

STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH MOVEMENTS BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFFSITE WATERS, INCLUDING WETLANDS.

2. NOTHING SHALD ANYTHING DEPICED IN THESE PLANS OR WORDS OR GRAPHIC REPRESENTATIONS. ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADAPTED EL PASO COUNTY STANDARDS. ENGINEERING AND/OR ARCHITECTURAL CHANGES TO EXISTING CONDITIONS SHALL BE IN ACCORDANCE WITH THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS TO REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.

3. A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESCOP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE RESPONSIBILITY OF THE PERSONNEL QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR AND SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.

4. ONCE THE ESCOP IS APPROVED AND A NOTICE TO PROCEED HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED BY THE DESIGNED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.

5. CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT MAY CONTRIBUTE POLLUTANTS TO STORMWATER. TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES FOR DISTURBED AREAS SHALL BE INSTALLED IN THE DISTURBED LAND AREA SHALL BE COMPLETED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.

6. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES IS NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN PRIOR TO IMPLEMENTATION.

7. TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES OF MATERIALS. DISTURBED AREAS AND STOCKPILES SHALL BE COVERED WITH A TEMPORARY STABILIZATION CLOTHED FOR LONGER THAN 14 DAYS. AN AREA THAT IS GOING TO REMAIN IN AN INTERM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE STABILIZED.

8. FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANTS SUITABLE TO THE CLIMATE PREVIOUSLY EXISTING OR HAVE BEEN COVERED BY EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.

9. ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS, ANY PROPOSED CHANGES THAT EFFECT THE HYDROLOGY OR FUNCTION OF THE PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECOM ADMINISTRATOR PRIOR TO IMPLEMENTATION.

10. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. THE MAXIMUM EXPOSED AREA SHALL BE LIMITED TO NO MORE THAN 50 HORIZONTAL FEET OF A WATER'S OF THE STATE UNLESS SHOWING TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.

11. COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED.

12. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE COLORADO STORMWATER ACT SHALL BE DESIGNED TO MINIMIZE THE EARTH DISTURBANCE AREA. EACH FACILITY SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND DISCHARGE OF SEDIMENT OFF SITE.

13. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. WASH WATER WITHOUT SOLIDS SHALL BE COLLECTED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY.

14. DURING DEMOLITION OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE BUT SHALL LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.

15. EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.

16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TRAIL SLUSH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURED, DUMPED, OR DISCHARGED AT THE SITE.

17. WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.

18. TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIAL TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.

19. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, TRUCK TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINAGE, OR OTHER PUBLIC ADMINISTRATION IN GRADING THE SITE AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.

20. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY MANNER. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDINARY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.

21. NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS OBTAINED BY THE COUNTY ENGINEER. THE CONTRACTOR SHALL KEEP RECORDS OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.

22. BLEND STORAGE OF PETROLEUM PRODUCTS OR OTHER LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL HAVE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.

23. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.

24. INDIVIDUALS SHALL COMPLY WITH THE COLORADO WATER QUALITY CONTROL ACT (TITLE 25, ARTICLE 8, CRS), AND THE CLEAN WATER ACT (33 USC 1364), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE ECOM VOLUME 1 AND THE ECOM APPENDIX A. ALL APPROPRIATE PERMITS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.

25. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.

26. PRIOR TO ACTUAL CONSTRUCTION THE PERMITS SHALL RELAY TO LOCATION OF EXISTING UTILITIES.

27. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK OPERATION AND WIND.

28. THE SOILS REPORT, TITLED "FALCON MEADOWS AT BENT RANCH, EL PASO COUNTY, COLORADO" DATED JANUARY 2020, REVISED DECEMBER 2020, AND REVISED DECEMBER 2020, DATED JUNE 2020, REVISED DECEMBER 2020, AND REVISED DECEMBER 2020, SHALL BE CONSIDERED A PART OF THESE PLANS.

29. AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR

1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).

3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:

- A. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
- B. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
- C. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
- D. CDOT M & S STANDARDS

4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.

5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ON-SITE AND OFF-SITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.

6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) – INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.

7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND ANY AND STATE FUGITIVE DUST PERMITS.

8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.

9. ALL STORM DRAIN PIPE SHALL BE CLASS II RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.

10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.

11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.

12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.

13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]

14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.

15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHEN REQUIRED, FROM ADJOINING PROPERTY OWNER(S) FOR ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

EROSION CONTROL NOTES

1. AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF THE CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY CONTROL DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WOOD – PERMITS
4300 CHERY CREEK DRIVE SOUTH
BENNER, CO 80246-1530
ATTN: PERMITS UNIT

2. SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN TWENTY-ONE (21) CALENDAR DAYS AFTER FINAL GRADING, OR FINAL EARTH DISTURBANCE HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMPs SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.

3. CONSTRUCTION FENCE AND SILT FENCE OFFSET FOR CLARITY. CONTRACTOR TO ENSURE BMPs ARE PLACED DOWNSTREAM OF DISTURBED AREAS TO PREVENT SEDIMENT FROM LEAVING THE SITE.

4. BENT GRASS MEADOWS DRIVE SHALL BE STREET SWEEP AND INSPECTED ON A REGULAR BASIS DURING CONSTRUCTION.

5. NO NOTABLE EXISTING VEGETATION EXISTS ON THE SITE, APART FROM NATIVE GRASSES AND WEEDS. THE EXISTING SOIL TYPES WITHIN THE PROPERTY CONSISTS OF COLLUVIUS GRAVELLY SANDY LOAM, BLENDED-FULVICANTIC HAPLOKALIS, AND BLAKELAND LOAMY SAND. ALL SOILS ARE DEFINED AS HAVING A HYDROLOGIC SOIL GROUP OF A, AS DETERMINED BY THE NRCS WEBC SITE SURVEY FOR EL PASO COUNTY AREA.

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.
2. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPLACED AT THE CONTRACTORS EXPENSE AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
3. ADDITIONAL EROSION CONTROL STRUCTURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.
4. ALL BACKFILL, SUB-BASE AND / OR BASE COURSE (CLASS 6) MATERIAL SHALL BE COMPACTED TO THE SOLS ENGINEERS RECOMMENDATIONS, AND APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION.
5. ALL STATIONING IS CENTERLINE UNLESS OTHERWISE INDICATED. ALL ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE INDICATED.
6. ALL DISTURBED PAVEMENT EDGES SHALL BE CUT TO NEAT LINES. REPAIR SHALL CONFORM TO THE EPC COM APPENDIX K - 1.2C.
7. ALL INTERSECTION ACCESSSES TO BE CONSTRUCTED WITH A 25 FOOT SIGHT VISIBILITY TRIANGLES AND THERE SHALL BE NO OBSTRUCTIONS GREATER THAN 18" IN THIS AREA.
8. ALL CULVERT AND STORM PIPES SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE (HDPE), OR REINFORCED CONCRETE PIPE (RCP). ALL CULVERTS SHALL BE PLACED COMPLETE WITH FLARED END SECTIONS. ADEQUACY OF MATERIAL THICKNESS FOR ANY CSP INSTALLATION SHALL BE VERIFIED BY OWNERS GEOTECHNICAL ENGINEER TO SUPPORT MINIMUM 50 YEAR DESIGN LIFE. CULVERTS MUST CONFORM TO EPC COM SECTION 3.32 - CULVERTS.
9. ASPHALT THICKNESS AND BASE COURSE THICKNESS (COMPACTED FOR ROADS SHALL BE PER DESIGN REPORT BY OWNERS GEOTECHNICAL ENGINEER. OWNERS GEOTECHNICAL ENGINEER TO BE ON SITE AT TIME OF ROAD CONSTRUCTION TO EVALUATE SOIL CONDITIONS AND DETERMINE IF ADDITIONAL MEASURES ARE NECESSARY TO ASSURE STABILITY OF THE NEW ROADS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION PRIOR TO CONSTRUCTION.
10. TYPE M RIP-RAP WITH 4" OF TYPE II GRANULAR BEDDING AND MIRAFI 180N OR EQUAL MAY BE SUBSTITUTED WHERE TYPE L RIP-RAP WITH MIRAFI FW 700 OR EQUAL IS SPECIFIED.
11. ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN COMPLIANCE WITH ANY AND ALL APPLICABLE EL PASO COUNTY STANDARDS AND WITH WOODMAN HILLS METRO DISTRICT CONSULTING ENGINEER APPROVAL.
12. ALL POTABLE WATER MAINS SHALL BE AWWA C900-SDR18 PVC WITH PUSH-ON SINGLE GASKET TYPE JOINTS AND SHALL MEET THE REQUIREMENTS OF ANSI / NSF 61.
13. ALL WATER MAIN FITTINGS SHALL BE MADE FROM GRAY-IRON OR DUCTILE IRON AND FURNISHED WITH MECHANICAL JOINT ENDS. ALL FITTINGS SHALL HAVE A PRESSURE RATING OF 250 PSI AND SHALL MEET THE REQUIREMENTS OF ANSI / NSF 61.
14. ALL WATER LINE BENDS, TEES, BLOW-OFFS AND PLUGS AT DEAD-END MAINS SHALL BE PROTECTED FROM THRUST BY USING CONCRETE THRUST BLOCKS AND / OR RODDING AND RESTRAINED PIPE PER THE WOODMAN HILLS METRO DISTRICT CONSULTING ENGINEER APPROVAL.
15. MAXIMUM DEFLECTION OF 8" OR 12" PVC WATER MAIN JOINTS IS 4 DEGREES. CORRESPONDING MINIMUM CURVE RADIUS IS 286' MINIMUM. 11.25" OR 22.5" BENDS MAY BE REQUIRED FOR PROPER ALIGNMENT.
16. CONTRACTOR IS RESPONSIBLE FOR PROVIDING DETAILED AS-BUILTS OF ALL WATER MAIN, STORM SEWER AND SANITARY SEWER MAIN INSTALLATIONS, INCLUDING ACCURATE DISTANCES OF MAIN LINES, VALVES, FITTINGS, MANHOLES AND LOCATIONS OF WATER AND SEWER SERVICES.
17. SANITARY SEWER PIPE AND FITTINGS: PVC 4" - 8" ASTM D3034, TYPE PSN, SDR 35; PUSH-ON JOINTS AND MOLDED RUBBER GASKETS MAXIMUM HORIZONTAL DEFLECTIONS, AFTER INSTALLATION AND BACK FILLING SHALL NOT EXCEED 3% OF THE PIPE DIAMETER. (MINIMUM CURVE RADIUS IS 100' FOR 8" PVC SANITARY SEWER MAIN)

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COLORADO DEPARTMENT OF PUBLIC
HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WOOD - PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT
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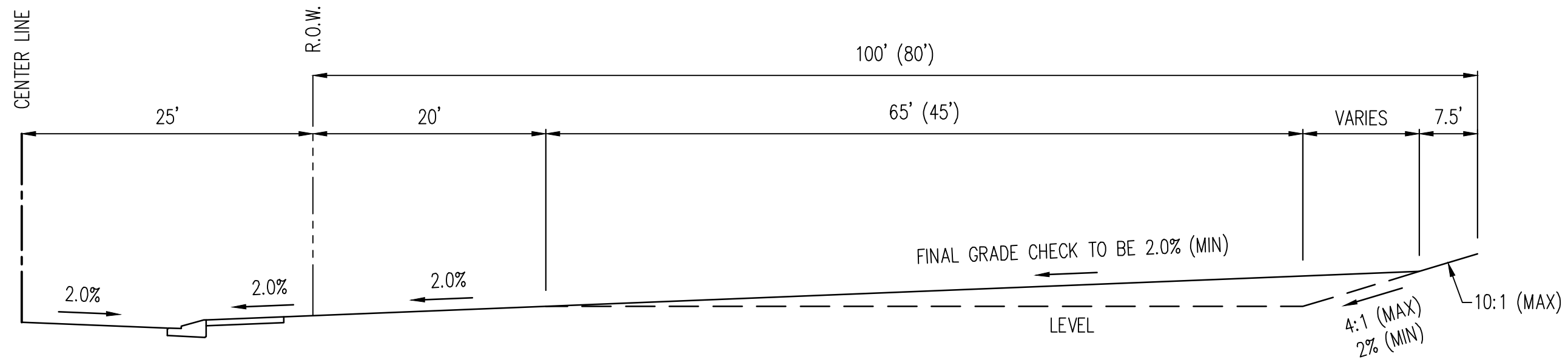
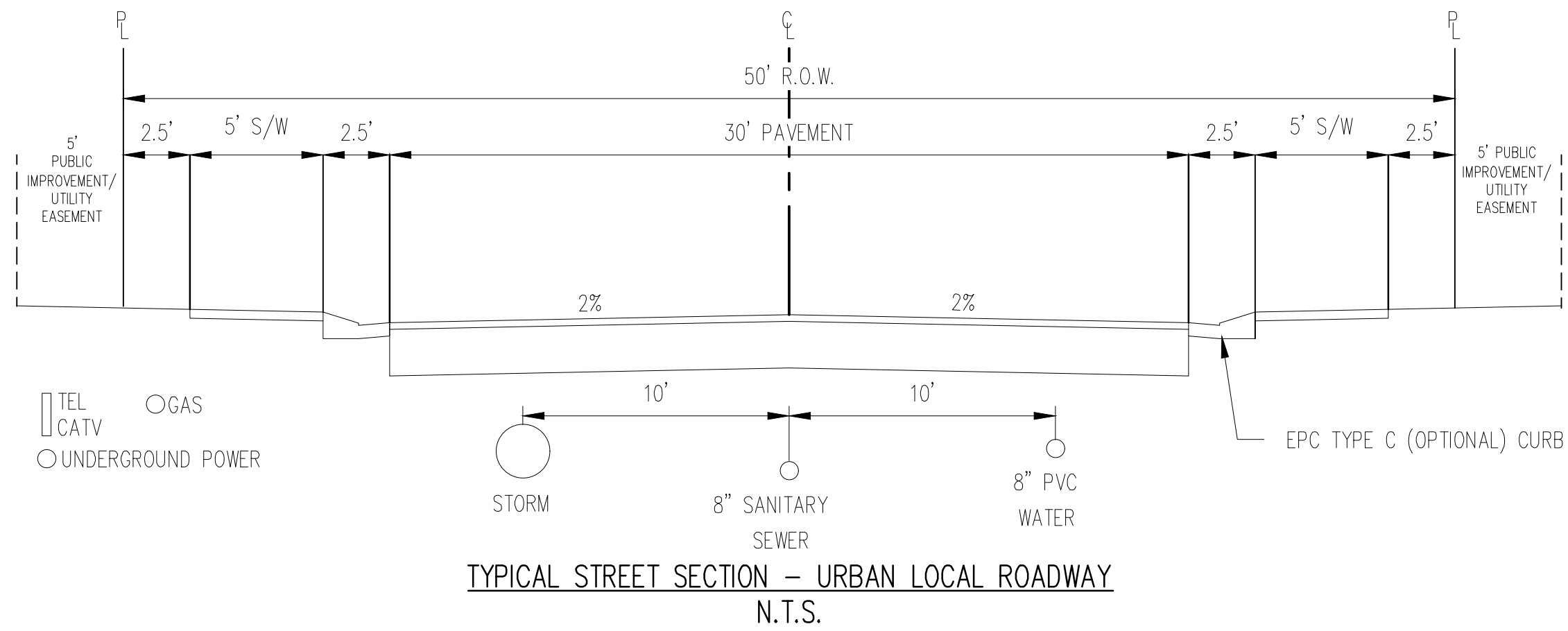
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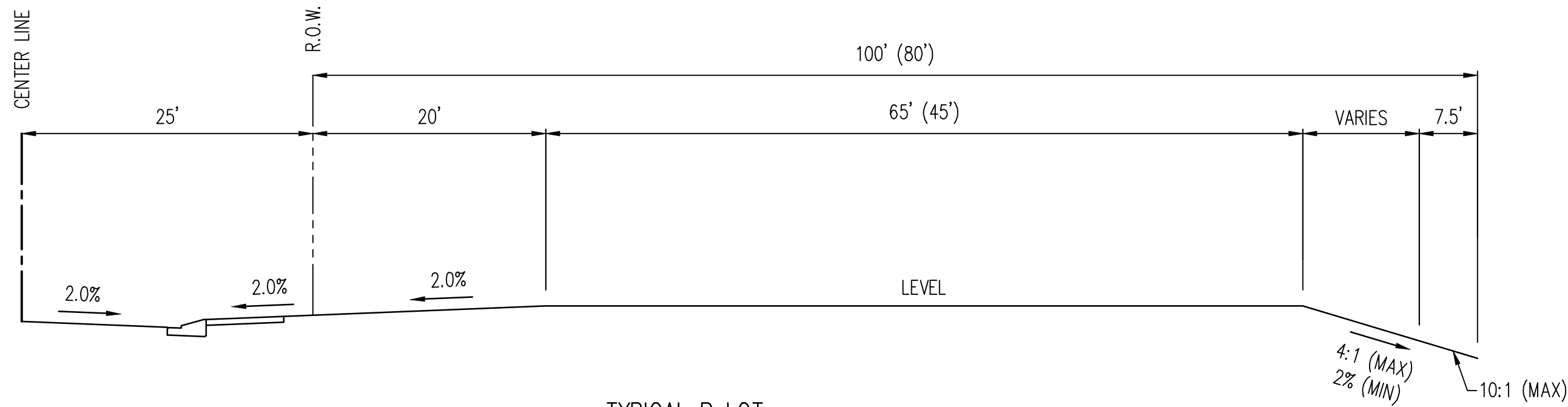
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GRADING & EROSION CONTROL NOTES

