

SITE DEVELOPMENT PLANS FOR
SLIM CHICKEN'S
FALCON MARKETPLACE LOT 9
A PARCEL OF LAND LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1,
TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO

BENCHMARK:

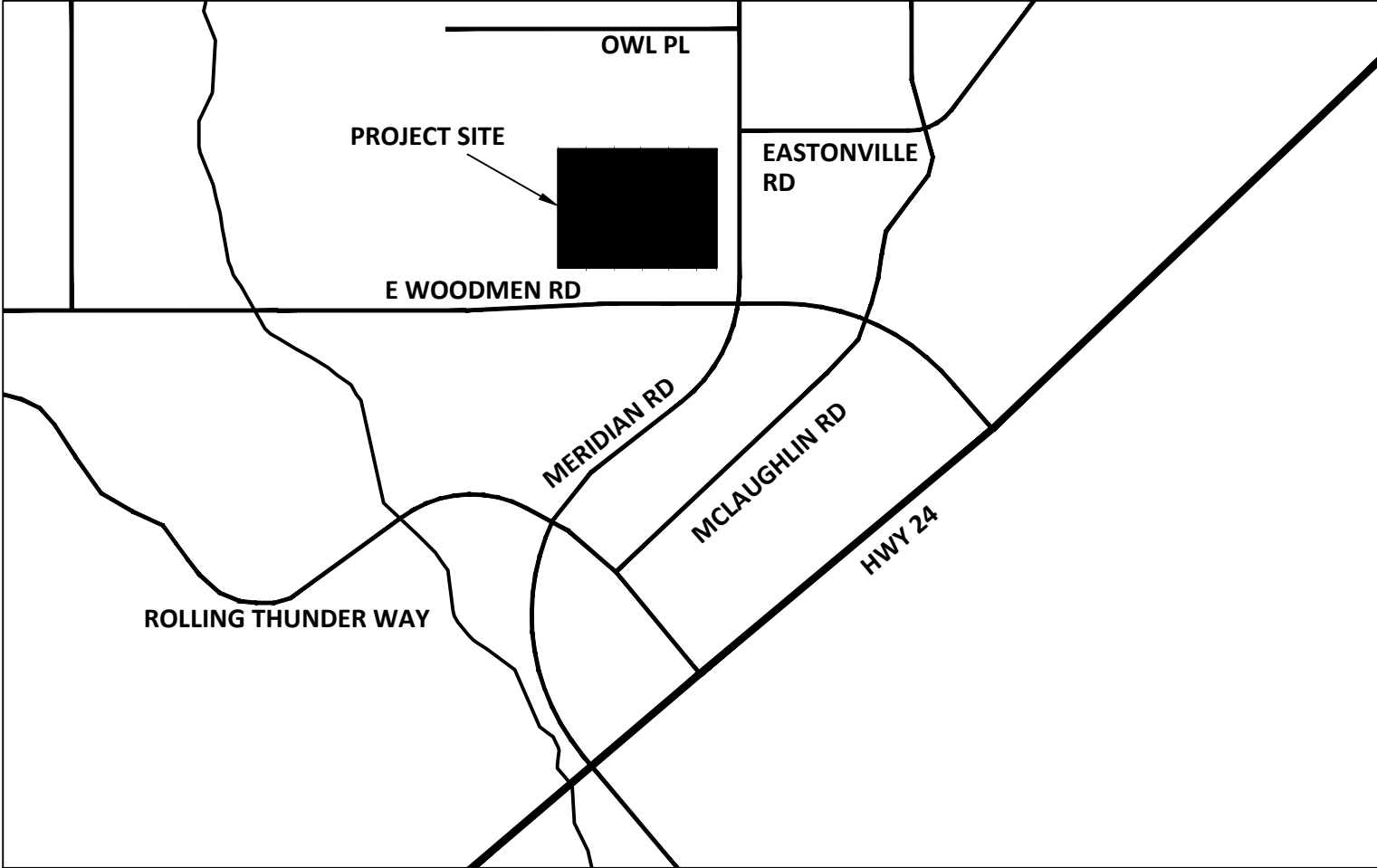
ELEVATIONS ARE BASED UPON THE COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) MONUMENT BLT167 (ELEVATION = 6873.18 NVGD29)

BASIS OF BEARING:

THE BEARINGS AS SHOWN HEREON AND IN THE RECORDED PLAT ARE BASED UPON THE THE CONSIDERATION THAT THE NORTH LINE OF THE SE 1/4 OF THE SE 1/4 OF SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH P.M. IS ASSUMED TO BEAR SOUTH 89°44'22" WEST. SAID LINE IS DOCUMENTED IN THE RECORDED PLAT, DATED 12-19-19.

LEGAL DESCRIPTION:

LOT 9, FALCON MARKETPLACE, IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO.



VICINITY MAP
NOT TO SCALE

INDEX:

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C5.12*	FINAL EROSION CONTROL PLAN
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A0.3	SITE DETAILS

ARCHITECTURAL AND PHOTOMETRIC PLANS ARE PROVIDED AS SEPARATE DOCUMENTS.

*GESC SET INCLUDED WITHIN SDPs AND AS A STANDALONE SET.

