

ROADWAY AND STORM SEWER CONSTRUCTION PLANS  
FALCON MEADOWS AT BENT GRASS FILING NO. 2  
FALCON, CO 80831 - EL PASO COUNTY  
CHALLENGER COMMUNITIES, LLC

PROJECT CONTACTS

OWNER/DEVELOPER

CHALLENGER COMMUNITIES, LLC  
8605 EXPLORER DR., SUITE 250  
COLORADO SPRINGS, CO 80920  
TELE: (719) 598-5192  
ATTN: JIM BEYERS  
EMAIL: JIMBEYERS@CHALLENGERHOMES.COM

APPLICANT

NEC, INC.  
619 NORTH CASCADE AVENUE, SUITE 200  
COLORADO SPRINGS, CO 80903  
TELE: (719) 471-0073  
ATTN: ERIN GANAWAY  
EMAIL: EGANAWAY@NEC-COLORADO.COM

CIVIL ENGINEER

GALLOWAY & CO., INC.  
1155 KELLY JOHNSON BLVD., SUITE 305  
COLORADO SPRINGS, CO 80920  
TELE: (719) 900-7220  
ATTN: GRANT DENNIS, P.E.  
EMAIL: GRANTDENNIS@GALLOWAYUS.COM

GEOTECHNICAL ENGINEER

ROCKY MOUNTAIN GROUP  
2910 AUSTIN BLUFFS PKWY  
COLORADO SPRINGS, CO 80918  
TELE: (719) 594-3072  
ATTN: TONY MUNGER, P.E.  
EMAIL: TMUNGER@RMG-ENGINEERS.COM

TRAFFIC ENGINEER

LSC TRANSPORTATION CONSULTANTS, INC.  
545 EAST PIKE'S PEAK AVENUE, SUITE 210  
COLORADO SPRINGS, CO 80903  
TELE: (719) 633-2868  
ATTN: JEFFREY C. HODSON, P.E.  
EMAIL: JEFF@LSCTRANS.COM

SURVEYOR

GALLOWAY & CO., INC.  
1155 KELLY JOHNSON BLVD., SUITE 305  
COLORADO SPRINGS, CO 80920  
TELE: (719) 337-1262  
ATTN: BRIAN DENNIS  
EMAIL: BRIANDENNIS@GALLOWAYUS.COM

UTILITY CONTACTS

WATER & WASTEWATER

WOODMEN HILLS METRO DISTRICT  
8046 EASTONVILLE ROAD  
FALCON, CO 80831  
TELE: (719) 495-2500  
ATTN: JERRY JACOBSON  
EMAIL: JJ@WOODMAN.ORG

ELECTRIC

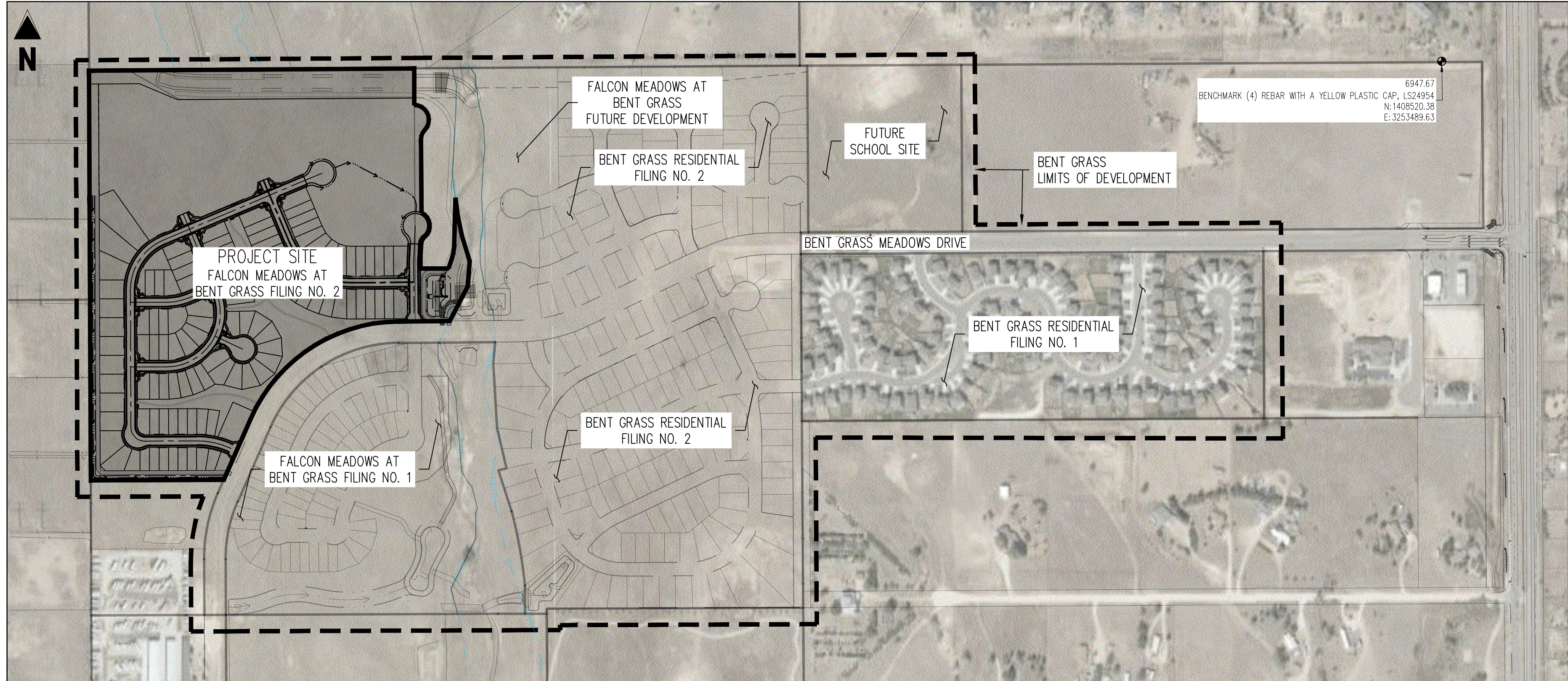
MOUNTAIN VIEW ELECTRIC  
11140 E. WOODMEN RD  
FALCON, CO 80831  
TELE: (719) 495-2283  
CATHY HANSEN-LEE  
EMAIL: CATHY@MVEA.COOP

NATURAL GAS

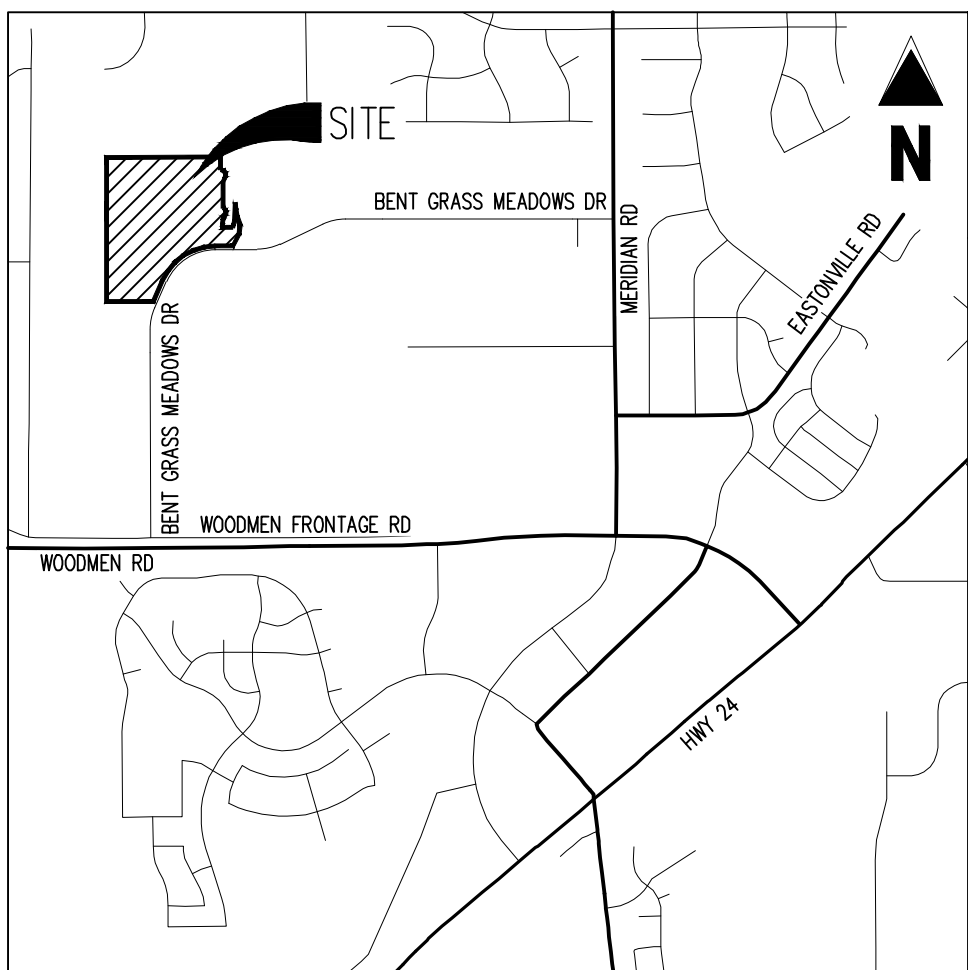
COLORADO SPRINGS UTILITIES (CSU)  
7710 DURANT DRIVE, P.O. BOX 1103, MAIL CODE 2150  
COLORADO SPRINGS, CO 80947-2150  
TELE: (719) 668-5573  
ARON CASSIO  
EMAIL: ACASSIO@CSU.ORG

FIRE

FALCON FIRE PROTECTION DISTRICT  
7030 OLD MERIDIAN ROAD  
PESION, CO 80831  
TELE: (719) 495-4050  
EMAIL: FALCONFIRE@FALCONFIREPD.ORG



SITE MAP  
SCALE: 1"=300'



VICINITY MAP  
1"=2,000'

ENGINEER'S STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

*Grant Dennis*  
RONALD G. DENNIS, COLORADO P.E. NO. 0051622 DATE 03/22/22

OWNER'S STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENT SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

*Jim Beyers*  
JIM BEYERS DATE 3/16/22  
CHALLENGER HOMES, INC.

EL PASO COUNTY

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT. FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH EGM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

JENNIFER IRVINE, P.E. DATE  
COUNTY ENGINEER / EGM ADMINISTRATOR

PCD FILING NO.

PUOSP-20-005 (FALCON MEADOWS AT BENT GRASS PRELIMINARY PLAN)  
SF-21-34 (FALCON MEADOWS AT BENT GRASS FILING NO. 2)

SHEET INDEX		
SHEET NUMBER	SHEET TITLE	SHEET DESCRIPTION
1	COVER SHEET	C0.0
2	NOTES	C0.1
3	HORIZONTAL CONTROL	C1.0
4	PHASING PLAN	C1.1
5	KEY MAP	C2.0
6	HENZLEE PLACE STREET IMPROVEMENT PLAN	C2.1
7	KITTRICK PLACE STREET IMPROVEMENT PLAN	C2.2
8	KITTRICK PLACE STREET IMPROVEMENT PLAN	C2.3
9	ROMENA WAY STREET IMPROVEMENT PLAN	C2.4
10	ROMENA WAY STREET IMPROVEMENT PLAN	C2.5
11	DAELYN DR IMPROVEMENT PLAN	C2.6
12	DAELYN DRIVE STREET IMPROVEMENT PLAN	C2.7
13	ISABEL PLACE STREET IMPROVEMENT PLAN	C2.8
14	ISABEL PLACE STREET IMPROVEMENT PLAN	C2.9
15	RAYLAN WAY STREET IMPROVEMENT PLAN	C2.10
16	JOLIE COURT STREET IMPROVEMENT PLAN	C2.11
17	SIGNAGE PLAN	C3.0
18	INTERSECTION DETAIL	C3.1
19	INTERSECTION DETAIL	C3.2
20	INTERSECTION DETAIL	C3.3
21	INTERSECTION DETAIL	C3.4
22	INTERSECTION DETAIL	C3.5
23	STORM WATER KEY MAP	C4.0
24	STORM WATER PLAN & PROFILE	C4.1

BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N00°13'46"W AND MONUMENTED AS SHOWN.

BENCHMARK

ELEVATIONS ARE BASED ON THE SOUTHWEST CORNER OF LOT 1, WOODMEN HILLS FILING NO. 4, MONUMENTED BY A NO. 4 REBAR WITH A YELLOW PLASTIC CAP, STAMPED LS# 24954. ELEVATION = 6947.67

CAUTION -- NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT; PRIOR TO CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's below.  
Call before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

Galloway

1155 Kelly Johnson Blvd., Suite 305  
Colorado Springs, CO 80920  
719.900.7220  
GallowayUS.com



COPYRIGHT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

CHALLENGER  
HOMES

CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO.2  
FOR  
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

#	Date	Issue / Description	Init.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			
21			
22			
23			
24			

Project No: CLH000019  
Drawn By: CMWJ  
Checked By: RGD  
Date: 02/14/2022

COVER SHEET

C0.0

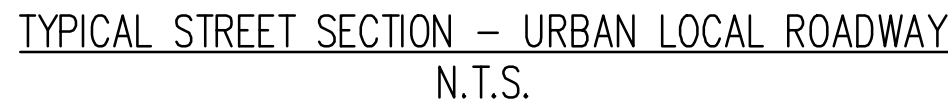
Sheet 1 of 24



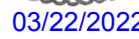
1. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. THE OMISSION FROM THE PLANS OF ANY UTILITIES OR LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.
2. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPLACED AT THE CONTRACTORS EXPENSE AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
3. ADDITIONAL EROSION CONTROL STRUCTURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.
4. ALL BACKFILL, SUB-BASE AND / OR BASE COURSE (CLASS 6) MATERIAL SHALL BE COMPACTED TO THE SOILS ENGINEERS RECOMMENDATIONS, AND APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION.
5. ALL STATIONING IS CONTINUING UNLESS OTHERWISE INDICATED. ALL ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE INDICATED.
6. ALL DISTURBED PAVEMENT EDGES SHALL BE CUT TO NEAT LINES. REPAIR SHALL CONFORM TO THE EPC COM APPENDIX K - 1.2C.
7. ALL INTERSECTION AREAS SHALL BE TO CONSTRUCTED WITH A 25 FOOT SIGHT VISIBILITY TRIANGLES AND THERE SHALL BE NO OBSTRUCTIONS GREATER THAN 18" IN THIS AREA.
8. ALL CULVERT AND STORM PIPES SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE (HDPE), OR REINFORCED CONCRETE PIPE (RCP). ALL CULVERTS SHALL BE PLACED CONFORM TO THE PLANNED ELEVATIONS. ADEQUACY OF MATERIAL THICKNESS FOR ANY CIP INSTALLED SHALL BE VERIFIED BY OWNERS GEOLOGICAL ENGINEER TO SUPPORT MINIMUM 50 YEAR DESIGN LIFE. CULVERTS MUST CONFORM TO EPC COM SECTION 3.32 - CULVERTS.
9. ASPHALT THICKNESS AND BASE COURSE THICKNESS (COMPACTED) FOR ROADS SHALL BE PER DESIGN PROVIDED BY OWNERS GEOLOGICAL ENGINEER. OWNERS GEOLOGICAL ENGINEER TO BE ON SITE AT THE END OF ROAD CONSTRUCTION TO EVALUATE SOIL CONDITIONS AND DETERMINE IF ADDITIONAL MEASURES ARE NECESSARY TO ASSURE STABILITY OF THE NEW ROADS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION PRIOR TO CONSTRUCTION.
10. TYPE M RIP-RAP WITH 4" OF TYPE II GRANULAR BEDDING AND MARIACHI 180N OR EQUAL MAY BE SUBSTITUTED WHERE TYPE I RIP-RAP WITH MARIACHI 700 OR EQUAL IS SPECIFIED.
11. ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN COMPLIANCE WITH ANY AND ALL APPLICABLE EL PASO COUNTY STANDARDS AND WITH WOODMAN HILLS METRO DISTRICT CONSULTING ENGINEER APPROVAL.
12. ALL POTABLE WATER MAINS SHALL BE AWWA C900-SDR18 PIPE WITH PUSH-ON SINGLE GASKET TYPE JOINTS AND SHALL MEET THE REQUIREMENTS OF NSF / NSF 61.
13. ALL POTABLE WATER FITTINGS SHALL BE MADE FROM GRAY-IRON OR DUCTILE IRON AND FURNISHED WITH MECHANICAL JOINT ENDS. ALL FITTINGS SHALL HAVE A PRESSURE RATING OF 250 PSI AND SHALL MEET THE REQUIREMENTS OF NSF / NSF 61.
14. ALL WATER LINE BENDS, TEES, BLOW-OFFS AND PIGS AT DEAD-END MAINS SHALL BE PROTECTED FROM THRUST BY USING CONCRETE THROAT BLOCKS AND / OR RODDING AND RESTRAINED PIPE PER THE PAINT BRUSH HILLS METRO DISTRICT CONSULTING ENGINEER APPROVAL.
15. MAXIMUM DEFLECTION OF 8" OR 12" PVC WATER MAIN JOINTS IS 4 DEGREES. CORRESPONDING MINIMUM CURVE RADIUS IS 286'. ADDITIONAL 11.25" OR 22.5" BENDS MAY BE REQUIRED FOR PORTAL ALIGNMENT.
16. CONTRACTOR IS RESPONSIBLE FOR PROVIDING DETAILED AS-BUILTS OF ALL WATER MAIN, STORM SEWER AND SANITARY SEWER MAIN INSTALLATIONS, INCLUDING ACCURATE DISTANCES OF MAN LINES, VALVES, FITTINGS, MANHOLES AND LOCATIONS OF WATER AND SEWER SERVICES.
17. SANITARY SEWER PIPE AND FITTINGS: PVC 4" - 8" ASTM D3034, TYPE PSN, SDR 35; PUSH-ON JOINTS AND MOLDED RUBBER GASKETS MAXIMUM HORIZONTAL DEFLECTIONS, AFTER INSTALLATION AND BACK FILLING SHALL NOT EXCEED 3% OF THE PIPE DIAMETER. (MINIMUM CURVE RADIUS IS 100' FOR 8" PVC SANITARY SEWER MAIN)

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
  - A. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
  - B. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
  - C. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
  - D. CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DELETED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARD, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL, VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) – INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS–JESSED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS I RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER PCD REQUIREMENTS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO POSE UNDER EXISTING PAVEMENT MARKINGS.
3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
7. ALL STREET NAME SIGNS SHALL HAVE 'D'SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4"UPPER-CASE LETTERS ON 8"BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6"UPPER-CASE LETTERS ON 8"UPPER-CASE CHAR 'B'BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8"UPPER-CASE LETTERS ON 18"BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE STOP SIGNS SHALL MATCH PAE 235 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS".
8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75"x1.75" SQUARE TUBE SIGN POST AND SUBST POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDD STANDARD S-614-B REGARDING USE OF THE P22 TUBULAR SIGN POST SUBBASE DESIGN.
10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100"MINIMUM THICKNESS.
11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDD STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE 12"MINIMUM TYPE. STOP BARS SHALL BE 24"x14" MIN. CROSSWALKS MARKINGS SHALL BE 12" WIDE AND 6"LONG PER CDD S-627-1.
12. ALL LONGITUDINAL SIGNS SHALL BE A MINIMUM 150MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDD S-627-1.
13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (799) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT FOR ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.



1. HENZLEE PL
2. KITTRICK PL
3. ROWENA WY
4. DAELYN DR
5. ISABEL PL
6. RAYLAN WY
7. JOLIE CT



THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

Project No:	CLH000019
Drawn By:	CMWJ
Checked By:	RGD
Date:	02/14/2022

# CO.1



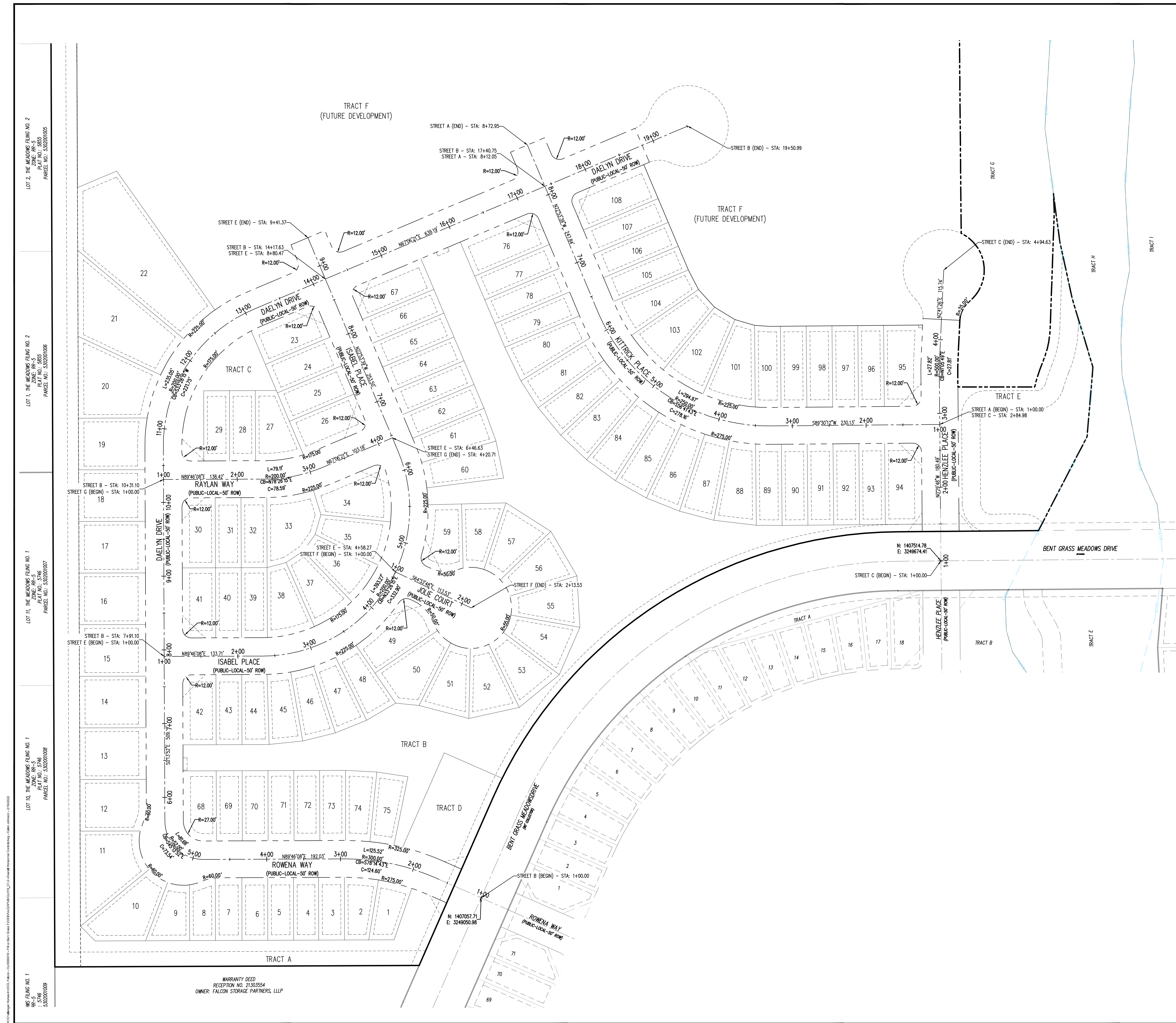


**COPYRIGHT**  
THESE PLANS ARE AN INSTRUMENT OF SERVICE  
AND ARE THE PROPERTY OF GALLOWAY, AND MAY  
NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED  
WITHOUT THE WRITTEN CONSENT OF GALLOWAY.  
COPYRIGHTS AND INFRINGEMENTS WILL BE  
ENFORCED AND PROSECUTED.

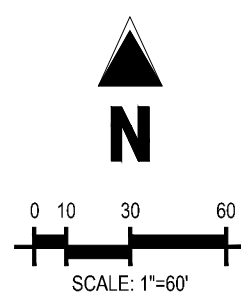
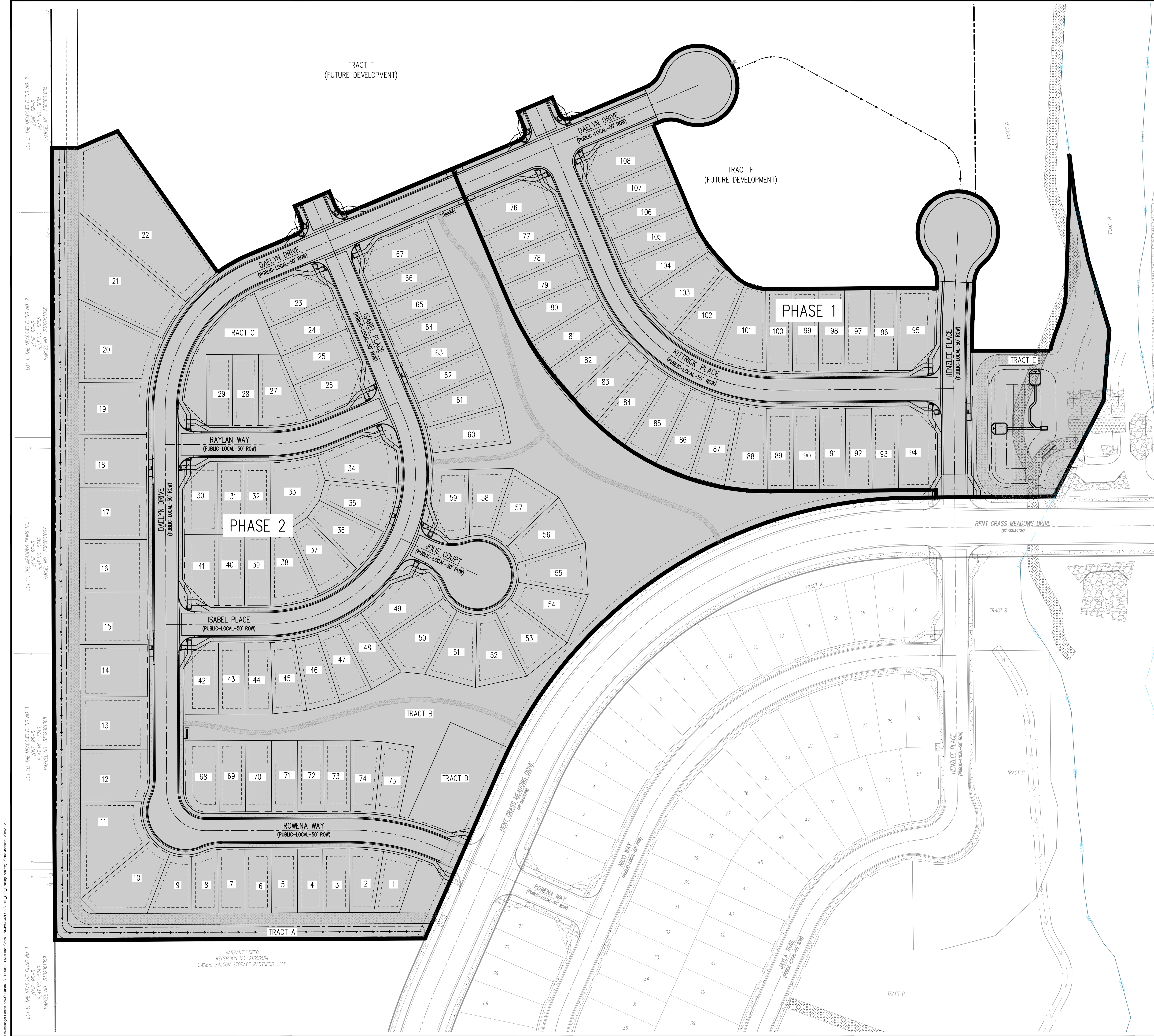
CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO.2  
FOR  
CHALLENGER COMMUNITIES, LLC  
  
BENT GRASS MEADOWS DRIVE & MERIDAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

Project No:	CLH000019
Drawn By:	CMWJ
Checked By:	RGD
Date:	02/14/2022

C1.0  
Sheet 3 of 24







**COPYRIGHT**  
THESE PLANS ARE AN INSTRUMENT OF SERVICE  
AND ARE THE PROPERTY OF GALLOWAY, AND MAY  
NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED  
WITHOUT THE WRITTEN CONSENT OF GALLOWAY.  
COPYRIGHTS AND INFRINGEMENTS WILL BE  
ENFORCED AND PROSECUTED.