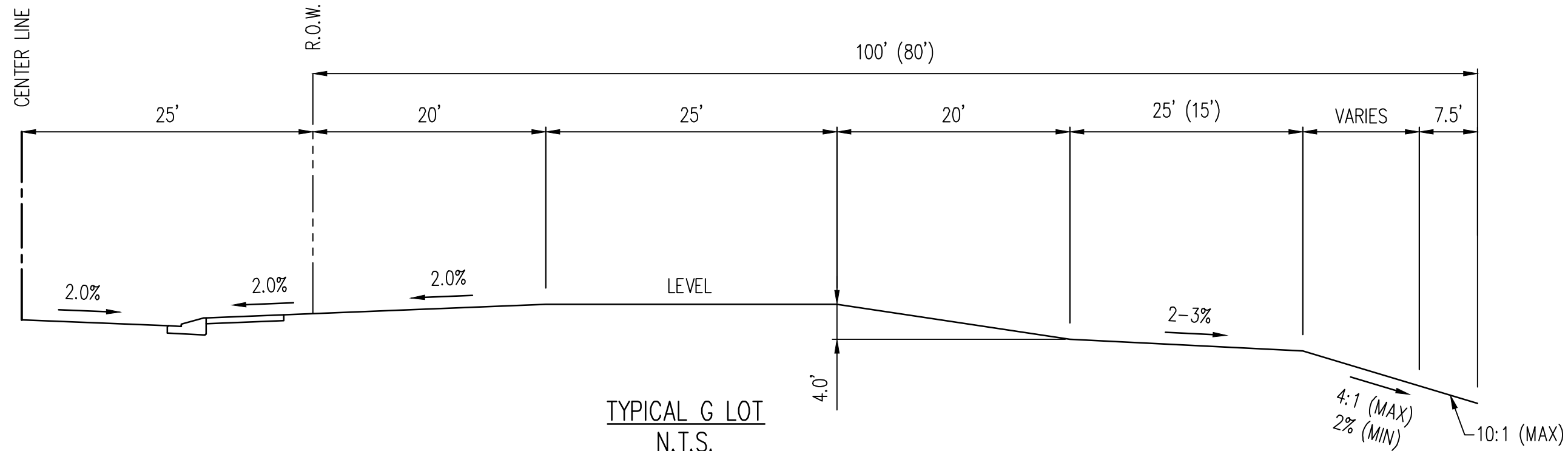
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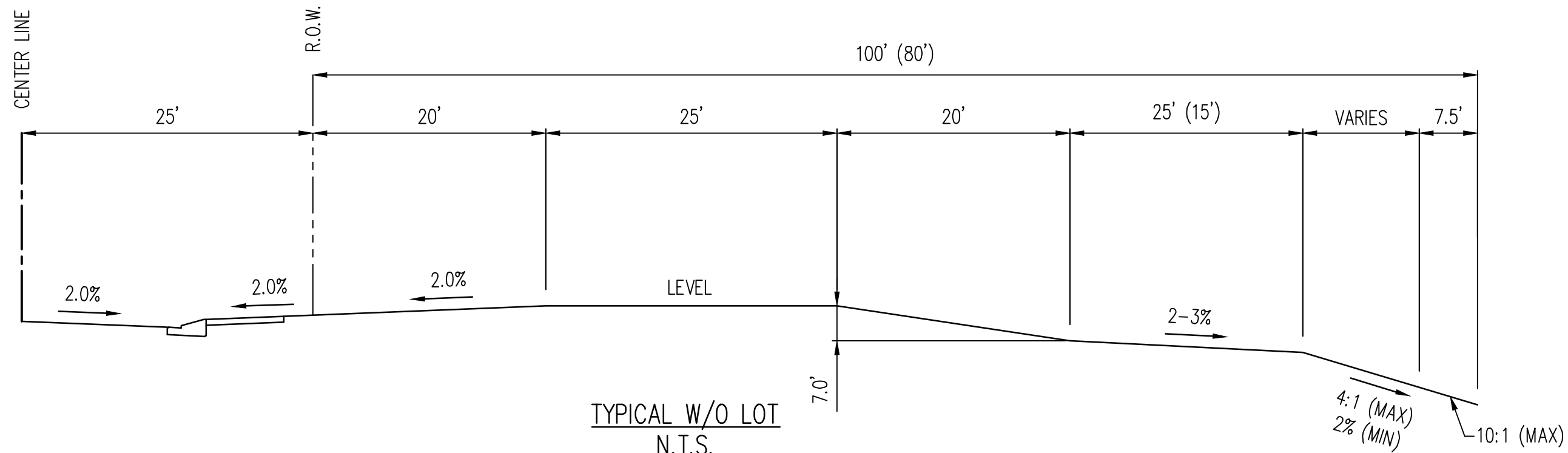
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TYPICAL B LOT
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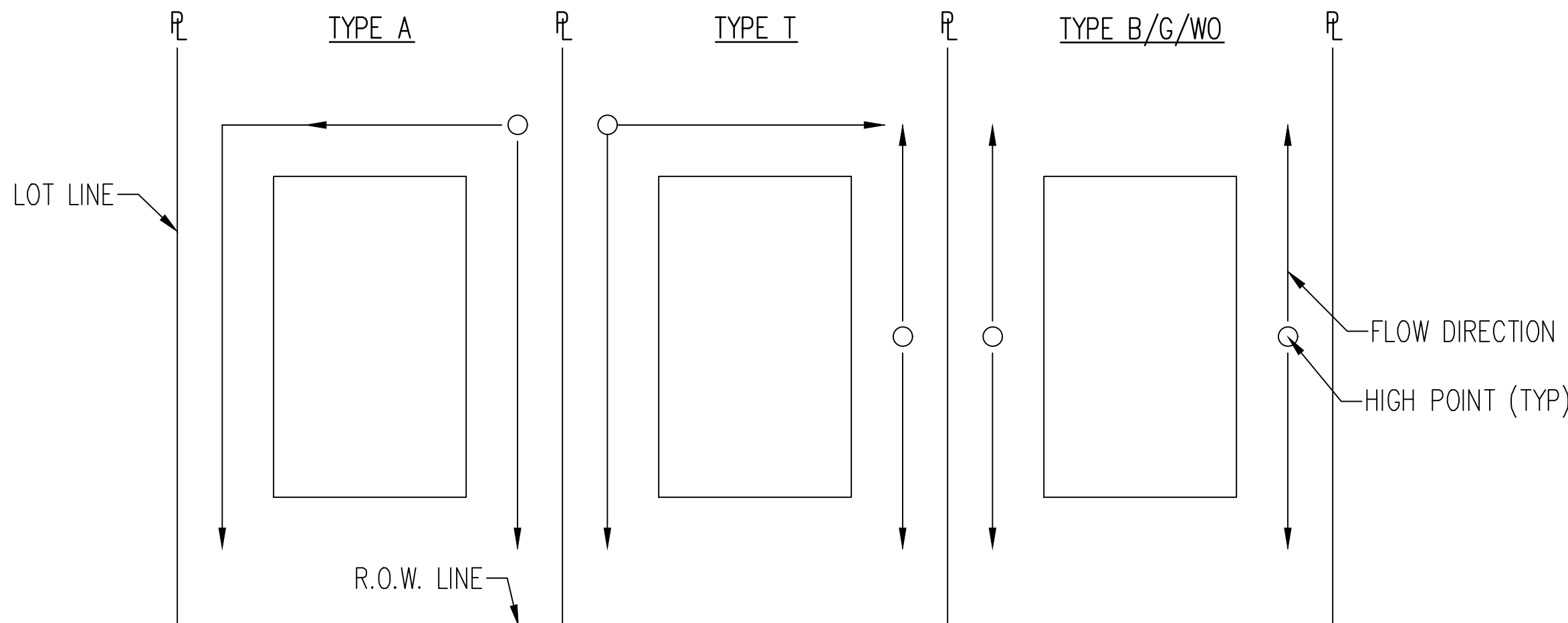
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TYPICAL W/O LOT
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NOTES:

- TRANSITION LOTS IDENTIFIED BY A "T" ARE INCLUDED TO INDICATE LOTS THAT WILL REQUIRE HOME BUILDERS TO PREPARE A SITE SPECIFIC GRADING PLAN TO DETAIL THE GRADING TRANSITION FROM TYPE A/B LOTS TO GARDEN/WALKOUT LOTS
- THE DEVELOPER/HOME BUILDER SHALL INSTALL SIDE LOT SWALES TO MINIMIZE THE LOT TO LOT DRAINAGE.



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Project No:	CLH000019
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

GRADING & EROSION
CONTROL TYPICAL
SECTIONS

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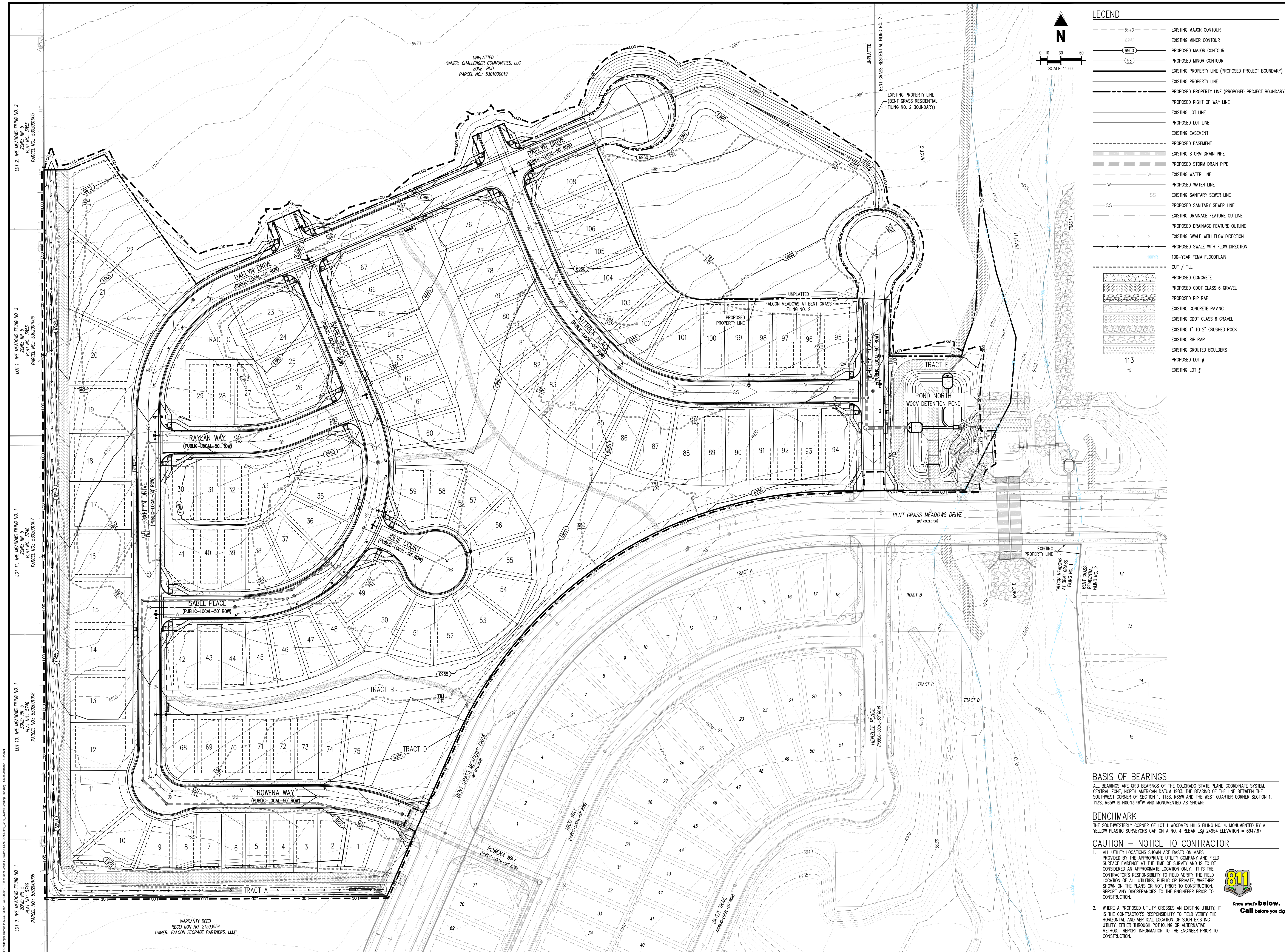
Project No:	CLH000019
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

OVERALL GRADING PLAN &
CUT-FILL MAP

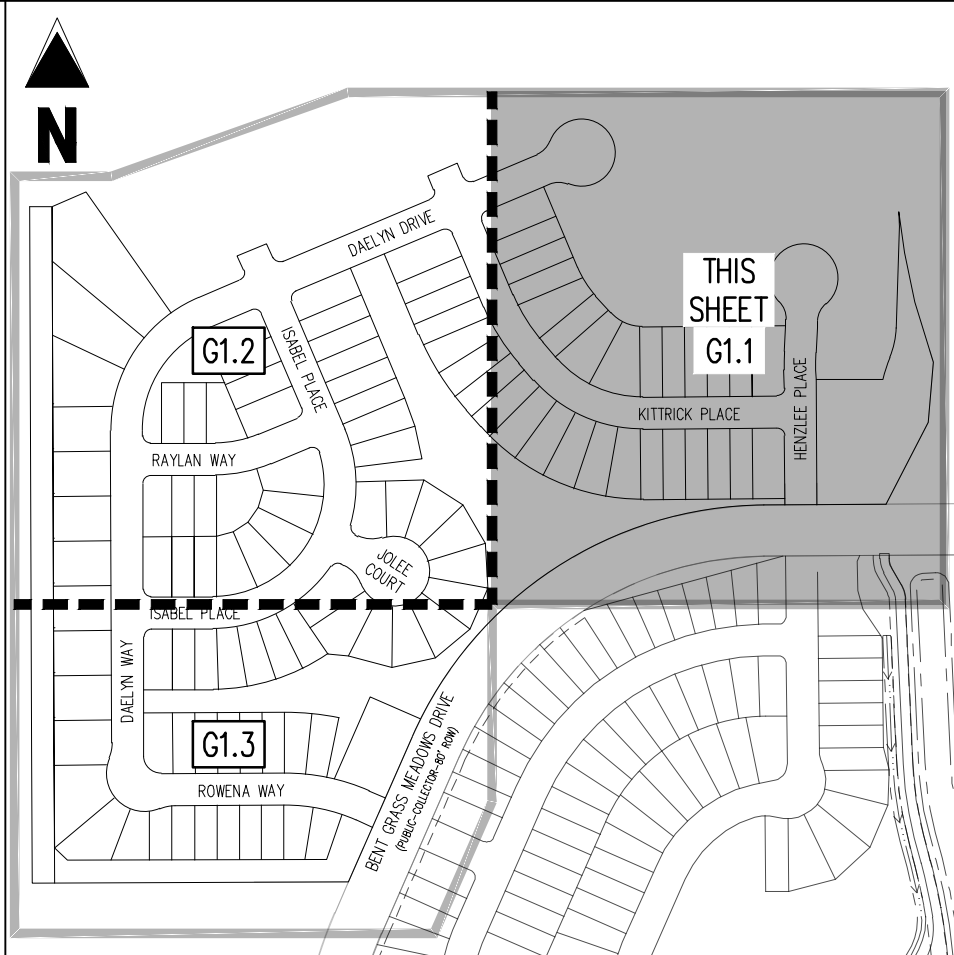
Know what's **below**.
Call before you dig.

G1.0

Sheet 4 of 22



\\Challenger\Homes\InfoCO, Falcon - CUH00019 - FM at Bart Grass F21CIV3-CO\GEO\CUH19_G1.0_Overall Grading Plan.dwg - Caleb Johnson - 8/3/2021



KEY MAP

SCALE: 1"=300'

LEGEND

	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING DRAINAGE FEATURE OUTLINE
	PROPOSED DRAINAGE FEATURE OUTLINE
	EXISTING SWALE WITH FLOW DIRECTION
	PROPOSED SWALE WITH FLOW DIRECTION
	100-YEAR FLOODPLAIN
	PROPOSED CONCRETE
	PROPOSED CDOT CLASS 6 GRAVEL
	PROPOSED RIP RAP
	EXISTING CONCRETE PAVING
	EXISTING CDOT CLASS 6 GRAVEL
	EXISTING 1" TO 2" CRUSHED ROCK
	EXISTING RIP RAP
	EXISTING GROUTED BOULDERS
	PROPOSED LOT #
	EXISTING LOT #
	EXISTING SLOPE (PERCENT)
	EXISTING SLOPE (RISE:RUN)

NOTES

1. ADD 6900 TO ALL SPOT ELEVATIONS
2. EXISTING VEGETATION ON THE PROJECT SITE CONSISTS OF NATIVE GRASSES AND SHRUBS.
3. NO WETLANDS ARE TO BE PERMANENTLY DISTURBED PER THIS PLAN.
4. NO GRADING IS TO OCCUR WITHIN THE 100-YEAR FLOODPLAIN.
5. THE EROSION CONTROL Delineated ON THIS PLAN SHALL BE REGULARLY UPDATED BY THE CONTRACTORS.
6. CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE OF THE CONSTRUCTION LIMITS WITH SILT FENCE OR OTHER METHOD TO PROTECT UNDISTURBED AREAS FROM EROSION.
7. ALL TEMPORARY OR PERMANENT GRADING DISTURBANCES SHALL BE RE-SEEDING AND MULCHED PER EL PASO COUNTY CRITERIA AND SPECIFICATIONS.

BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N00°13'46"W AND MONUMENTED AS SHOWN:

BENCHMARK

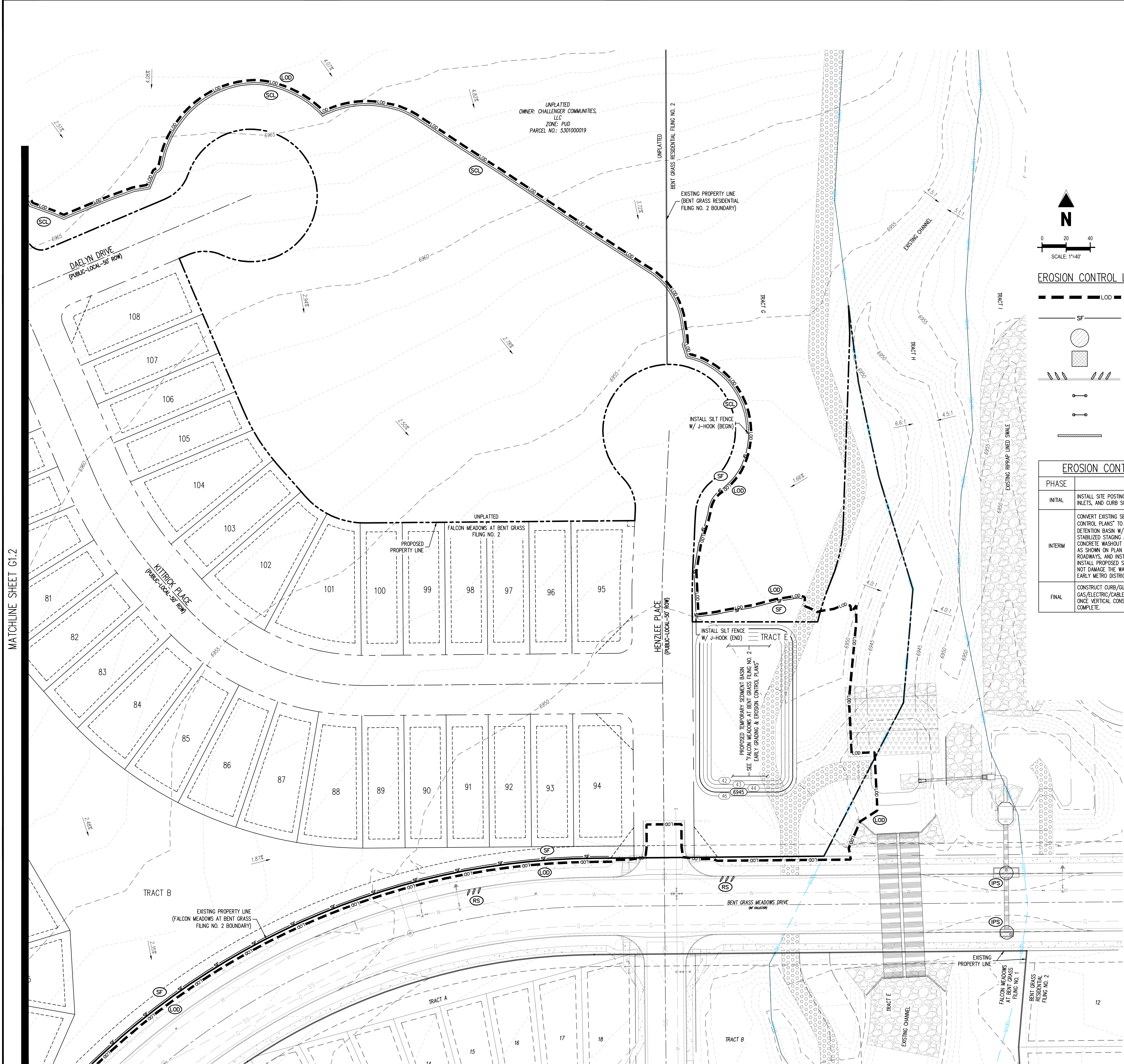
THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4. MONUMENTED BY A
YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L# 24954 ELEVATION = 6947.67

CAUTION – NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IT IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's **below**.
Call before you dig.