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ENGINEERS STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR LIABILITY CAUSED BY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

TIFFANY D. WATSON, PE #40360

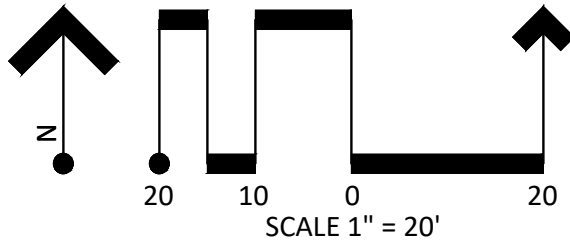
DATE

OWNERS/DEVELOPERS STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

OWNER SIGNATURE

DATE



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PLANNING
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
LAND SURVEYING

SITE DEVELOPMENT PLANS

SLIM CHICKEN'S - FALCON









FALCON, EL PASO COUNTY, COLORADO

JOB NO. 21.030

DATE	DESCRIPTION	COVER SHEET
2021.06.15	1ST SDP SUBMITTAL	C0.00

**A PARCEL OF LAND LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1,
TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO**



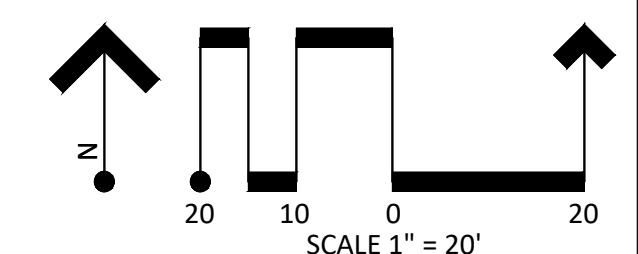
- | | |
|---|--|
|  | PROPERTY LINE |
|  | EXISTING CURB AND GUTTER |
|  | PROPOSED CURB AND GUTTER WITH 1-FOOT PAN |
| LS | PROPOSED LANDSCAPE AREA |
| EX. LS | EXISTING LANDSCAPE AREA |
|  | PROPOSED SIDEWALK |
|  | PROPOSED PARKING COUNT |
|  | PROPOSED SITE LIGHTING |
|  | PROPOSED SIGNAGE |
|  | PROPOSED STORM SEWER INFRASTRUCTURE |

KEY NOTES

- 1 PROPOSED 6-INCH CURB AND GUTTER.
- 2 PROPOSED 6-INCH VERTICAL CURB.
- 3 PROPOSED BLACK CONCRETE PAVEMENT.
- 4 PROPOSED ASPHALT PAVEMENT.
- 5 PROPOSED SIDEWALK.
- 6 PROPOSED ADA RAMP.
- 7 PROPOSED PARALLEL ADA RAMP.
- 8 PROPOSED ADA PARKING SIGN.
- 9 PROPOSED ADA STRIPING, 4-INCH WHITE DIAGONAL.
- 10 PROPOSED PARKING PAVEMENT STRIPING; 4-INCH SOLID WHITE.
- 11 PROPOSED STRIPING; 4-INCH YELLOW DIAGONAL.
- 12 PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS.
- 13 PROPOSED SITE LIGHTING. SEE LIGHTING PLAN FOR DETAILS.
- 14 PROPOSED MENU BOARD. SEE ARCHITECTURAL PLANS.
- 15 PROPOSED CLEARANCE BAR. SEE ARCHITECTURAL PLANS.
- 16 PROPOSED ORDER KIOSK. SEE ARCHITECTURAL PLANS.
- 17 PROPOSED BOLLARD.
- 18 PROPOSED BLACK CONCRETE SIDEWALK.