**CONSTRUCTION DOCUMENTS**  
**FALCON MEADOWS AT BENT GRASS FILING NO.2**  
**FOR**  
**CHALLENGER COMMUNITIES, LLC**  
**BENT GRASS MEADOWS DRIVE & MERIDAN ROAD**  
**FALCON, CO 80831 - EL PASO COUNTY**

#	Date	Issue / Description	Init.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			
21			
22			
23			
24			
25			
26			
27			
28			
29			
30			
31			
32			
33			
34			
35			
36			
37			
38			
39			
40			
41			
42			
43			
44			
45			
46			
47			
48			
49			
50			
51			
52			
53			
54			
55			
56			
57			
58			
59			
60			
61			
62			
63			
64			
65			
66			
67			
68			
69			
70			
71			
72			
73			
74			
75			
76			
77			
78			
79			
80			
81			
82			
83			
84			
85			
86			
87			
88			
89			
90			
91			
92			
93			
94			
95			
96			
97			
98			
99			
100			
101			
102			
103			
104			
105			
106			
107			
108			

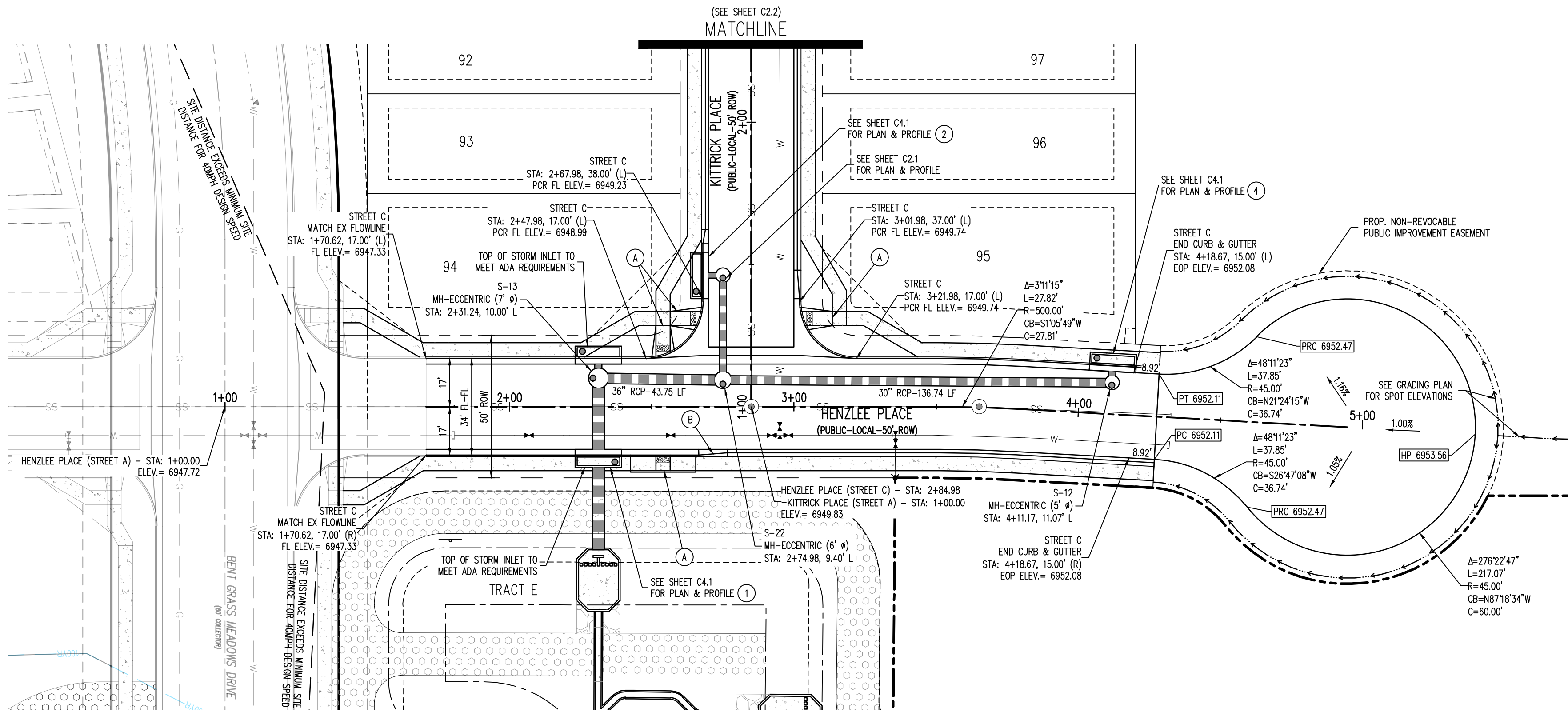
Project No: CLH000019  
Drawn By: CMWJ  
Checked By: RGD  
Date: 02/14/2022

PHASING PLAN

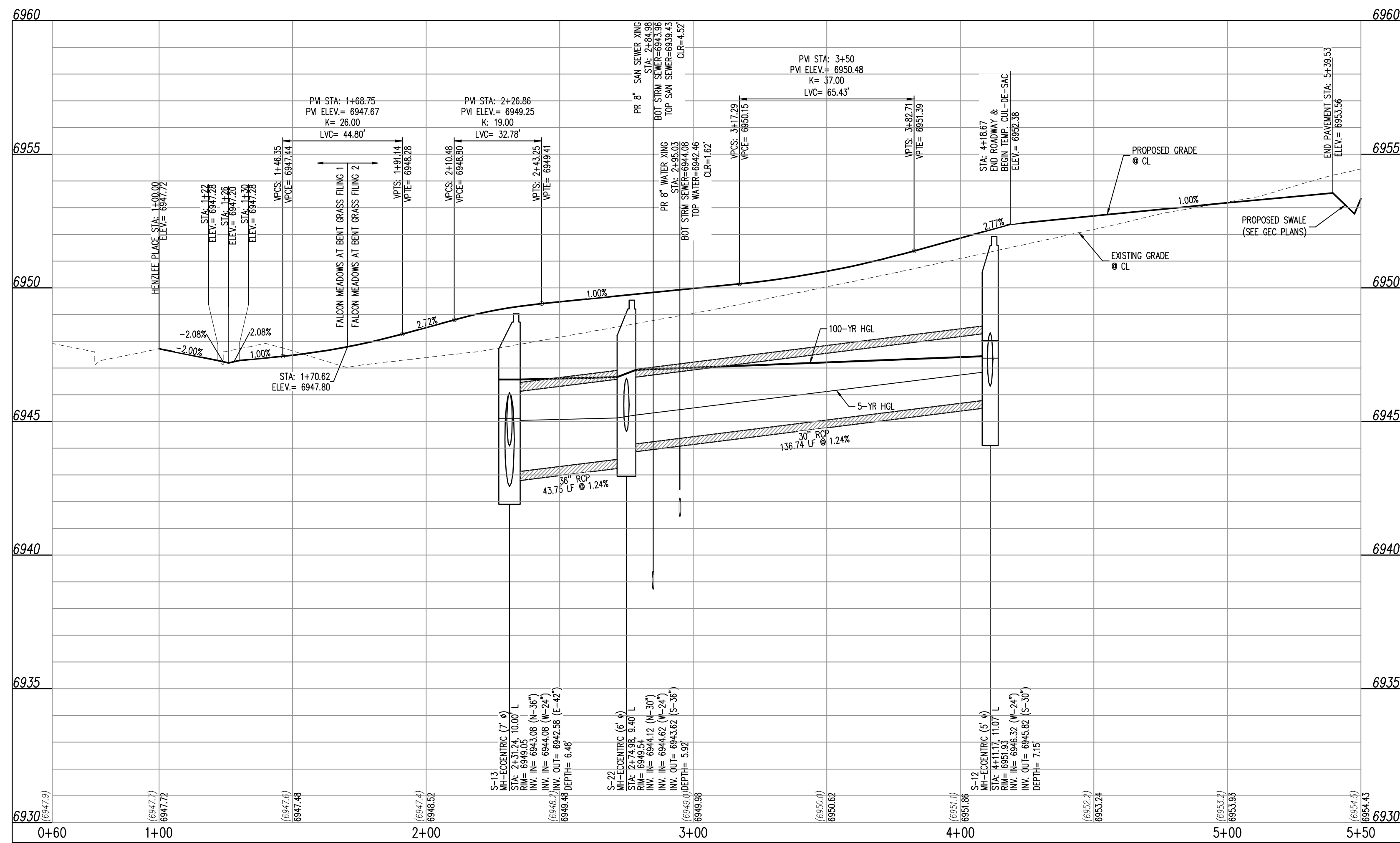




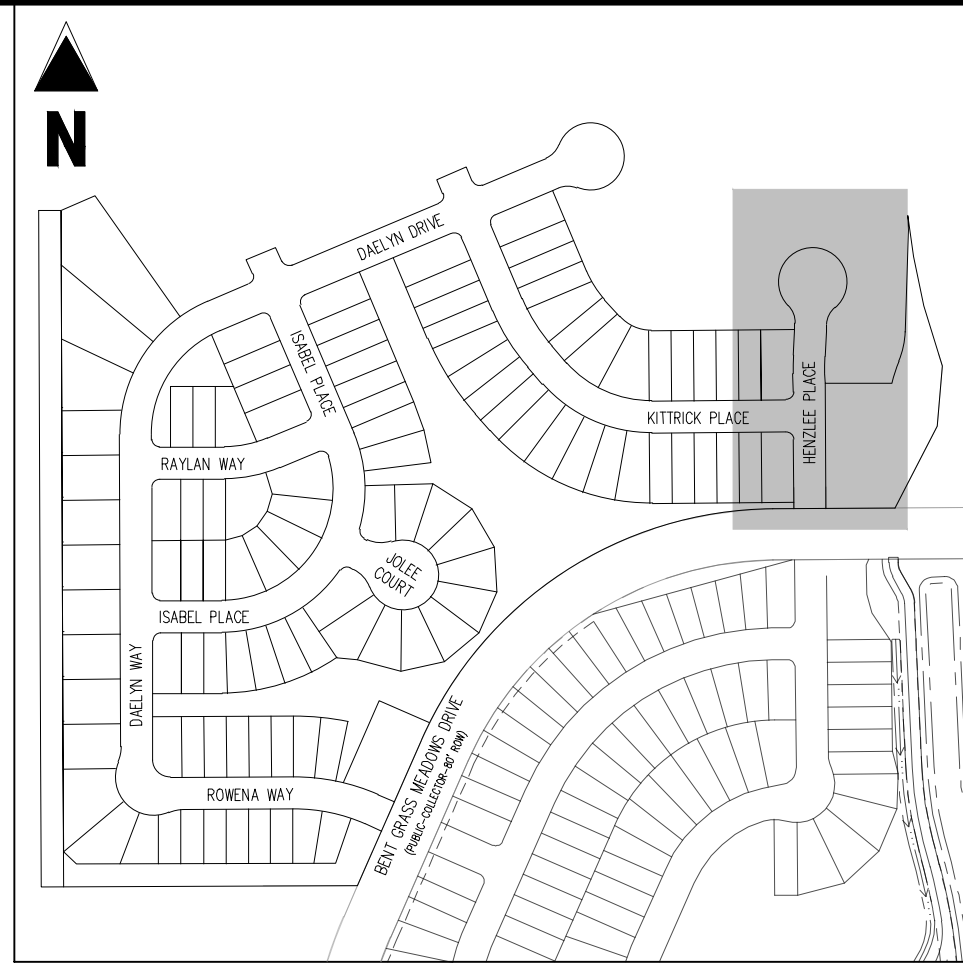
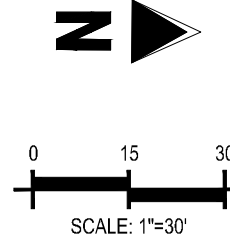




HENZLEE PLACE (STREET C) - PUBLIC 50' R.O.W.  
25 MPH DESIGN SPEED (LOCAL)



HENZLEE PLACE (STREET C)  
STA: 0+60 - 5+50  
SCALE: H: 1"=30' V: 1"=3'



KEY MAP  
SCALE: 1"=300'

#### LEGEND

	EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
	EXISTING RIGHT OF WAY LINE
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING ROADWAY CENTER LINE
	PROPOSED ROADWAY CENTER LINE
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING DRAINAGE FEATURE OUTLINE
	PROPOSED DRAINAGE FEATURE OUTLINE
	EXISTING SWALE WITH FLOW DIRECTION
	PROPOSED SWALE WITH FLOW DIRECTION
	100-YEAR FEMA FLOODPLAIN
	PROPOSED CONCRETE
	PROPOSED CDDOT CLASS 6 GRAVEL
	PROPOSED RIP RAP
	EXISTING CONCRETE PAVING
	EXISTING CDDOT CLASS 6 GRAVEL
	EXISTING 1" TO 2" CRUSHED ROCK
	EXISTING RIP RAP
	EXISTING GROUTED BOULDERS
	PROPOSED LOT #
	EXISTING LOT #

#### NOTES

- ALL STATION CALLOUTS ARE IN RELATION TO THE CENTERLINE OF ROADWAY, THEREFORE STORM SEWER MANHOLE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH GRADE.
- STORM SEWER TOP ELEVATIONS ON ALL STORM DRAIN CURB INLETS ARE LOCATED AT THE MIDDLE. CONTRACTOR TO ENSURE THE INLET MATCHES THE SLOPE OF THE ADJACENT ROADWAY CENTER LINE.
- ALL STORM SEWER PIPING SHALL USE WATER-TIGHT JOINTS.
- SEE GRADING PLAN FOR ALL GRADING INFORMATION.
- ALL STORM SEWER SHALL BE CLASS III RCP.
- ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED.

(C) CURVE TABLE ID

(A) PEDESTRIAN RAMP, SEE DETAILS (EPC SD\_2-40 & SD\_2-41)

(B) PROPOSED 10' CURB TRANSITION

(C) PROPOSED 5' CURB TRANSITION

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18" VERTICAL AND 10" HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

#### BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, 113S, R65W AND THE WEST QUARTER CORNER SECTION 1, 113S, R65W IS N007°13'46"W AND MONUMENTED AS SHOWN.

#### BENCHMARK

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L5# 24554 ELEVATION = 6947.67

#### CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



**Galloway**

1155 Kelly Johnson Blvd., Suite 305  
Colorado Springs, CO 80920  
719.900.7220  
gallowayus.com



**COPYRIGHT**  
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

**CHALLENGER HOMES**

CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO.2  
FOR

CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

#	Date	Issue / Description	Init.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

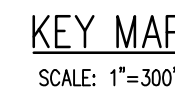
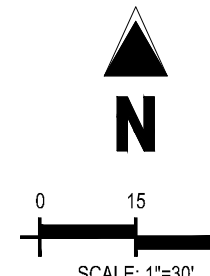
Project No: CLH000019  
Drawn By: CMWJ  
Checked By: RGD  
Date: 02/14/2022

HENZLEE PLACE STREET  
IMPROVEMENT PLAN

**C2.1**

Sheet 6 of 24

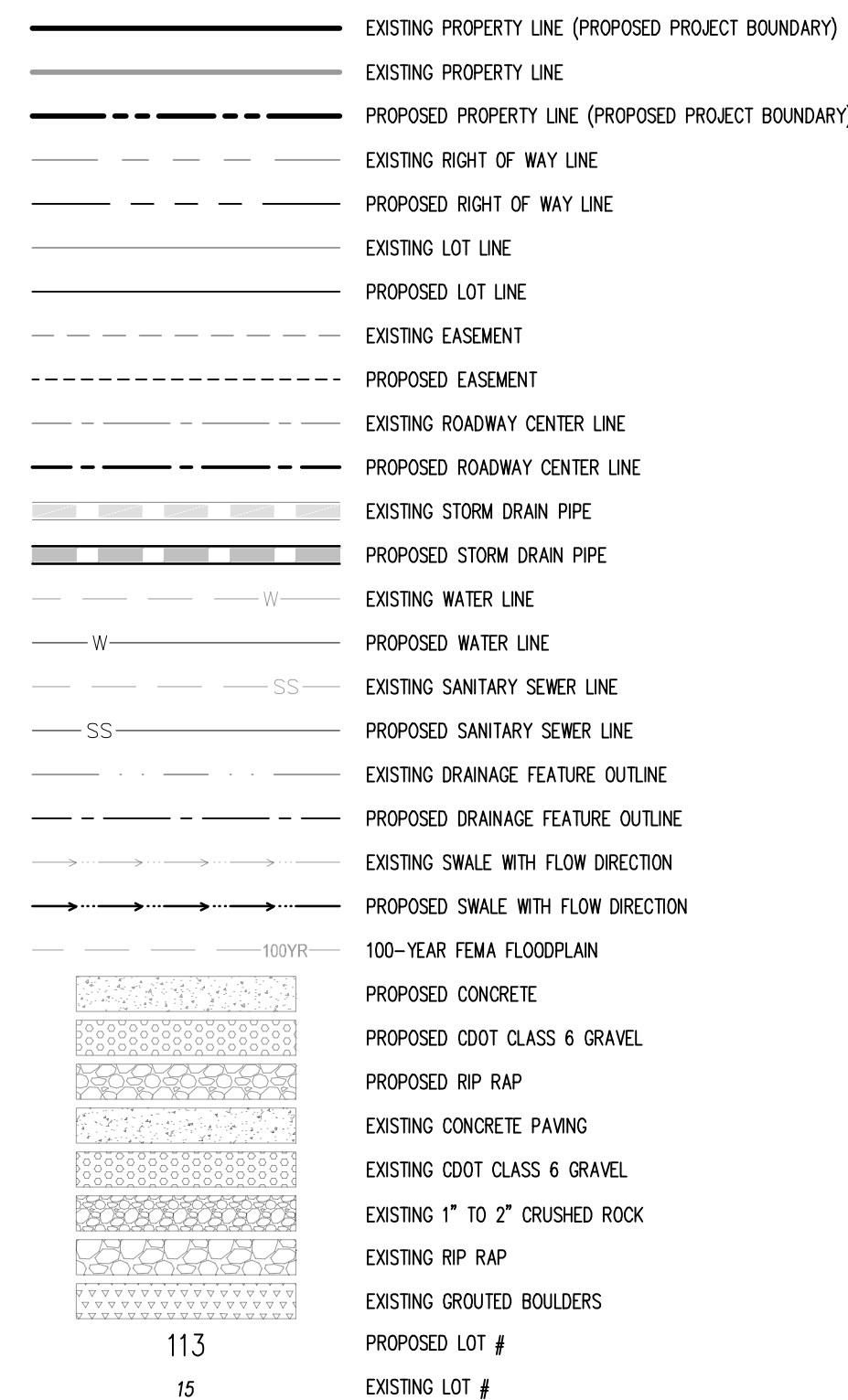




1. ALL STATION CALLOUTS ARE IN RELATION TO THE CENTERLINE OF ROADWAY, THEREFORE STORM SEWER MANHOLE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH GRADE.
2. STORM SEWER BULK ELEVATIONS ON ALL STORM DRAIN CURB INLETS ARE LOCATED AT THE MIDDLE. CONTRACTOR TO ENSURE THE INLET MATCHES THE SLOPE OF THE ADJACENT ROADWAY CENTER LINE.
3. ALL STORM SEWER PIPING SHALL USE WATERIGHT JOINTS.
4. SEE GRADING PLAN FOR ALL GRADING INFORMATION
5. ALL STORM SEWER SHALL BE CLASS III RCP
6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED

- (C1) CURVE TABLE ID
- (A) PEDESTRIAN RAMP, SEE DETAILS (EPC SD\_2-40 & SD\_2-41)
- (B) PROPOSED 10' CURB TRANSITION
- (C) PROPOSED 5' CURB TRANSITION

CURVE SEGMENT TABLE					
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (FT)
C1	90°00'00"	31.42	20.00	S45°29'48"E	28.28
C2	90°00'00"	31.42	20.00	N44°30'12"E	28.28



Know what's **below**.  
**Call** before you dig.

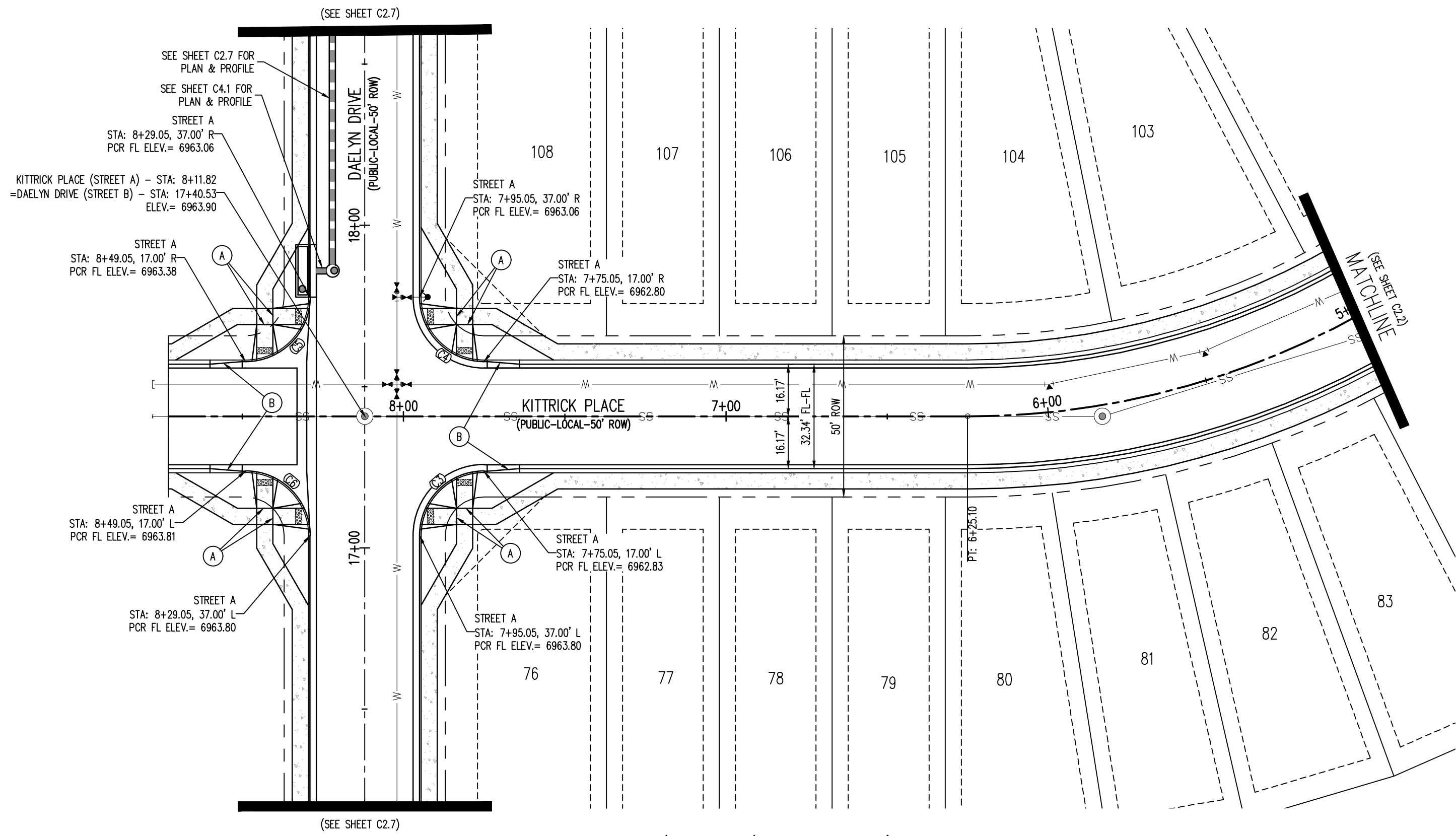


**CHALLENGER**  
HOMES

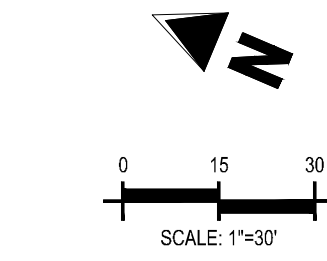
BENT GRASS MEADOWS DRIVE & MERIDAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

Sheet 7 of 24





KITTRICK PLACE (STREET A) – PUBLIC 50' R.O.W.  
25 MPH DESIGN SPEED (LOCAL)