MATCHLINE SHEET G1.2

Challenger Homes Inc CO, Falcon - CUH000119 - FM at Bent Grass F21(C)M3-CD/GEDCULH19 G1.1 GEC Initial Plan.dwg - 8/3/2021



	LOG		LIMITS OF DISTURBANCE / CONSTRUCTION
	SF		SILT FENCE
	IPS		SUMP INLET PROTECTION
	IPO		ON-GRADE INLET PROTECTION
	RS		ROCK SOCKS
	SITE		SITE (CONTACTS AND PERMITS)
	WP		WASHOUT POSTING
	SCL		SEDIMENT CONTROL LOG

A detailed map of a residential area with a grid system. The map is divided into four quadrants by a dashed line. The top-left quadrant is shaded gray and labeled "THIS SHEET G1.2". The top-right quadrant is labeled "G1.1". The bottom-left quadrant is labeled "G1.3". The bottom-right quadrant is labeled "G1.4". The map shows streets including Daelin Drive, Kirtwick Place, Baylan Way, Daelin Way, Soromena Way, and Ben Loe Macdonald Drive. A north arrow is in the top-left corner.

SCALE: 1"=300'

	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING DRAINAGE FEATURE OUTLINE
	PROPOSED DRAINAGE FEATURE OUTLINE
	EXISTING SWALE WITH FLOW DIRECTION
	PROPOSED SWALE WITH FLOW DIRECTION
	100-YEAR FLOODPLAIN
	PROPOSED CONCRETE
	PROPOSED CDOT CLASS 6 GRAVEL
	PROPOSED RIP RAP
	EXISTING CONCRETE PAVING
	EXISTING CDOT CLASS 6 GRAVEL
	EXISTING 1" TO 2" CRUSHED ROCK
	EXISTING GROUTED BOULDERS
	PROPOSED LOT #
	EXISTING LOT #
	EXISTING SLOPE (PERCENT)
	EXISTING SLOPE (RISE:RUN)

1. ADD 6900 TO ALL SPOT ELEVATIONS
2. EXISTING VEGETATION ON THE PROJECT SITE CONSISTS OF NATIVE GRASSES AND SHRUBS.
3. NO WETLANDS ARE TO BE PERMANENTLY DISTURBED BY THIS PLAN.
4. NO GRADING IS TO OCCUR WITHIN THE 100-YEAR FLOODPLAIN.
5. THE EROSION CONTROL DELINEATED ON THIS PLAN SHALL BE REGULARLY UPDATED BY THE CONTRACTORS.
6. CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE OF THE CONSTRUCTION LIMITS WITH SLT FENCE OR OTHER METHOD TO PROTECT UNDISTURBED AREAS FROM EROSION.
7. ALL TEMPORARY OR PERMANENT GRADING DISTURBANCES SHALL BE RE-SEED AND MULCHED PER EL PASO COUNTY CRITERIA AND SPECIFICATIONS.

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THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4. MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L_S# 24954 ELEVATION = 6947.67

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

Know what's **below**.
Call before you dig.

CHALLENGER HOMES

CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERDIAN ROAD
FALCON, CO 80831 - EL PASO COUNTY

Project No:	CLH000019
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

GRADING & EROSION CONTROL INITIAL PLAN

G1.2

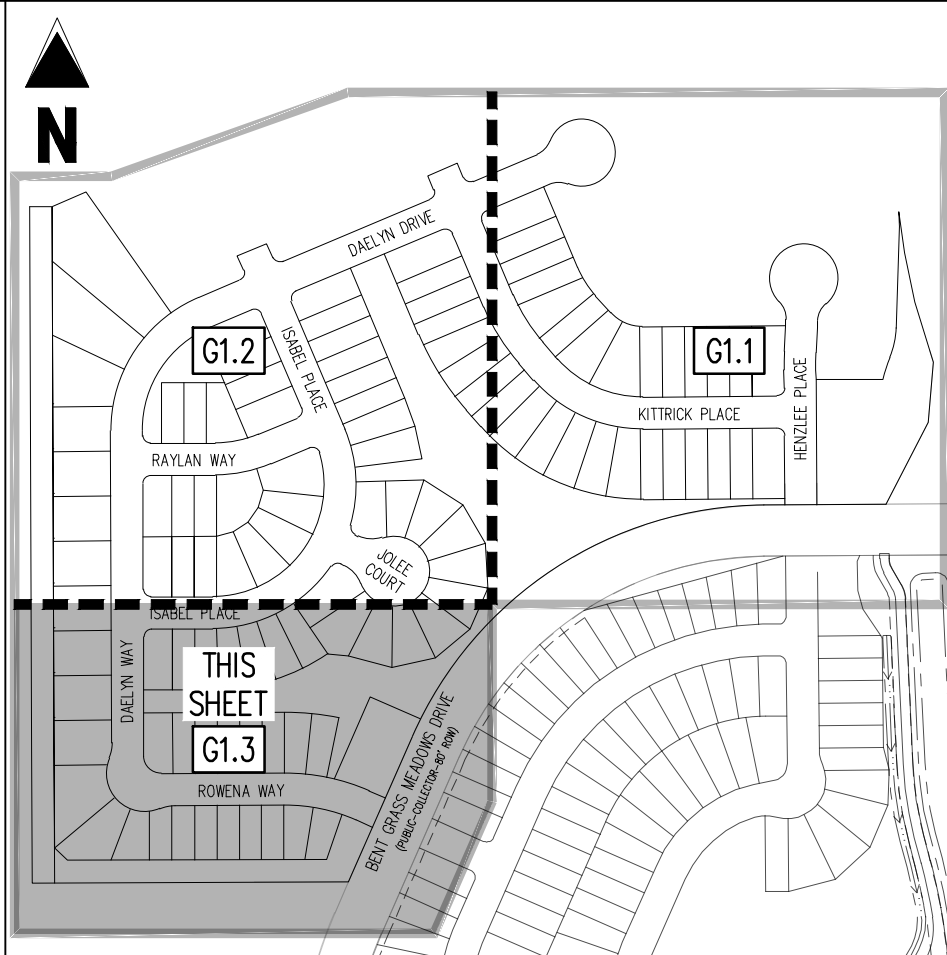
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Project No:	CLH000019
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

GRADING & EROSION
CONTROL INITIAL PLAN

G1.3

Sheet 7 of 22



KEY MAP

SCALE: 1"=300'

LEGEND

- | | |
|--|--|
| | EXISTING MAJOR CONTOUR |
| | EXISTING MINOR CONTOUR |
| | PROPOSED MAJOR CONTOUR |
| | PROPOSED MINOR CONTOUR |
| | EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY) |
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| | PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY) |
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| | EXISTING LOT LINE |
| | PROPOSED LOT LINE |
| | EXISTING EASEMENT |
| | PROPOSED EASEMENT |
| | EXISTING STORM DRAIN PIPE |
| | PROPOSED STORM DRAIN PIPE |
| | EXISTING WATER LINE |
| | PROPOSED WATER LINE |
| | EXISTING SANITARY SEWER LINE |
| | PROPOSED SANITARY SEWER LINE |
| | EXISTING DRAINAGE FEATURE OUTLINE |
| | PROPOSED DRAINAGE FEATURE OUTLINE |
| | EXISTING SWALE WITH FLOW DIRECTION |
| | PROPOSED SWALE WITH FLOW DIRECTION |
| | 100-YEAR FEMA FLOODPLAIN |
| | PROPOSED CONCRETE |
| | PROPOSED CDOT CLASS 6 GRAVEL |
| | PROPOSED RIP RAP |
| | EXISTING CONCRETE PAVING |
| | EXISTING CDOT CLASS 6 GRAVEL |
| | EXISTING 1" TO 2" CRUSHED ROCK |
| | EXISTING RIP RAP |
| | EXISTING GROUTED BOULDERS |
| | PROPOSED LOT # |
| | EXISTING LOT # |
| | EXISTING SLOPE (PERCENT) |
| | EXISTING SLOPE (RISE:RUN) |

NOTES

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BENCHMARK

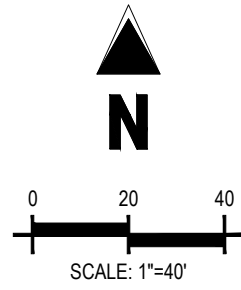
THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4. MONUMENTED BY A
YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L# 24954 ELEVATION = 6947.67

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Know what's **below**.
Call before you dig.



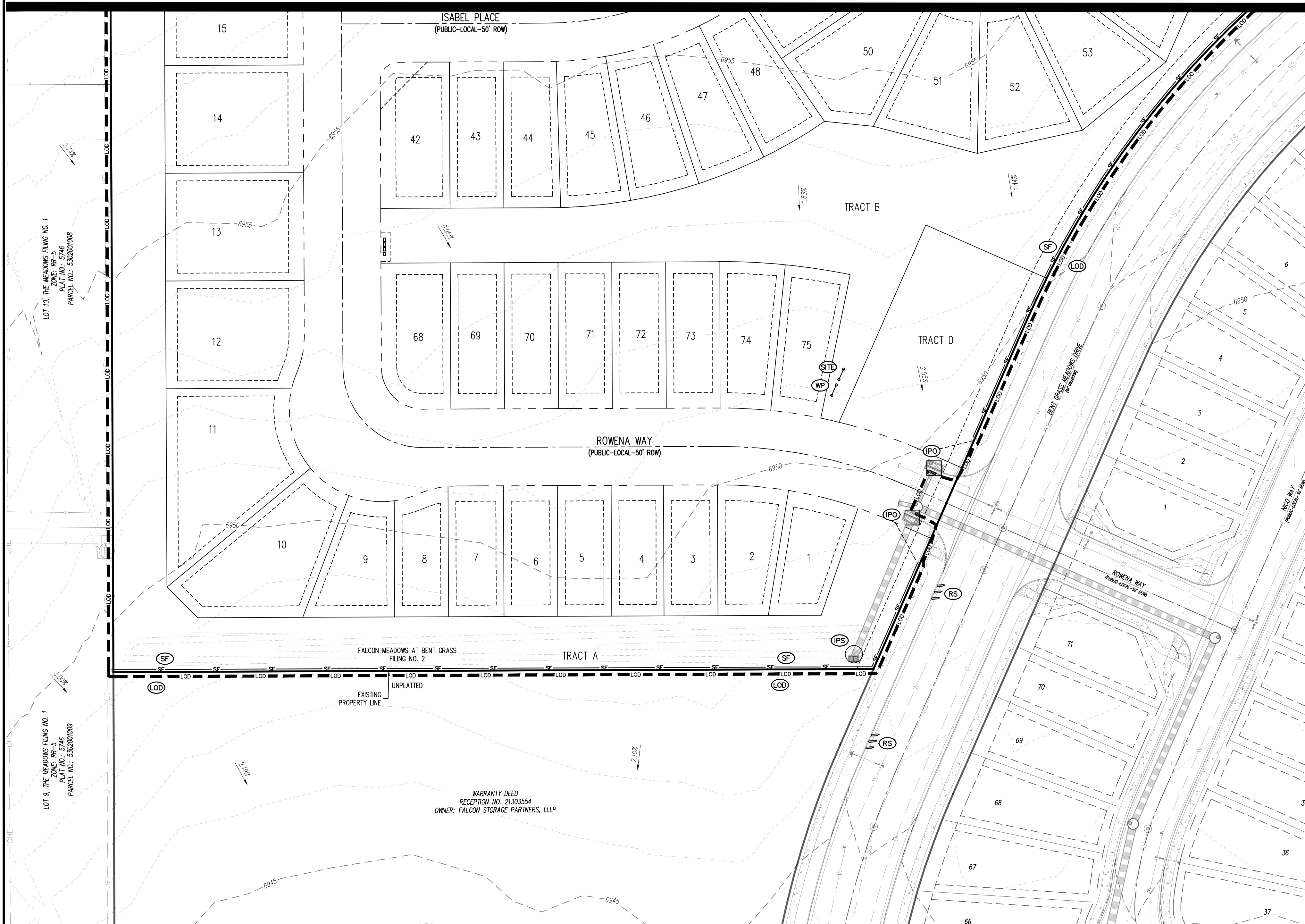
EROSION CONTROL LEGEND

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- LOD** **(LOD)** LIMITS OF DISTURBANCE / CONSTRUCTION
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| | (SF) SILT FENCE |
| | (IPS) SUMP INLET PROTECTION |
| | (IPO) ON-GRADE INLET PROTECTION |
| | (RS) ROCK SOCKS |
| | (SITE) SITE (CONTACTS AND PERMITS) |
| | (WP) WASHOUT POSTING |
| | (SCL) SEDIMENT CONTROL LOG |

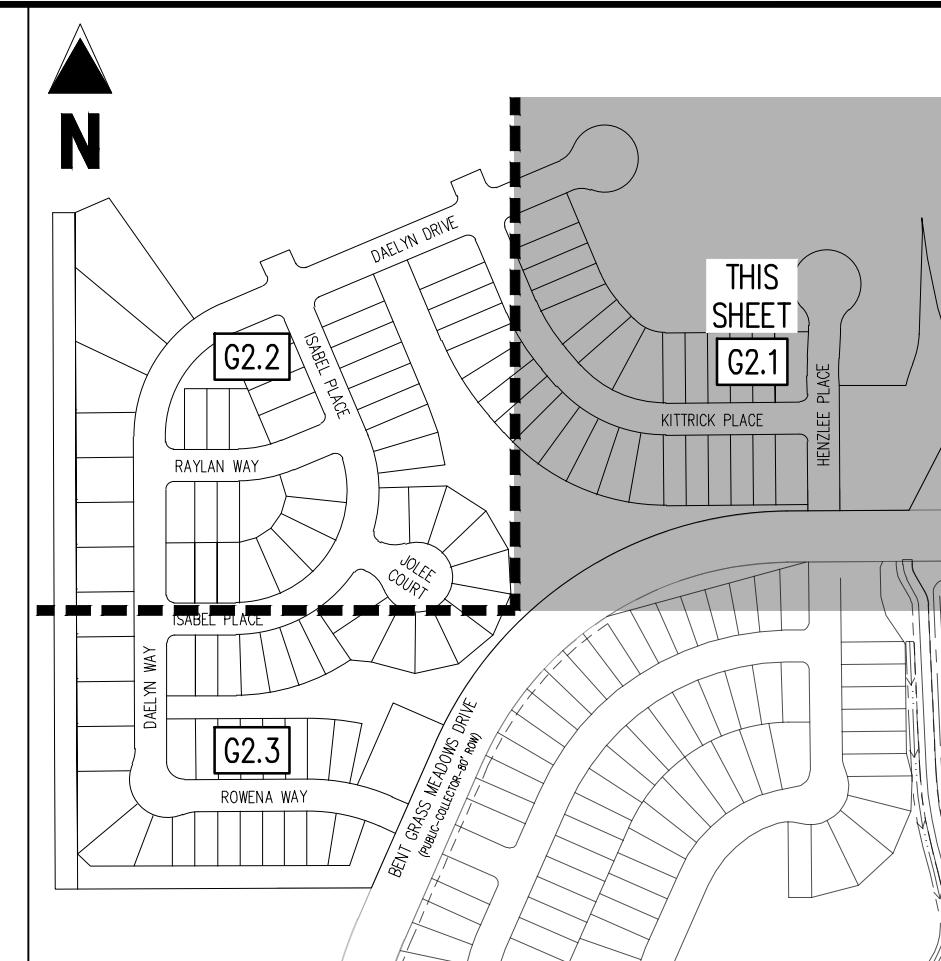
EROSION CONTROL PHASING SCHEDULE

PHASE	DESCRIPTION
INITIAL	INSTALL SITE POSTING, SILT FENCE, INLET PROTECTION MEASURES ON EXISTING INLETS, AND CURB SOOCS ALONG EXISTING GRASS MEADOWS DRIVE
INTERMEDIATE	CONVERT EXISTING SEDIMENT BASIN FROM "EARLY GRASSES & EROSION CONTROL PLANTS" TO THE PROPOSED WATER QUALITY CAPTURE VOLUME DETENTION BASIN W/ ALL PERMANENT CONTROL MEASURES, THEN, INSTALL STABILIZED STAGING AREA, VEHICLE TRACKING CONTROL, AT ENTRANCES, AND CONCRETE WASHOUT AREA, THEN OVERLID GRADE THE ENTIRE PROJECT SITE AS SHOWN ON PLAN NEW, INCLUDING ALL CURB BARRIERS ALONG INTERNAL ROADSWAYS, AND INSTALL CHECK DAMS ALONG PROPOSED SLOPES. FINALLY, INSTALL PROPOSED STORM SEWER. CONTRACTOR TO USE EXTREME CAUTION TO NOT DAMAGE THE WATER AND WASTEWATER IMPROVEMENTS COMPLETED IN THE EARLY METRO DISTRICT/IMPROVEMENTS PLAN SET.
FINAL	CONSTRUCT CURB/GUTTER AND PAVEMENT, CONSTRUCT GAS/ELCTRIC/CABLE/PHONE IN ROW AREAS. REMOVE CONSTRUCTION BMP'S AND VERTICAL CURB/CONSTRUCTION OF HOUSES AND APPLICABLE LANDSCAPING IS COMPLETE.