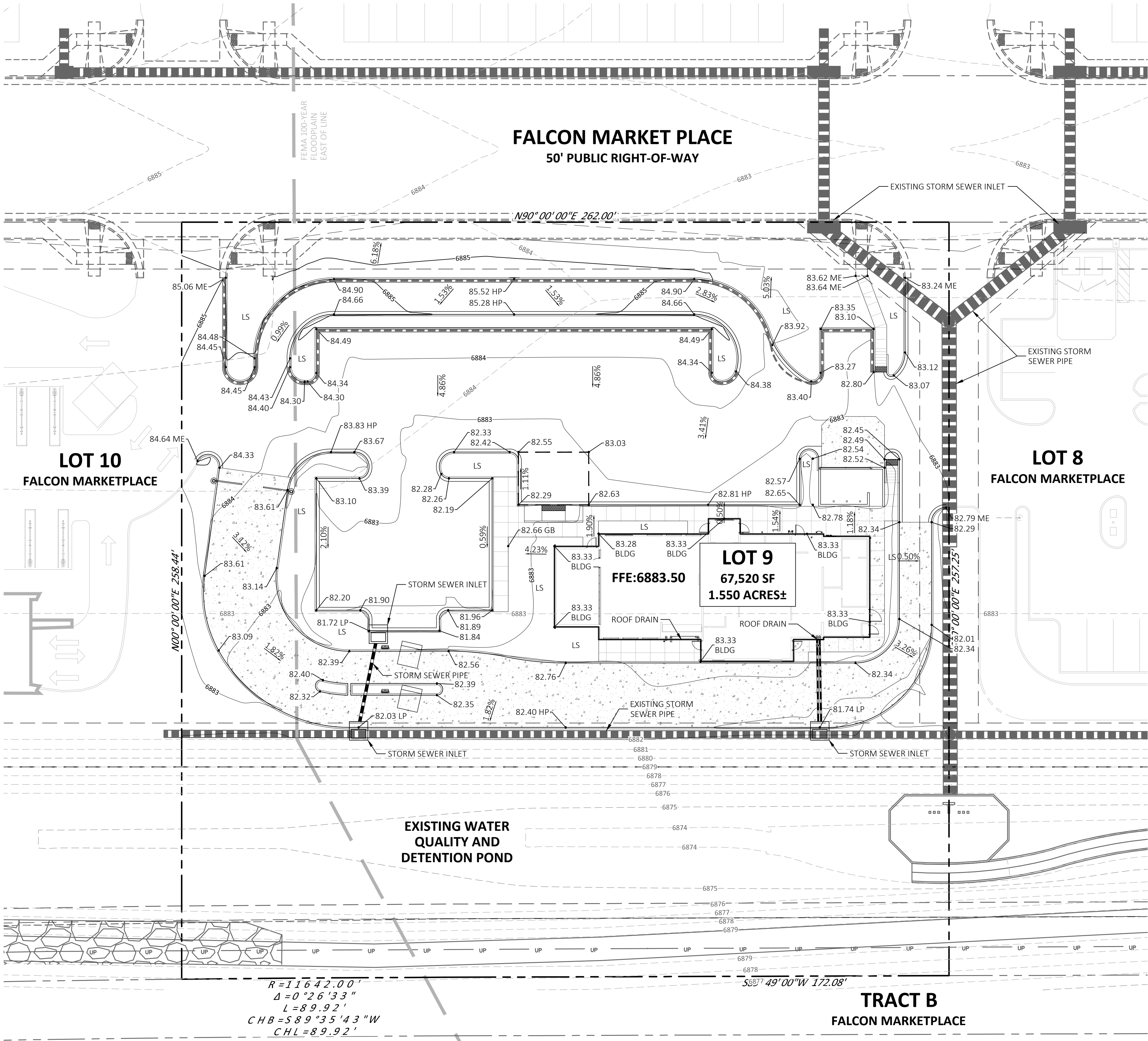
GENERAL NOTES

1. SEE COVER SHEET FOR BENCHMARK AND BASIS OF BEARING



SITE DEVELOPMENT PLANS FOR
**SLIM CHICKEN'S
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LEGEND

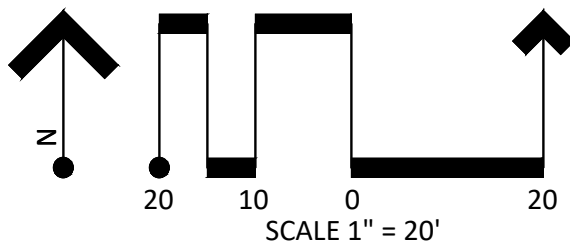
- PROPERTY LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER WITH 1-FOOT CATCH PAN
- PROPOSED CURB AND GUTTER WITH 1-FOOT SPILL PAN
- 5280 PROPOSED CONTOUR
- 5280 EXISTING CONTOUR
- PROPOSED STORM SEWER PIPE
- PROPOSED STORM SEWER STRUCTURES
- EXISTING STORM SEWER PIPE
- ACCESSIBLE PARKING. GRADES NOT TO EXCEED 2% IN ANY DIRECTION
- LS LANDSCAPE AREA
- HP HIGH POINT AT FINISHED GRADE
- LP LOW POINT AT FINISHED GRADE
- GB GRADE BREAK
- ME MATCH EXISTING

GENERAL NOTES

- ALL SPOT ELEVATIONS ARE TO FINISHED GRADE SURFACE UNLESS OTHERWISE NOTED ON PLAN.
- ALL SPOT ELEVATIONS ARE TRUNCATED, ADD 6800 TO EACH SPOT ELEVATION.
- 2% TYPICAL THROUGH TRUNCATED DOMES.
- ACCESSIBLE PARKING 2.0% MAX SLOPE IN ANY DIRECTION.
- TRANSITIONS ARE TO BE MADE FROM CATCH TO SPILL PAN OVER 3-FEET.

BENCHMARK

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SITE DEVELOPMENT PLANS
SLIM CHICKEN'S - FALCON

DESCRIPTION
1ST SDP SUBMITTAL

DATE
2021.06.15

FALCON, EL PASO COUNTY, COLORADO

JOB NO. 21.030

GRADING PLAN

C4.10

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ENGINEER OF RECORD SIGNATURE

DATE

OWNER'S STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

OWNER SIGNATURE

DATE

EL PASO COUNTY

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/ OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/ OR ACCURACY OF THIS DOCUMENT. FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

COUNTY ENGINEER/ECM ADMINISTRATOR

DATE

GENERAL NOTES

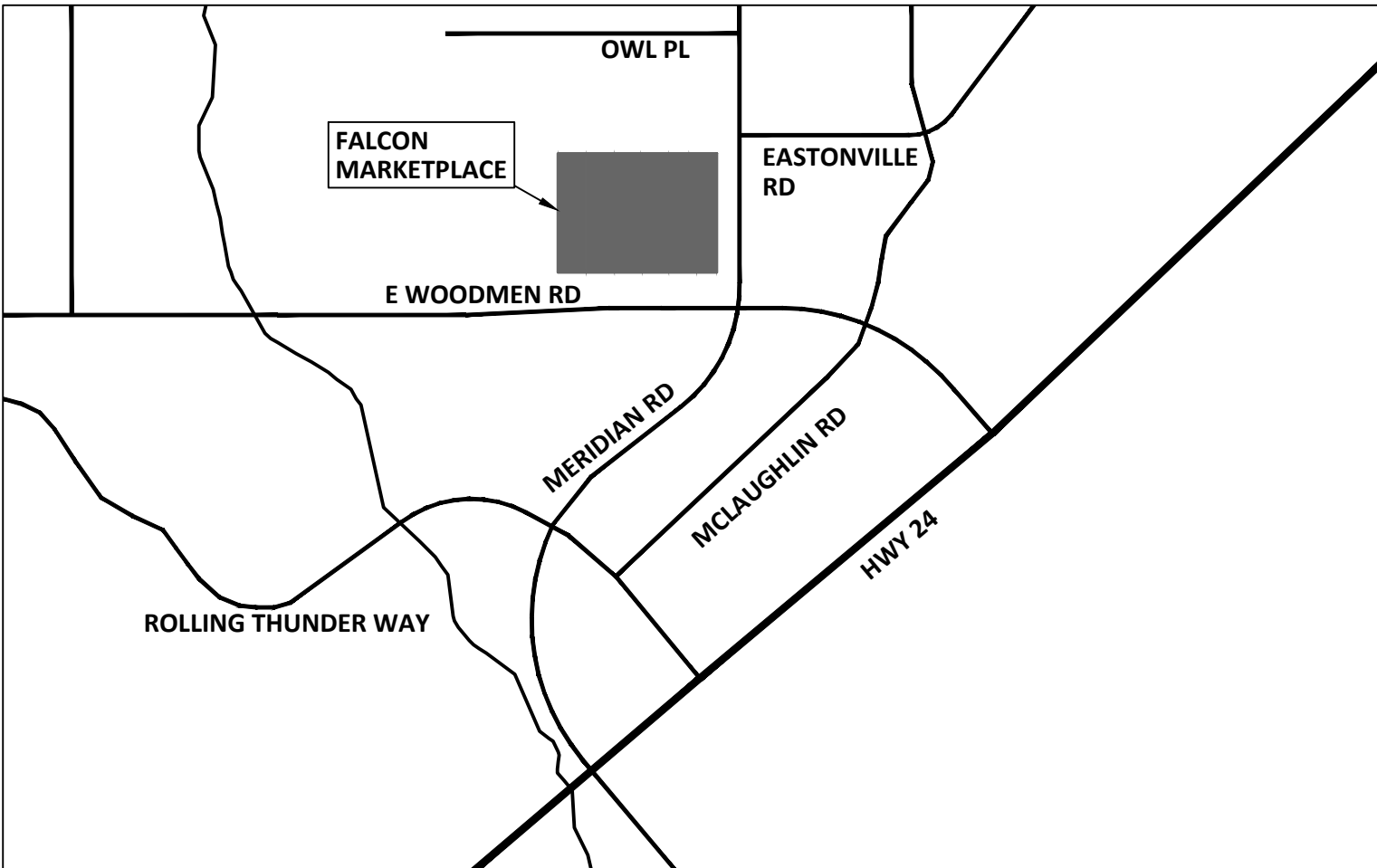
- SURVEY INFORMATION AND TOPOGRAPHIC CONTOURS WERE PROVIDED BY OTHERS. POINT CONSULTING, LLC CANNOT BE HELD LIABLE FOR ANY INACCURACY IN THE SURVEY INFORMATION.
- EL PASO COUNTY SHALL NOT BE LIABLE FOR THE MAINTENANCE OF PRIVATE IMPROVEMENTS AS SHOWN ON THESE PLANS.