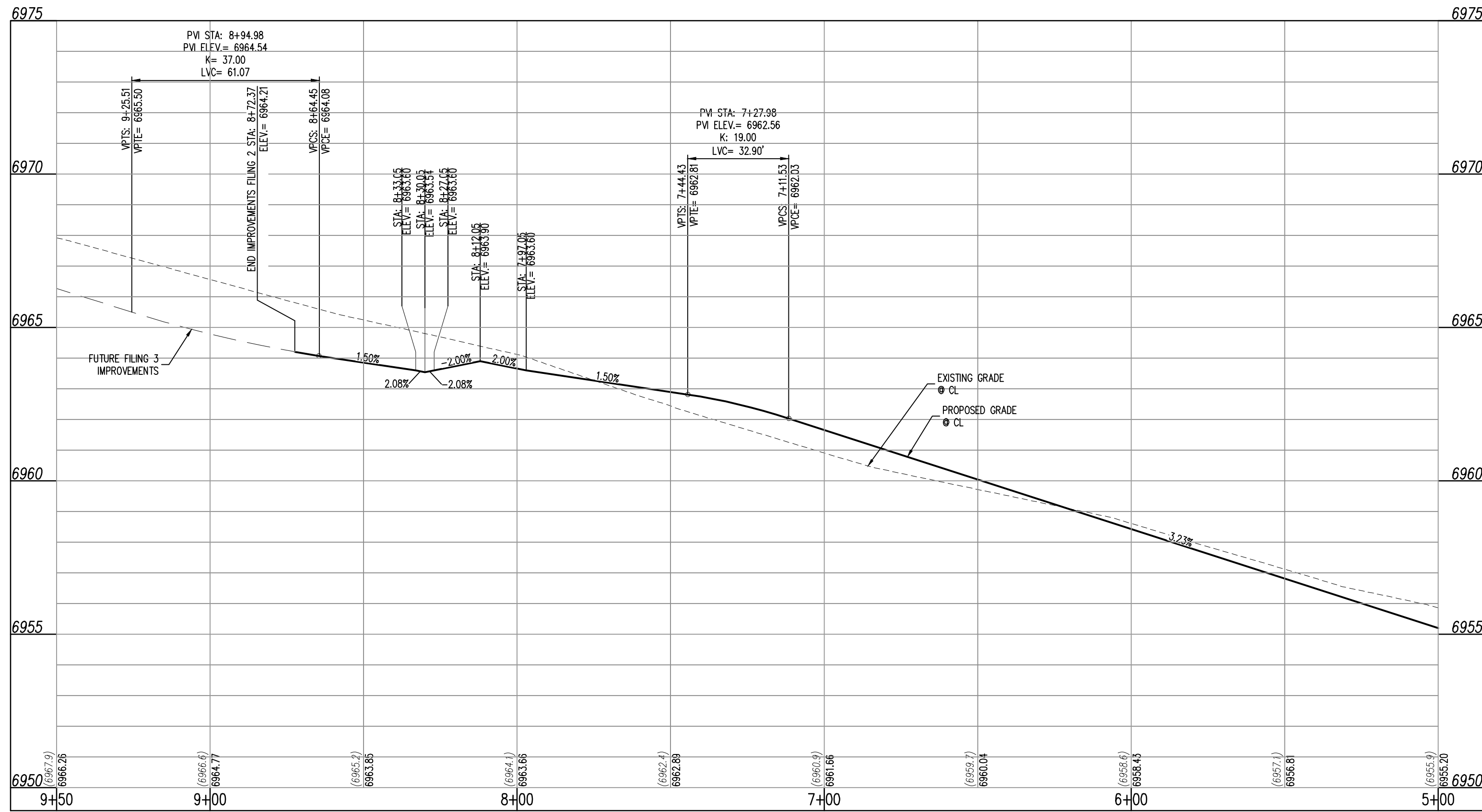
#### NOTES

1. ALL STATION CALLOUTS ARE IN RELATION TO THE CENTERLINE OF ROADWAY, THEREFORE STORM SEWER MANHOLE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH GRADE.
2. STORM SEWER TBC ELEVATIONS ON ALL STORM DRAIN CURB INLETS ARE LOCATED AT THE MIDDLE. CONTRACTOR TO ENSURE THE INLET MATCHES THE SLOPE OF THE ADJACENT ROADWAY CENTER LINE.
3. ALL STORM SEWER PIPING SHALL USE WATERTIGHT JOINTS.
4. SEE GRADING PLAN FOR ALL GRADING INFORMATION.
5. ALL STORM SEWER SHALL BE CLASS II RCP.
6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED.

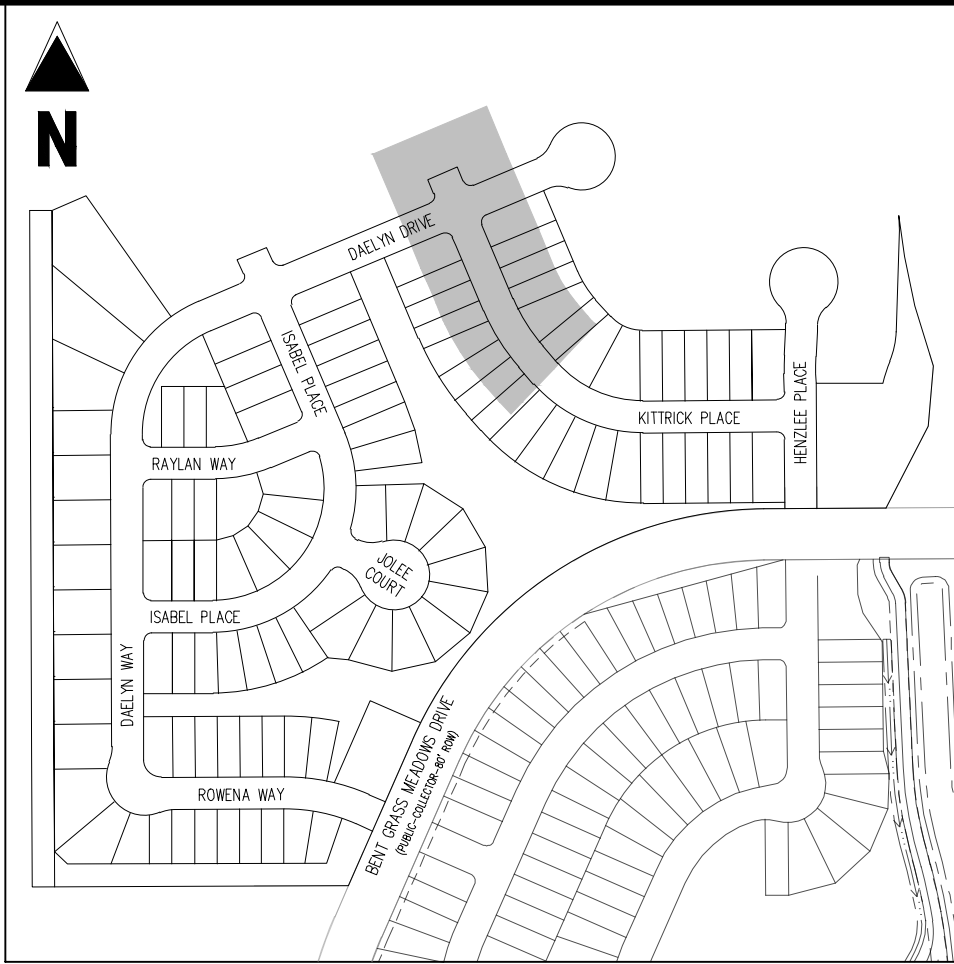
- (C1) CURVE TABLE 10
- (A) PEDESTRIAN RAMP, SEE DETAILS (EPC SD\_2-40 & SD\_2-41)
- (B) PROPOSED 10' CURB TRANSITION
- (C) PROPOSED 5' CURB TRANSITION

CURVE SEGMENT TABLE

CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (FT)
C3	90°00'00"	31.42	20.00	N67°53'39"W	28.28
C4	90°00'00"	31.42	20.00	S22°06'21"W	28.28
C5	90°00'00"	31.42	20.00	N67°53'39"W	28.28
C6	90°00'00"	31.42	20.00	S22°06'21"W	28.28



KITTRICK PLACE (STREET A)  
STA: 5+00 – 9+50  
SCALE: H: 1"=30' V: 1"=3'



KEY MAP  
SCALE: 1"=300'

#### LEGEND

- EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
- EXISTING RIGHT OF WAY LINE
- PROPOSED RIGHT OF WAY LINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING ROADWAY CENTER LINE
- PROPOSED ROADWAY CENTER LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED STORM DRAIN PIPE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING DRAINAGE FEATURE OUTLINE
- PROPOSED DRAINAGE FEATURE OUTLINE
- EXISTING SWALE WITH FLOW DIRECTION
- PROPOSED SWALE WITH FLOW DIRECTION
- 100-YEAR FEMA FLOODPLAIN
- PROPOSED CONCRETE
- PROPOSED CDOT CLASS 6 GRAVEL
- PROPOSED RIP RAP
- EXISTING CONCRETE PAVING
- EXISTING CDOT CLASS 6 GRAVEL
- EXISTING 1" TO 2" CRUSHED ROCK
- EXISTING RIP RAP
- EXISTING GROUTED BOULDERS
- PROPOSED LOT #
- EXISTING LOT #

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

#### BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, 113S, R65W AND THE WEST QUARTER CORNER SECTION 1, 113S, R65W IS N007°14'46"W AND MONUMENTED AS SHOWN.

#### BENCHMARK

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L5# 24954 ELEVATION = 6947.67

#### CAUTION – NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



**Galloway**

1155 Kelly Johnson Blvd., Suite 305  
Colorado Springs, CO 80920  
719.900.7220  
gallowayus.com



**COPYRIGHT**  
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

**CHALLENGER HOMES**

CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO.2  
FOR  
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

#	Date	Issue / Description	Init.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			

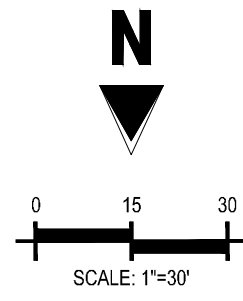
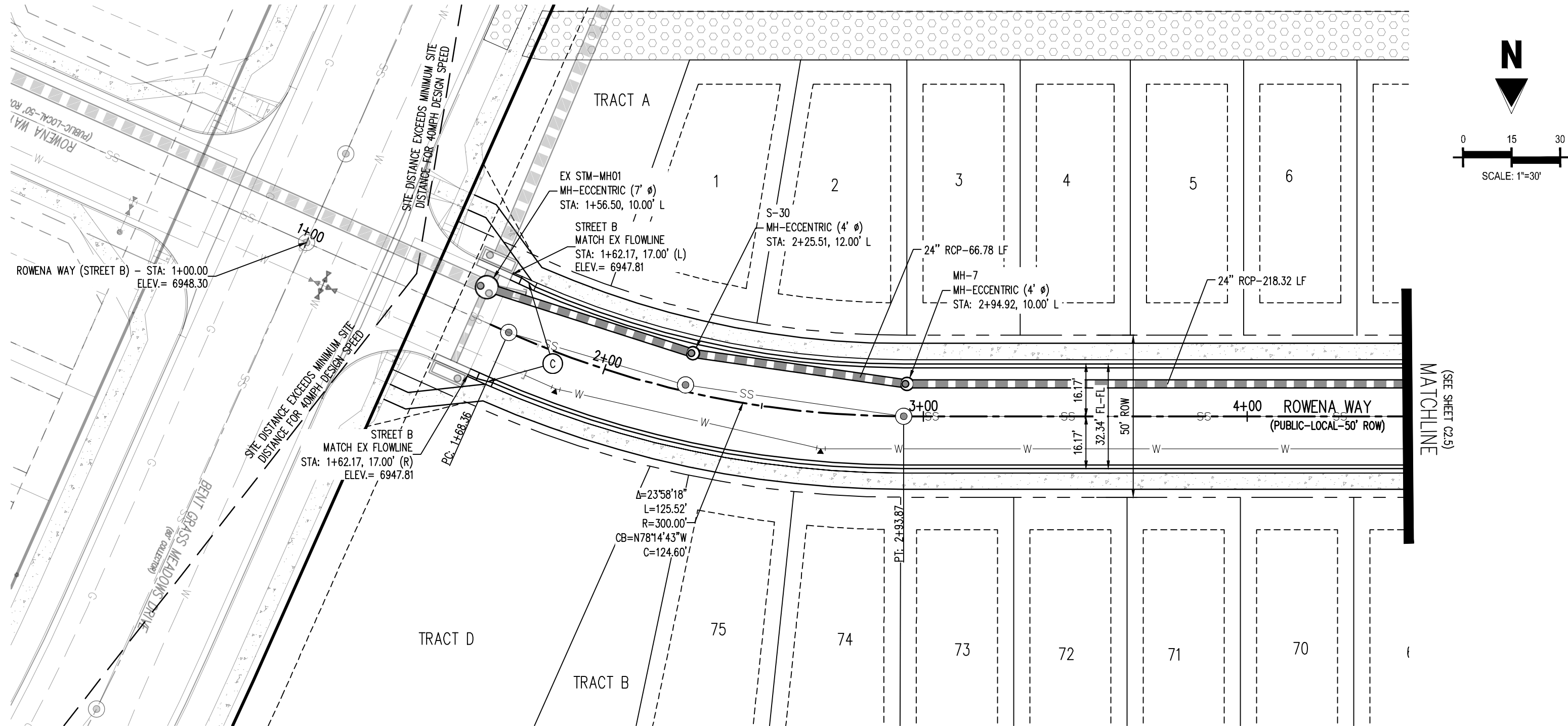
Project No: CLH0000119  
Drawn By: CMWJ  
Checked By: RGD  
Date: 02/14/2022

KITTRICK PLACE STREET  
IMPROVEMENT PLAN

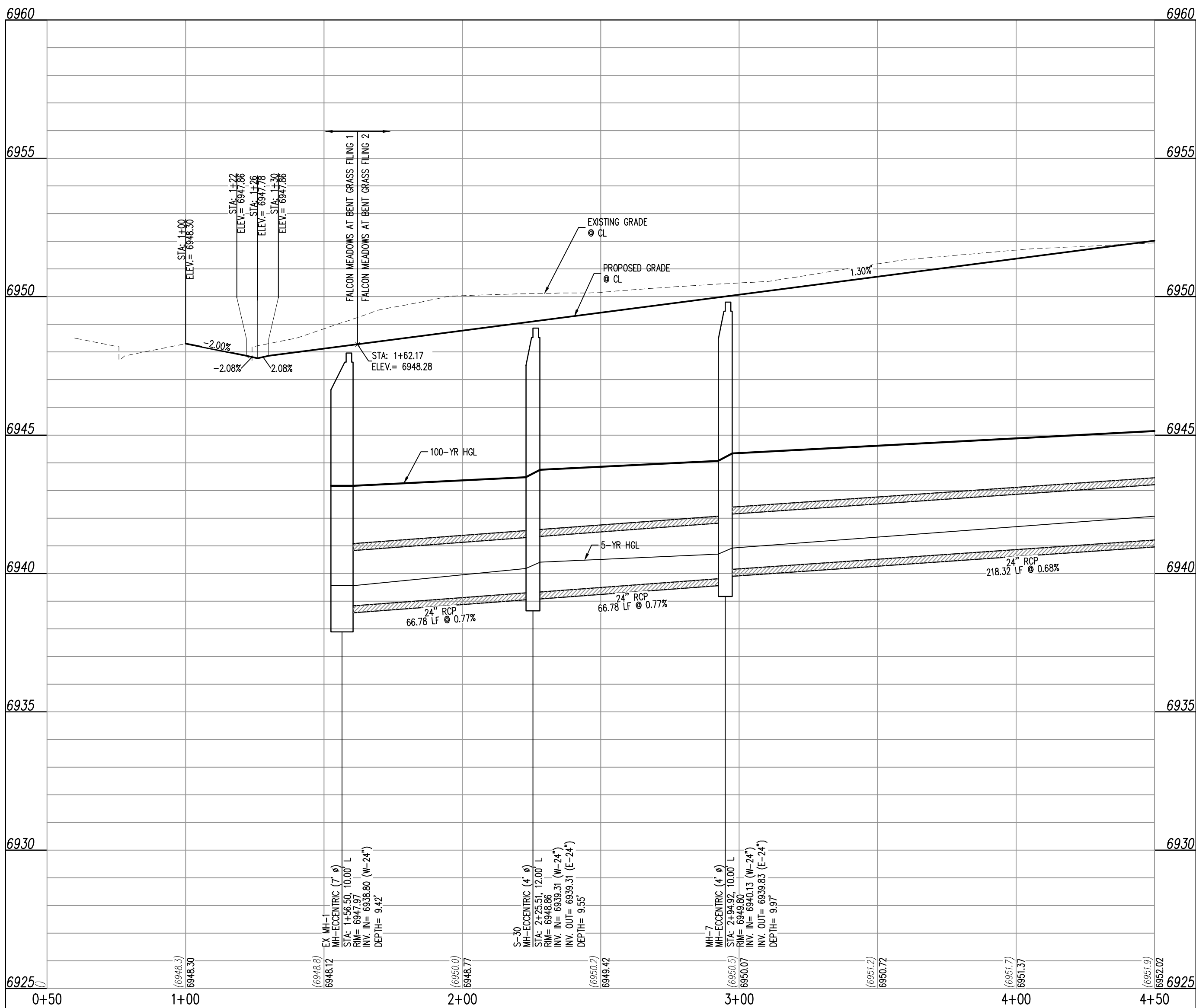
**C2.3**

Sheet 8 of 24





ROWENA WAY (STREET B) – PUBLIC 50' R.O.W.  
25 MPH DESIGN SPEED (LOCAL)



ROWENA WAY (STREET B)  
STA: 0+50 – 4+50  
SCALE: H: 1"=30' V: 1"=3'

#### NOTES

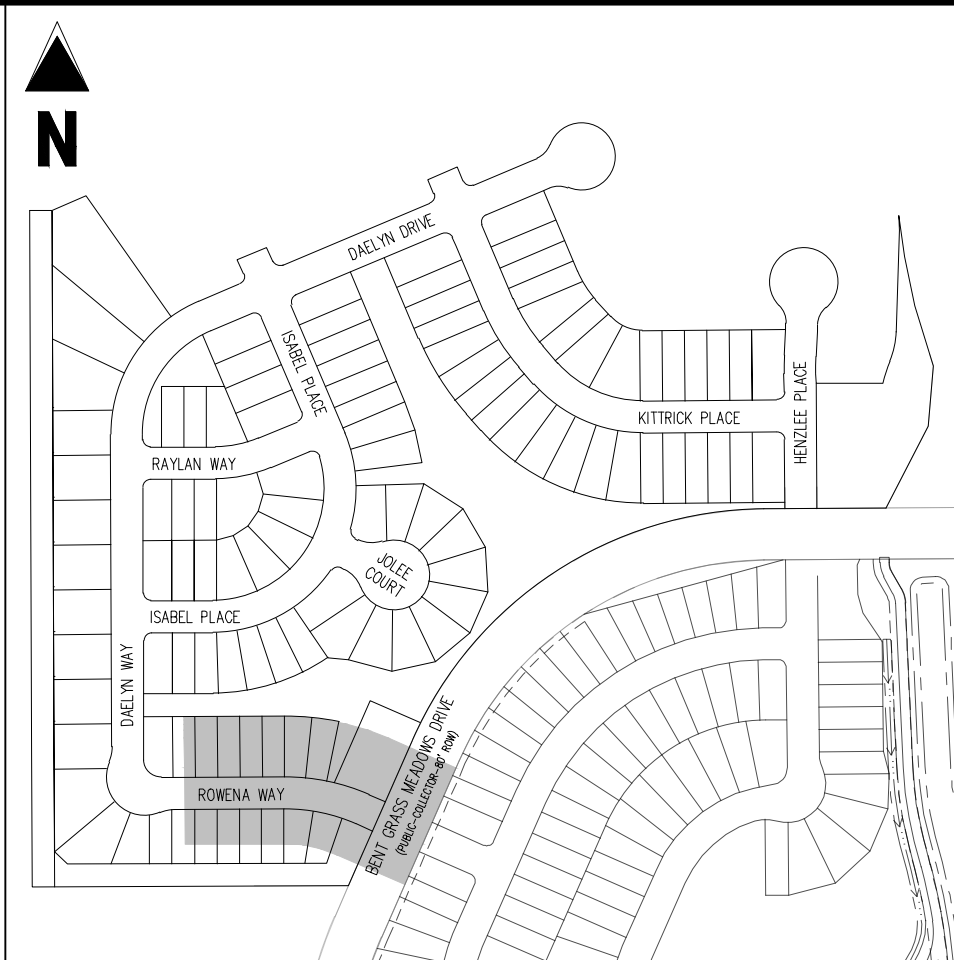
1. ALL STATION CALLOUTS ARE IN RELATION TO THE CENTERLINE OF ROADWAY, THEREFORE STORM SEWER MANHOLE RMS AND INLETS MAY APPEAR TO NOT MEET FINISH GRADE.
2. STORM SEWER TBC ELEVATIONS ON ALL STORM DRAIN CURB INLETS ARE LOCATED AT THE MIDDLE. CONTRACTOR TO ENSURE THE INLET MATCHES THE SLOPE OF THE ADJACENT ROADWAY CENTER LINE.
3. ALL STORM SEWER PIPING SHALL USE WATERTIGHT JOINTS.
4. SEE GRADING PLAN FOR ALL GRADING INFORMATION.
5. ALL STORM SEWER SHALL BE CLASS III RCP.
6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED.

(C) CURVE TABLE ID

(A) PEDESTRIAN RAMP, SEE DETAILS (CPC SD\_2-40 & SD\_2-41)

(B) PROPOSED 10' CURB TRANSITION

(C) PROPOSED 5' CURB TRANSITION



#### KEY MAP

SCALE: 1"=300'

#### LEGEND

- EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
- EXISTING RIGHT OF WAY LINE
- PROPOSED RIGHT OF WAY LINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING ROADWAY CENTER LINE
- PROPOSED ROADWAY CENTER LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED STORM DRAIN PIPE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING DRAINAGE FEATURE OUTLINE
- PROPOSED DRAINAGE FEATURE OUTLINE
- EXISTING SWALE WITH FLOW DIRECTION
- PROPOSED SWALE WITH FLOW DIRECTION
- 100-YR FEMA FLOODPLAIN
- PROPOSED CONCRETE
- PROPOSED CDOT CLASS 6 GRAVEL
- PROPOSED RIP RAP
- EXISTING CONCRETE PAVING
- EXISTING CDOT CLASS 6 GRAVEL
- EXISTING 1" TO 2" CRUSHED ROCK
- EXISTING RIP RAP
- EXISTING GROUTED BOULDERS
- PROPOSED LOT #
- EXISTING LOT #

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

#### BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N0071346°W AND MONUMENTED AS SHOWN.

#### BENCHMARK

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L#8 24954 ELEVATION = 6947.67

#### CAUTION – NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

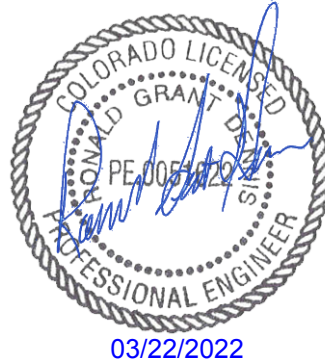
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's below.  
Call before you dig.

**Galloway**

1155 Kelly Johnson Blvd., Suite 305  
Colorado Springs, CO 80920  
719.900.7220  
gallowayus.com



**COPYRIGHT**  
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

**CHALLENGER HOMES**

CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO.2  
FOR  
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

#	Date	Issue / Description	Init.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

Project No: CLH000019  
Drawn By: CMWJ  
Checked By: RGD  
Date: 02/14/2022

ROWENA WAY STREET  
IMPROVEMENT PLAN

**C2.4**

Sheet 9 of 24



C:\Users\matt\OneDrive\Documents\Projects\2019\20190222 ROWENA WAY STREET IMPROVEMENT PLAN.dwg

### NOTES

1. ALL STATION CALLOUTS ARE IN RELATION TO THE CENTERLINE OF ROADWAY, THEREFORE STORM SEWER MANHOLE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH GRADE.
2. STORM SEWER TBC ELEVATIONS ON ALL STORM DRAIN CURB INLETS ARE LOCATED AT THE WEDGE. CONTRACTOR TO ENSURE THE INLET MATCHES THE SLOPE OF THE ADJACENT ROADWAY CENTER LINE.
3. ALL STORM SEWER PIPING SHALL USE WATERTIGHT JOINTS.
4. SEE GRADING PLAN FOR ALL GRADING INFORMATION.
5. ALL STORM SEWER SHALL BE CLASS III ROP.
6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED.