MATCHLINE SHEET G1.2



p:\Challenge\Homes Inc\CO, Falcon - CUH000319 - FM at Bent Grass F2\CUH03-CD\GEC\CUH19_G1.3_GEC Initial Plan.dwg - Caleb Johnson - 8/3/2021



KEY MAP
SCALE: 1"=300'

LEGEND

	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING DRAINAGE FEATURE OUTLINE
	PROPOSED DRAINAGE FEATURE OUTLINE
	EXISTING SWALE WITH FLOW DIRECTION
	PROPOSED SWALE WITH FLOW DIRECTION
	100-YEAR FEMA FLOODPLAIN
	PROPOSED RIP RAP
	EXISTING CONCRETE PAVING
	EXISTING CDOT CLASS 6 GRAVEL
	EXISTING 1" TO 2" CRUSHED ROCK
	EXISTING RIP RAP
	EXISTING GROUTED BOULDERS
	PROPOSED LOT #
113	EXISTING LOT #
15	EXISTING SLOPE (PERCENT)
	EXISTING SLOPE (PERCENT)
4:1	EXISTING SLOPE (RISE:RUN)
	PROPOSED SLOPE (PERCENT)
4:1	PROPOSED SLOPE (RISE:RUN)

NOTES

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2. EXISTING VEGETATION ON THE PROJECT SITE CONSISTS OF NATIVE GRASSES AND SHRUBS.
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BENCHMARK

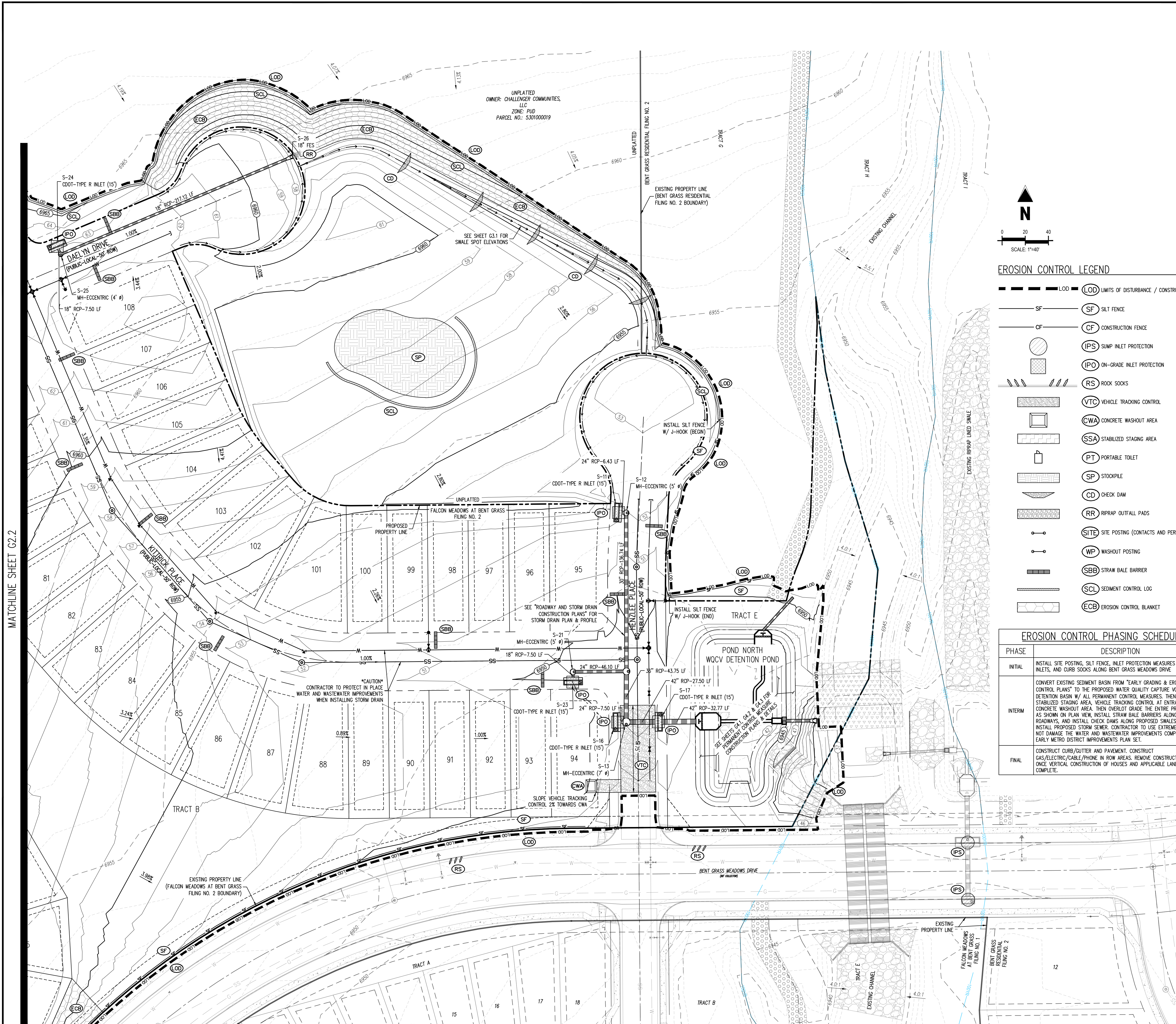
THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4. MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR LS# 24954 ELEVATION = 6947.67

CAUTION - NOTICE TO CONTRACTOR

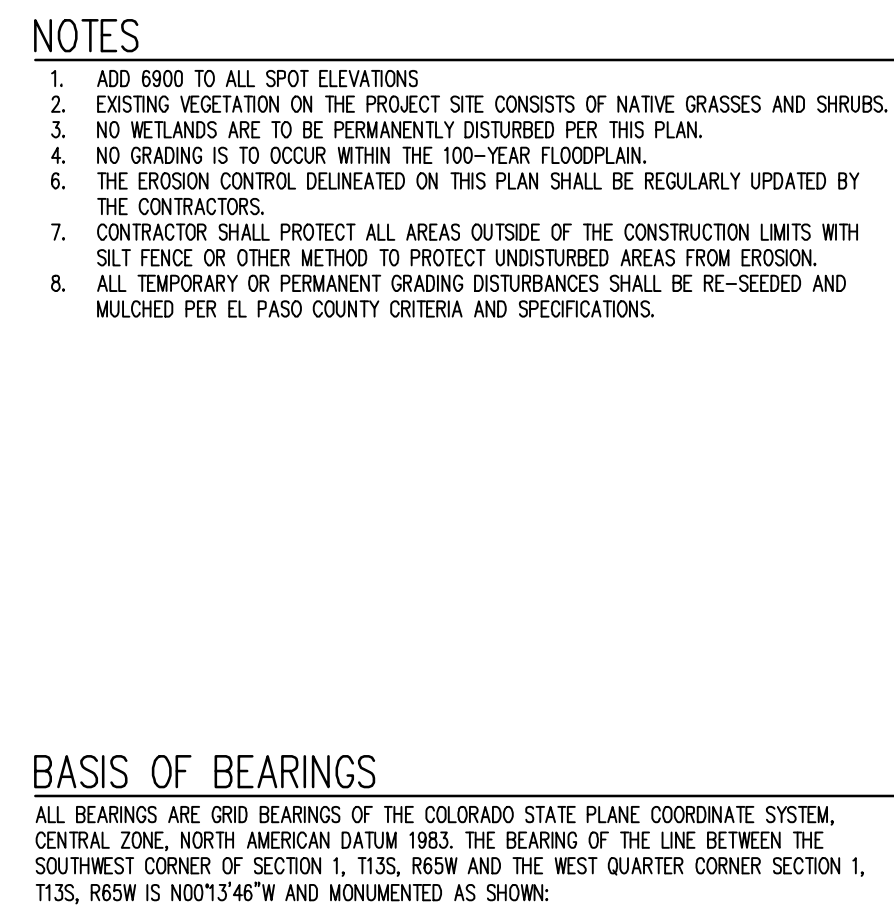
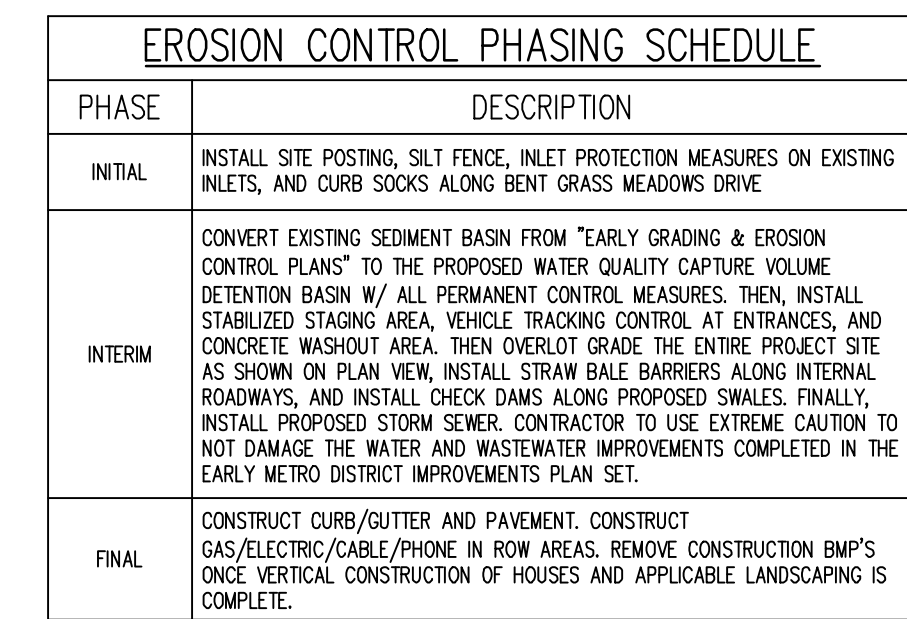
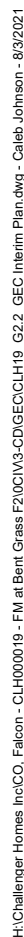
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Know what's **below**.
Call before you c



MATCHLINE SHEET G2.2

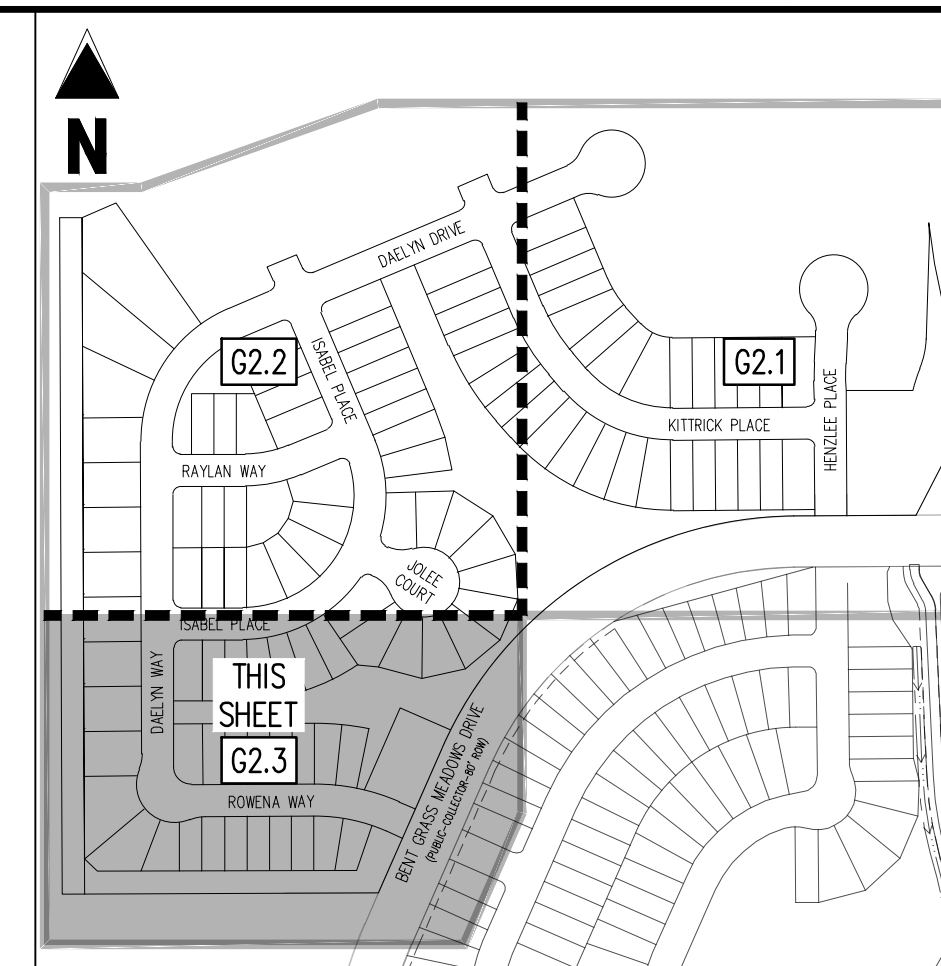


Know what's **below**.
Call before you dig.

GRADING & EROSION CONTROL INTERIM PLAN

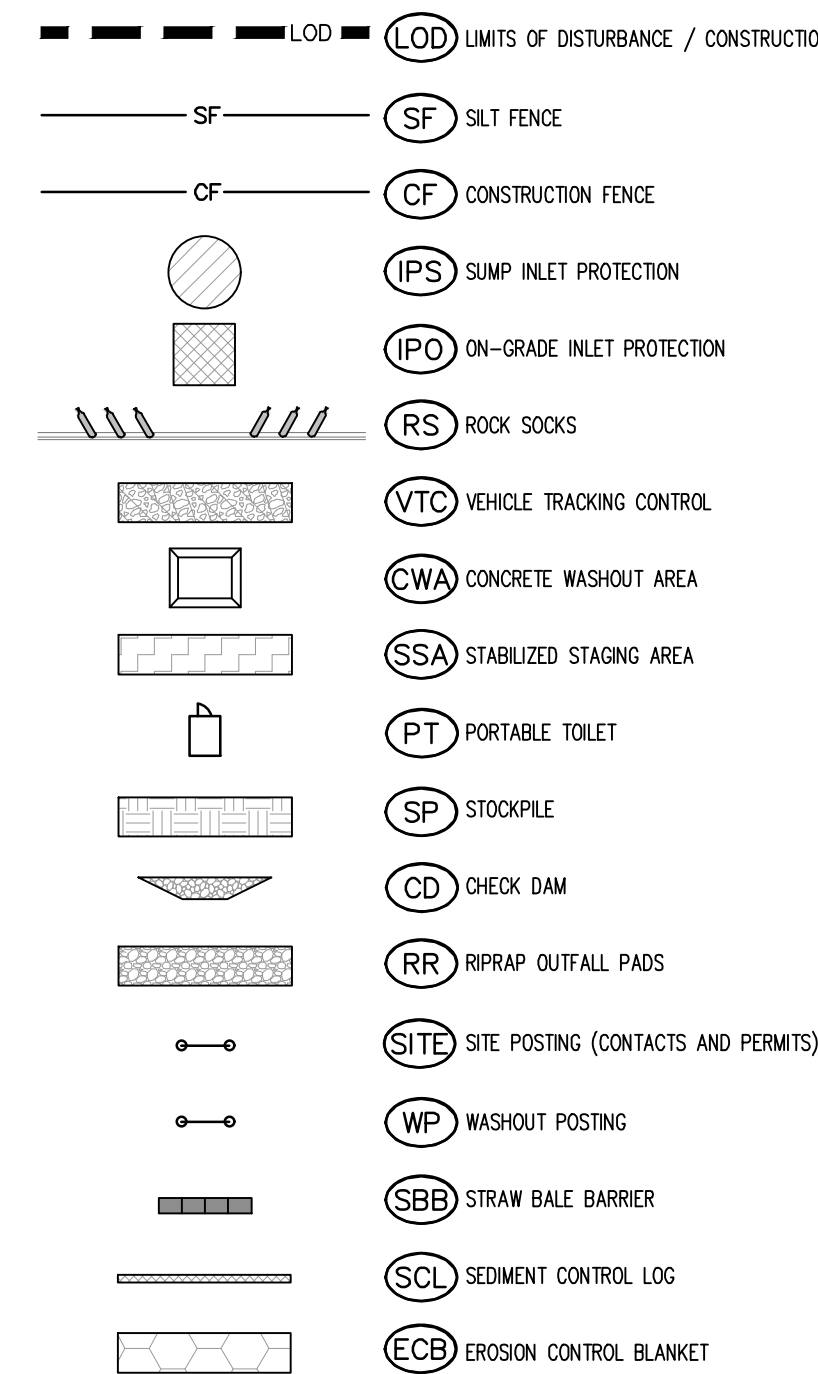
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Project No:	CLH000019
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021



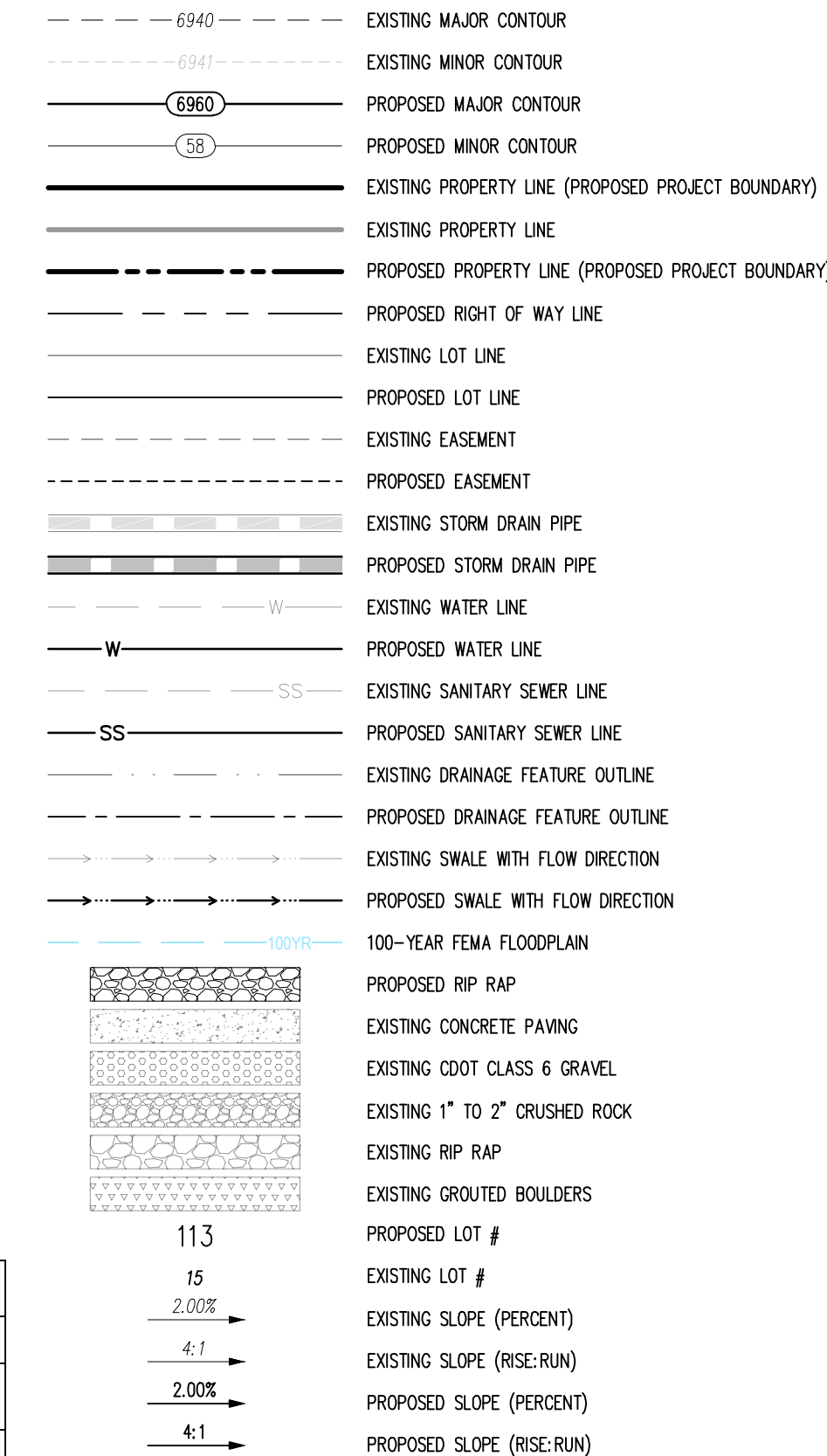
KEY MAP
SCALE: 1"=300'

EROSION CONTROL LEGEND



EROSION CONTROL PHASING SCHEDULE	
PHASE	DESCRIPTION
INITIAL	INSTALL SITE POSTING, SLIT FENCE, INLET PROTECTION MEASURES ON EXISTING INLETS, AND CURB SODS ALONG BEST GRASS MEADOWS DRIVE
INTERIM	CONVERT EXISTING SEDIMENT BASIN FROM "EARLY GRADING & EROSION CONTROL PLANS" TO THE PROPOSED WATER QUALITY CAPTURE VOLUME DETENTION BASIN W/ ALL PERMANENT CONTROL MEASURES. THEN, INSTALL STABILIZED STAGING AREA, VEHICLE TRACKING CONTROL AT ENTRANCES, AND CONCRETE WASHOUT AREA, THEN OVERLIFT GRADE THE ENTIRE PROJECT SITE AS SHOWN ON PLAN VIEW. CORRESPONDING TO THE PROPOSED INTERIM ROADWAYS, AND INSTALL CHECK DAMS ALONG PROPOSED SLOPES. FINALLY, INSTALL PROPOSED STORM SEWER CONTRACTOR TO USE EXTREME CAUTION NOT DAMAGE THE WATER AND WASTEWATER IMPROVEMENTS COMPLETED IN THE EARLY METRO DISTRICT IMPROVEMENTS PLAN SET.
FINAL	CONSTRUCT CURB/GUTTER AND PAVEMENT. CONSTRUCT GAS/ELECTRIC/CABLE/PHONE IN ROW AREAS. REMOVE CONSTRUCTION BMP'S AND VERTICAL CURBING OF HOUSES AND APPLICABLE LANDSCAPING. COMPLETE.