LEGAL DESCRIPTION

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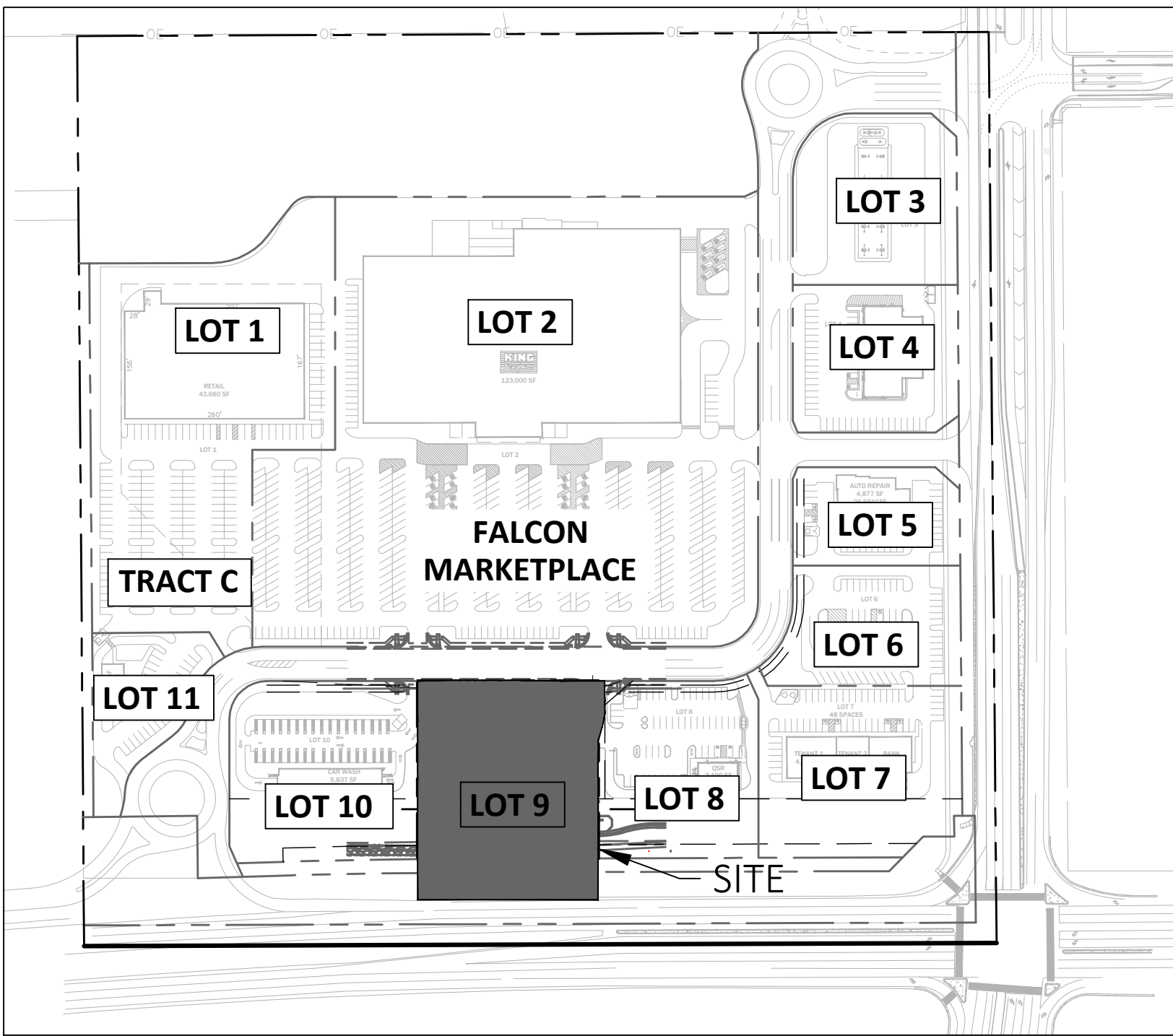
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C5.90-C5.91	EROSION CONTROL DETAILS



VICINITY MAP

NOT TO SCALE



SITE MAP

1"=200'

CONTACTS:

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EL PASO COUNTY GRADING AND EROSION CONTROL PLANS

- STORMWATER DISCHARGES FDS6:082EN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SMWP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SMWP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SMWP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
- CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
- TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
- FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
- ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
- EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
- COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENEED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM.
- DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
- EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ONSITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ONSITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
- OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS) AND THE "CLEAN WATER ACT" (33 USC 1344) IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY POINT CONSULTING, LLC AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SMWP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