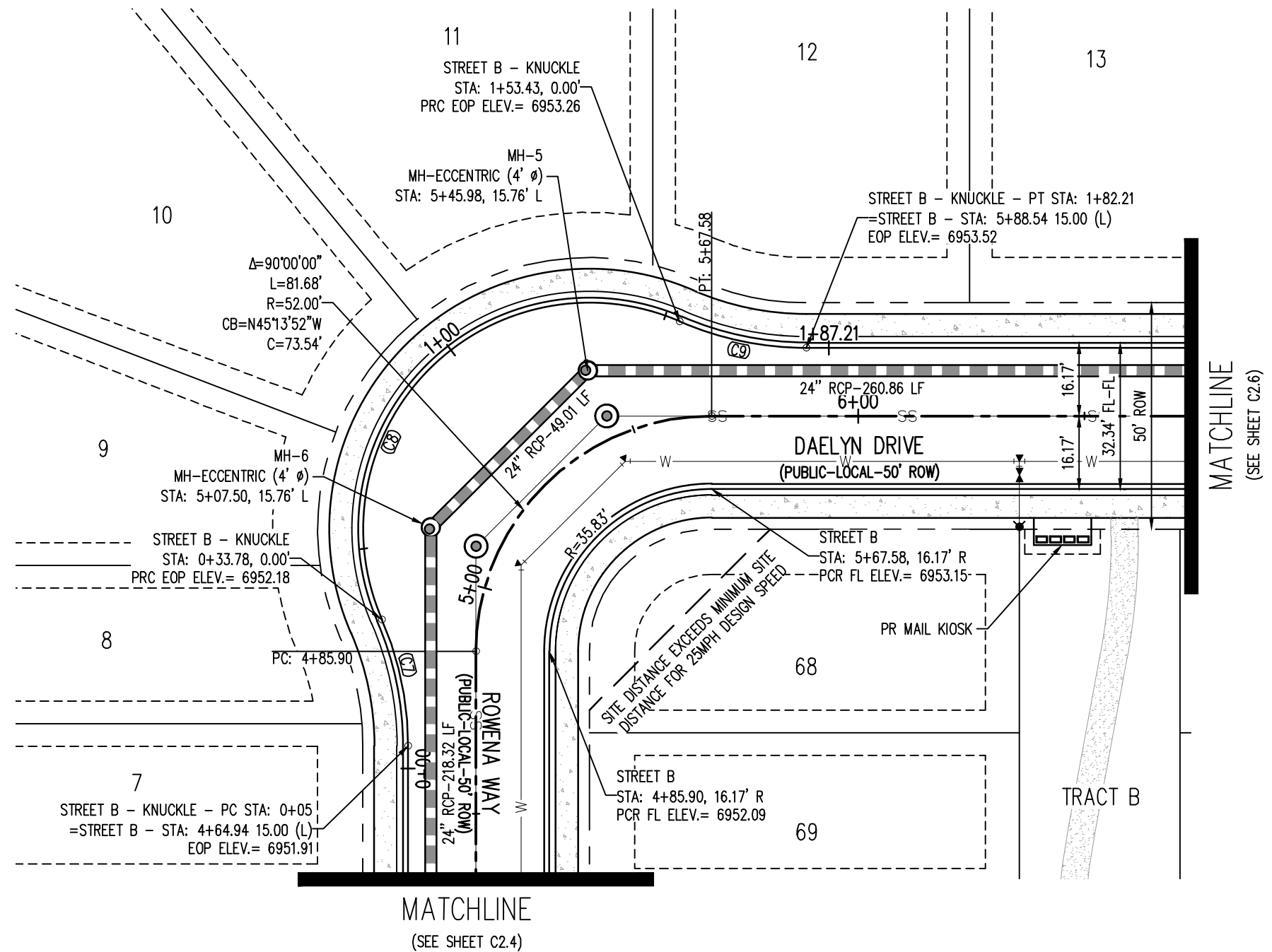
(C1) CURVE TABLE D

(A) PEDESTRIAN RAMP, SEE DETAILS (EPC SD\_2-40 & SD\_2-41)

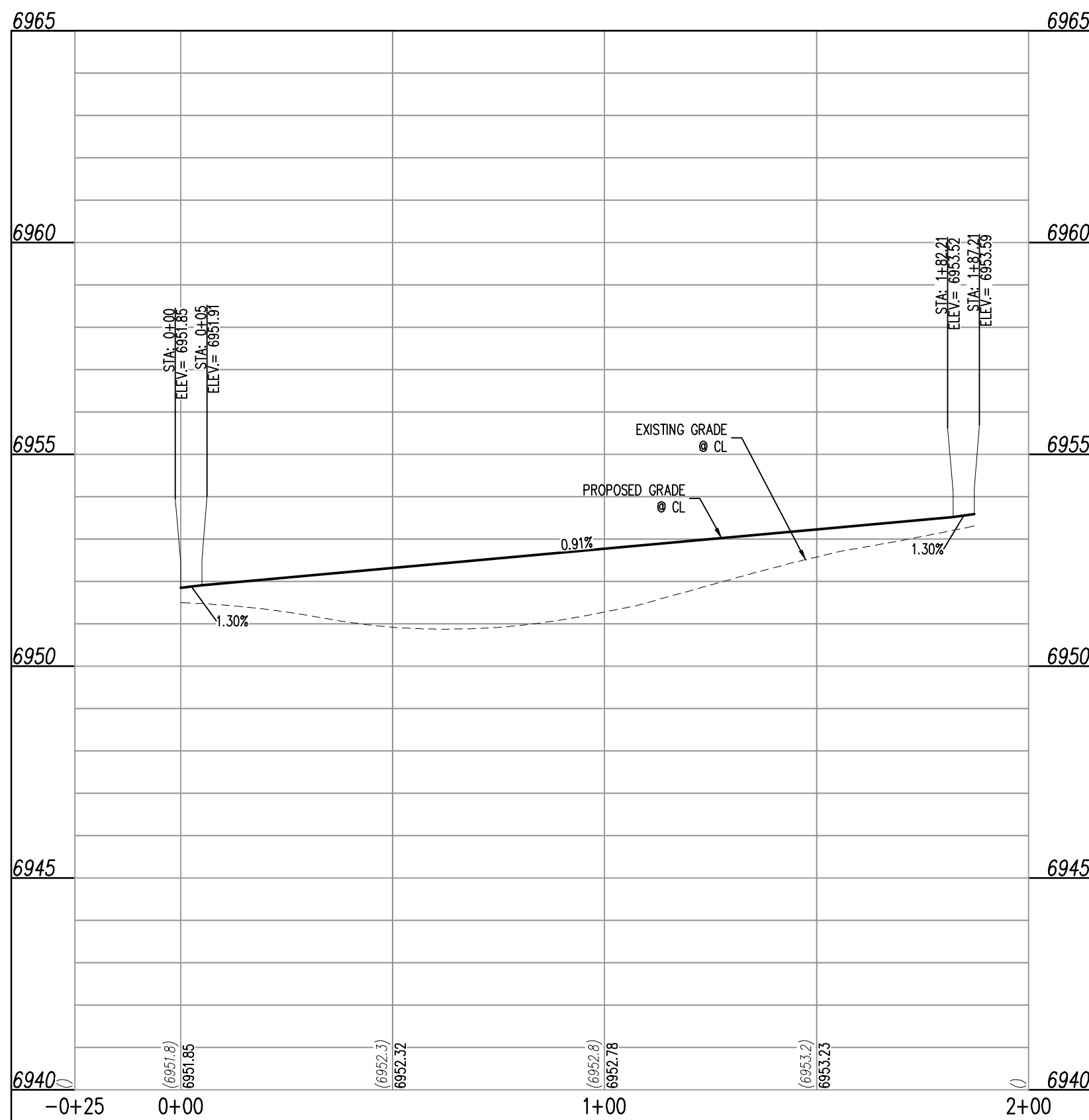
(B) PROPOSED 10' CURB TRANSITION

(C) PROPOSED 5' CURB TRANSITION

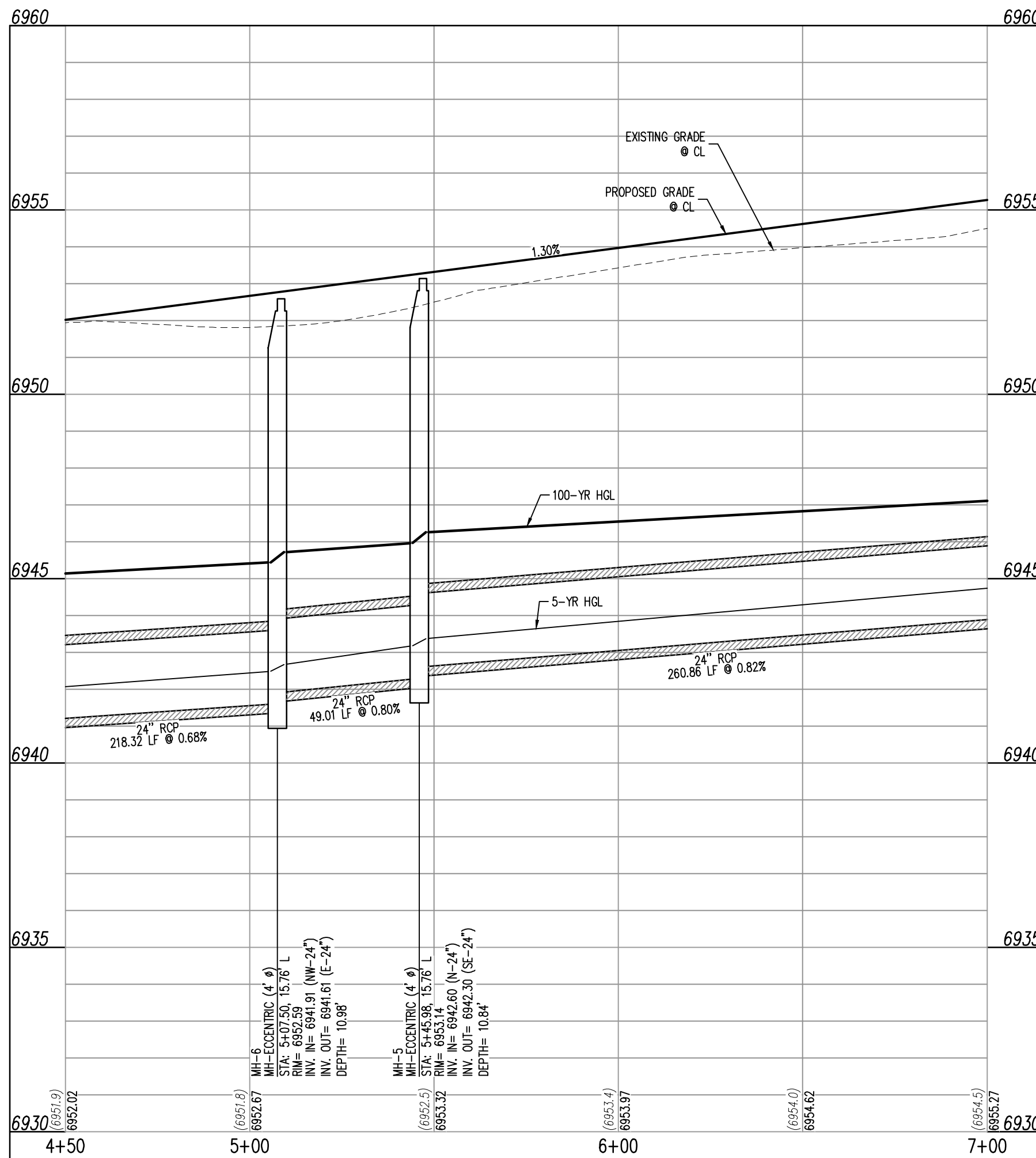
CURVE SEGMENT TABLE				
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING
C7	23°3'23"	28.78	70.00	S77°59'26"W
C8	137°06'47"	119.65	50.00	N45°13'52"W
C9	23°3'23"	28.78	70.00	N11°32'50"E



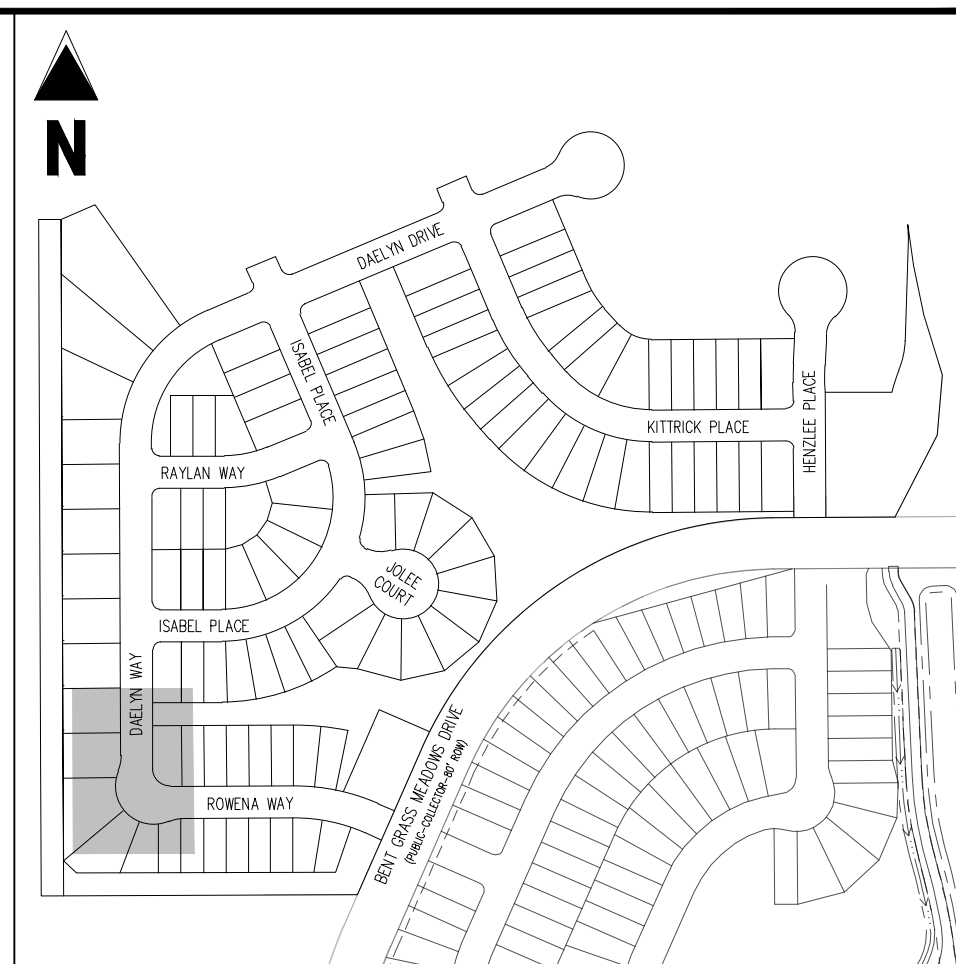
ROWENA WAY (STREET B) - PUBLIC 50' R.O.W.  
25 MPH DESIGN SPEED (LOCAL)



ROWENA WAY (STREET B - KNUCKLE)  
STA: -0+25 - 2+00  
SCALE: H: 1"=30' V: 1"=3'



ROWENA WAY (STREET B)  
STA: 4+50 - 7+00  
SCALE: H: 1"=30' V: 1"=3'



KEY MAP  
SCALE: 1"=30'

### LEGEND

- EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
- EXISTING RIGHT OF WAY LINE
- PROPOSED RIGHT OF WAY LINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING ROADWAY CENTER LINE
- PROPOSED ROADWAY CENTER LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED STORM DRAIN PIPE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING DRAINAGE FEATURE OUTLINE
- PROPOSED DRAINAGE FEATURE OUTLINE
- EXISTING SWALE WITH FLOW DIRECTION
- PROPOSED SWALE WITH FLOW DIRECTION
- 100-YEAR FEMA FLOODPLAIN
- PROPOSED CONCRETE
- PROPOSED CDOT CLASS 6 GRAVEL
- PROPOSED RIP RAP
- EXISTING CONCRETE PAVING
- EXISTING CDOT CLASS 6 GRAVEL
- EXISTING 1" TO 2" CRUSHED ROCK
- EXISTING RIP RAP
- EXISTING GROUTED BOULDERS
- PROPOSED LOT #
- EXISTING LOT #

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

### BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N00°14'46"W AND MONUMENTED AS SHOWN.

### BENCHMARK

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L5# 24554 ELEVATION = 6947.67

### CAUTION - NOTICE TO CONTRACTOR

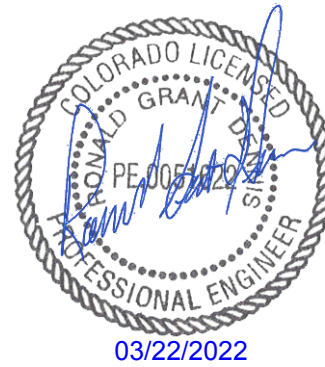
1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's below.  
Call before you dig.

# Galloway

1155 Kelly Johnson Blvd., Suite 305  
Colorado Springs, CO 80920  
719.900.7220  
gallowayus.com



**COPYRIGHT**  
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

## CHALLENGER HOMES

CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO.2  
FOR  
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

#	Date	Issue / Description	Init.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			

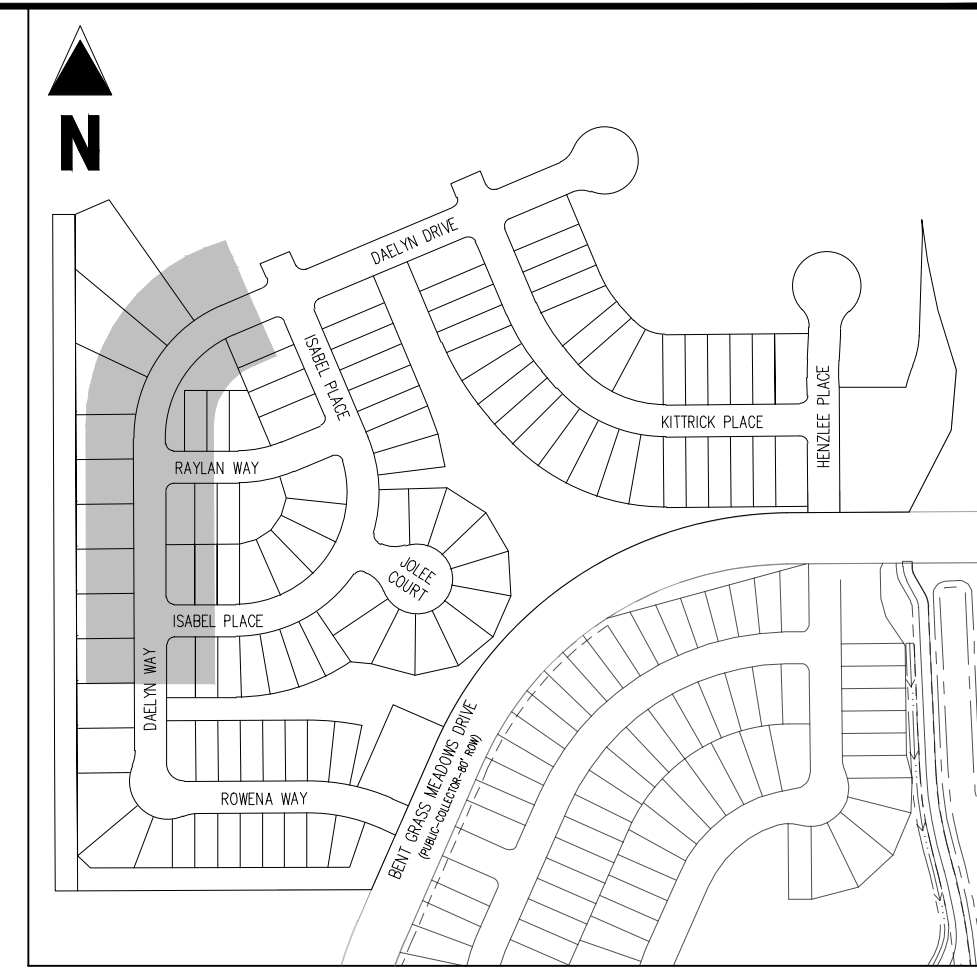
Project No: CLH000019  
Drawn By: CMWJ  
Checked By: RGD  
Date: 02/14/2022

ROWENA WAY STREET  
IMPROVEMENT PLAN

# C2.5

Sheet 10 of 24





1155 Kelly Johnson Blvd., Suite 305  
Colorado Springs, CO 80920  
719.900.7220  
[GallowayUS.com](http://GallowayUS.com)



**COPYRIGHT**  
THESE PLANS ARE AN INSTRUMENT OF SERVICE  
AND ARE THE PROPERTY OF GALLOWAY, AND MAY  
NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED  
WITHOUT THE WRITTEN CONSENT OF GALLOWAY.  
COPYRIGHTS AND INFRINGEMENTS WILL BE  
ENFORCED AND PROSECUTED.

**CHALLENGER**  
HOMES

CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO.2  
FOR  
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

[illegible]

Project No:	CLH000019
Drawn By:	CMWJ
Checked By:	RGD
Date:	02/14/2022

**DAELYN DR IMPROVEMENT  
PLAN**

## C2.6

Sheet 11 of 24

KEY MAP  
SCALE: 1"=300'

### LEGEND

- |  |  |
|--|--|
|  | EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY) |
|  | EXISTING PROPERTY LINE                             |
|  | PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY) |
|  | EXISTING RIGHT OF WAY LINE                         |
|  | PROPOSED RIGHT OF WAY LINE                         |
|  | EXISTING LOT LINE                                  |
|  | PROPOSED LOT LINE                                  |
|  | EXISTING EASEMENT                                  |
|  | PROPOSED EASEMENT                                  |
|  | EXISTING ROADWAY CENTER LINE                       |
|  | PROPOSED ROADWAY CENTER LINE                       |
|  | EXISTING STORM DRAIN PIPE                          |
|  | PROPOSED STORM DRAIN PIPE                          |
|  | EXISTING WATER LINE                                |
|  | PROPOSED WATER LINE                                |
|  | EXISTING SANITARY SEWER LINE                       |
|  | PROPOSED SANITARY SEWER LINE                       |
|  | EXISTING DRAINAGE FEATURE OUTLINE                  |
|  | PROPOSED DRAINAGE FEATURE OUTLINE                  |
|  | EXISTING SWALE WITH FLOW DIRECTION                 |
|  | PROPOSED SWALE WITH FLOW DIRECTION                 |
|  | 100-YR FEMA FLOODPLAIN                             |
|  | EXISTING CONCRETE                                  |
|  | PROPOSED CDOT CLASS 6 GRAVEL                       |
|  | PROPOSED RIP RAP                                   |
|  | EXISTING CONCRETE PAVING                           |
|  | EXISTING CDOT CLASS 6 GRAVEL                       |
|  | EXISTING 1" TO 2" CRUSHED ROCK                     |
|  | EXISTING RIP RAP                                   |
|  | EXISTING GROUTED BOULDERS                          |
|  | PROPOSED LOT #                                     |
|  | EXISTING LOT #                                     |

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

## BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N00°13'46"W AND MONUMENTED AS SHOWN:

## BENCHMARK

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR IS# 24954 ELEVATION = 6947.67

CAUTION - NOTICE TO CONTRACTOR

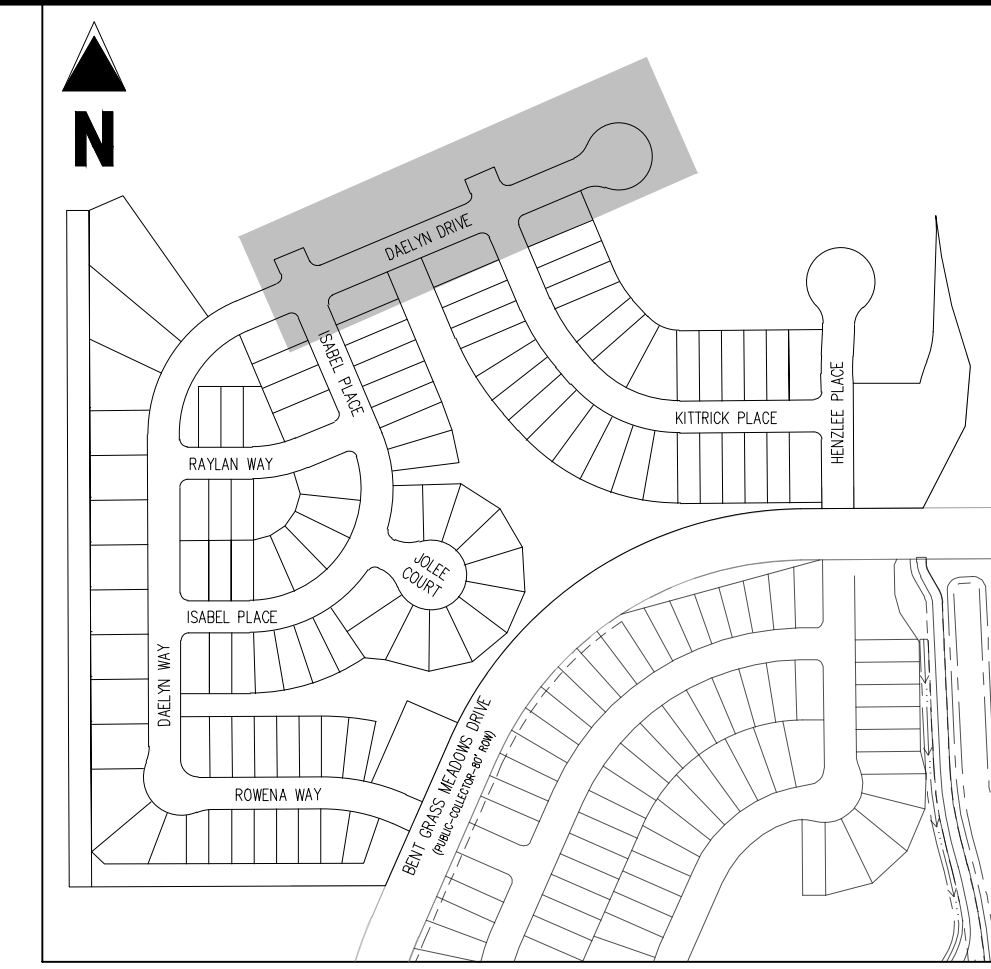
1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY THROUGH POT-HOLING OR AN ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



DAELYN DRIVE (STREET B) STA: 7+00 - 13+50  
SCALE: H: 1"=30' V: 1"=3'

Author	Year	Country	Sample Size	Study Design	Findings
Smith et al.	2015	USA	1,200	Longitudinal	Increased risk of depression in children of parents with mental illness.
Johnson et al.	2016	UK	800	Cross-sectional	Higher levels of anxiety in children of parents with anxiety disorders.
Chen et al.	2017	China	1,500	Family study	Genetic factors play a significant role in the transmission of mental illness.
Miller et al.	2018	Canada	900	Case-control	Increased risk of substance use in children of parents with substance use disorders.
Lee et al.	2019	South Korea	1,100	Longitudinal	Early intervention can significantly reduce the risk of mental illness in children.
Wong et al.	2020	Australia	1,300	Cohort study	Parental mental health status is a strong predictor of child mental health outcomes.
Patel et al.	2021	India	1,400	Family study	Genetic factors are highly influential in the development of mental illness.
Nguyen et al.	2022	Vietnam	1,600	Longitudinal	Increased risk of depression in children of parents with depression.
Kim et al.	2023	South Korea	1,700	Cohort study	Parental mental health interventions can improve child mental health outcomes.
Alvarez et al.	2024	Spain	1,800	Family study	Genetic factors play a significant role in the transmission of mental illness.
Thompson et al.	2025	USA	1,900	Longitudinal	Early intervention can significantly reduce the risk of mental illness in children.