LEGEND



NOTES

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2. EXISTING VEGETATION ON THE PROJECT SITE CONSISTS OF NATIVE GRASSES AND SHRUBS.
3. NO WETLANDS ARE TO BE PERMANENTLY DISTURBED BY THIS PLAN.
4. NO GRADING IS TO OCCUR WITHIN THE 100-YEAR FLOODPLAIN.
5. THE EROSION CONTROL, DELINEATED ON THIS PLAN SHALL BE REGULARLY UPDATED BY THE CONTRACTORS.
6. CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE OF THE CONSTRUCTION LIMITS WITH SILT FENCE OR OTHER METHOD TO PROTECT UNDISTURBED AREAS FROM EROSION.
7. ALL TEMPORARY OR PERMANENT GRADING DISTURBANCES SHALL BE RE-SEEDDED AND MULCHED PER EL PASO COUNTY CRITERIA AND SPECIFICATIONS.

BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N00°13'46"W AND MONUMENTED AS SHOWN:

BENCHMARK

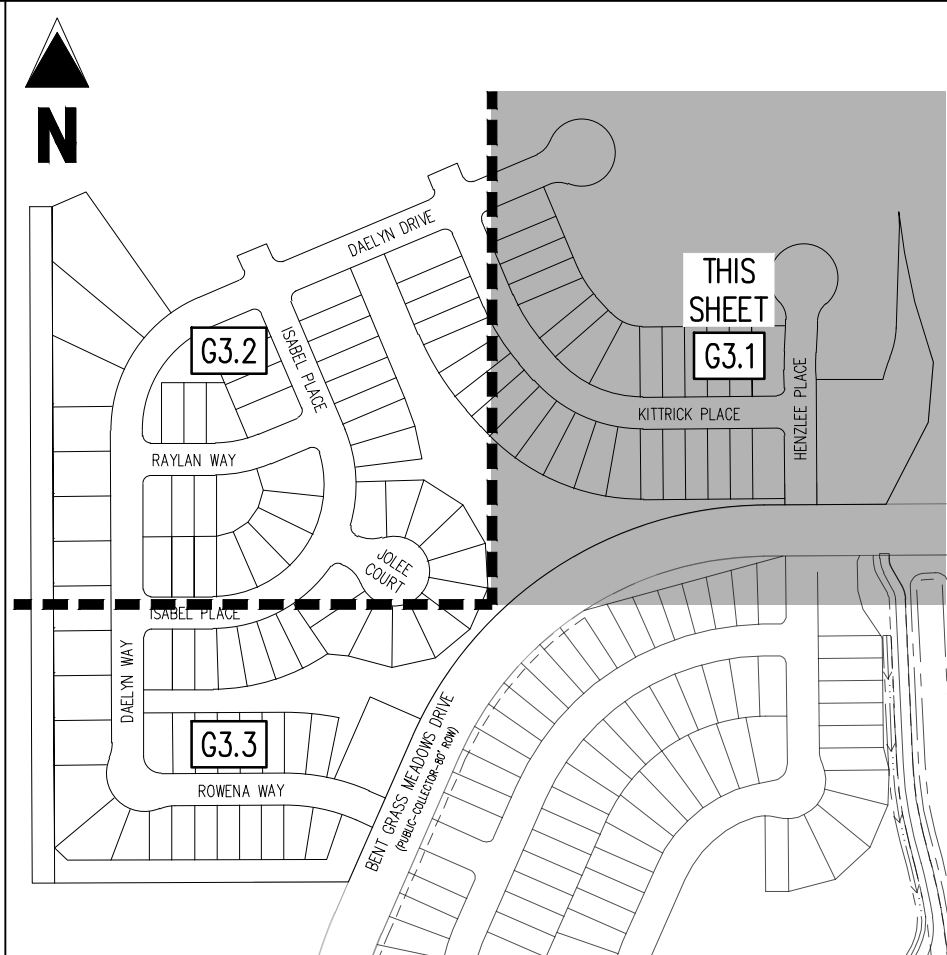
THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4. MONUMENTED BY A
YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR LS# 24954 ELEVATION = 6947.67

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY EITHER THROUGH POT-HOLES OR AN ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



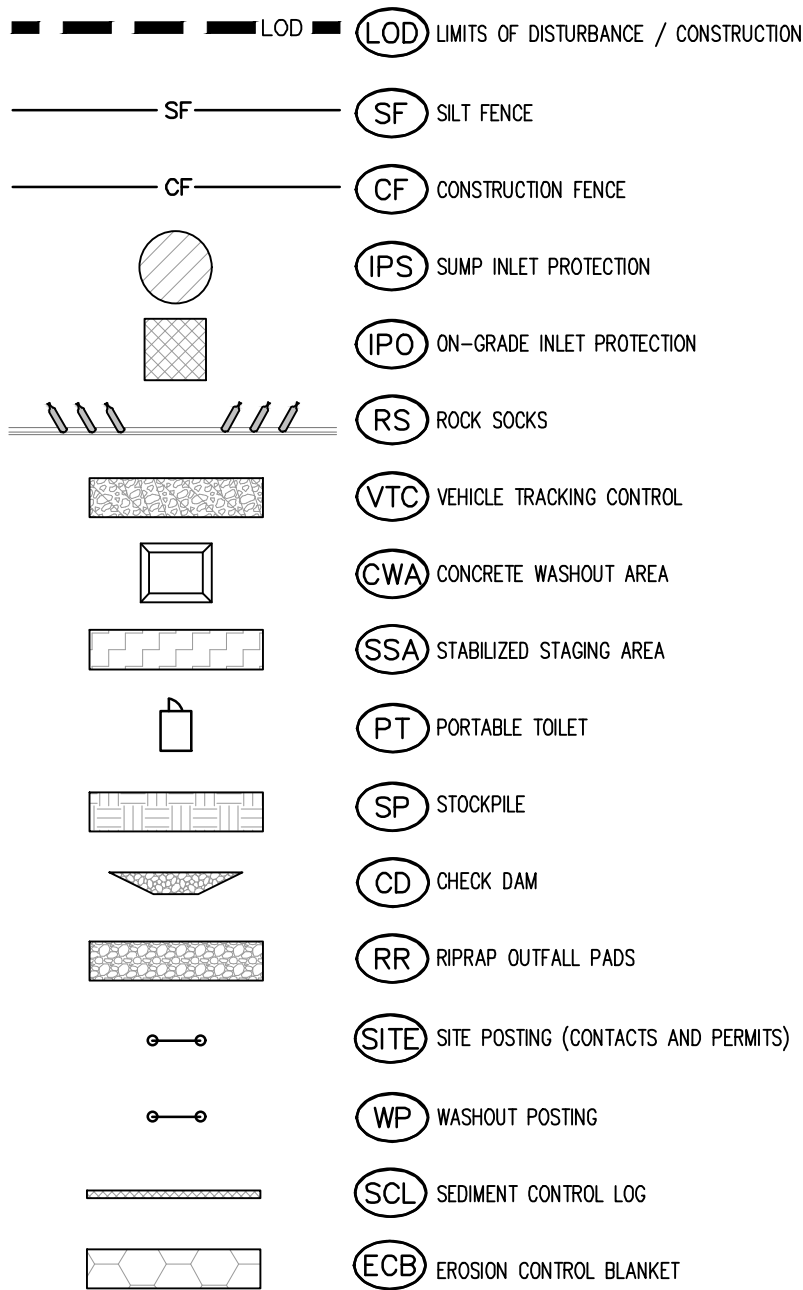
Know what's **below**.
Call before you c



KEY MAP

SCALE: 1"=300'

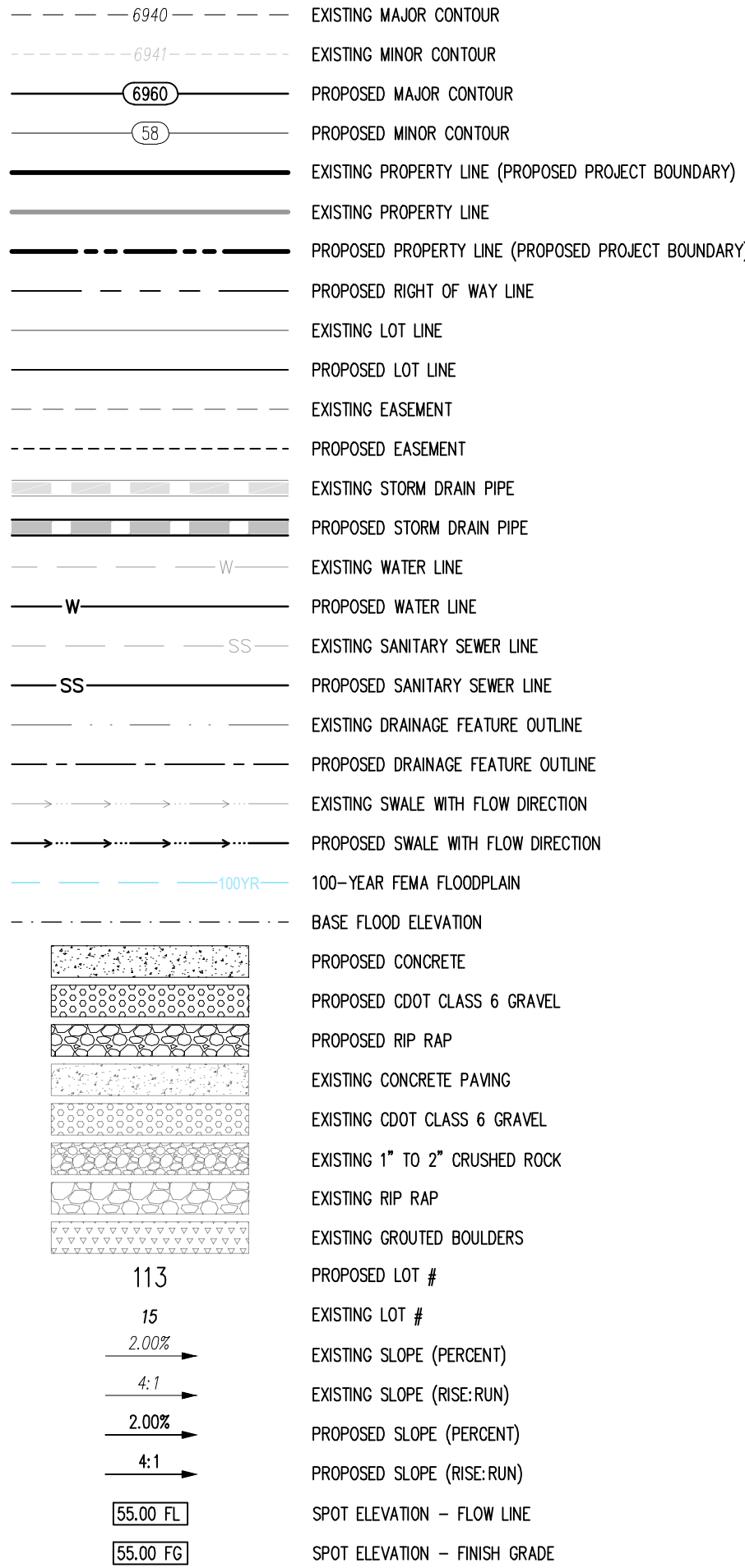
EROSION CONTROL LEGEND



EROSION CONTROL PHASING SCHEDULE

PHASE	DESCRIPTION
INITIAL	INSTALL SITE POSTING, SILENT INLET, PROTECTION MEASURES ON EXISTING INLETS, AND CURB SLOKS ALONG ALL GRASS MEADOWS DRIVE
INTERIM	CONVERT EXISTING SEDIMENT BASIN FROM "EARLY GRASS & EROSION CONTROL PLANTS" TO THE PROPOSED WATER QUALITY CAPTURE VOLUME DETENTION BASIN W/ ALL PERMANENT CONTROL MEASURES, THEN, INSTALL STABILIZED STAGING AREA, VEHICLE TRACKING CONTROL AT ENTRANCES, AND CONCRETE WAPAGE AREA, THEN OVERLID GRASS. THE ENTIRE PROJECT SITE AS SHOWN ON PLAN MAY NOW INSTALL STRAW BARRIERS ALONG INTERNAL ROADWAYS, AND INSTALL CHECK DAMS ALONG PROPOSED SLOPES. FINALLY, INSTALL PROPOSED STORM SEWER. CONTRACTOR TO USE EXTREME CAUTION TO NOT DAMAGE THE WATER AND WASTEWATER IMPROVEMENTS COMPLETED IN THE FIRST METRO DISTRICT IMPROVEMENTS PLAN SET.
FINAL	CONSTRUCT CURB/GUTTER AND PAVEMENT, CONSTRUCT ALL ELECTRIC/CABLE PHONES IN ROW AREAS, REMOVE CONSTRUCTION BMP'S ONCE VERTICAL CONSTRUCTION OF HOUSES AND APPLICABLE LANDSCAPING IS COMPLETE.

LEGEND



NOTES

1. ADD 6900 TO ALL SPOT ELEVATIONS
2. EXISTING VEGETATION ON THE PROJECT SITE CONSISTS OF NATIVE GRASSES AND SHRUBS
3. NO WETLANDS ARE TO BE PERMANENTLY DISTURBED PER THIS PLAN.
4. NO GRADING IS TO OCCUR WITHIN THE 100-YEAR FLOODPLAIN.
5. THE EROSION CONTROL DELINEATED ON THIS PLAN SHALL BE REGULARLY UPDATED BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE OF THE CONSTRUCTION LIMITS WITH SILT FENCE OR OTHER METHOD TO PROTECT UNDISTURBED AREAS FROM EROSION.
7. ALL TEMPORARY OR PERMANENT GRADING DISTURBANCES SHALL BE RE-SEEDDED AND MULCHED PER EL PASO COUNTY CRITERIA AND SPECIFICATIONS.

BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N00°13'46"W AND MONUMENTED AS SHOWN:

BENCHMARK

THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4. MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR LS# 24954 ELEVATION = 6947.67

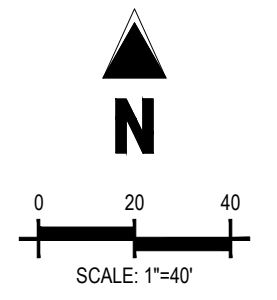
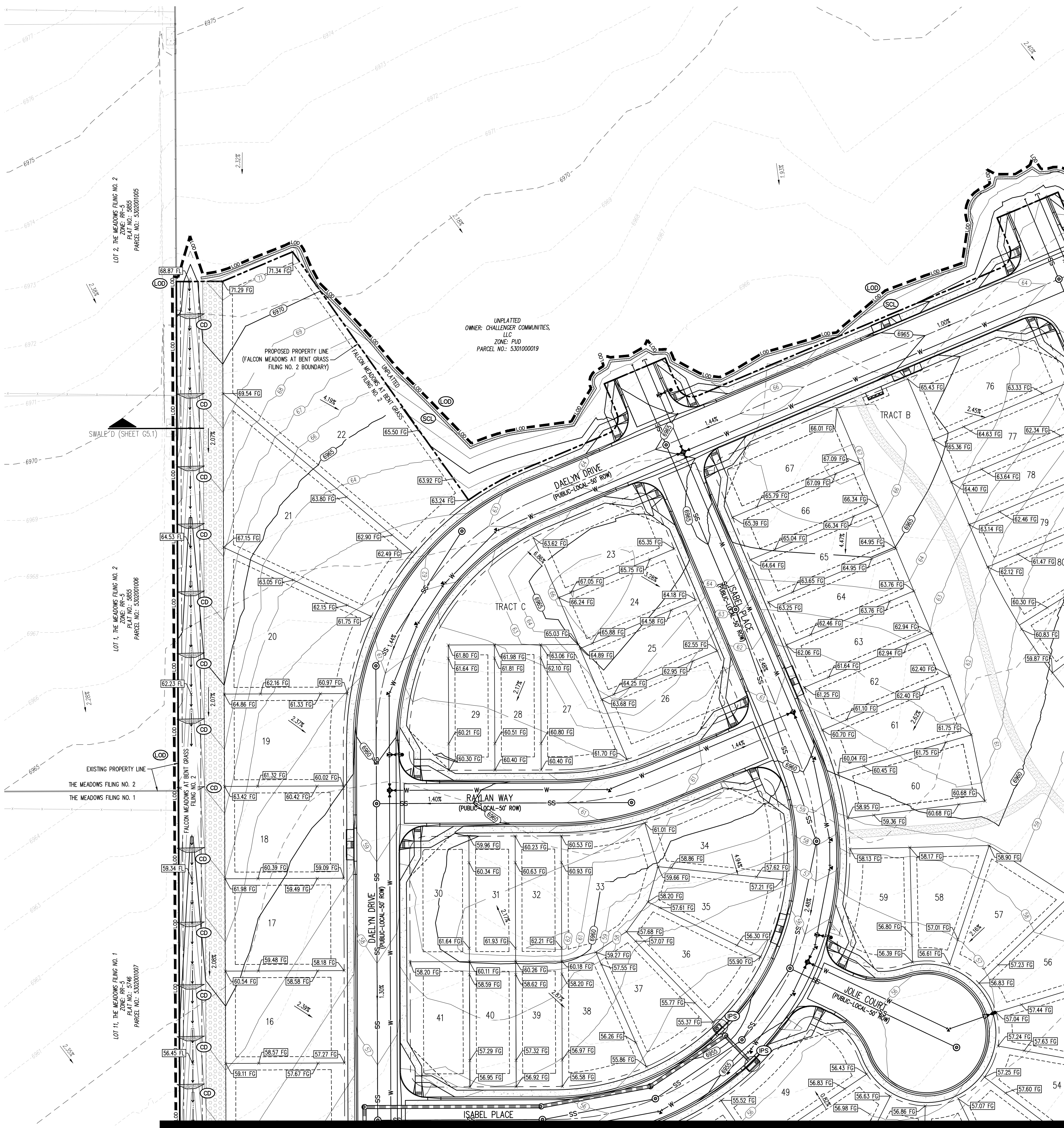
CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD, REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's **below**.
Call before you c