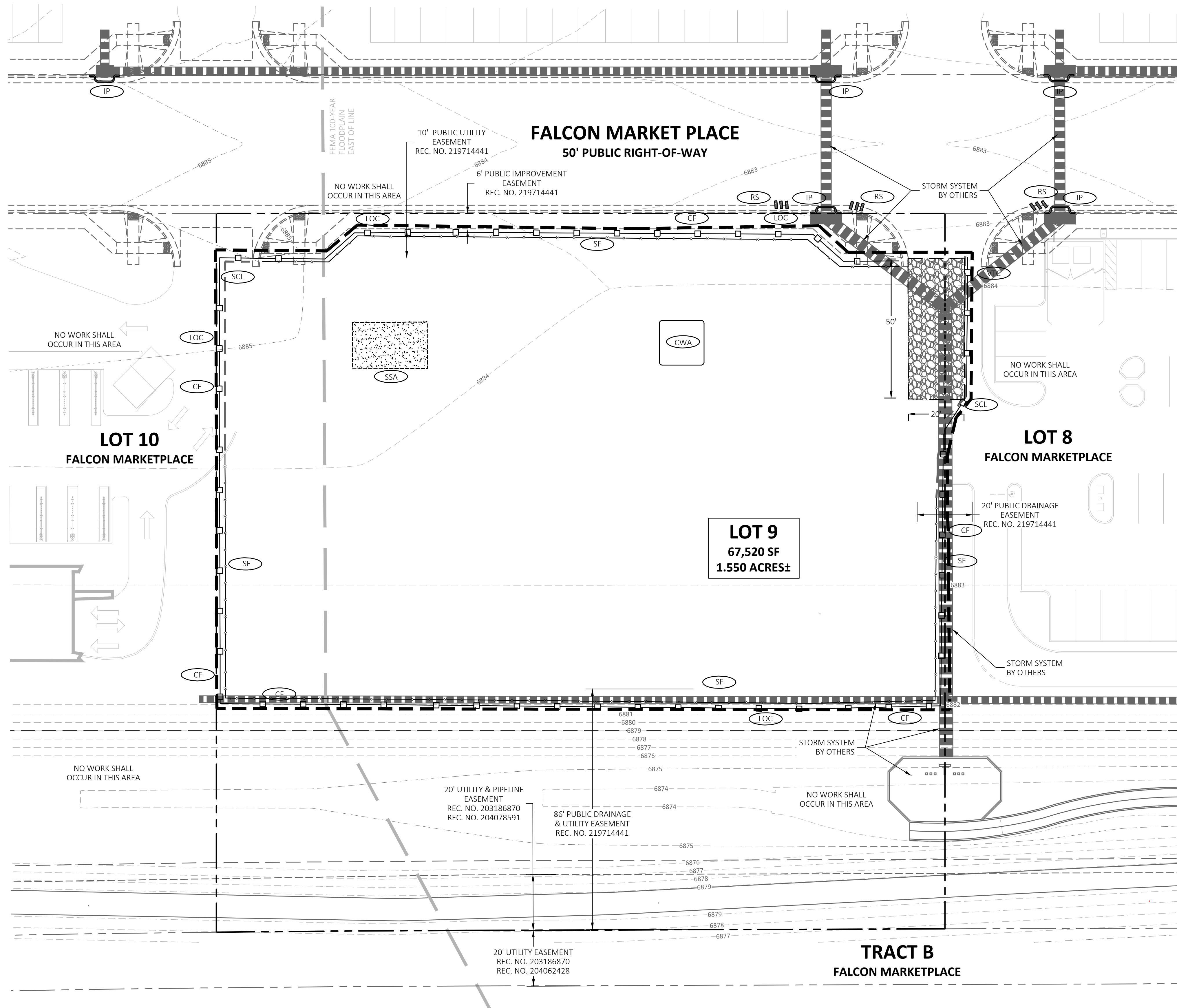
COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WCOD – PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT

		POINT CONSULTING, LLC 8460 W KEN CARLY AVE #101 LITTLETON, CO 80128 720-258-6836 www.pnt-llc.com PLANNING CIVIL ENGINEERING LANDSCAPE ARCHITECTURE LAND SURVEYING	
SITE DEVELOPMENT PLANS			
SLIM CHICKEN'S - FALCON		FALCON, EL PASO COUNTY, COLORADO	
EROSION CONTROL COVER SHEET		JOB NO. 21-030	
DATE	DESCRIPTION		
2021.06.15	1ST SDP SUBMITTAL		
-	-		
-	-		
-	-		
-	-		
-	-		
-	-		
-	-		
C5:00			



SITE DEVELOPMENT PLANS FOR
**SLIM CHICKEN'S
FALCON MARKETPLACE LOT 9**

A PARCEL OF LAND LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1,
TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO



BMP LEGEND

	VTC	VEHICLE TRACKING CONTROL
	LOC	LIMITES OF CONSTRUCTION
	CF	CONSTRUCTION FENCE
	SCL	SEDIMENT CONTROL LOGS
	CWA	CONCRETE WASHOUT AREA
	SSA	STABILIZED STAGING AREA
	RS	ROCK SOCKS
	IP	INLET PROTECTION
	SF	SILT FENCE
	SM	INSTALL SEED AND MULCH

LEGEND

	PROPERTY LINE
	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER WITH 1-FOOT PAN
	PROPOSED LANDSCAPE AREA
	PROPOSED SIDEWALK
	PROPOSED FLOW ARROW
	FEMA 100-YEAR FLOODPLAIN BOUNDARY

MAINTENANCE

BMP MAINTENANCE IS LOCATED ON SHEETS C5.90-C5.91. EACH BMP SHOULD BE INSPECTED AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION.

SCHEDULE

INITIAL: WORK DURING THE INITIAL PHASE INCLUDES ALL ONSITE WALKS AND SIDEWALK. THE BMPs TO BE INSTALLED DURING THIS PHASE INCLUDE SEDIMENT CONTROL LOGS, SILT FENCE, CONCRETE WASHOUT AREA, VEHICLE TRACKING CONTROL, ROCK SOCKS, AND THE CONSTRUCTION FENCE.