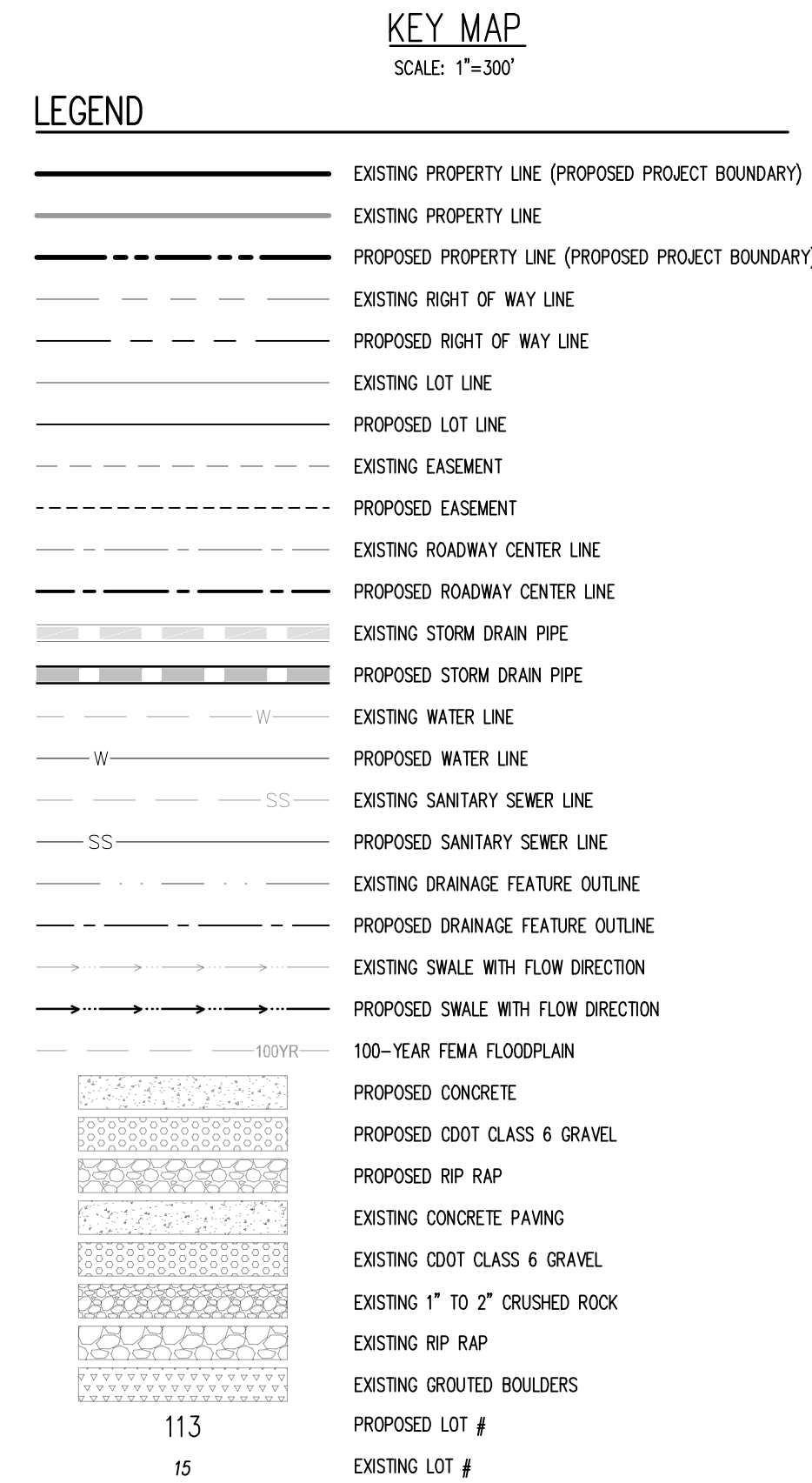




**CHALLENGER**  
HOMES

[illegible]

C2.7  
Sheet 12 of 24



(C1) CURVE TABLE ID

(A) PEDESTRIAN RAMP, SEE DETAILS (EPC SD\_2-40 & SD\_2-41)

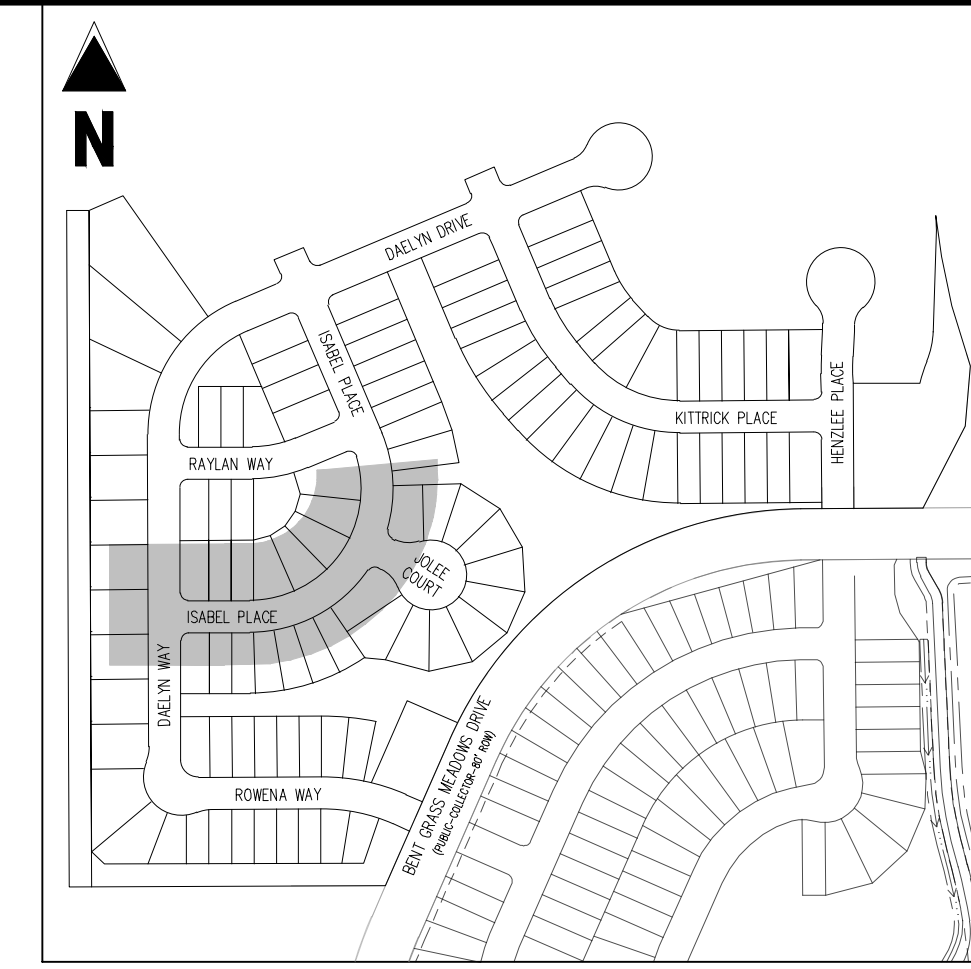
(B) PROPOSED 10' CURB TRANSITION

(C) PROPOSED 5' CURB TRANSITION

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.



















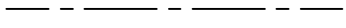

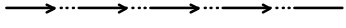




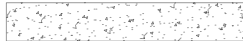

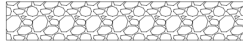


Know what's **below**.  
**Call** before you dig.





**CHALLENGER**  
HOMES

CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO.2  
FOR  
CHALLENGER COMMUNITIES, LLC  
  
BENT GRASS MEADOWS DRIVE & MERIDAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

	EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
	EXISTING RIGHT OF WAY LINE
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING ROADWAY CENTER LINE
	PROPOSED ROADWAY CENTER LINE
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
 W	EXISTING WATER LINE
 W	PROPOSED WATER LINE
 SS	EXISTING SANITARY SEWER LINE
 SS	PROPOSED SANITARY SEWER LINE
	EXISTING DRAINAGE FEATURE OUTLINE
	PROPOSED DRAINAGE FEATURE OUTLINE
	EXISTING SWALE WITH FLOW DIRECTION
	PROPOSED SWALE WITH FLOW DIRECTION
 100YR	100-YEAR FEMA FLOODPLAIN
	PROPOSED CONCRETE
	PROPOSED CDOT CLASS 6 GRAVEL
	PROPOSED RIP RAP
	EXISTING CONCRETE PAVING
	EXISTING CDOT CLASS 6 GRAVEL
	EXISTING 1" TO 2" CRUSHED ROCK
	EXISTING RIP RAP
	EXISTING GROUTED BOULDERS

113

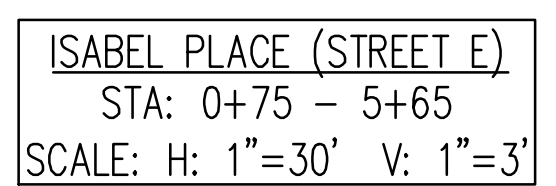
15

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURVEY EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

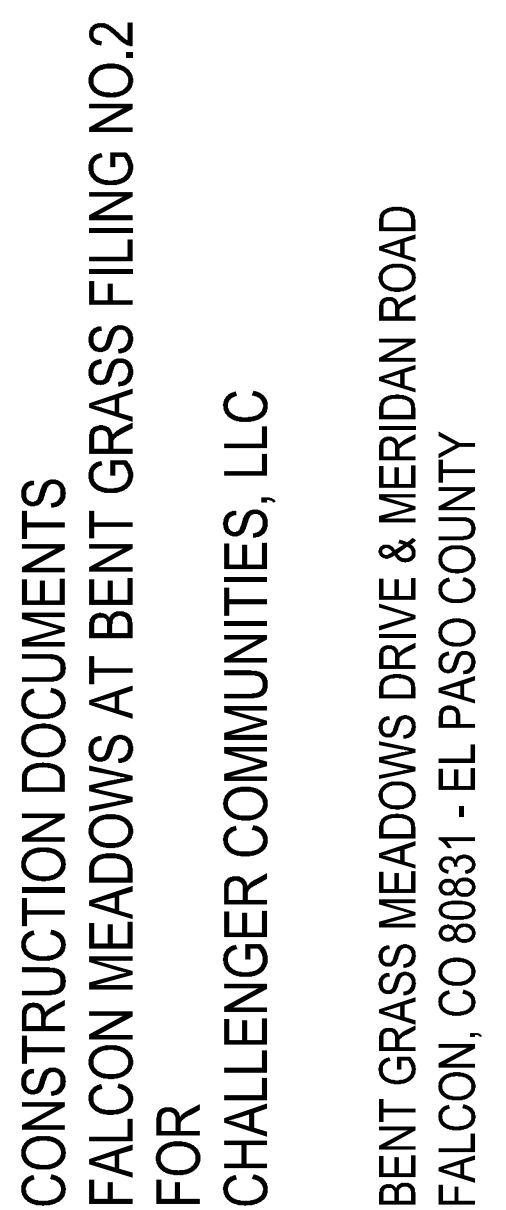
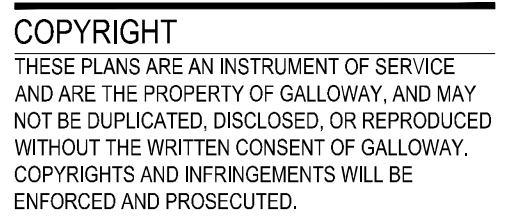


Know what's **below**.  
Call before you dig.

C2.8  
Sheet 13 of 24



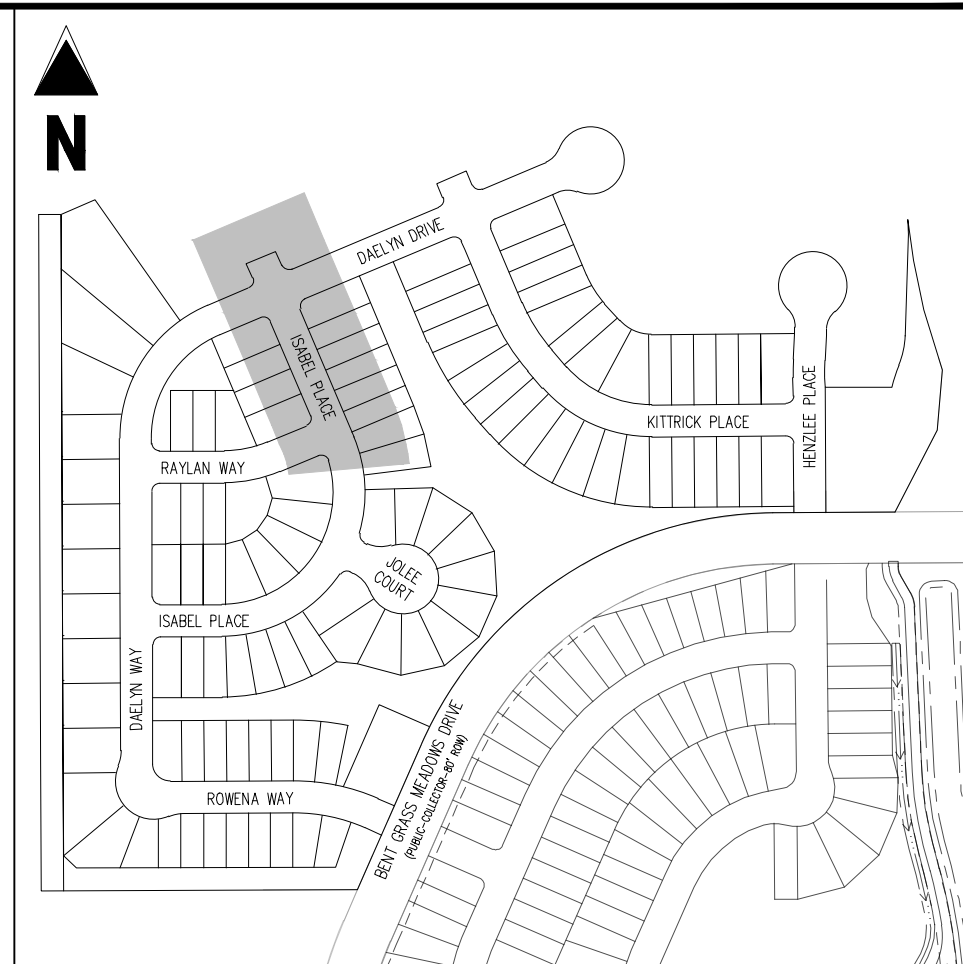
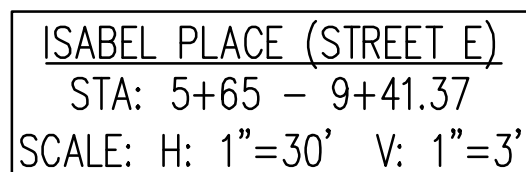
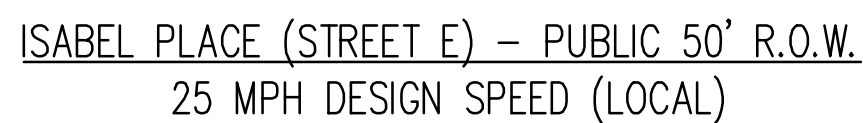




Project No:	CLH000019
Drawn By:	CMWJ
Checked By:	RGD
Date:	02/14/2022

# ISABEL PLACE STREET IMPROVEMENT PLAN

Sheet 14 of 24



KEY MAP  
SCALE: 1"=300'

	EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
	EXISTING RIGHT OF WAY LINE
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING ROADWAY CENTER LINE
	PROPOSED ROADWAY CENTER LINE
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING DRAINAGE FEATURE OUTLINE
	PROPOSED DRAINAGE FEATURE OUTLINE
	EXISTING SWALE WITH FLOW DIRECTION
	PROPOSED SWALE WITH FLOW DIRECTION
	100-YEAR FEMA FLOODPLAIN
	PROPOSED CONCRETE
	PROPOSED CDOT CLASS 6 GRAVEL
	PROPOSED RIP RAP
	EXISTING CONCRETE PAVING
	EXISTING CDOT CLASS 6 GRAVEL
	EXISTING 1" TO 2" CRUSHED ROCK
	EXISTING RIP RAP
	EXISTING GROUTED BOULDERS
	PROPOSED LOT #
	EXISTING LOT #

(C) CURVE TABLE ID

(A) PEDESTRIAN RAMP, SEE DETAILS (EPC SD\_2-40 & SD\_2-41)

(B) PROPOSED 10' CURB TRANSITION

(C) PROPOSED 5' CURB TRANSITION

CURVE SEGMENT TABLE					
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (FT)
C12	90°00'00"	31.42	20.00	S67°53'39"E	28.28
C13	90°00'00"	31.42	20.00	S22°06'21"W	28.28
C14	90°00'00"	31.42	20.00	N67°53'39"W	28.28
C15	90°00'00"	31.42	20.00	S22°06'21"W	28.28

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N00°13'46"W AND MONUMENTED AS SHOWN:

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR IS# 24954 ELEVATION = 6947.67

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

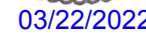
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.











**COPYRIGHT**  
THESE PLANS ARE AN INSTRUMENT OF SERVICE  
AND ARE THE PROPERTY OF GALLOWAY, AND MAY  
NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED  
WITHOUT THE WRITTEN CONSENT OF GALLOWAY.  
COPYRIGHTS AND INFRINGEMENTS WILL BE  
ENFORCED AND PROSECUTED.



CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO.2  
FOR  
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

Project No:	CLH000019
Drawn By:	CMWJ
Checked By:	RGD
Date:	02/14/2022

# JOLIE COURT STREET IMPROVEMENT PLAN

Sheet 16 of 24



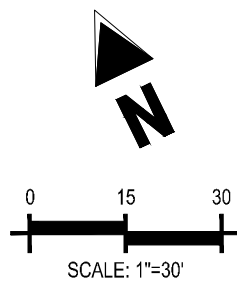
SCALE: 1"=300'

	EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
	EXISTING RIGHT OF WAY LINE
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING ROADWAY CENTER LINE
	PROPOSED ROADWAY CENTER LINE
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING DRAINAGE FEATURE OUTLINE
	PROPOSED DRAINAGE FEATURE OUTLINE
	EXISTING SWALE WITH FLOW DIRECTION
	PROPOSED SWALE WITH FLOW DIRECTION
	100-YR FEMA FLOODPLAIN
	PROPOSED CONCRETE
	PROPOSED CDOT CLASS 6 GRAVEL
	PROPOSED RIP RAP
	EXISTING CONCRETE PAVING
	EXISTING CDOT CLASS 6 GRAVEL
	EXISTING 1" TO 2" CRUSHED ROCK
	EXISTING RIP RAP
	EXISTING GROUTED BOULDERS
	PROPOSED LOT #
	EXISTING LOT #

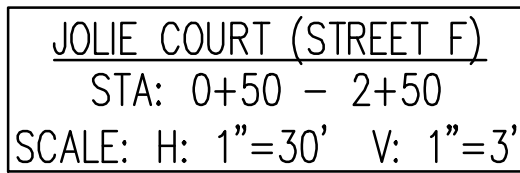
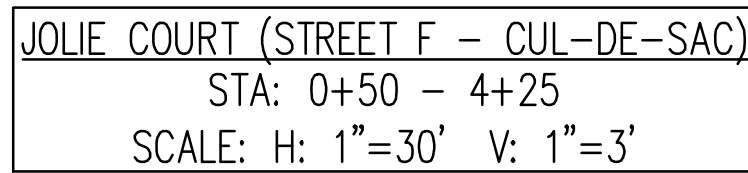
1. ALL STATION CALLOUTS ARE IN RELATION TO THE CENTERLINE OF ROADWAY, THEREFORE STORM SEWER MANHOLE RIMS AND INLETS MAY APPEAR TO NOT MEET FINISH GRADE.
2. STORM SEWER BIC ELEVATIONS ON ALL STORM DRAIN CURB INLETS ARE LOCATED AT THE MIDDLE. CONTRACTOR TO ENSURE THE INLET MATCHES THE SLOPE OF THE ADJACENT ROADWAY CENTER LINE.
3. ALL STORM SEWER PIPING SHALL USE WATERTIGHT JOINTS.
4. SEE GRADING PLAN FOR ALL GRADING INFORMATION
5. ALL STORM SEWER SHALL BE CLASS III RCP
6. ALL STORM SEWER MANHOLES SHALL BE TYPE 1 UNLESS OTHERWISE NOTED

- (C1) CURVE TABLE ID
- (A) PEDESTRIAN RAMP, SEE DETAILS (EPC SD\_2-40 & SD\_2-41)
- (B) PROPOSED 10' CURB TRANSITION
- (C) PROPOSED 5' CURB TRANSITION

CURVE SEGMENT TABLE					
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (FT)
C20	81°01'06"	28.28	20.00	S74°55'39"W	25.98
C21	81°01'06"	28.28	20.00	S24°03'15"E	25.98
C22	44°24'55"	46.51	60.00	N86°46'16"W	45.36
C23	44°24'55"	46.51	60.00	S42°21'20"E	45.36



JOLIE CT (STREET F) – PUBLIC 50' R.O.W.  
25 MPH DESIGN SPEED (LOCAL)



CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N001°3'46"W AND MONUMENTED AS SHOWN:

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR IS# 24954 ELEVATION = 6947.67

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION ON ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.







**COPYRIGHT**  
THESE PLANS ARE AN INSTRUMENT OF SERVICE  
AND ARE THE PROPERTY OF GALLOWAY, AND MAY  
NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED  
WITHOUT THE WRITTEN CONSENT OF GALLOWAY.  
COPYRIGHTS AND INFRINGEMENTS WILL BE  
ENFORCED AND PROSECUTED.



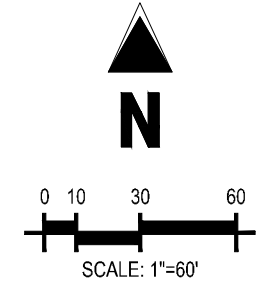
BENT GRASS MEADOWS DRIVE & MERIDAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

[illegible]










Project No:	CLH000019
Drawn By:	CMWJ
Checked By:	RGD
Date:	02/14/2022

## SIGNAGE PLAN

Sheet 17 of 24



LEGEND

-  EXISTING PROPERTY LINE (PROJECT BOUNDARY)  
 EXISTING PROPERTY LINE  
 EXISTING RIGHT OF WAY LINE  
 PROPOSED PROPERTY LINE (PROJECT BOUNDARY)  
 PROPOSED RIGHT OF WAY LINE  
 EXISTING LOT LINE  
 PROPOSED LOT LINE  
 PROPOSED EASEMENT  
 PROPOSED LOT NUMBER
- 51

SCHEDULE

- ① PROPOSED STOP SIGN, MUTCD SIGN R1-1
- ② PROPOSED STREET NAME SIGN, MUTCD SIGN D3-1
- ③ PROPOSED TYPE III BARRICADE W/ MUTCD R11-2
- ④ PROPOSED NO OUTLET SIGN, MUTCD W14-2A

## BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N00°13'46"W AND MONUMENTED AS SHOWN:

## BENCHMARK

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR LS# 24954 ELEVATION = 6947.67

CAUTION – NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY EITHER THROUGH POT-HOLING OR AN ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's **below**.  
**Call** before you dig.

LOT 9, THE MEADOWS FILING NO. 1  
ZONE: RR-5  
PLAT NO.: 5746  
PARCEL NO.: 530201009

LOT 11, THE MEADOWS FILING NO. 1  
ZONE: RR-5  
PLAT NO.: 5746  
PARCEL NO.: 5302001007

LOT 1, THE MEADOWS FILING NO. 2  
ZONE: RR-5  
PLAT NO.: 5855  
PARCEL NO.: 5302001006

LOT 2, THE MEADOWS FILING NO. 2  
ZONE: RR-5  
PLAT NO.: 5855  
PARCEL NO.: 5302001005

WARRANTY DEED  
RECEPTION NO. 21303554  
OWNER: FALCON STORAGE PARTNERS, LLP



LEGEND

EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)	EXISTING DRAINAGE FEATURE OUTLINE	XX.XX	PROPOSED SPOT ELEVATION
EXISTING PROPERTY LINE	PROPOSED DRAINAGE FEATURE OUTLINE	FL	FLOWLINE
PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)	EXISTING SWALE WITH FLOW DIRECTION	LIP	LIP OF GUTTER
EXISTING RIGHT OF WAY LINE	PROPOSED SWALE WITH FLOW DIRECTION	SW	EDGE OF SIDEWALK
PROPOSED RIGHT OF WAY LINE	100-YEAR FEMA FLOODPLAIN	TR	TOP OF PED RAMP
EXISTING LOT LINE	PROPOSED CONCRETE	BR	BOTTOM OF PED RAMP
PROPOSED LOT LINE	PROPOSED CDOT CLASS 6 GRAVEL	CL	ROADWAY CENTER LINE
EXISTING EASEMENT	PROPOSED RIP RAP	TBC	TOP BACK OF CURB
PROPOSED EASEMENT	EXISTING CONCRETE PAVING	XX%	PROPOSED SLOPE ARROW
EXISTING ROADWAY CENTER LINE	EXISTING CDOT CLASS 6 GRAVEL		
PROPOSED ROADWAY CENTER LINE	EXISTING RIP RAP		
EXISTING STORM DRAIN PIPE	EXISTING 1" TO 2" CRUSHED ROCK		
PROPOSED STORM DRAIN PIPE	EXISTING GROUDED BOULDERS		
EXISTING WATER LINE	PROPOSED LOT #		
PROPOSED WATER LINE	EXISTING LOT #		
EXISTING SANITARY SEWER LINE			
PROPOSED SANITARY SEWER LINE			

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N007°34'6"W AND MONUMENTED AS SHOWN.