11 Challenger Homes INC, P.O. Box 11111, Colorado Springs, CO 80901. All Rights Reserved. 06/23/2021



- EROSION CONTROL LEGEND**
- LOD (LOD) LIMITS OF DISTURBANCE / CONSTRUCTION
 - SF (SF) SILT FENCE
 - CF (CF) CONSTRUCTION FENCE
 - IPS (IPS) SUMP INLET PROTECTION
 - IPO (IPO) ON-GRADE INLET PROTECTION
 - RS (RS) ROCK SOCKS
 - VTC (VTC) VEHICLE TRACKING CONTROL
 - CWA (CWA) CONCRETE WASHOUT AREA
 - SSA (SSA) STABILIZED STAGING AREA
 - PT (PT) PORTABLE TOILET
 - SP (SP) STOCKPILE
 - CD (CD) CHECK DAM
 - RR (RR) RIPRAP OUTFALL PADS
 - SITE (SITE) SITE POSTING (CONTACTS AND PERMITS)
 - WP (WP) WASHOUT POSTING
 - SCL (SCL) SEDIMENT CONTROL LOG
 - ECB (ECB) EROSION CONTROL BLANKET

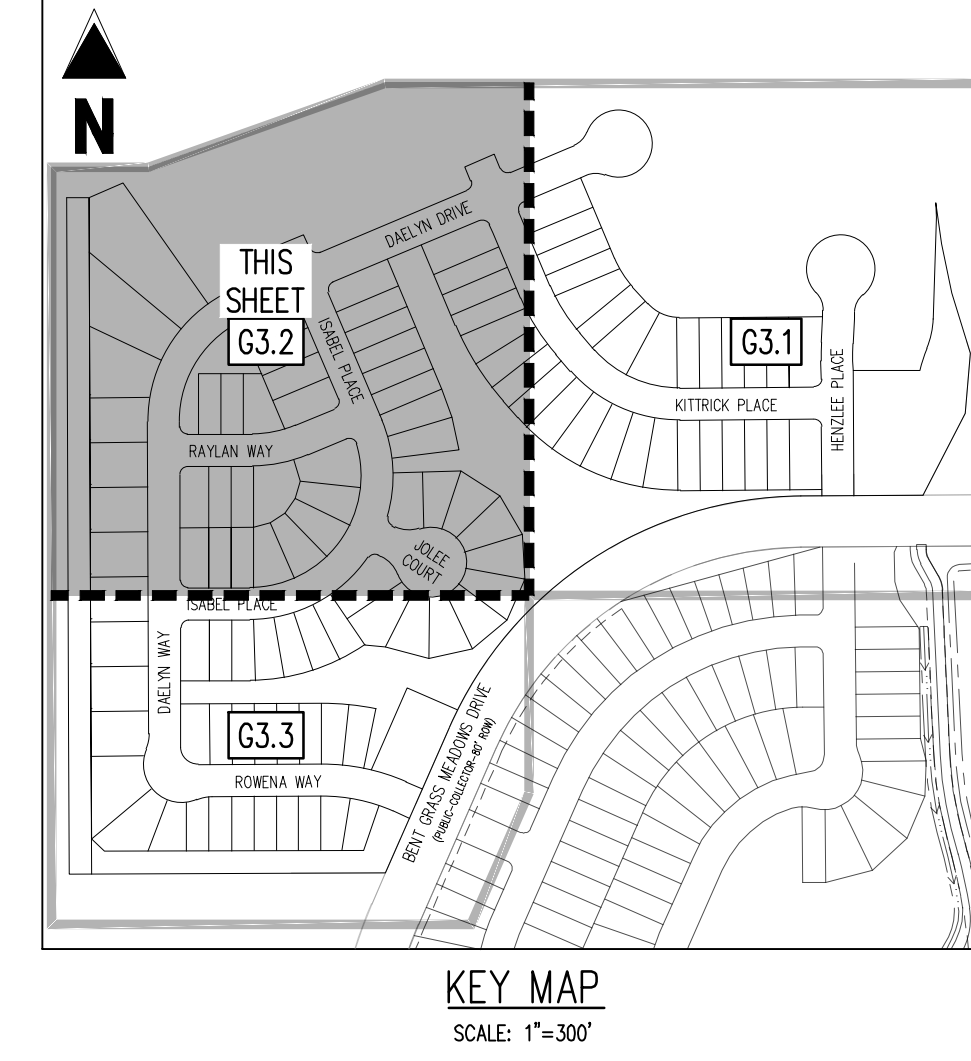
EROSION CONTROL PHASING SCHEDULE	
PHASE	DESCRIPTION
INITIAL	INSTALL SITE POSTING, SILT FENCE, INLET PROTECTION MEASURES ON EXISTING INLETS, AND CURB SOCKS ALONG BENT GRASS MEADOWS DRIVE
INTERIM	CONVERT EXISTING SEDIMENT BASIN FROM "EARLY GRADING & EROSION CONTROL PLANS" TO THE PROPOSED WATER QUALITY CAPTURE VOLUME DETENTION BASIN W/ ALL PERMANENT CONTROL MEASURES. THEN, INSTALL STABILIZED STAGING AREA, VEHICLE TRACKING CONTROL AT ENTRANCES, AND CONCRETE WASHOUT AREA. THEN OVERLOT GRADE THE ENTIRE PROJECT SITE AS SHOWN ON PLAN VIEW. INSTALL STRAW BALE BARRIERS ALONG INTERNAL ROADWAYS, AND INSTALL CHECK DAMS ALONG PROPOSED SWALES. FINALLY, INSTALL PROPOSED STORM SEWER. CONTRACTOR TO USE EXTREME CAUTION TO NOT DAMAGE THE WATER AND WASTEWATER IMPROVEMENTS COMPLETED IN THE EARLY METRO DISTRICT IMPROVEMENTS PLAN SET.
FINAL	CONSTRUCT CURB/GUTTER AND PAVEMENT. CONSTRUCT GAS/ELECTRIC/CABLE/PHONE IN ROW AREAS. REMOVE CONSTRUCTION BMP'S ONCE VERTICAL CONSTRUCTION OF HOUSES AND APPLICABLE LANDSCAPING IS COMPLETE.

- NOTES**
- ADD 6900 TO ALL SPOT ELEVATIONS
 - EXISTING VEGETATION ON THE PROJECT SITE CONSISTS OF NATIVE GRASSES AND SHRUBS.
 - NO MEADOWS ARE TO BE PERMANENTLY DISTURBED PER THIS PLAN.
 - NO GRADING IS TO OCCUR WITHIN THE 100-YEAR FLOODPLAIN.
 - THE EROSION CONTROL DELINEATED ON THIS PLAN SHALL BE REGULARLY UPDATED BY THE CONTRACTORS.
 - CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE OF THE CONSTRUCTION LIMITS WITH SILT FENCE OR OTHER METHOD TO PROTECT UNDISTURBED AREAS FROM EROSION.
 - ALL TEMPORARY OR PERMANENT GRADING DISTURBANCES SHALL BE RE-SEEDING AND MULCHED PER EL PASO COUNTY CRITERIA AND SPECIFICATIONS.

BASIS OF BEARINGS
ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 1, T13S, R65W AND THE WEST QUARTER CORNER SECTION 1, T13S, R65W IS N001°5'46"W AND MONUMENTED AS SHOWN.

BENCHMARK
THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4, MONUMENTED BY A YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L#24954 ELEVATION = 6947.67

- CAUTION - NOTICE TO CONTRACTOR**
- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
 - WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



- LEGEND**
- 6940 EXISTING MAJOR CONTOUR
 - 6941 EXISTING MINOR CONTOUR
 - 6960 PROPOSED MAJOR CONTOUR
 - 6961 PROPOSED MINOR CONTOUR
 - SB EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
 - SB PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
 - SB PROPOSED RIGHT OF WAY LINE
 - SB EXISTING LOT LINE
 - SB PROPOSED LOT LINE
 - SB EXISTING EASEMENT
 - SB PROPOSED EASEMENT
 - SB EXISTING STORM DRAIN PIPE
 - SB PROPOSED STORM DRAIN PIPE
 - W EXISTING WATER LINE
 - W PROPOSED WATER LINE
 - SS EXISTING SANITARY SEWER LINE
 - SS PROPOSED SANITARY SEWER LINE
 - SS EXISTING DRAINAGE FEATURE OUTLINE
 - SS PROPOSED DRAINAGE FEATURE OUTLINE
 - SS EXISTING SWALE WITH FLOW DIRECTION
 - SS PROPOSED SWALE WITH FLOW DIRECTION
 - SS 100-YEAR FEMA FLOODPLAIN
 - SS BASE FLOOD ELEVATION
 - SS PROPOSED CONCRETE
 - SS PROPOSED CDOT CLASS 6 GRAVEL
 - SS PROPOSED RIP RAP
 - SS EXISTING CONCRETE PAVING
 - SS EXISTING CDOT CLASS 6 GRAVEL
 - SS EXISTING 1" TO 2" CRUSHED ROCK
 - SS EXISTING RIP RAP
 - SS EXISTING GROUDED BOULDERS
 - SS PROPOSED LOT #
 - SS EXISTING LOT #
 - SS EXISTING SLOPE (PERCENT)
 - SS EXISTING SLOPE (RISE:RUN)
 - SS PROPOSED SLOPE (PERCENT)
 - SS PROPOSED SLOPE (RISE:RUN)
 - SS SPOT ELEVATION - FLOW LINE
 - SS SPOT ELEVATION - FINISH GRADE

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**FINAL GRADING & EROSION CONTROL PLANS
FALCON MEADOWS AT BENT GRASS FILING NO. 2
FOR
CHALLENGER COMMUNITIES, LLC**
BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD
FALCON, CO 80831 - EL PASO COUNTY

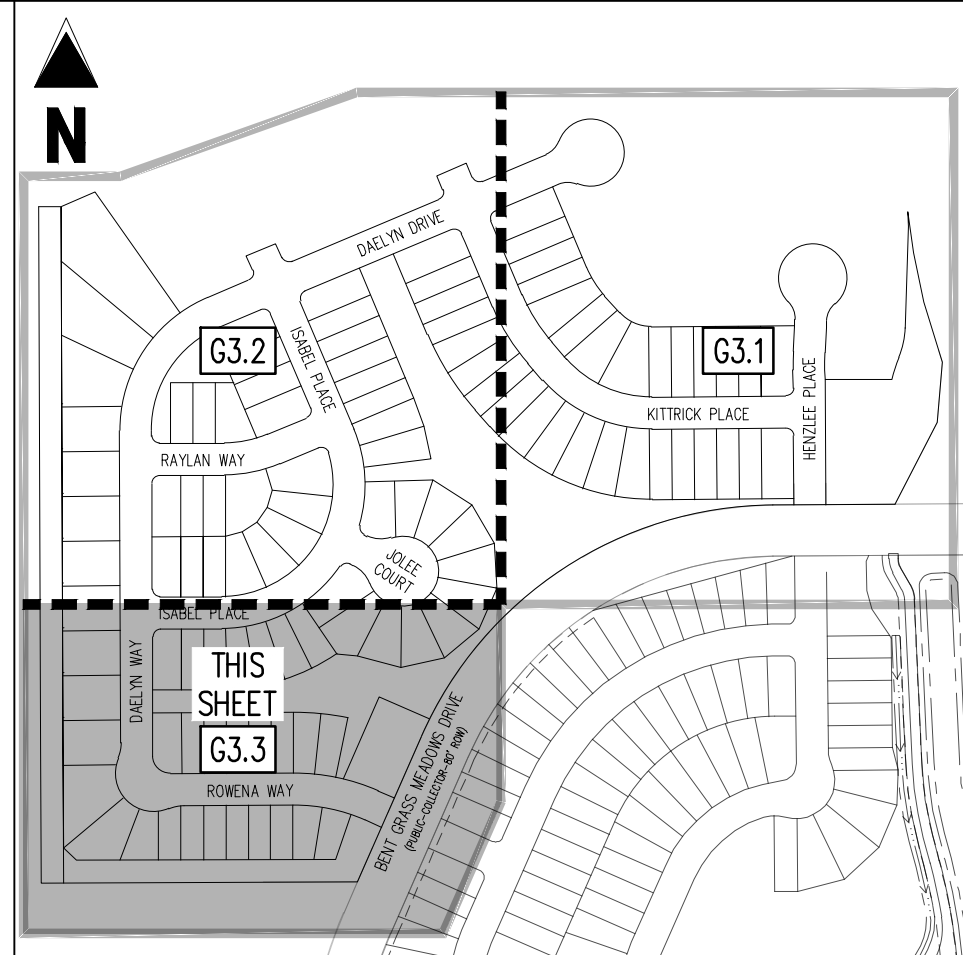
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Project No:	CLH000019
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

**GRADING & EROSION
CONTROL FINAL PLAN**













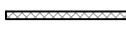

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Project No:	CLH000019
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021



KEY MAP
SCALE: 1"=300'

EROSION CONTROL LEGEND

— LEO —	(LOD) LIMITS OF DISTURBANCE / CONSTRUCTION
— SF —	(SF) SILT FENCE
— CF —	(CF) CONSTRUCTION FENCE
	(IPS) SUMP INLET PROTECTION
	(IPO) ON-GRADE INLET PROTECTION
	(RS) ROCK SOCKS
	(VTC) VEHICLE TRACKING CONTROL
	(CWA) CONCRETE WASHOUT AREA
	(SSA) STABILIZED STAGING AREA
	(PT) PORTABLE TOILET
	(SP) STOCKPILE
	(CD) CHECK DAM
	(RR) RIPRAP OUTFALL PADS
	(SITE) SITE POSTING (CONTACTS AND PERMITS)
	(WP) WASHOUT POSTING
	(SCL) SEDIMENT CONTROL LOG
	(ECB) EROSION CONTROL BLANKET

EROSION CONTROL PHASING SCHEDULE

PHASE	DESCRIPTION
INITIAL	INSTALL SITE POSTING, SILT FENCE, INLET PROTECTION MEASURES ON EXISTING INLETS, AND CURB SOAKS ALONG BEHIND GRASS MEADOWS DRIVE
TERM	CONVERT EXISTING SEDIMENT BASIN FROM "EARLY GRASS & EROSION CONTROL PLANS" TO THE PROPOSED WATER QUALITY CAPTURE VOLUME DETENTION BASIN #10 WITH ALL PERMANENT CONTROL MEASURES, THEN, INSTALL STABILIZED STAGING AREA, VEHICLE TRACKING CONTROL, AT ENTRANCES, AND CONCRETE WASHOUT AREA, THEN OVERLID GRADE THE ENTIRE PROJECT SITE AS SHOWN ON PLAN NEW, INSTALL CURB AND GUTTERS ALONGS INTERNAL ROADSWAYS, AND INSTALL CHECK DAMS ALONG PROPOSED SLOPES. FINALLY, INSTALL PROPOSED STORM SEWER. CONTRACTOR TO USE EXTREME CAUTION TO NOT DAMAGE THE WATER AND WASTEWATER IMPROVEMENTS COMPLETED IN THE EARLY METRO DISTRICT IMPROVEMENTS PLAN SET.
FINAL	CONSTRUCT CURB/GUTTER AND PAVEMENT, CONSTRUCT GAS/ELECTRIC/CABLE/PHONE IN ROW AREAS, REMOVE CONSTRUCTION BMP'S AND VERTICAL CURBING OF ROUSES AND APPLICABLE LANDSCAPING IS COMPLETE.