INTERIM: WORK DURING THE INTERIM PHASE INCLUDES THE LAYING OF UTILITIES AND CONSTRUCTION OF ALL CONCRETE AREAS AND BUILDING FOUNDATIONS. THE CONSTRUCTION FENCE, VEHICLE TRACKING CONTROL, ROCK SOCKS, CONCRETE WASHOUT AREA, AND SEDIMENT CONTROL LOGS, AND SILT FENCE SHALL REMAIN IN PLACE DURING THE INTERIM CONDITION. THE BMPs TO BE INSTALLED DURING THIS PHASE INCLUDE INLET PROTECTION.

FINAL: WORK DURING THE FINAL PHASE INCLUDES THE CONSTRUCTION OF ALL STRUCTURES. THE CONSTRUCTION FENCE, ROCK SOCKS, SEDIMENT CONTROL LOGS, VEHICLE TRACKING CONTROL, AND CONCRETE WASHOUT AREA SHALL BE INSTALLED AND REMAIN ON SITE UNTIL ALL CONCRETE WORK HAS BEEN COMPLETED. SEEDING AND MULCHING WILL ALSO BE DURING THIS PHASE. THERE WILL BE NO STOCK PILES ON SITE.

GENERAL NOTES

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- REFER TO DETAILS ON SHEET C5.90-C5.91.
- EXISTING SITE IS PART OF A LARGER DEVELOPMENT AND HAS BEEN STRIPPED.

BENCHMARK

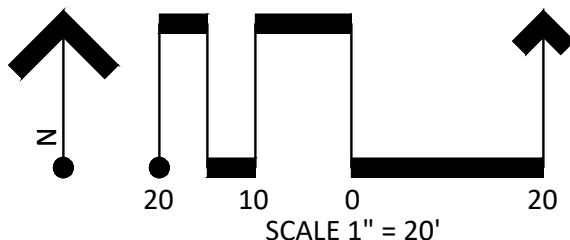
ELEVATIONS ARE BASED UPON THE COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) MONUMENT BLT167 (ELEVATION = 6873.18 NVGD29)

SOIL INFORMATION

NATIVE SOIL ON THIS SITE IS ENTIRELY OF BLAKELAND-FLUVAQUENTIC HAPLAQUOLIS. THIS SOIL FALLS INTO HYDROLOGIC SOIL GROUP A. SEE THE DRAINAGE LETTER FOR THE COMPLETE NATIONAL COOPERATIVE SOIL SURVEY BY THE NATURAL RESOURCES CONSERVATION SERVICE.

CUT/FILL CALCULATIONS

CUT: 407.6 CUBIC YARDS
FILL: 307.0 CUBIC YARDS
NET: 100.6 CUBIC YARDS (CUT)
TOTAL DISTURBED AREA: 44,432 SQ-FT / 1.020 AC.