BENCHMARK

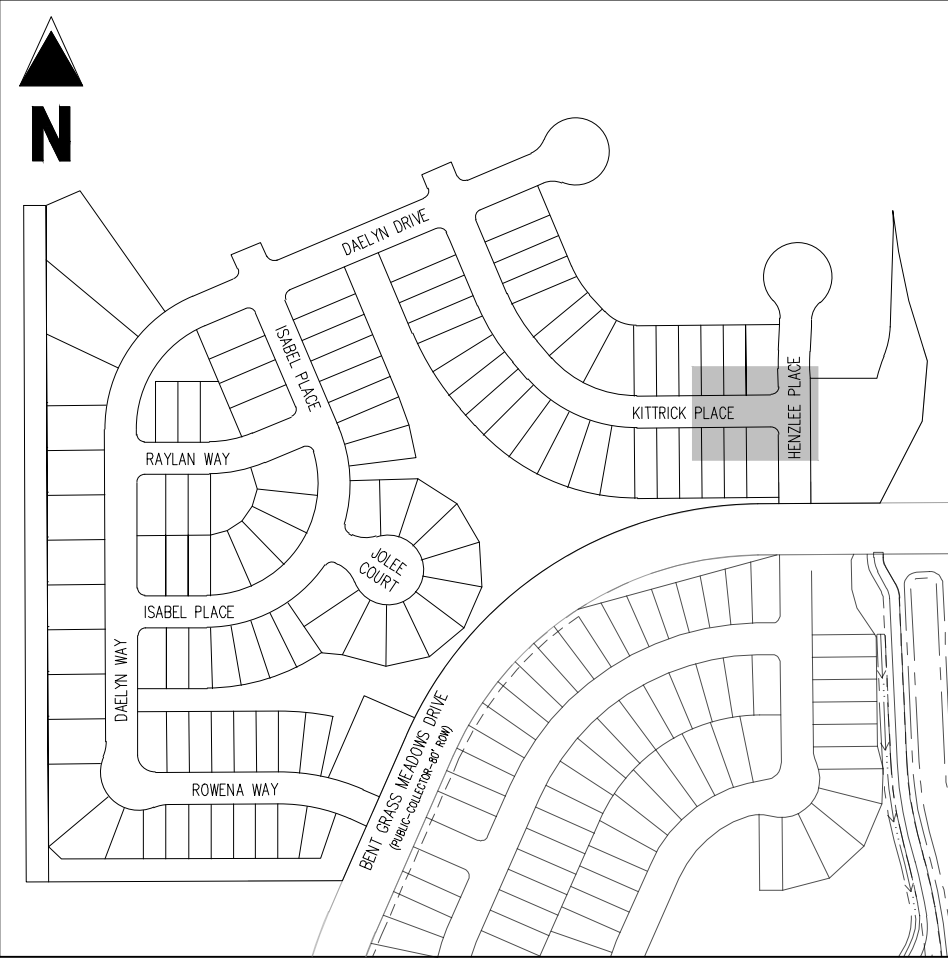
THE SOUTHWEST CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L5# 24954 ELEVATION = 6947.67

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



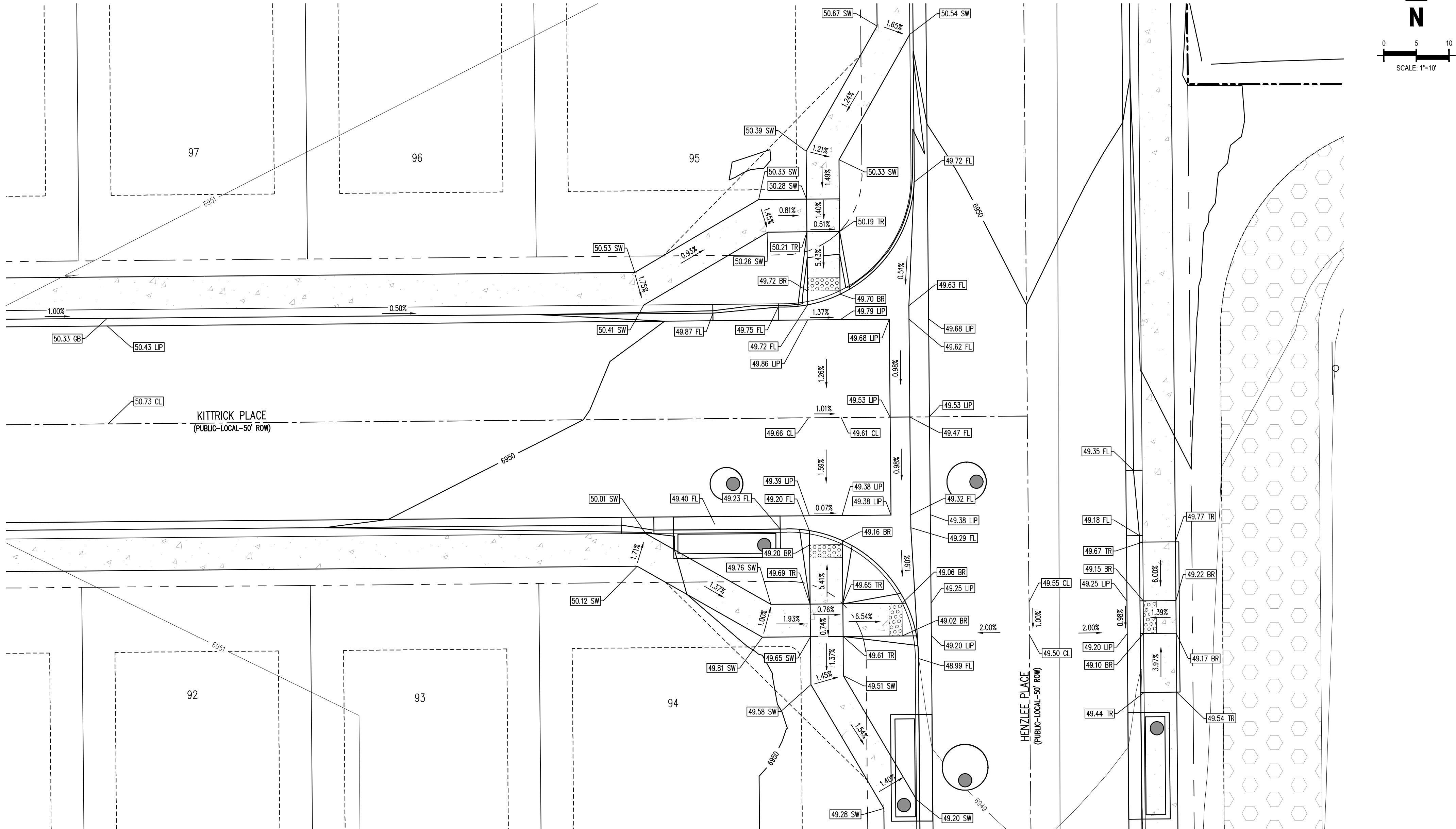
Know what's below.  
Call before you dig.



KEY MAP

SCALE: 1"=300'

LEGEND



KITTRICK PLACE & HENZLEE PLACE DETAIL GRADING

Galloway

1155 Kelly Johnson Blvd., Suite 305  
Colorado Springs, CO 80920  
719.900.7220  
GallowayUS.com



COPYRIGHT  
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

CHALLENGER  
HOMES

CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO.2  
FOR  
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

#	Date	Issue / Description	Init.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

Project No: CLH000019  
Drawn By: CMWJ  
Checked By: RGJ  
Date: 02/14/2022

INTERSECTION DETAIL

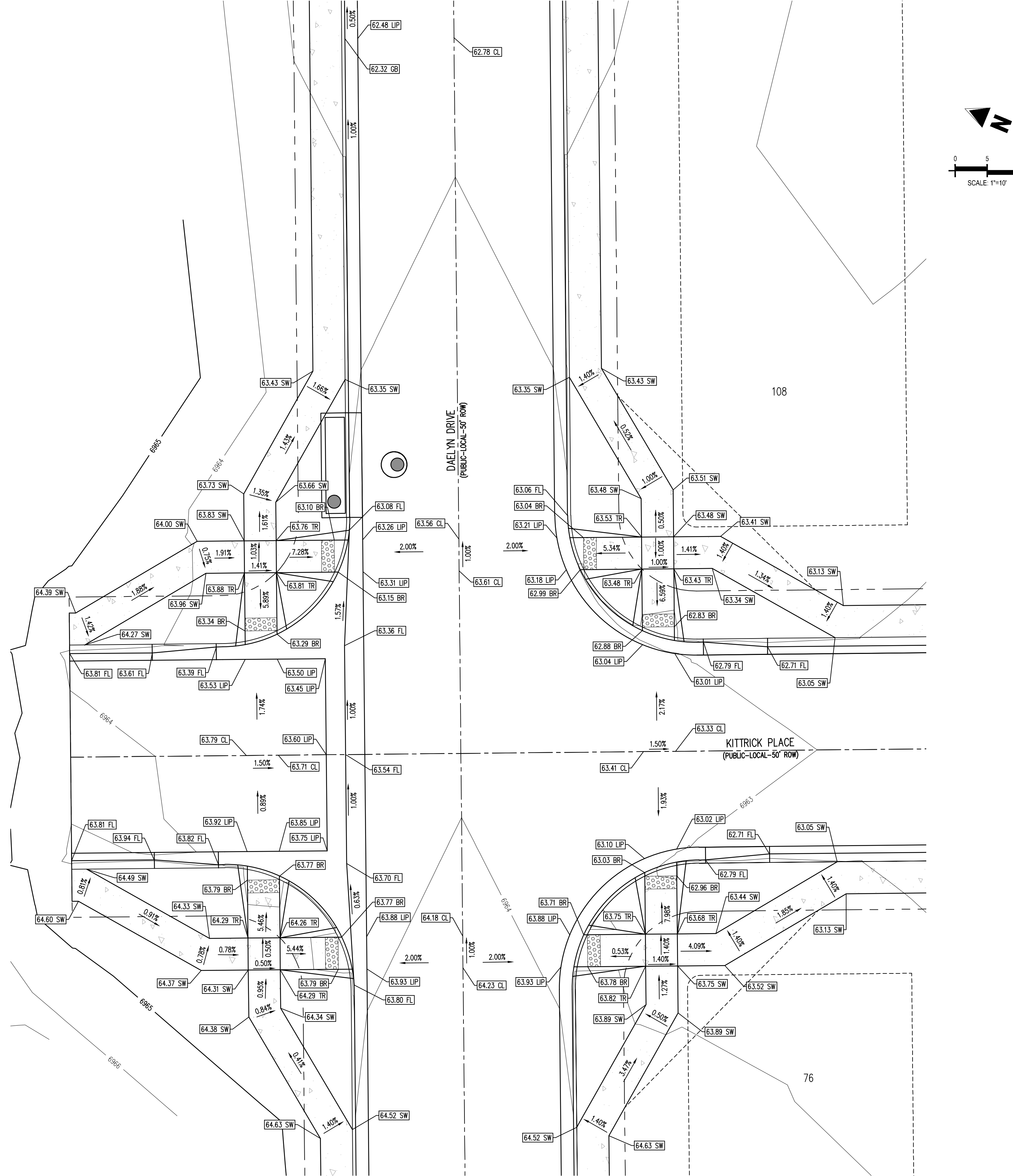
C3.1

Sheet 18 of 24



LEGEND

EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)	EXISTING STORM DRAIN PIPE	PROPOSED CONCRETE	XX.XX	PROPOSED SPOT ELEVATION
EXISTING PROPERTY LINE	PROPOSED STORM DRAIN PIPE	PROPOSED CDOT CLASS 6 GRAVEL	FL	FLOWLINE
PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)	EXISTING WATER LINE	PROPOSED RIP RAP	LIP	LIP OF GUTTER
EXISTING RIGHT OF WAY LINE	PROPOSED WATER LINE	EXISTING CONCRETE PAVING	SW	EDGE OF SIDEWALK
PROPOSED RIGHT OF WAY LINE	EXISTING SANITARY SEWER LINE	EXISTING CDOT CLASS 6 GRAVEL	TR	TOP OF PED RAMP
EXISTING LOT LINE	PROPOSED SANITARY SEWER LINE	EXISTING 1" TO 2" CRUSHED ROCK	BR	BOTTOM OF PED RAMP
PROPOSED LOT LINE	EXISTING DRAINAGE FEATURE OUTLINE	EXISTING RIP RAP	CL	ROADWAY CENTER LINE
EXISTING EASEMENT	PROPOSED DRAINAGE FEATURE OUTLINE	EXISTING GROUTED BOULDERS	TBC	TOP BACK OF CURB
PROPOSED EASEMENT	EXISTING SWALE WITH FLOW DIRECTION	PROPOSED LOT #	XX%	PROPOSED SLOPE ARROW
EXISTING ROADWAY CENTER LINE	PROPOSED SWALE WITH FLOW DIRECTION	EXISTING LOT #		
PROPOSED ROADWAY CENTER LINE	100-YEAR FEMA FLOODPLAIN			



DAELYN DRIVE & KITTRICK PLACE DETAIL GRADING

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

**BASIS OF BEARINGS**  
ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N0013.46°W AND MONUMENTED AS SHOWN.

**BENCHMARK**  
THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L5# 24954 ELEVATION = 6947.67

**CAUTION - NOTICE TO CONTRACTOR**  
1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLES OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's below.  
Call before you dig.

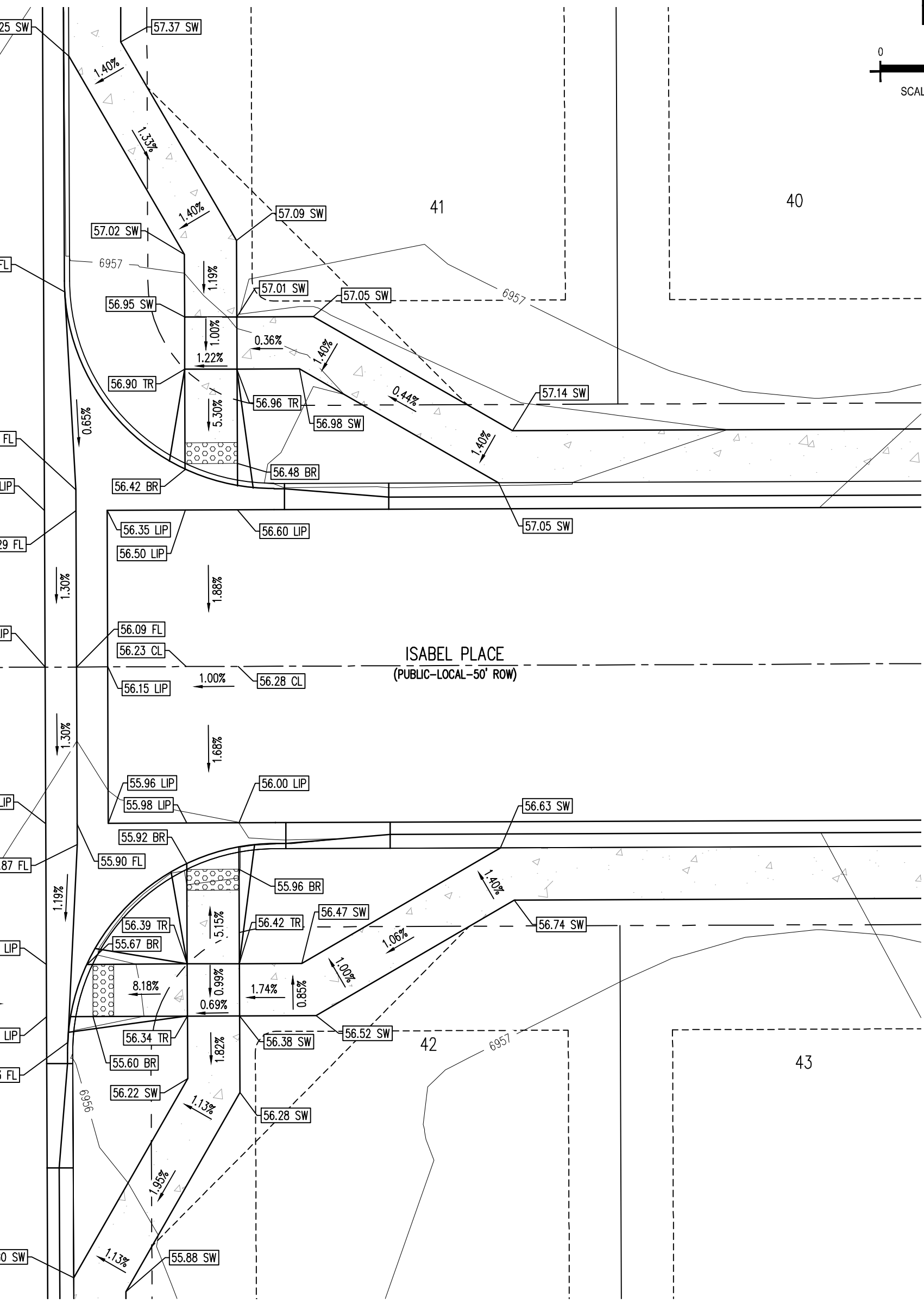
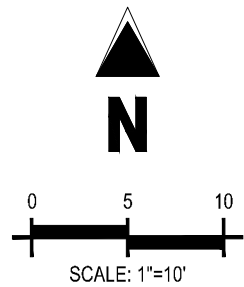
KEY MAP

SCALE: 1"=300'

LEGEND

EXISTING PROPERTY LINE (PROJECT BOUNDARY)
EXISTING PROPERTY LINE
EXISTING RIGHT OF WAY LINE
PROPOSED PROPERTY LINE (PROJECT BOUNDARY)
PROPOSED RIGHT OF WAY LINE
EXISTING LOT LINE
PROPOSED LOT LINE
PROPOSED EASEMENT
PROPOSED LOT NUMBER

51



DAELYN DRIVE & ISABEL PLACE DETAIL GRADING

Galloway

1155 Kelly Johnson Blvd., Suite 305  
Colorado Springs, CO 80920  
719.900.7220  
gallowayus.com



**COPYRIGHT**  
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

**CHALLENGER HOMES**

CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO.2  
FOR  
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

#	Date	Issue / Description	Init.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			

Project No: CLH000019  
Drawn By: CMWJ  
Checked By: RGD  
Date: 02/14/2022

INTERSECTION DETAIL

C3.2

Sheet 19 of 24



LEGEND

EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)	EXISTING DRAINAGE FEATURE OUTLINE	XX.XX	PROPOSED SPOT ELEVATION
EXISTING PROPERTY LINE	PROPOSED DRAINAGE FEATURE OUTLINE	FL	FLOWLINE
PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)	EXISTING SWALE WITH FLOW DIRECTION	LIP	LIP OF GUTTER
EXISTING RIGHT OF WAY LINE	PROPOSED SWALE WITH FLOW DIRECTION	SW	EDGE OF SIDEWALK
PROPOSED RIGHT OF WAY LINE	100-YEAR FEMA FLOODPLAIN	TR	TOP OF PED RAMP
EXISTING LOT LINE	PROPOSED CONCRETE	BR	BOTTOM OF PED RAMP
PROPOSED LOT LINE	PROPOSED CDOT CLASS 6 GRAVEL	CL	ROADWAY CENTER LINE
EXISTING EASEMENT	PROPOSED RIP RAP	TBC	TOP BACK OF CURB
PROPOSED EASEMENT	EXISTING CONCRETE PAVING	XX%	PROPOSED SLOPE ARROW
EXISTING ROADWAY CENTER LINE	EXISTING CDOT CLASS 6 GRAVEL		
PROPOSED ROADWAY CENTER LINE	EXISTING 1" TO 2" CRUSHED ROCK		
EXISTING STORM DRAIN PIPE	EXISTING RIP RAP		
PROPOSED STORM DRAIN PIPE	EXISTING GROUTED BOULDERS		
EXISTING WATER LINE	PROPOSED LOT #		
PROPOSED WATER LINE	EXISTING LOT #		
EXISTING SANITARY SEWER LINE			
PROPOSED SANITARY SEWER LINE			

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N007°34'6"W AND MONUMENTED AS SHOWN.

BENCHMARK

THE SOUTHWEST CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L54 24954 ELEVATION = 6947.67

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

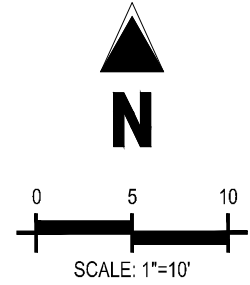


Know what's below.  
Call before you dig.



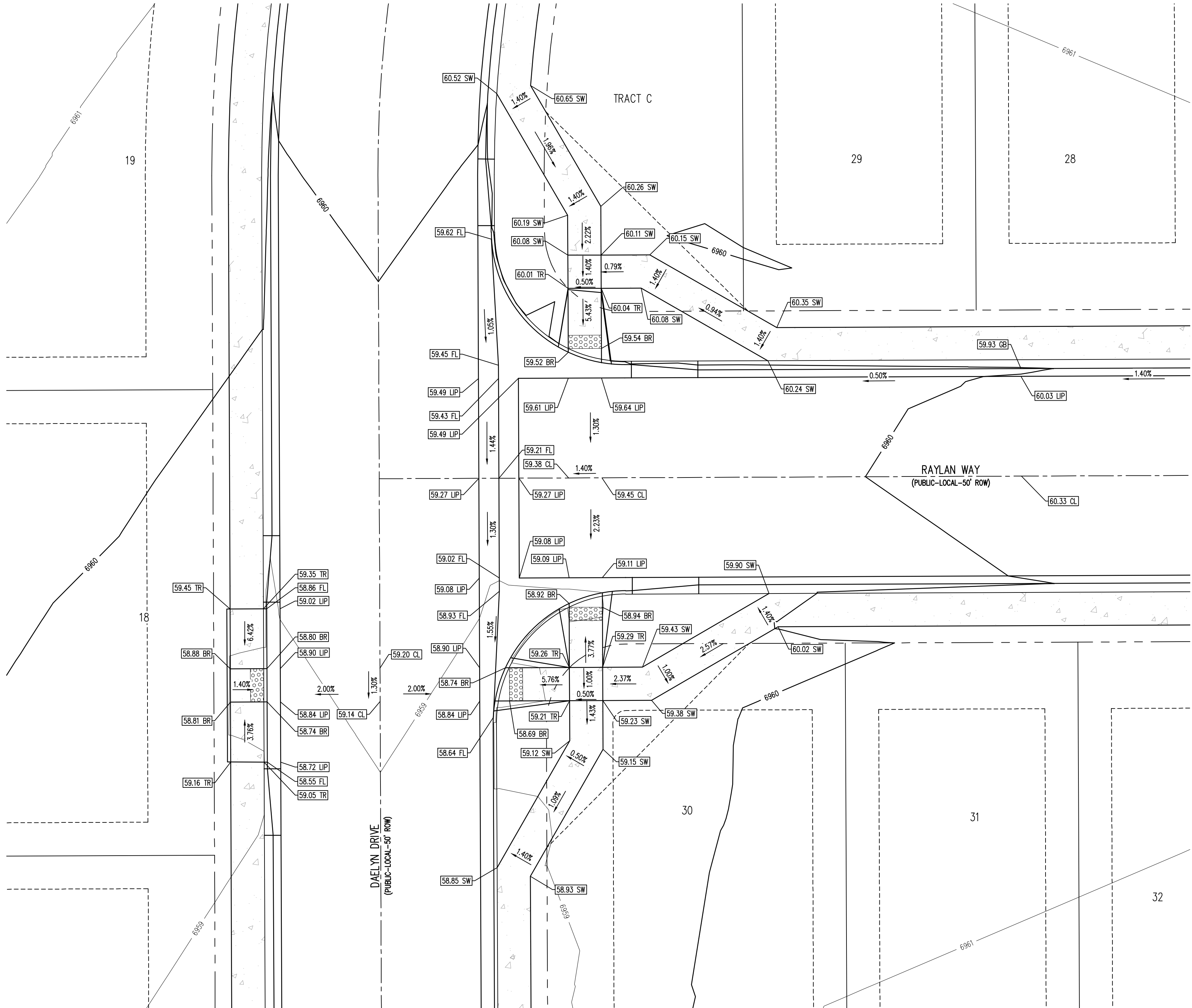
KEY MAP

SCALE: 1"=300'



LEGEND

EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)	EXISTING DRAINAGE FEATURE OUTLINE
EXISTING PROPERTY LINE	PROPOSED DRAINAGE FEATURE OUTLINE
PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)	EXISTING SWALE WITH FLOW DIRECTION
EXISTING RIGHT OF WAY LINE	PROPOSED SWALE WITH FLOW DIRECTION
PROPOSED RIGHT OF WAY LINE	100-YEAR FEMA FLOODPLAIN
EXISTING LOT LINE	PROPOSED CONCRETE
PROPOSED LOT LINE	PROPOSED CDOT CLASS 6 GRAVEL
EXISTING EASEMENT	PROPOSED RIP RAP
PROPOSED EASEMENT	EXISTING CONCRETE PAVING
EXISTING ROADWAY CENTER LINE	EXISTING CDOT CLASS 6 GRAVEL
PROPOSED ROADWAY CENTER LINE	EXISTING 1" TO 2" CRUSHED ROCK
EXISTING STORM DRAIN PIPE	EXISTING RIP RAP
PROPOSED STORM DRAIN PIPE	EXISTING GROUTED BOULDERS
EXISTING WATER LINE	PROPOSED LOT #
PROPOSED WATER LINE	EXISTING LOT #
EXISTING SANITARY SEWER LINE	
PROPOSED SANITARY SEWER LINE	
EXISTING DRAINAGE FEATURE OUTLINE	
PROPOSED DRAINAGE FEATURE OUTLINE	
EXISTING SWALE WITH FLOW DIRECTION	
PROPOSED SWALE WITH FLOW DIRECTION	
100-YEAR FEMA FLOODPLAIN	
PROPOSED CONCRETE	
PROPOSED CDOT CLASS 6 GRAVEL	
PROPOSED RIP RAP	
EXISTING CONCRETE PAVING	
EXISTING CDOT CLASS 6 GRAVEL	
EXISTING 1" TO 2" CRUSHED ROCK	
EXISTING RIP RAP	
EXISTING GROUTED BOULDERS	
PROPOSED LOT #	
EXISTING LOT #	



DAELYN DRIVE & RAYLAN WAY DETAIL GRADING

Galloway

1155 Kelly Johnson Blvd., Suite 305  
Colorado Springs, CO 80920  
719.900.7220  
GallowayUS.com



COPYRIGHT  
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

CHALLENGER  
HOMES

CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO.2  
FOR  
CHALLENGER COMMUNITIES, LLC  
BENT GRASS MEADOWS DRIVE & MERIDAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

#	Date	Issue / Description	Init.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			
21			
22			
23			
24			
25			
26			
27			
28			
29			
30			
31			
32			
33			
34			
35			
36			
37			
38			
39			
40			
41			
42			
43			
44			
45			
46			
47			
48			
49			
50			
51			
52			
53			
54			
55			
56			
57			
58			
59			
60			
61			
62			
63			
64			
65			
66			
67			
68			
69			
70			
71			
72			
73			
74			
75			
76			
77			
78			
79			
80			
81			
82			
83			
84			
85			
86			
87			
88			
89			
90			
91			
92			
93			
94			
95			
96			
97			
98			
99			
100			

Project No:	CLH000019
Drawn By:	CMWJ
Checked By:	RGD
Date:	02/14/2022

INTERSECTION DETAIL

C3.3

Sheet 20 of 24



LEGEND

EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)	EXISTING DRAINAGE FEATURE OUTLINE	XX.XX	PROPOSED SPOT ELEVATION
EXISTING PROPERTY LINE	PROPOSED DRAINAGE FEATURE OUTLINE	FL	FLOWLINE
PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)	EXISTING SWALE WITH FLOW DIRECTION	LIP	LIP OF GUTTER
EXISTING RIGHT OF WAY LINE	PROPOSED SWALE WITH FLOW DIRECTION	SW	EDGE OF SIDEWALK
PROPOSED RIGHT OF WAY LINE	100-YEAR FEMA FLOODPLAIN	TR	TOP OF PED RAMP
EXISTING LOT LINE	PROPOSED CONCRETE	BR	BOTTOM OF PED RAMP
PROPOSED LOT LINE	PROPOSED CDOT CLASS 6 GRAVEL	CL	ROADWAY CENTER LINE
EXISTING EASEMENT	PROPOSED RIP RAP	TBC	TOP BACK OF CURB
PROPOSED EASEMENT	EXISTING CONCRETE PAVING	XX%	PROPOSED SLOPE ARROW
EXISTING ROADWAY CENTER LINE	EXISTING CDOT CLASS 6 GRAVEL		
PROPOSED ROADWAY CENTER LINE	EXISTING RIP RAP		
EXISTING STORM DRAIN PIPE	EXISTING 1" TO 2" CRUSHED ROCK		
PROPOSED STORM DRAIN PIPE	EXISTING GROUDED BOULDERS		
EXISTING WATER LINE	PROPOSED LOT #		
PROPOSED WATER LINE	EXISTING LOT #		
EXISTING SANITARY SEWER LINE			
PROPOSED SANITARY SEWER LINE			

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N007°34'6"W AND MONUMENTED AS SHOWN.

