE LOCATION
 SCALE: 1" = 20'-0"



SITE PLAN
 1" = 80'-0"

SITE INFORMATION:

ADDRESS
 6425 Highline Place
 Colorado Springs, CO 80908

LEGAL
 TR IN SE4 SEC 7-12-65 DESC AS FOLS: COM AT THE NE4 OF SE4, TH S 89-55'48" W ALG N LN OF SD SE4 1320.62 FT FOR POB, TH S 00-04'12" E 426.6 FT, S 89-55'48" W 1277.43 FT TO A PT ON W LN OF SD SE4, TH N 00-03'29" W 495.0 FT TO THE NW COR OF SD SE4, TH N 89-55'48" E 1277.33 FT TO POB

SITE DATA
 LOT SIZE = 632,491 SQ FT
 BUILDING FOOTPRINT:
 NEW RESIDENCE - 2,002 SQ FT
 ATTACHED GARAGE - 765 SQ FT
 COVERED ENTRY/DECK - 470 SQ FT
 TOTAL: 3,228 SQ FT
 TOTAL IMPERVIOUS: 3,372 SQ FT
 LOT COVERAGE = 0.51 %
 ZONING = RRS
 PARCEL No = 5207000101
 BUILDING HEIGHT = 20.1'

BUILDING INFORMATION:

AREA SCHEDULE	
Name	Area
Lower Level Finished	1785 SF
Lower Level Unfinished	200 SF
Lower Garage	765 SF
Main Garage	765 SF
Main Level Finished	2002 SF
Lower Covered Patio	421 SF
Covered Deck	261 SF
Uncovered Deck	160 SF
Covered Porch	68 SF

LOADING INFORMATION 2015 IRC 2017 PPRBC

WIND LOAD: 130 MPH (Ultimate)
 EXPOSURE 'C'

ROOF LOADS: LIVE LOAD= 40# PSF
 DEAD LOAD= 15# PSF

FLOOR LOADS: LIVE LOAD= 40# PSF
 DEAD LOAD= 10# PSF

DECK LOADS: LIVE LOAD= 40# PSF
 DEAD LOAD= 55# PSF
 LEDGER= 114# PSF

CODE INFORMATION:

CODE COMPLIANCE:
 2017 (PPRBC) Pikes Peak Regional Code
 2015 (IRC) International Residential Code
 2015 (IBC) International Building Code
 2015 (IECC) International Energy Conservation Code
 2015 (IMC) International Mechanical Code
 2015 (IFGC) International Fuel Gas Code
 2015 (IPC) International Plumbing Code
 2017 (NEC) National Electrical Code

(* As amended by 2017 PPRBC
 (**) Or the latest edition adopted by The State of CO.
 Note: 2017 PPRBC can be viewed at www.pprbc.org

BUILDING TYPE:
 OCCUPANCY R3 & U
 CONSTRUCTION TYPE V-B

CONSULTANTS:

- PROJECT MANAGER:**
 Bryce Harmon
 PH: (719) 492-1481
 EMAIL: bryce@staufferandsons.com
- GEOTECHNICAL ENGINEER:**
 GEOQUEST, LLC
 6825 SILVER PONDS HEIGHTS SUITE 101
 COLORADO SPRINGS, CO. 80908
 PH: (719) 481-4560
 EMAIL: gqengineeringllc@gmail.com
- STRUCTURAL ENGINEER:**
 MIBAR ENGINEERING
 6825 SILVER PONDS HEIGHTS SUITE 101
 COLORADO SPRINGS, CO. 80908
 PH: (719) 481-9204
 FAX: (719) 481-9204
 EMAIL: mtfreynolds@mibarlltd.com
- MECHANICAL ENGINEER:**
 DJ Mechanical Design LLC
 Phone: (719) 660-8244

OWNER:

OWNER:
 Leo & Kristy Noyes

SHEET SCHEDULE:

CS1	COVER SHEET
A1	FOUNDATION LAYOUT PLAN
A2	LOWER LEVEL FLOOR PLAN
A3	MAIN LEVEL FLOOR PLAN
A4	SECTIONS
A5	SECTIONS
A6	ELEVATIONS
A7	ELEVATIONS
S1	MAIN LEVEL FRAMING
S2	ROOF FRAMING PLAN

(719) 492-2639
 15 South Wahsatch Ave.
 Colorado Springs, CO 80903
 staufferandsons.com



NOYES RESIDENCE
 6425 Highline Place

COVER SHEET

PLAN VERSION:
 PERMIT SET

DRAWN BY: LR

CHECKED BY: ACS

PLOT: 11/4/2020 10:08:00 AM

REVISIONS

SHEET:
CS1
 OF 1 SHEETS

RESIDENTIAL



2017 PPRBC

Address: 6425 HIGHLINE PL, COLORADO SPRINGS

Parcel: 5207000101

Plan Track #: 136732

Received: 04-Nov-2020 (ANDREAL)

Description:

RESIDENCE

Contractor: STAUFFER AND SONS CONSTRUCTION

Type of Unit:

Garage	765	
Lower Level 1	765	
Lower Level 2	2002	
Main Level	2002	
Upper Level 3	470	
	6004	Total Square Feet

Required PPRBD Departments (4)

Enumeration

Released for Permit
11/05/2020 11:16:30 AM
Pikes Peak REGIONAL Building Department
brent
ENUMERATION

Floodplain

N/A
11/05/2020 8:18:53 AM
Pikes Peak REGIONAL Building Department
keith
FLOODPLAIN

Construction

Released for Permit
11/12/2020 1:29:58 AM
Pikes Peak REGIONAL Building Department
D. P. S.
CONSTRUCTION

Mechanical

Required Outside Departments (2)

N/A
11/13/2020 4:59:45 PM
El Paso County, CO
heavelez
Public Health
Health Department

County Zoning

APPROVED
Plan Review
11/23/2020 8:15:37 AM
dsdyounger
EPC Planning & Community
Development Department

Released for Permit
11/12/2020 10:21:23 AM
Pikes Peak REGIONAL Building Department
tcrippen
MECHANICAL

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.