SITE DEVELOPMENT PLANS
SLIM CHICKEN'S - FALCON

FALCON, EL PASO COUNTY, COLORADO
JOB NO. 21.030

DESCRIPTION
1ST SDP SUBMITAL

DATE
2021.06.15

INITIAL EROSION CONTROL PLAN

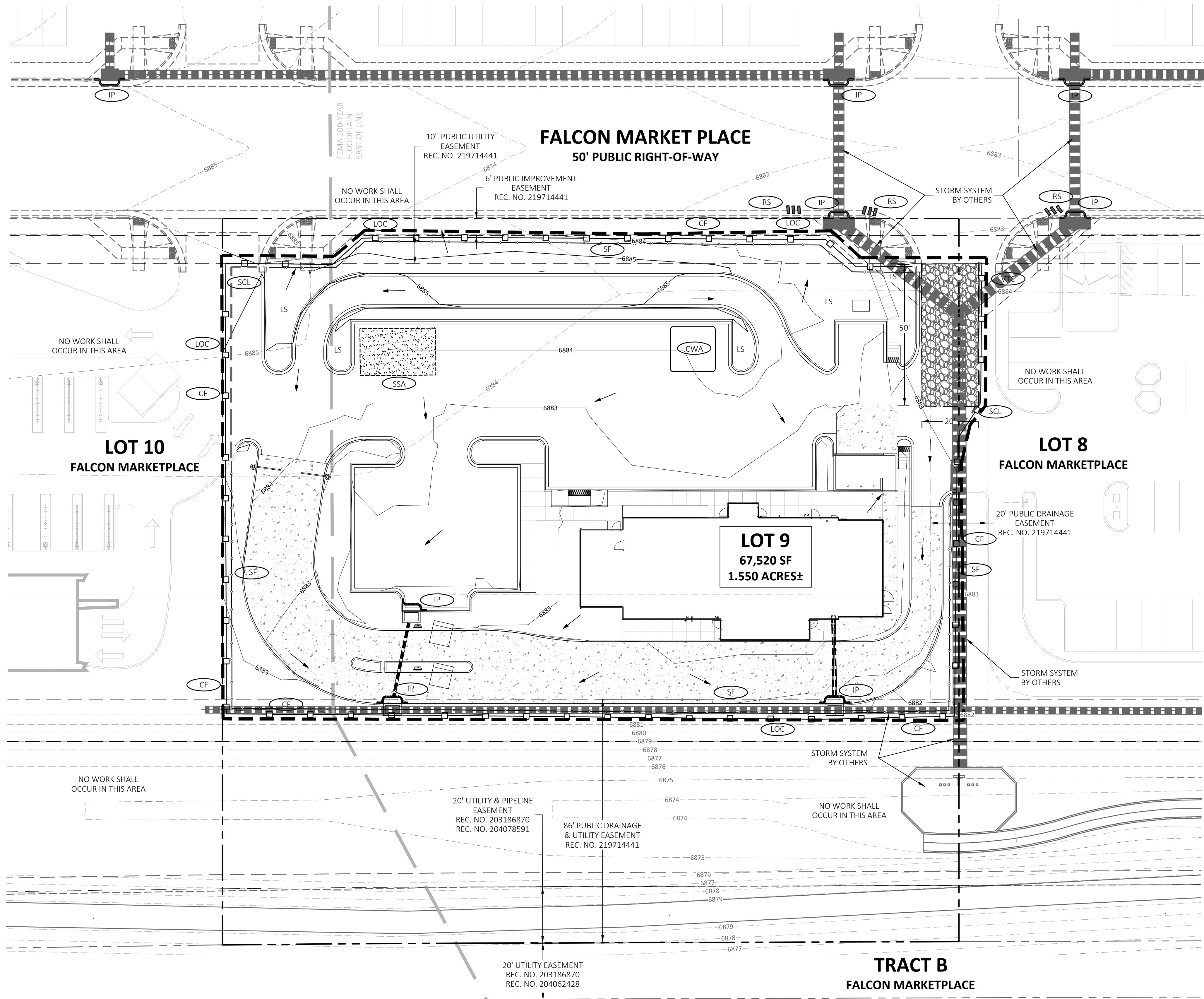
C5.10

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SITE DEVELOPMENT PLANS FOR
**SLIM CHICKEN'S
FALCON MARKETPLACE LOT 9**

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TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO



BMP LEGEND

[Symbol]	(VTC)	VEHICLE TRACKING CONTROL
[Symbol]	(LOC)	LIMITES OF CONSTRUCTION
[Symbol]	(CF)	CONSTRUCTION FENCE
[Symbol]	(SCL)	SEDIMENT CONTROL LOGS
[Symbol]	(CWA)	CONCRETE WASHOUT AREA
[Symbol]	(SSA)	STABILIZED STAGING AREA
[Symbol]	(RS)	ROCK SOCKS
[Symbol]	(IP)	INLET PROTECTION
[Symbol]	(SF)	SILT FENCE
[Symbol]	(SM)	INSTALL SEED AND MULCH

LEGEND

[Symbol]	PROPERTY LINE
[Symbol]	EXISTING CURB AND GUTTER
[Symbol]	PROPOSED CURB AND GUTTER WITH 1-FOOT PAN
[Symbol]	PROPOSED LANDSCAPE AREA
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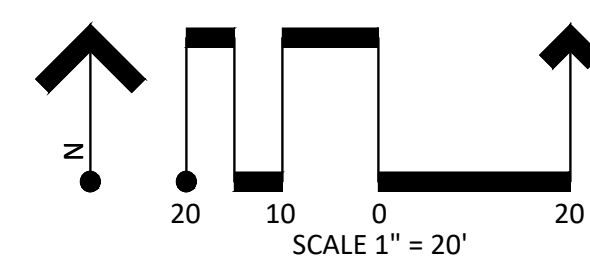
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2. REFER TO DETAILS ON SHEET C5.90-C5.91.
3. EXISTING SITE IS PART OF A LARGER DEVELOPMENT AND HAS BEEN STRIPPED.

BENCHMARK
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LAND SURVEYING

SITE DEVELOPMENT PLANS

SLIM CHICKEN'S - FALCON

FALCON, EL PASO COUNTY, COLORADO

JOB NO. 21.030

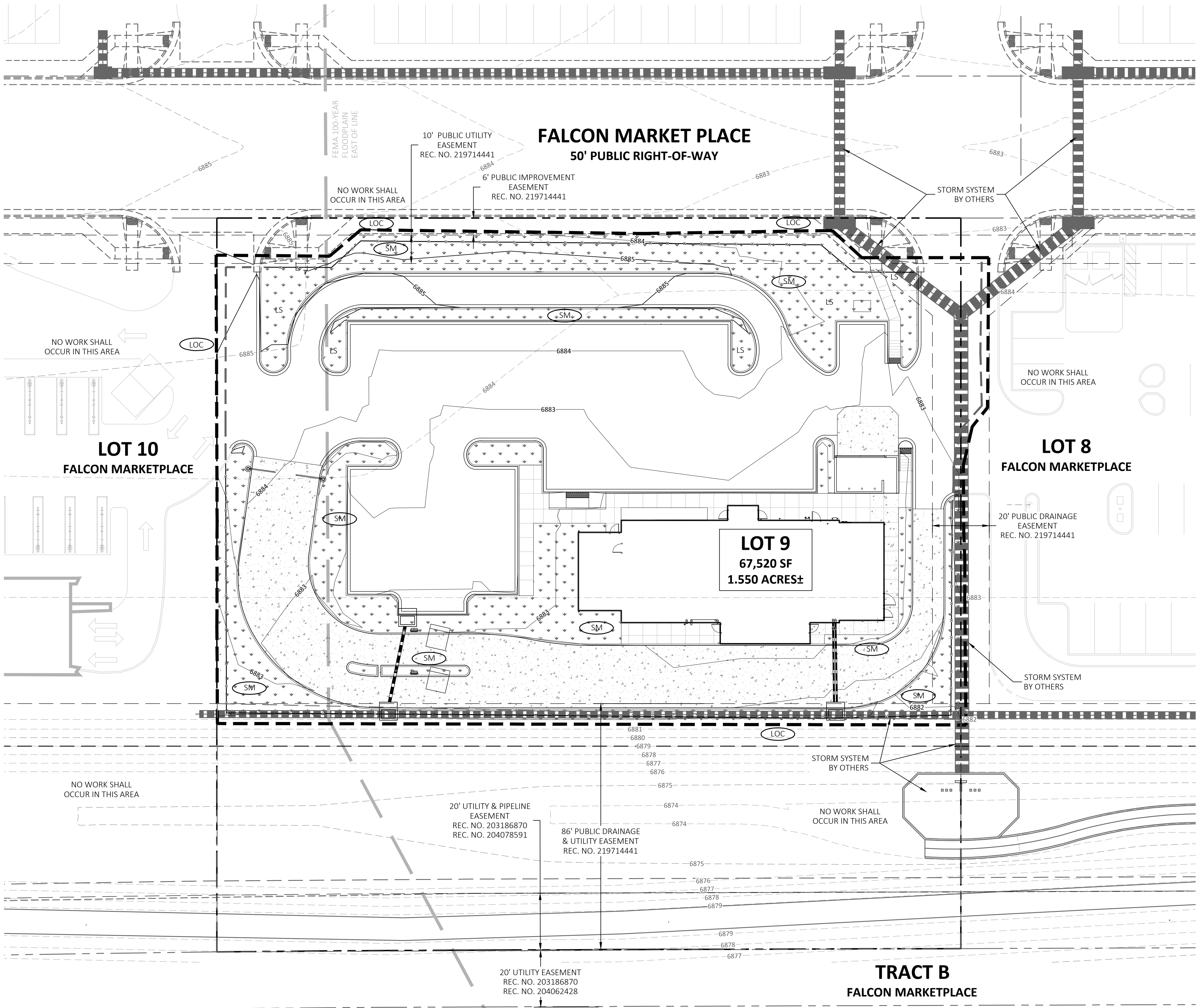
DATE	DESCRIPTION
2/21/2021	1ST SDP SUBMITTAL