BENCHMARK

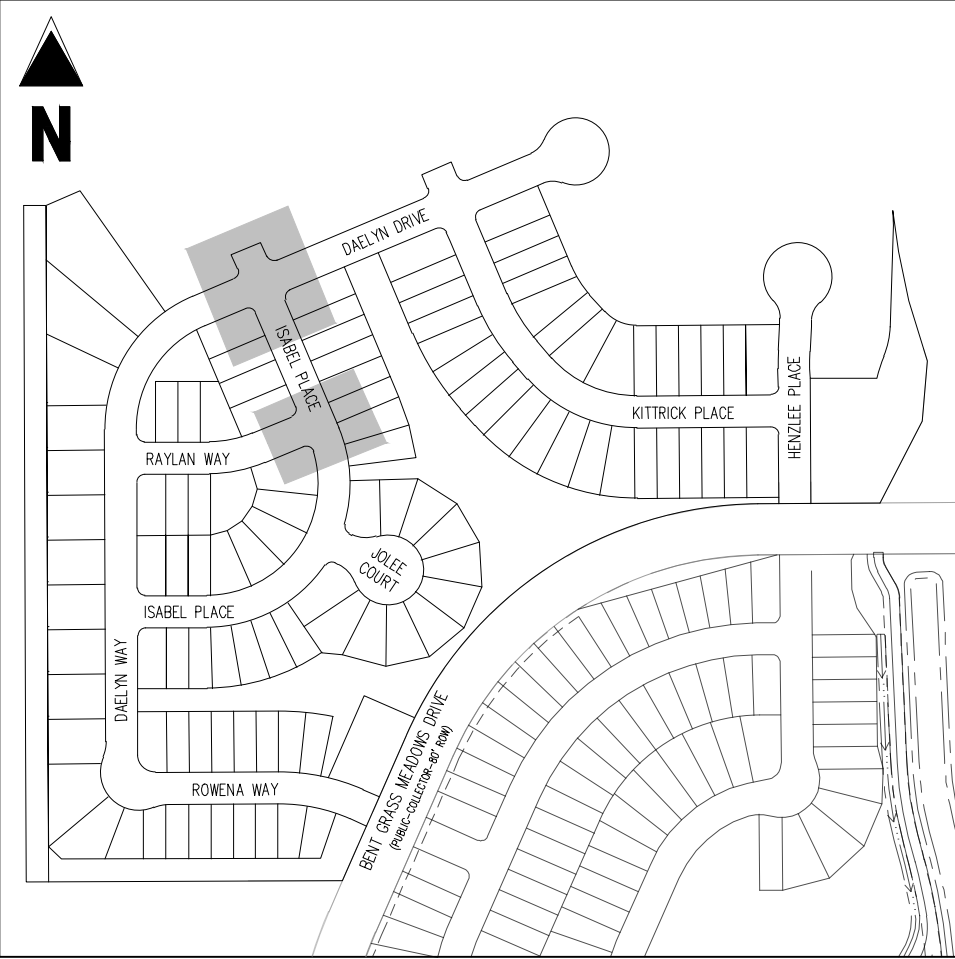
THE SOUTHWEST CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYOR'S CAP ON A NO. 4 REBAR LSH 24954 ELEVATION = 6947.67

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

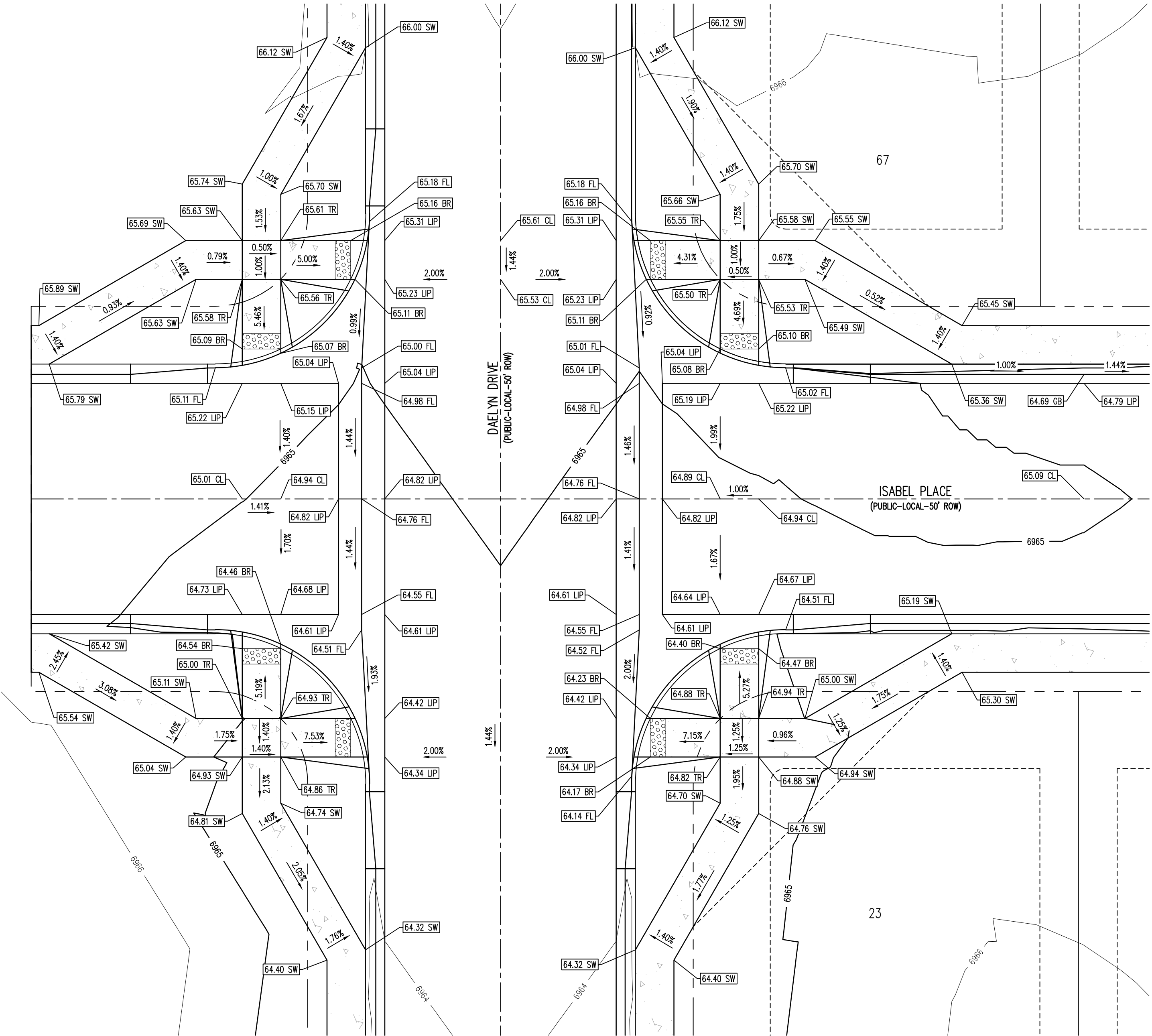
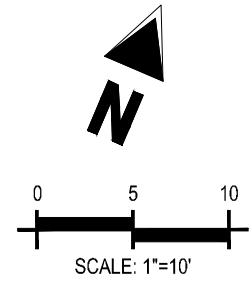
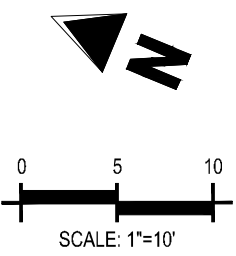


Know what's below.  
Call before you dig.

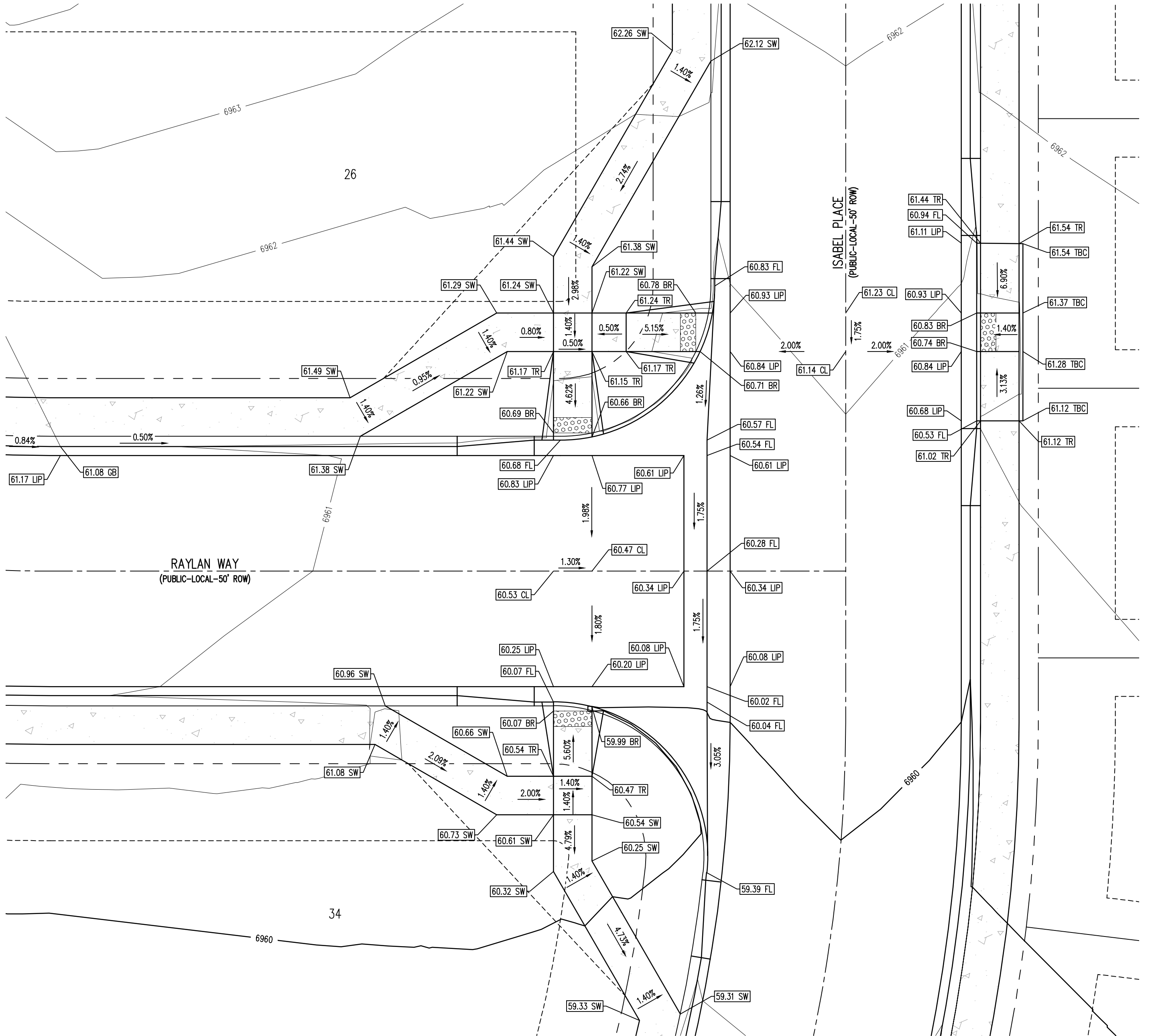


KEY MAP

SCALE: 1"=300'



DAELYN DRIVE & ISABEL PLACE DETAIL GRADING



RAYLAN WAY & ISABEL PLACE DETAIL GRADING

Galloway

1155 Kelly Johnson Blvd., Suite 305  
Colorado Springs, CO 80920  
719.900.7220  
GallowayUS.com



COPYRIGHT  
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

CHALLENGER  
HOMES

CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO.2  
FOR  
CHALLENGER COMMUNITIES, LLC  
BENT GRASS MEADOWS DRIVE & MERIDAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

#	Date	Issue / Description	Init.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

Project No: CLH000019  
Drawn By: CMWJ  
Checked By: RGD  
Date: 02/14/2022
















INTERSECTION DETAIL



C3.4

Sheet 21 of 24



	EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
	EXISTING RIGHT OF WAY LINE
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING ROADWAY CENTER LINE
	PROPOSED ROADWAY CENTER LINE
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE

	EXISTING DRAINAGE FEATURE OUTLINE
	PROPOSED DRAINAGE FEATURE OUTLINE
	EXISTING SWALE WITH FLOW DIRECTION
	PROPOSED SWALE WITH FLOW DIRECTION
	100-YR FEMA FLOODPLAIN
	PROPOSED CONCRETE
	PROPOSED CDOT CLASS 6 GRAVEL
	PROPOSED RIP RAP
	EXISTING CONCRETE PAVING
	EXISTING CDOT CLASS 6 GRAVEL
	EXISTING 1" TO 2" CRUSHED ROCK
	EXISTING RIP RAP
	EXISTING GROUTED BOULDERS
	PROPOSED LOT #
	EXISTING LOT #

	PROPOSED SPOT ELEVATION
FL	FLOWLINE
LIP	LIP OF GUTTER
SW	EDGE OF SIDEWALK
TR	TOP OF PED RAMP
BR	BOTTOM OF PED RAMP
CL	ROADWAY CENTER LINE
TBC	TOP BACK OF CURB
	PROPOSED SLOPE ARROW

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N00°13'46"W AND MONUMENTED AS SHOWN:

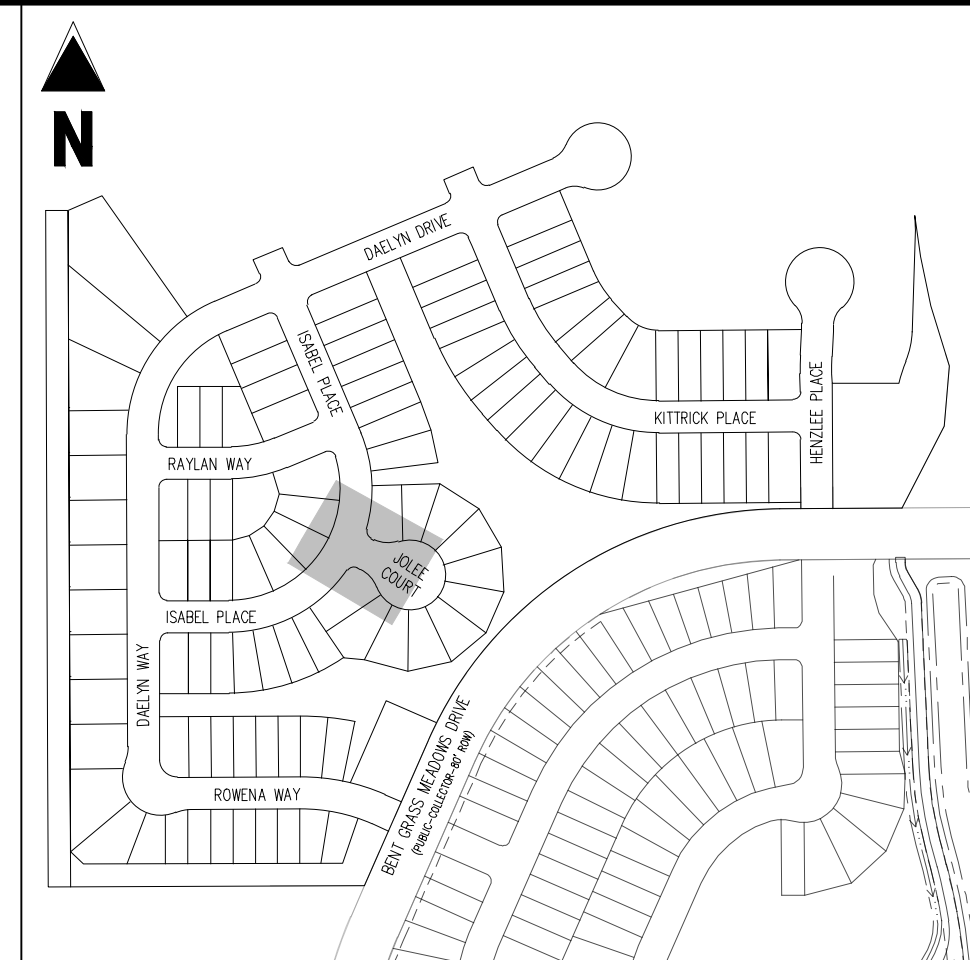
THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A  
YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR LS# 24954 ELEVATION = 6947.67

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

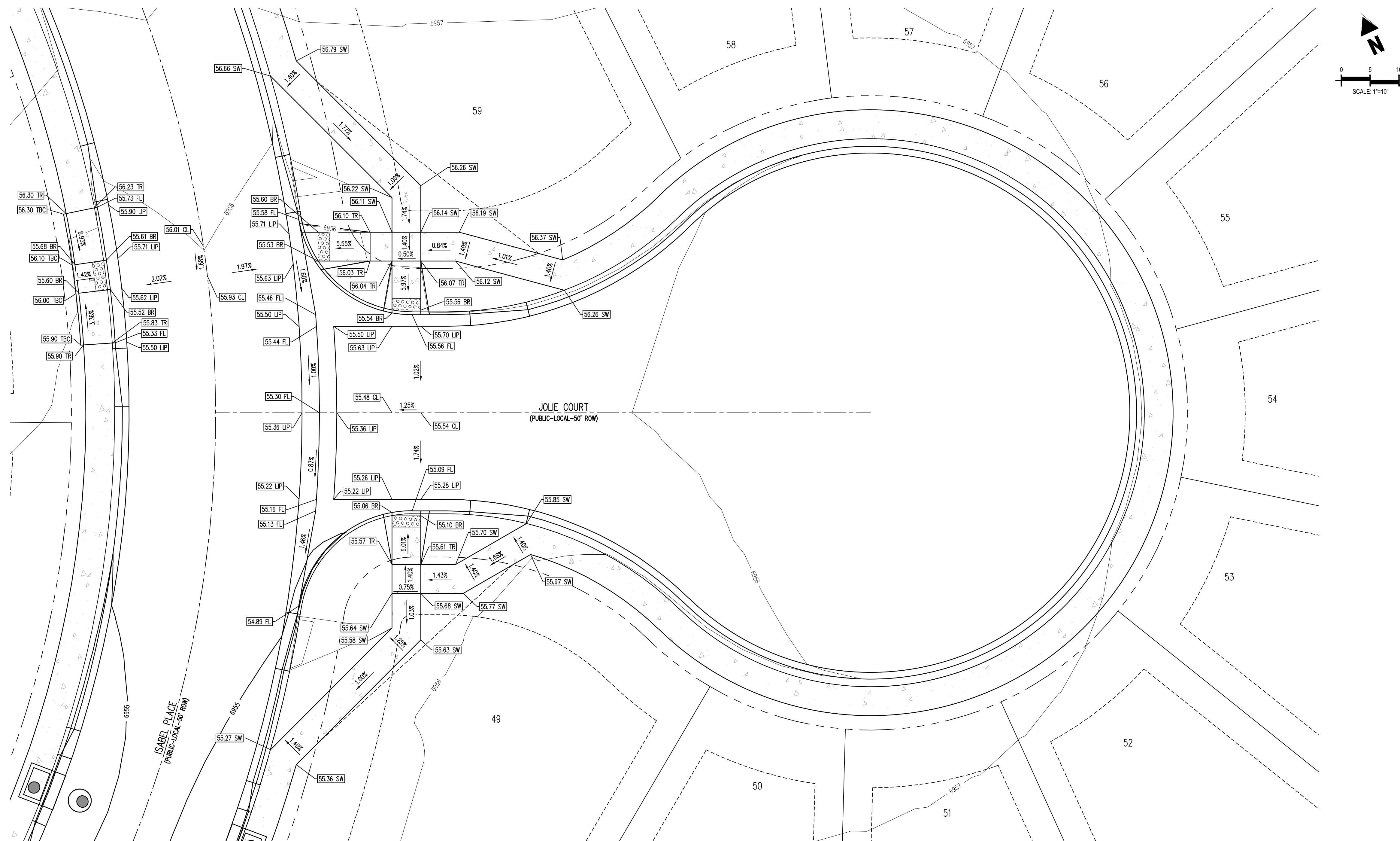
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's **below**.  
**Call** before you dig.



SCALE: 1"=300'



1155 Kelly Johnson Blvd., Suite 305  
Colorado Springs, CO 80920  
719.900.7220  
[GallowayUS.com](http://GallowayUS.com)



03/22/2022

THESE PLANS ARE AN INSTRUMENT OF SERVICE  
AND ARE THE PROPERTY OF GALLOWAY, AND MAY  
NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED  
WITHOUT THE WRITTEN CONSENT OF GALLOWAY.  
COPYRIGHTS AND INFRINGEMENTS WILL BE  
ENFORCED AND PROSECUTED.

CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO.2

FOR  
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

[illegible]

Project No:	CLH000019
Drawn By:	CMWJ
Checked By:	RGD
Date:	02/14/2022

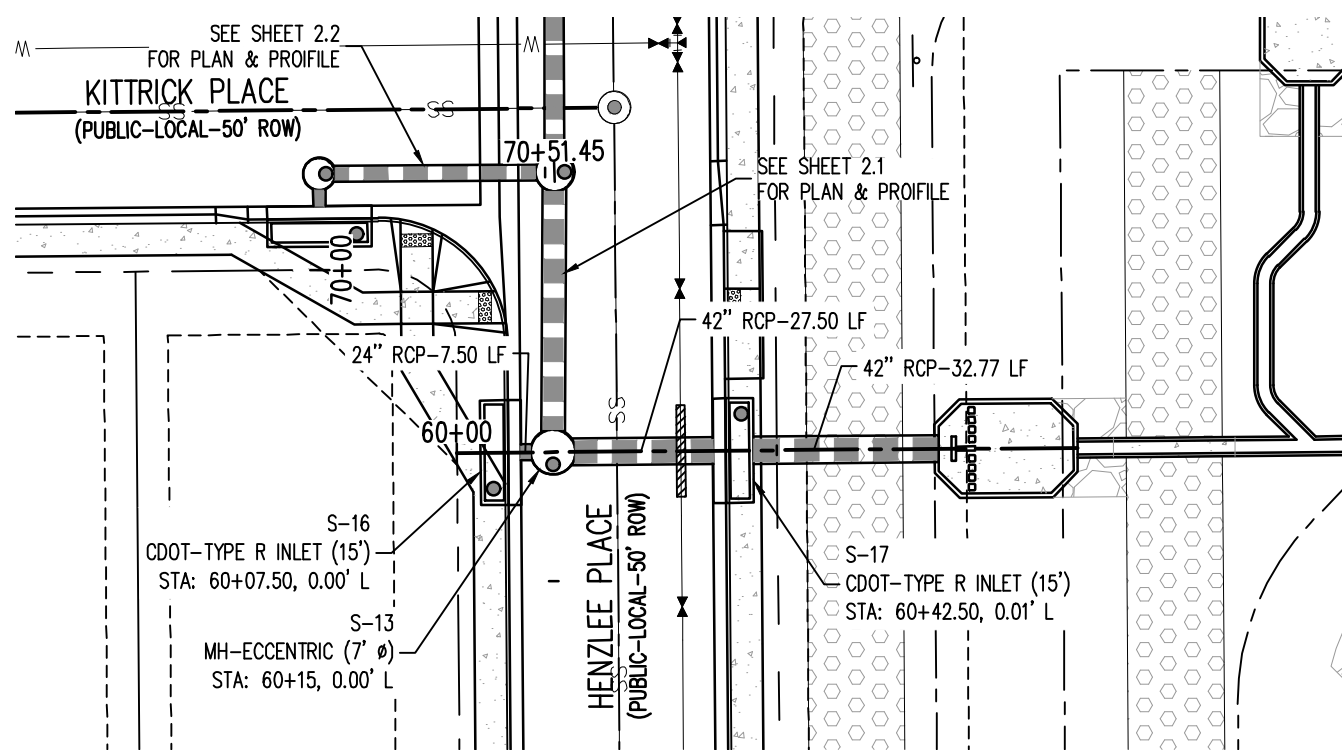
### C3.5

Sheet 22 of 24

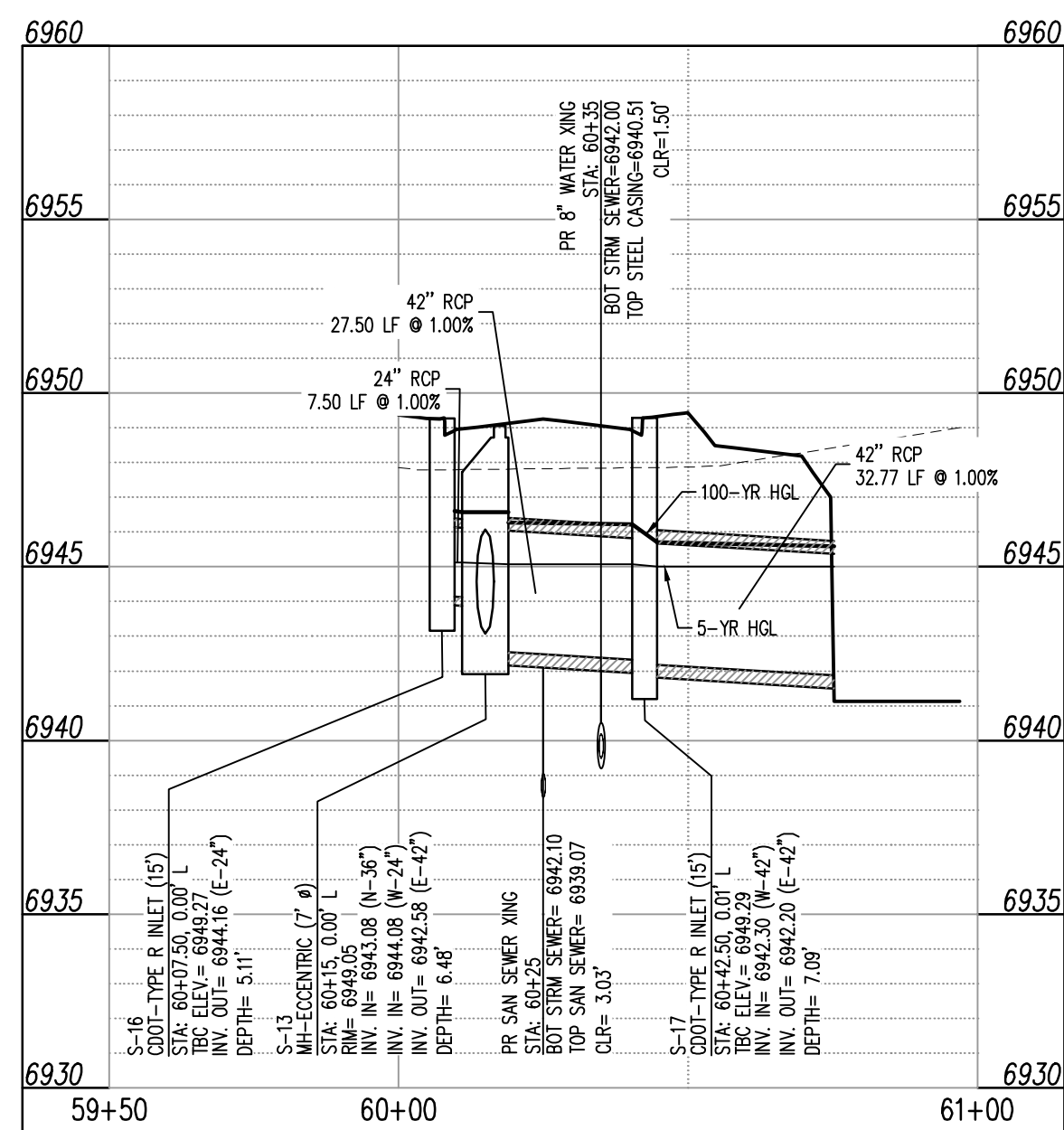




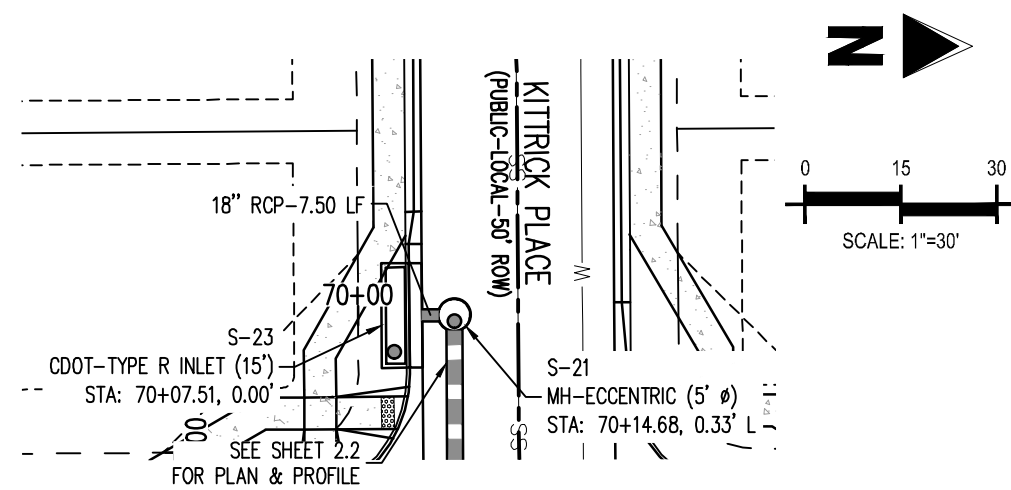




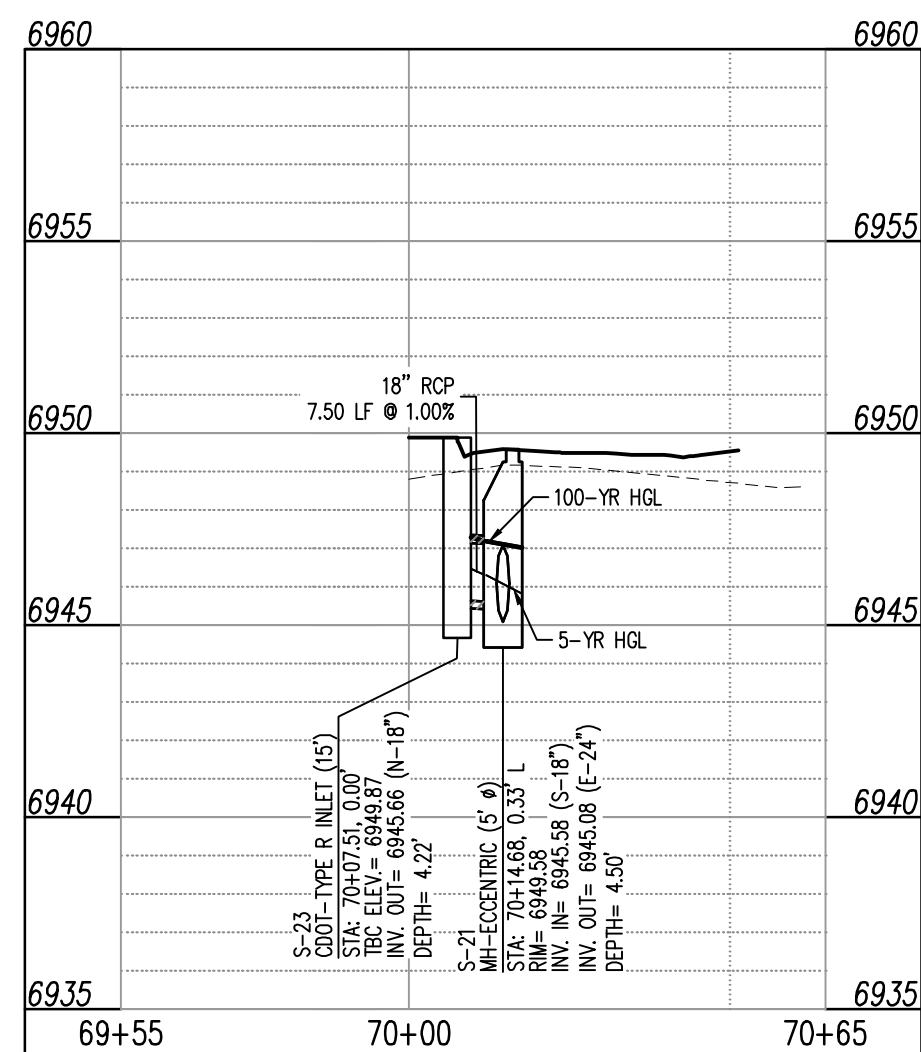
1 PLAN: STORM SEWER (B-LATS)  
STA: 59+50 - 61+00



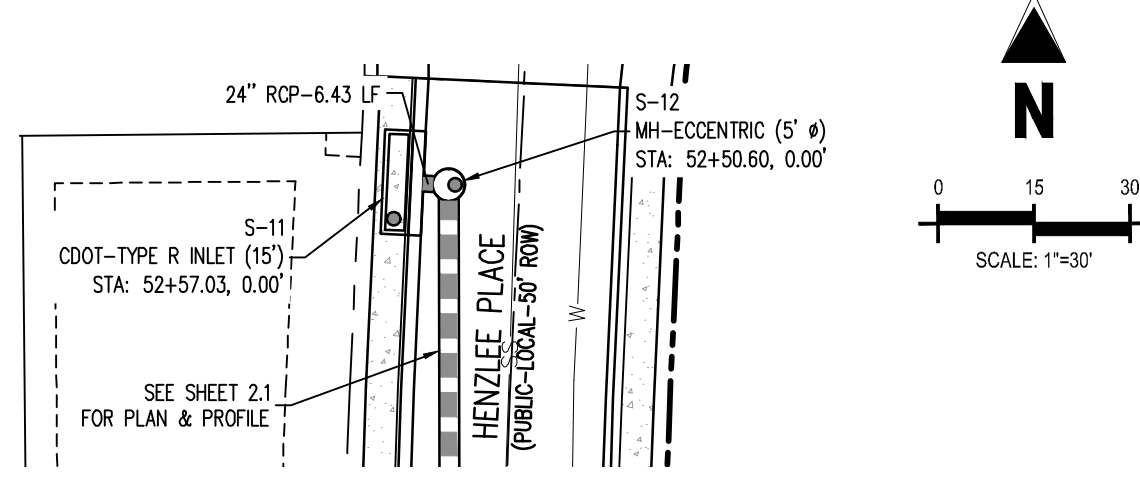
1 STORM B-LATS STA: 59+50 - 61+00  
SCALE: H: 1"=30' V: 1"=5'



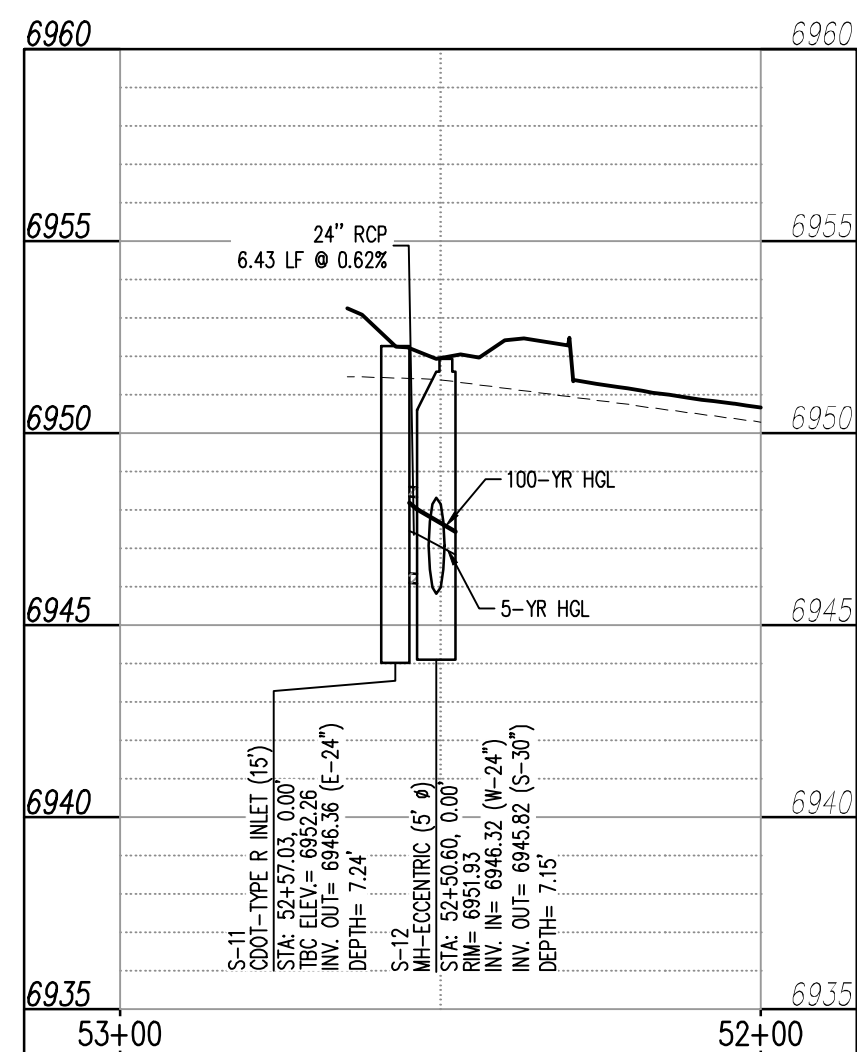
2 PLAN: STORM SEWER (B-LATS-2)  
STA: 69+55 - 70+65



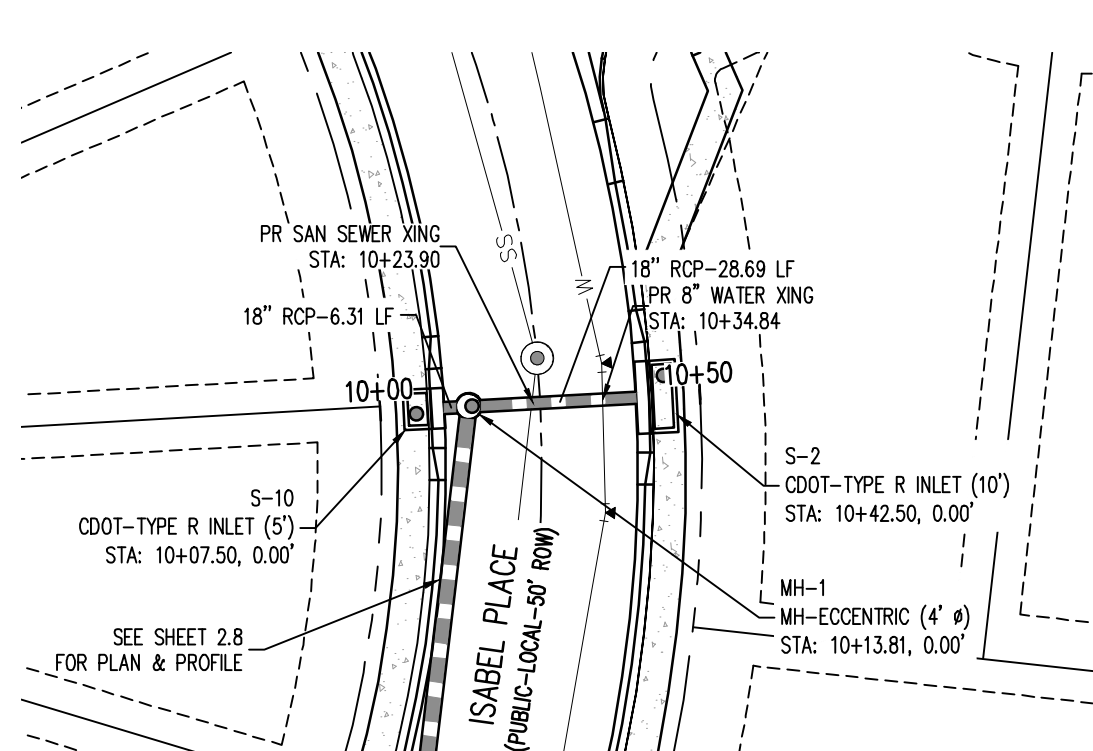
2 STORM B-LATS 2 STA: 69+55 - 70+65  
SCALE: H: 1"=30' V: 1"=5'



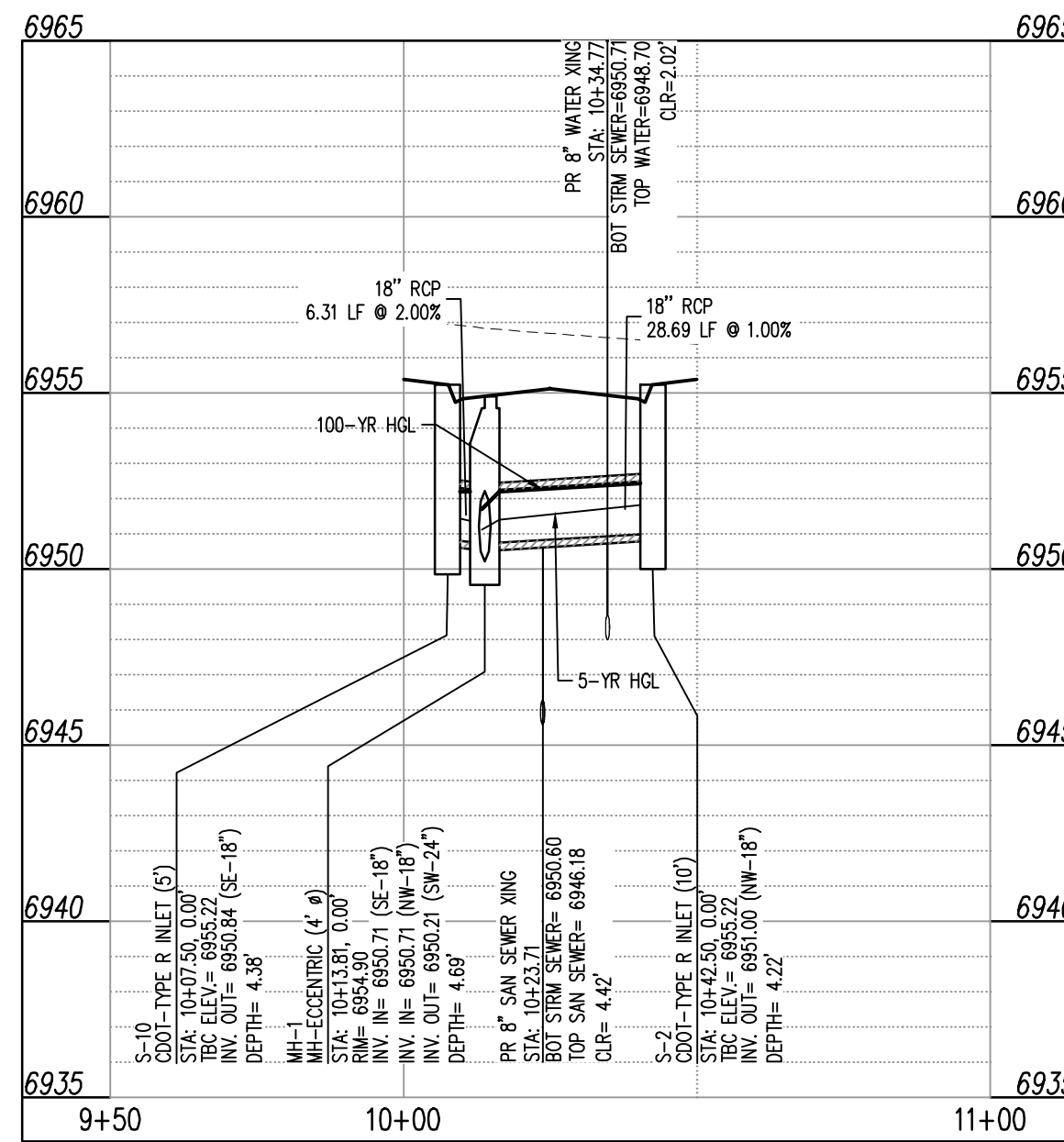
4 PLAN: STORM SEWER (B-MAINLINE)  
STA: 52+00 - 53+00



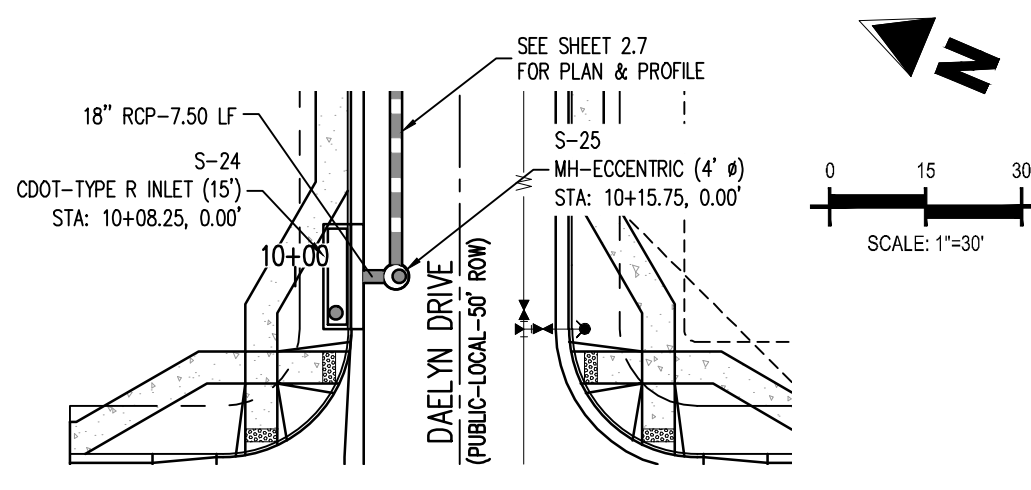
4 STORM B-MAINLINE STA: 52+00 - 53+00  
SCALE: H: 1"=30' V: 1"=5'



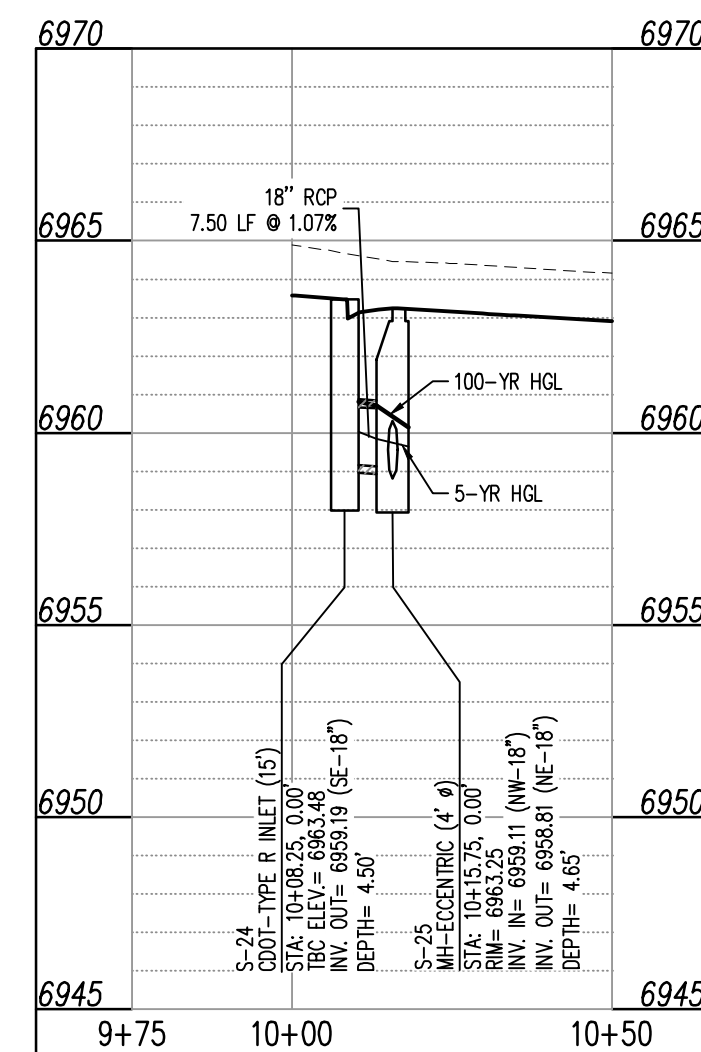
3 PLAN: STORM SEWER (A-LATS)  
STA: 9+50 - 11+00



3 STORM A-LATS STA: 9+50 - 11+00  
SCALE: H: 1"=30' V: 1"=5'



5 PLAN: STORM SEWER (SYS B1)  
STA: 9+75 - 10+50



5 STORM SYS B1 STA: 9+75 - 10+50  
SCALE: H: 1"=30' V: 1"=5'

## LEGEND

- EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
- EXISTING RIGHT OF WAY LINE
- PROPOSED RIGHT OF WAY LINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING ROADWAY CENTER LINE
- PROPOSED ROADWAY CENTER LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED STORM DRAIN PIPE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING DRAINAGE FEATURE OUTLINE
- PROPOSED DRAINAGE FEATURE OUTLINE
- EXISTING SWALE WITH FLOW DIRECTION
- PROPOSED SWALE WITH FLOW DIRECTION
- 100-YR FEMA FLOODPLAIN
- PROPOSED CONCRETE
- PROPOSED CDOT CLASS 6 GRAVEL
- PROPOSED RIP RAP
- EXISTING CONCRETE PAVING
- EXISTING CDOT CLASS 6 GRAVEL
- EXISTING 1" TO 2" CRUSHED ROCK
- EXISTING RIP RAP
- EXISTING GROUTED BOULDERS
- PROPOSED LOT #
- EXISTING LOT #

CONTRACTOR MUST COORDINATE WORK WITH WOODMEN HILLS METROPOLITAN DISTRICT PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

LENGTHS OF STORM SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

MAINTAIN MINIMUM 18" VERTICAL AND 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER AND POTABLE WATER OR WASTEWATER. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

## BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N007°46'W AND MONUMENTED AS SHOWN.

## BENCHMARK

THE SOUTHWEST CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L#8 24554 ELEVATION = 6947.67

## CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Galloway

1155 Kelly Johnson Blvd., Suite 305  
Colorado Springs, CO 80920  
719.900.7220  
gallowayus.com



COPYRIGHT  
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

CHALLENGER  
HOMES

CONSTRUCTION DOCUMENTS  
FALCON MEADOWS AT BENT GRASS FILING NO.2  
FOR  
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDAN ROAD  
FALCON, CO 80831 - EL PASO COUNTY

#	Date	Issue / Description	Init.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			

Project No:	CLH000019
Drawn By:	CMWJ
Checked By:	RGD
Date:	02/14/2022

STORM WATER PLAN &  
PROFILE

C4.1

Sheet 24 of 24