LEGEND

6940	EXISTING MAJOR CONTOUR
6341	EXISTING MINOR CONTOUR
6960	PROPOSED MAJOR CONTOUR
58	PROPOSED MINOR CONTOUR
	EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY)
	PROPOSED RIGHT OF WAY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
W	EXISTING WATER LINE
W	PROPOSED WATER LINE
SS	EXISTING SANITARY SEWER LINE
SS	PROPOSED SANITARY SEWER LINE
	EXISTING DRAINAGE FEATURE OUTLINE
	PROPOSED DRAINAGE FEATURE OUTLINE
	EXISTING SWALE WITH FLOW DIRECTION
	PROPOSED SWALE WITH FLOW DIRECTION
100YR	100-YEAR FEMA FLOODPLAIN
	BASE FLOOD ELEVATION
	PROPOSED CONCRETE
	PROPOSED CDOT CLASS 6 GRAVEL
	PROPOSED RIP RAP
	EXISTING CONCRETE PAVING
	EXISTING CDOT CLASS 6 GRAVEL
	EXISTING 1" TO 2" CRUSHED ROCK
	EXISTING RIP RAP
	EXISTING GROUTED BOULDERS
11.3	PROPOSED LOT #
15	EXISTING LOT #
2.00%	EXISTING SLOPE (PERCENT)
4:1	EXISTING SLOPE (RISE:RUN)
2.00%	PROPOSED SLOPE (PERCENT)
4:1	PROPOSED SLOPE (RISE:RUN)
55.00 FL	SPOT ELEVATION - FLOW LINE
55.00 FG	SPOT ELEVATION - FINISH GRADE

NOTES

1. ADD 6900 TO ALL SPOT ELEVATIONS
2. EXISTING VEGETATION ON THE PROJECT SITE CONSISTS OF NATIVE GRASSES AND SHRUBS.
3. NO WETLANDS ARE TO BE PERMANENTLY DISTURBED BY THIS PLAN.
4. NO GRADING IS TO OCCUR WITHIN THE 100-YEAR FLOODPLAIN.
5. THE EROSION CONTROL DELINEATED ON THIS PLAN SHALL BE REGULARLY UPDATED BY THE CONTRACTORS.
6. CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE OF THE CONSTRUCTION LIMITS WITH SILT FENCE OR OTHER METHOD TO PROTECT UNDISTURBED AREAS FROM EROSION.
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BENCHMARK

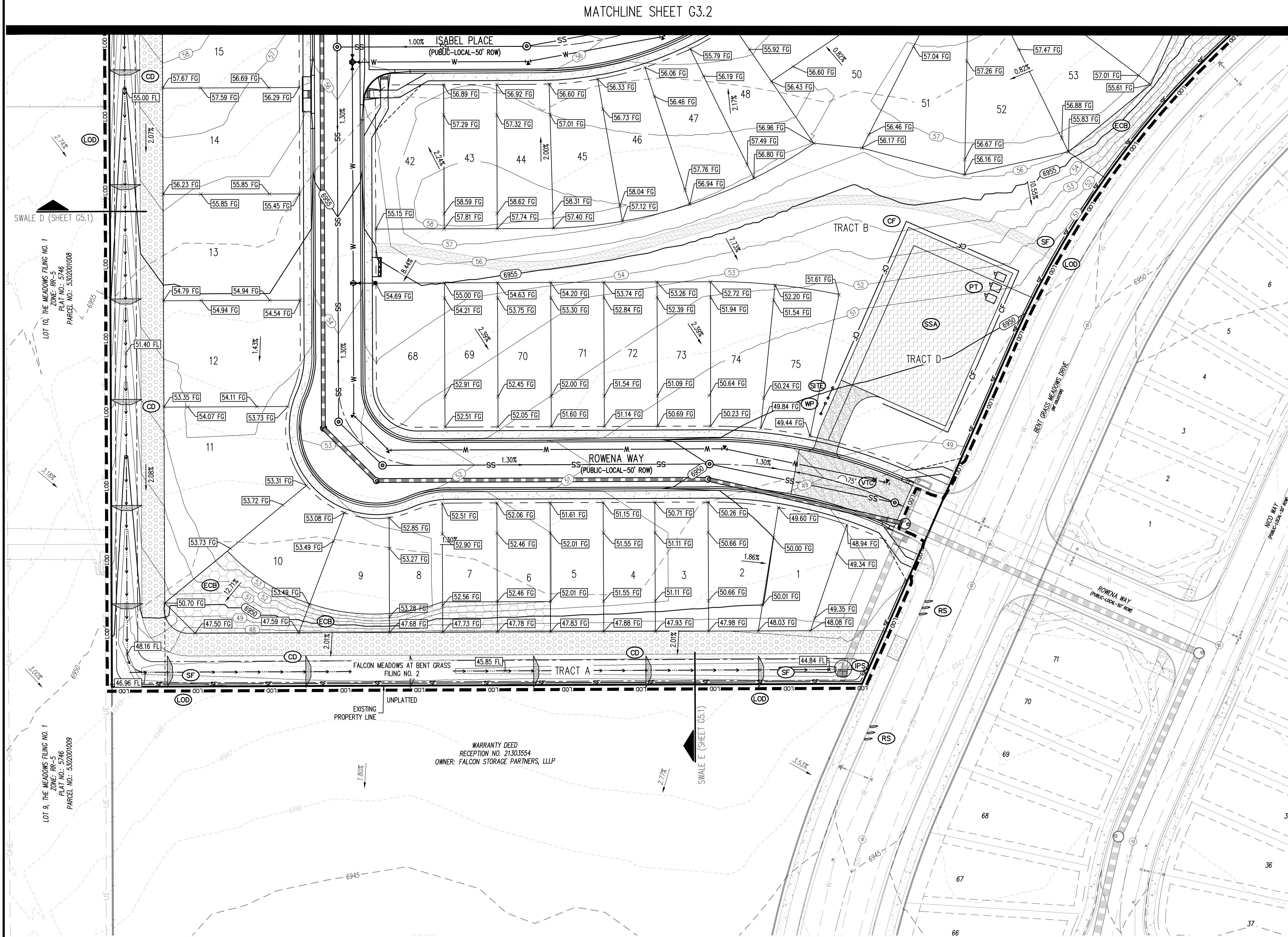
THE SOUTHWESTERLY CORNER OF LOT 1 WOODMEN HILLS FILING NO. 4. MONUMENTED BY A
YELLOW PLASTIC SURVEYORS CAP ON A NO. 4 REBAR L_S# 24954 ELEVATION = 6947.67

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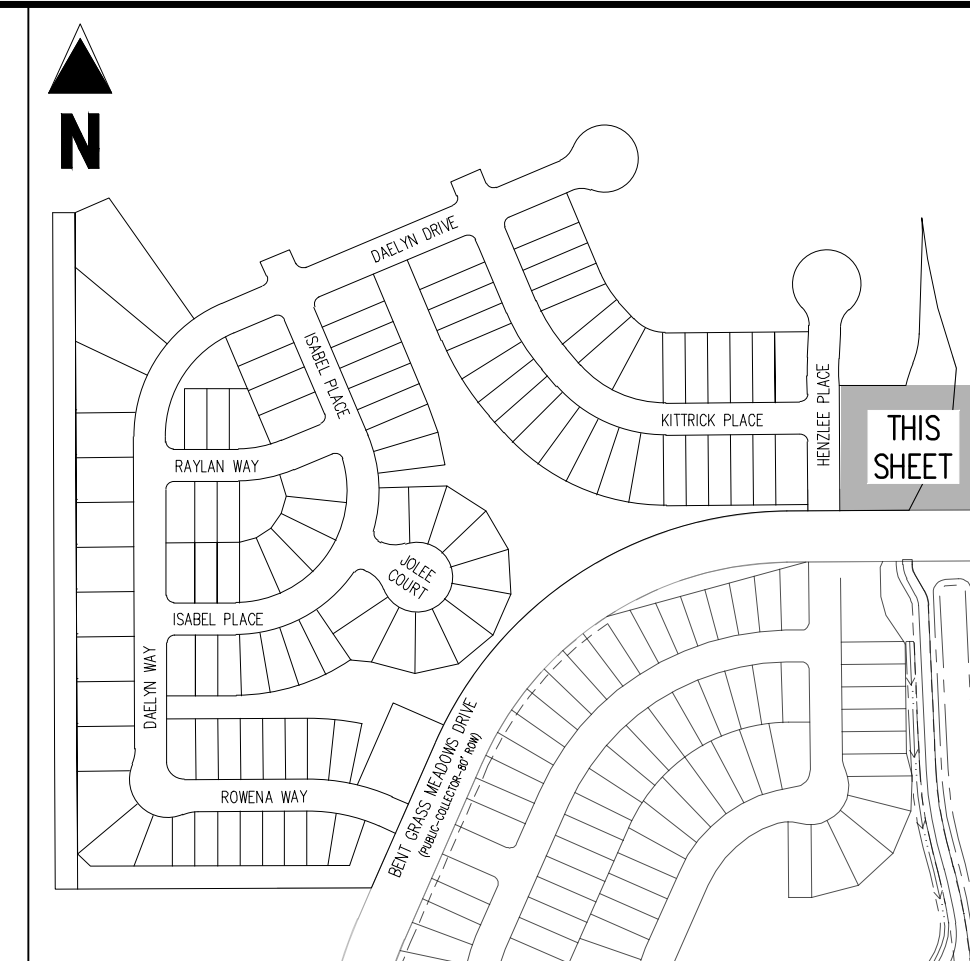


Know what's **below**.
Call before you dig.



MATCHLINE SHEET G3.2

Challenger Homes Inc. - FM at Bart Grass F21C1M3-CD/GEDCLH19 G3.3 GEC Final Plan dwg - 8/3/2021



KEY MAP
SCALE: 1"=300'

LEGEND

- | | |
|-----|--|
| | EXISTING MAJOR CONTOUR |
| | EXISTING MINOR CONTOUR |
| | EXISTING MAJOR CONTOUR |
| | PROPOSED MINOR CONTOUR |
| | EXISTING PROPERTY LINE (PROPOSED PROJECT BOUNDARY) |
| | EXISTING PROPERTY LINE |
| | PROPOSED PROPERTY LINE (PROPOSED PROJECT BOUNDARY) |
| | PROPOSED RIGHT OF WAY LINE |
| | EXISTING LOT LINE |
| | PROPOSED LOT LINE |
| | EXISTING EASEMENT |
| | PROPOSED EASEMENT |
| | EXISTING STORM DRAIN PIPE |
| | PROPOSED STORM DRAIN PIPE |
| | EXISTING WATER LINE |
| | PROPOSED WATER LINE |
| | EXISTING SANITARY SEWER LINE |
| | PROPOSED SANITARY SEWER LINE |
| | EXISTING DRAINAGE FEATURE OUTLINE |
| | PROPOSED DRAINAGE FEATURE OUTLINE |
| | EXISTING SWALE WITH FLOW DIRECTION |
| | PROPOSED SWALE WITH FLOW DIRECTION |
| | 100-YEAR FEMA FLOODPLAIN |
| | PROPOSED CONCRETE |
| | PROPOSED CDOT CLASS 6 GRAVEL |
| | PROPOSED RIP RAP |
| | EXISTING CONCRETE PAVING |
| | EXISTING CDOT CLASS 6 GRAVEL |
| | EXISTING 1" TO 2" CRUSHED ROCK |
| | EXISTING RIP RAP |
| | EXISTING GROUTED BOULDERS |
| 113 | PROPOSED LOT # |
| 15 | EXISTING LOT # |
| | EXISTING SLOPE (PERCENT) |
| | EXISTING SLOPE (RISE:RUN) |
| | PROPOSED SLOPE (PERCENT) |
| | PROPOSED SLOPE (RISE:RUN) |
| | SPOT ELEVATION - FLOW LINE |
| | SPOT ELEVATION - FINISH GRADE |

NOTES

1. ADD 6900 TO ALL SPOT ELEVATIONS.
2. ALL STORM PIPE SHALL BE RCP OR HDPE IN ACCORDANCE WITH COUNTY STANDARD SPECIFICATIONS, UNLESS OTHERWISE NOTED.

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CHALLENGER HOMES

FINAL GRADING & EROSION CONTROL PLANS
FALCON MEADOWS AT BENT GRASS FILING NO. 2
FOR
CHALLENGER COMMUNITIES, LLC

BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD
FALCON, CO 80831 - EL PASO COUNTY

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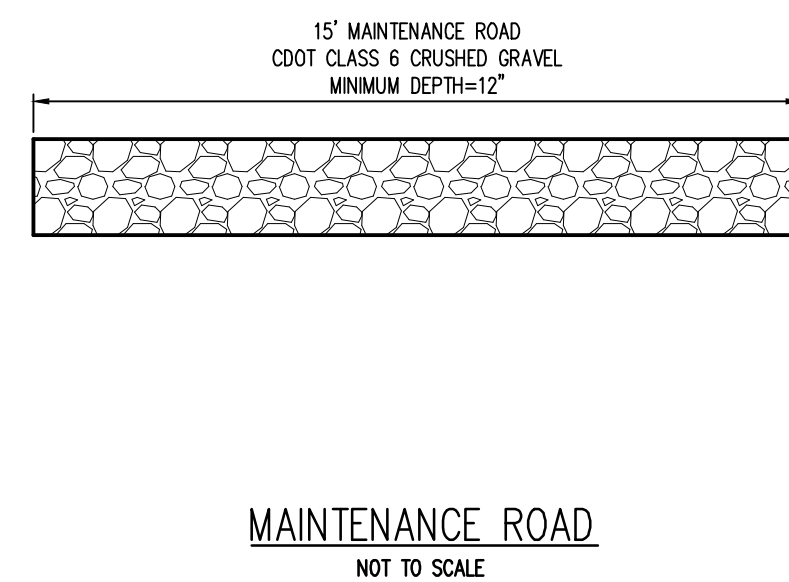
Project No:	CLH000019
Drawn By:	CMWJ
Checked By:	RGD
Date:	06/23/2021

WATER QUALITY
DETENTION POND

G4.1

Sheet 14 of 22

Challenger Homes IncCO, Falcon - LUH00010 - FM at Bent Grass P2(CW3-CO)ECCLH19_G4_1_BMP Plan.dwg - Cadd Johnson - 8/3/2021



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CHALLENGER HOMES

FINAL GRADING & EROSION CONTROL PLANS
FALCON MEADOWS AT BENT GRASS FILING NO. 2
FOR
CHALLENGER COMMUNITIES, LLC
BENT GRASS MEADOWS DRIVE & MERIDIAN ROAD
FALCON, CO 80831 - EL PASO COUNTY

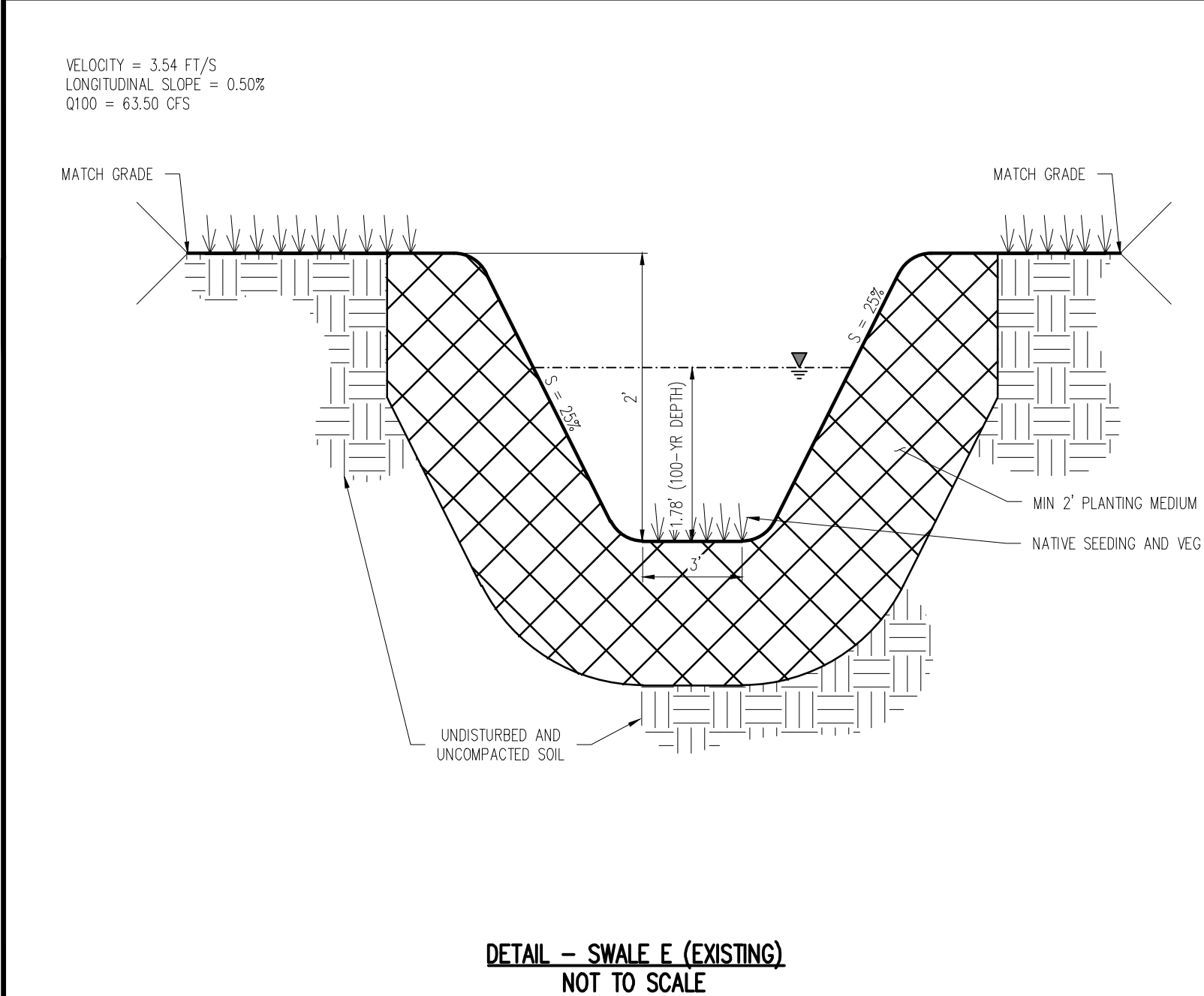
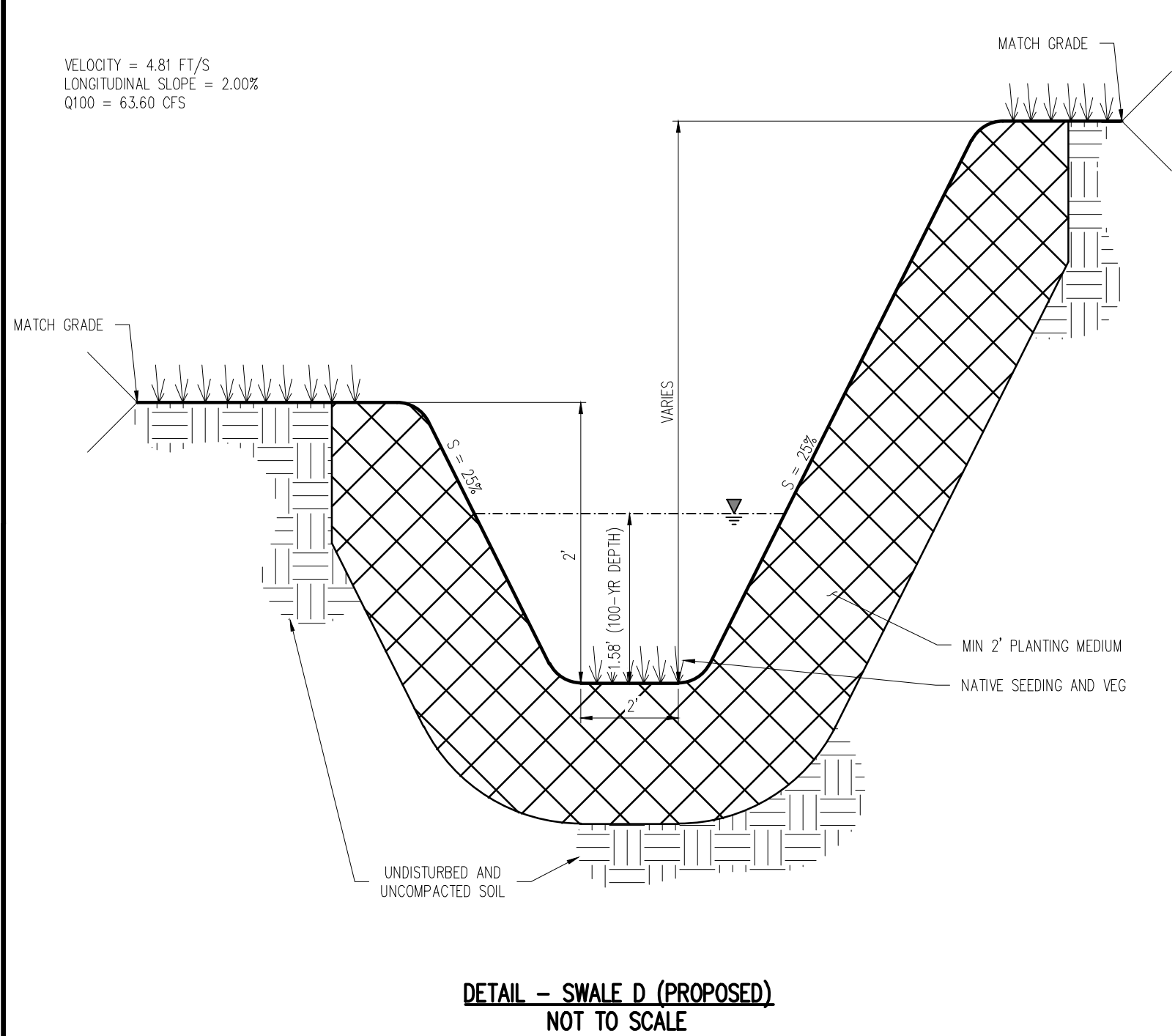
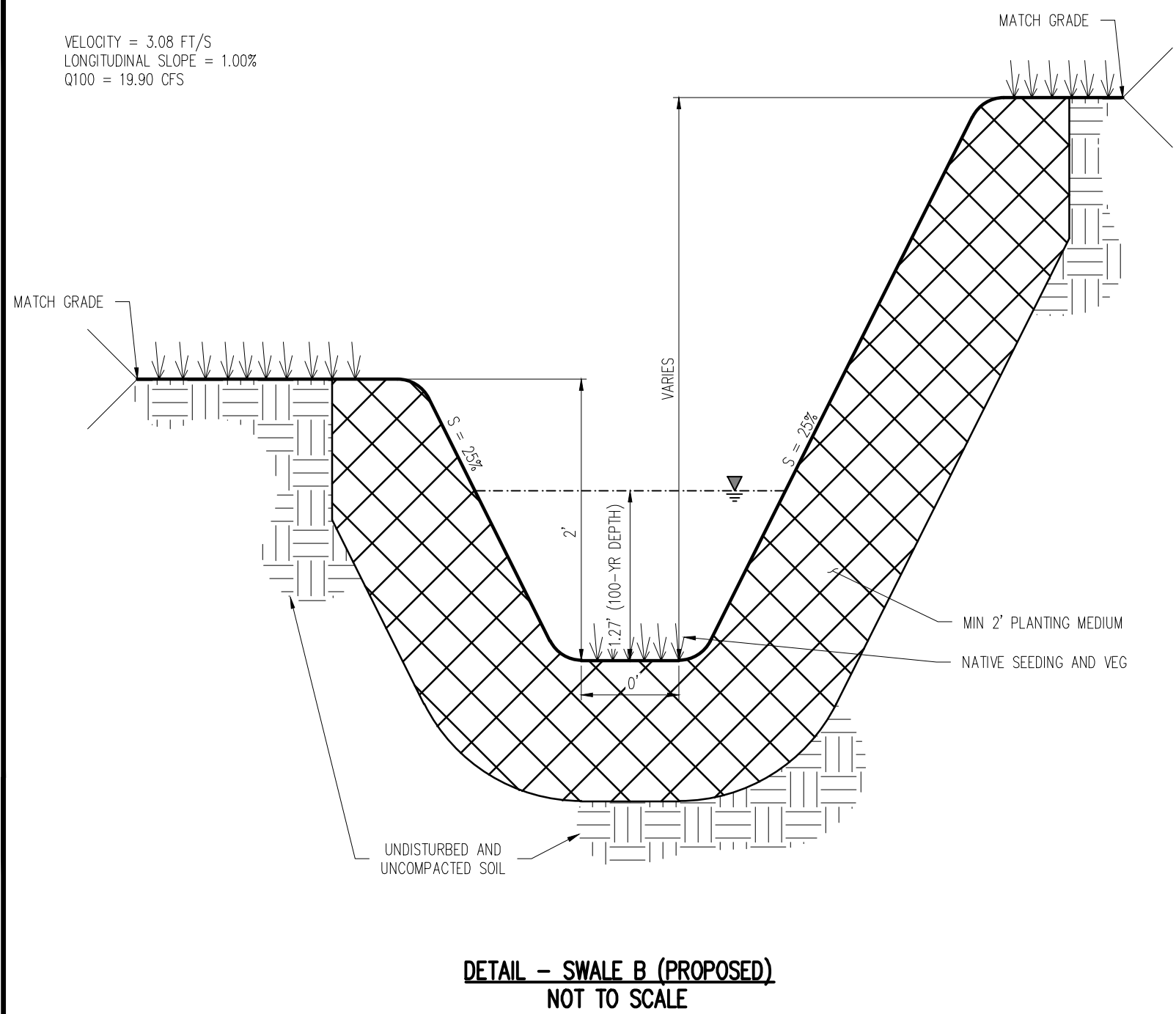
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SWALE CROSS SECTIONS

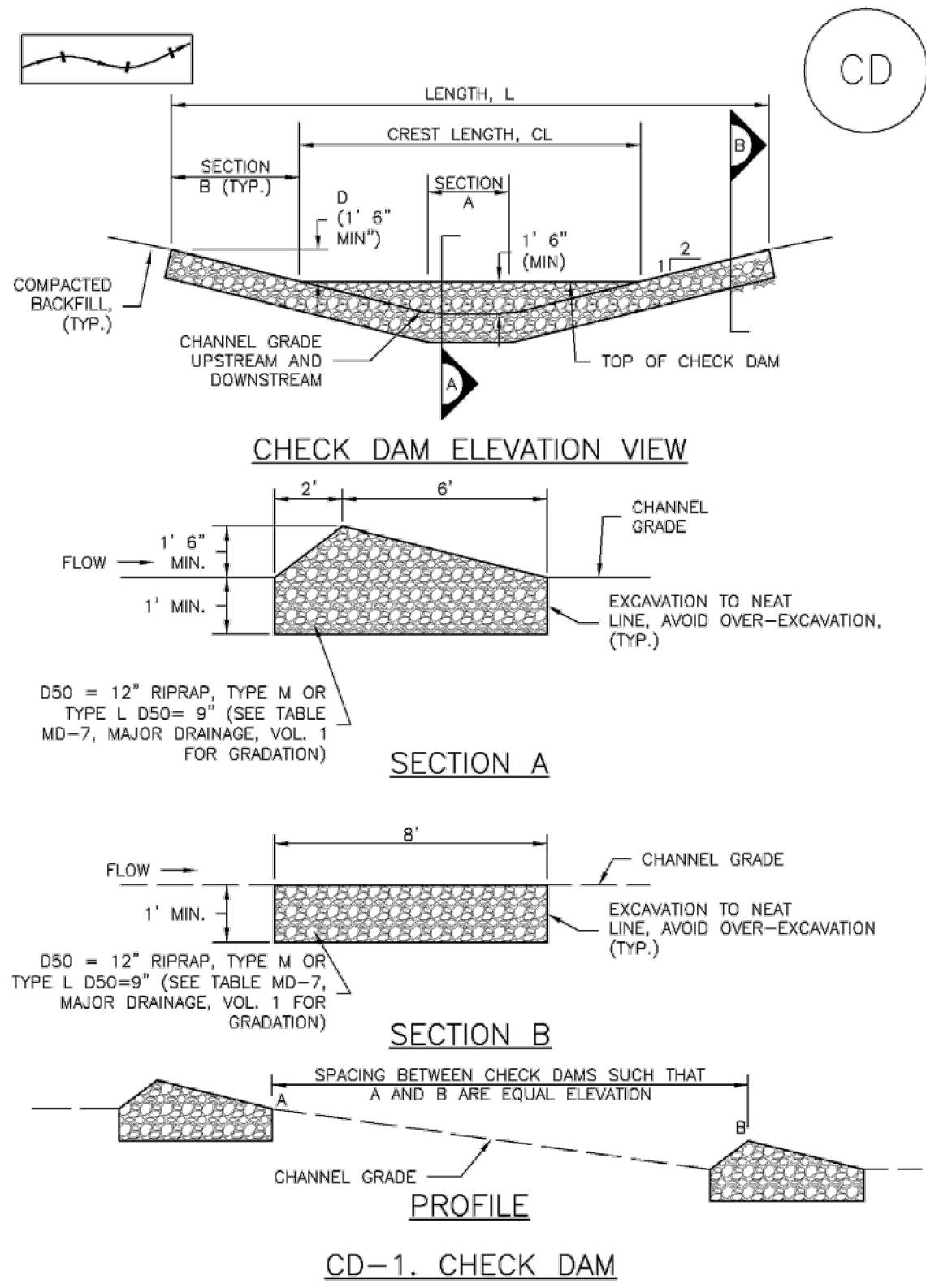
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Check Dams (CD)

EC-12



November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 CD-3

EC-12

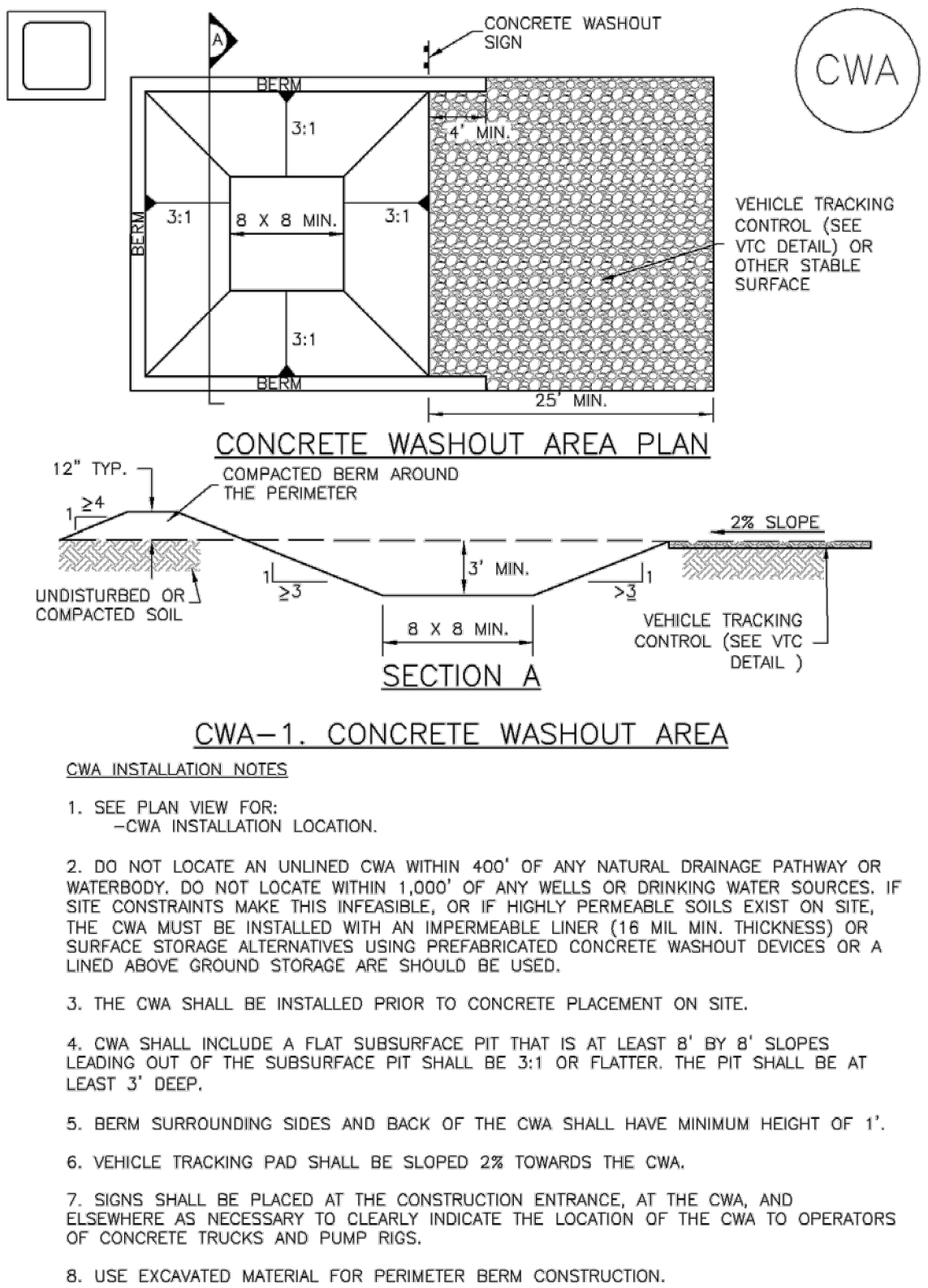
Check Dams (CD)

- CHECK DAM INSTALLATION NOTES**
1. SEE PLAN VIEW FOR:
 - LOCATION OF CHECK DAMS.
 - CHECK DAM TYPE (CHECK DAM OR REINFORCED CHECK DAM).
 - LENGTH (L), CREST LENGTH (CL), AND DEPTH (D).
 2. CHECK DAMS INDICATED ON INITIAL SWMP SHALL BE INSTALLED AFTER CONSTRUCTION FENCE, BUT PRIOR TO ANY UPSTREAM LAND DISTURBING ACTIVITIES.
 3. RIPRAP UTILIZED FOR CHECK DAMS SHOULD BE OF APPROPRIATE SIZE FOR THE APPLICATION. TYPICAL TYPES OF RIPRAP USED FOR CHECK DAMS ARE TYPE M (D50 12") OR TYPE L (D50 9").
 4. RIPRAP PAD SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 1'.
 5. THE ENDS OF THE CHECK DAM SHALL BE A MINIMUM OF 1' 6" HIGHER THAN THE CENTER OF THE CHECK DAM.
- CHECK DAM MAINTENANCE NOTES**
1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 4. SEDIMENT ACCUMULATED UPSTREAM OF THE CHECK DAMS SHALL BE REMOVED WHEN THE SEDIMENT DEPTH IS WITHIN $\frac{1}{2}$ OF THE HEIGHT OF THE CREST.
 5. CHECK DAMS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
 6. WHEN CHECK DAMS ARE REMOVED, EXCAVATIONS SHALL BE FILLED WITH SUITABLE COMPACTED BACKFILL. DISTURBED AREA SHALL BE SEEDED AND MULCHED AND COVERED WITH GEOTEXTILE OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.
- (DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO, NOT AVAILABLE IN AUTOCAD)
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

CD-4 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

Concrete Washout Area (CWA)

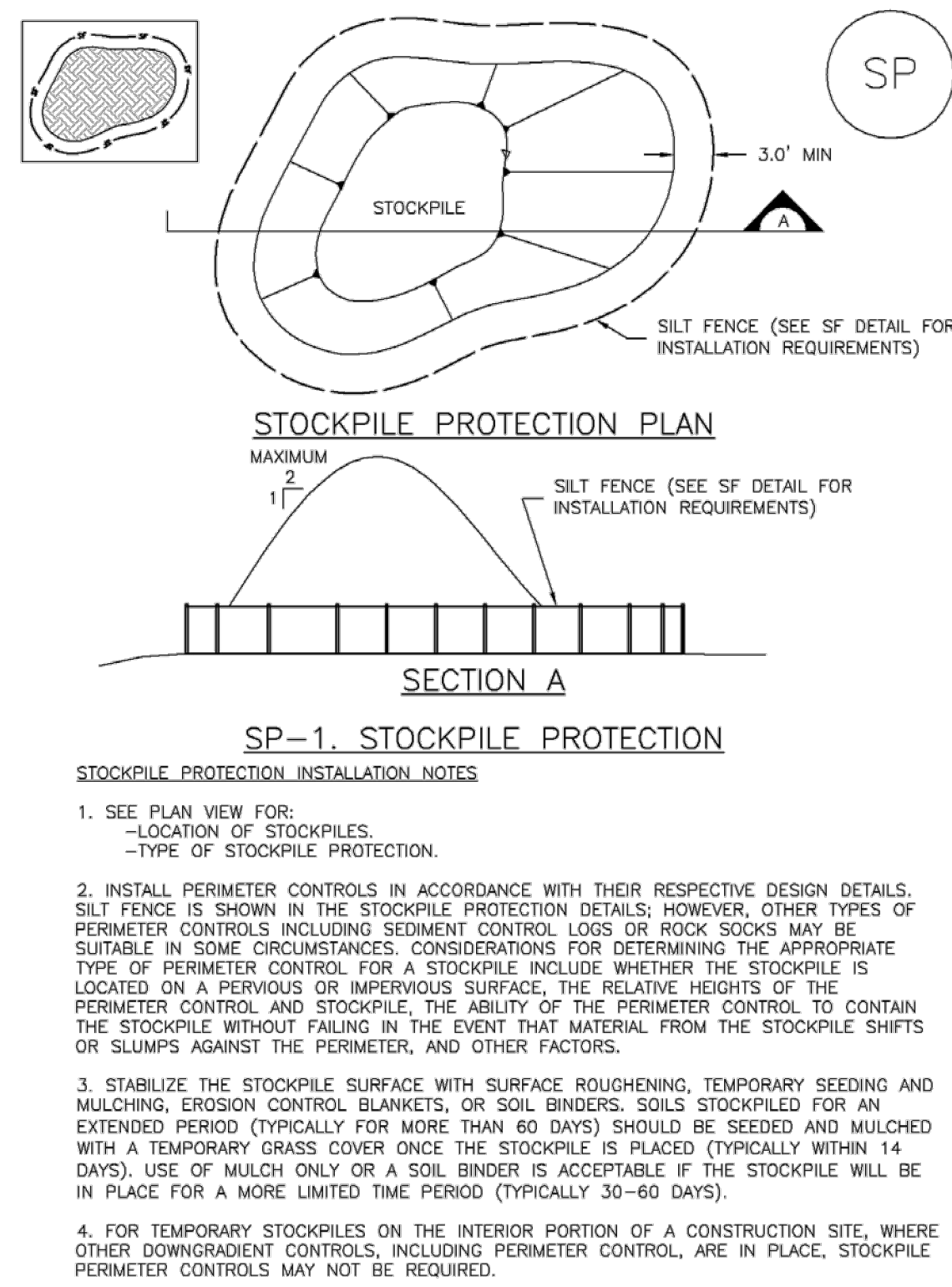
MM-1



November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 CWA-3

Stockpile Management (SP)

MM-2



November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SP-3

MM-2

Stockpile Management (SM)

- STOCKPILE PROTECTION MAINTENANCE NOTES**
1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- STOCKPILE PROTECTION MAINTENANCE NOTES**
4. IF PERIMETER PROTECTION MUST BE MOVED TO ACCESS SOIL STOCKPILE, REPLACE PERIMETER CONTROLS BY THE END OF THE WORKDAY.
 5. STOCKPILE PERIMETER CONTROLS CAN BE REMOVED ONCE ALL THE MATERIAL FROM THE STOCKPILE HAS BEEN USED.
- (DETAILS ADAPTED FROM PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

SP-4 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

MM-1

Concrete Washout Area (CWA)

- CWA MAINTENANCE NOTES**
1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 4. THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS, ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
 5. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
 6. THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
 7. WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.
- (DETAIL ADAPTED FROM DOUGLAS COUNTY, COLORADO AND THE CITY OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

CWA-4 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

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GEC DETAILS

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