INTERIM EROSION CONTROL PLAN

C5.11

SITE DEVELOPMENT PLANS FOR
**SLIM CHICKEN'S
FALCON MARKETPLACE LOT 9**

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COUNTY OF EL PASO, STATE OF COLORADO



BMP LEGEND		
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	(LOC)	LIMITES OF CONSTRUCTION
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LEGEND	
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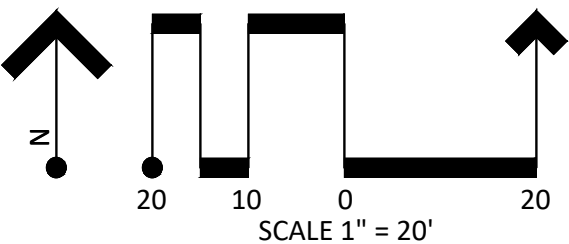
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SITE DEVELOPMENT PLANS

SLIM CHICKEN'S - FALCON

FALCON, EL PASO COUNTY, COLORADO

JOB NO. 21.030

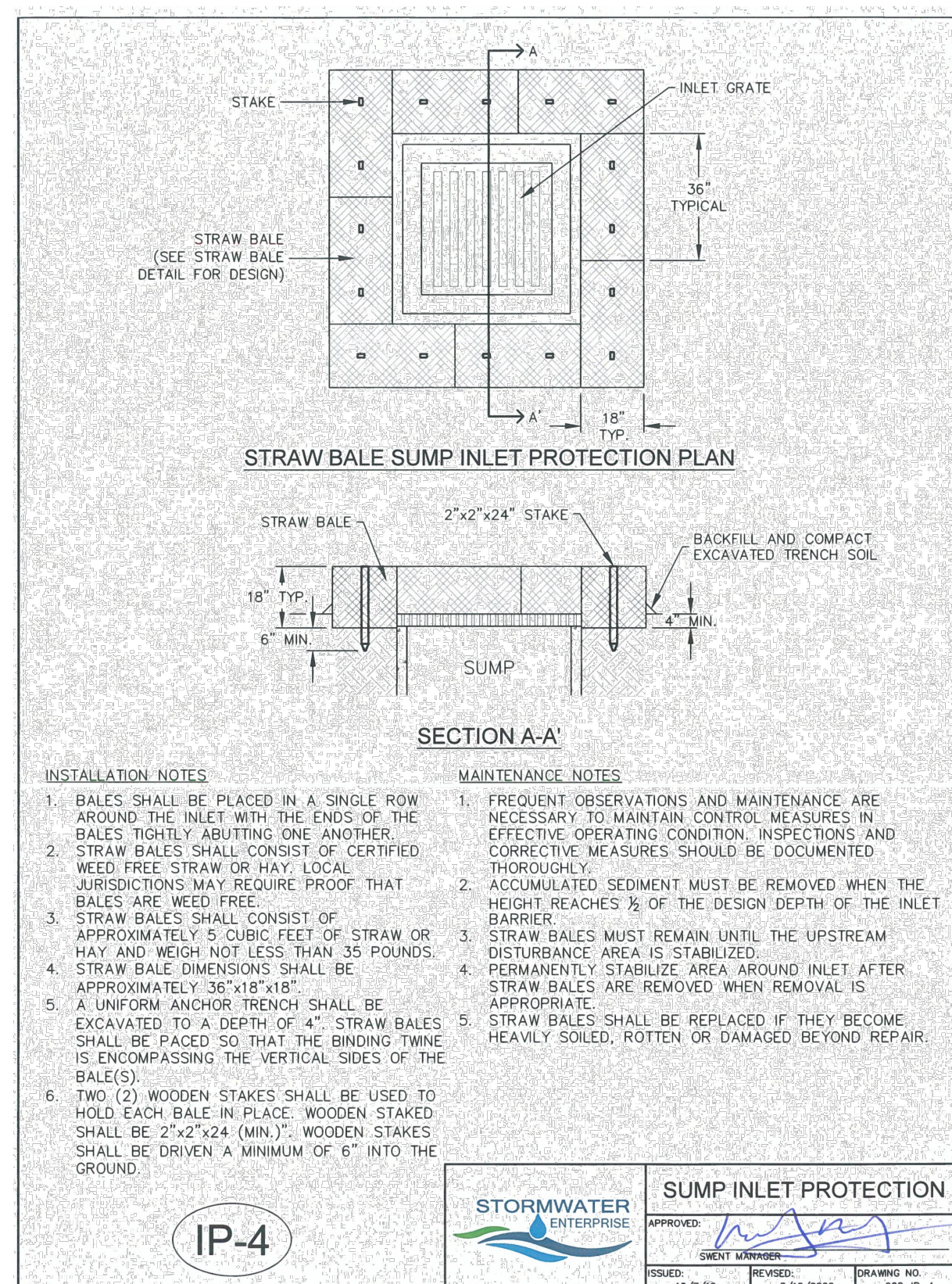
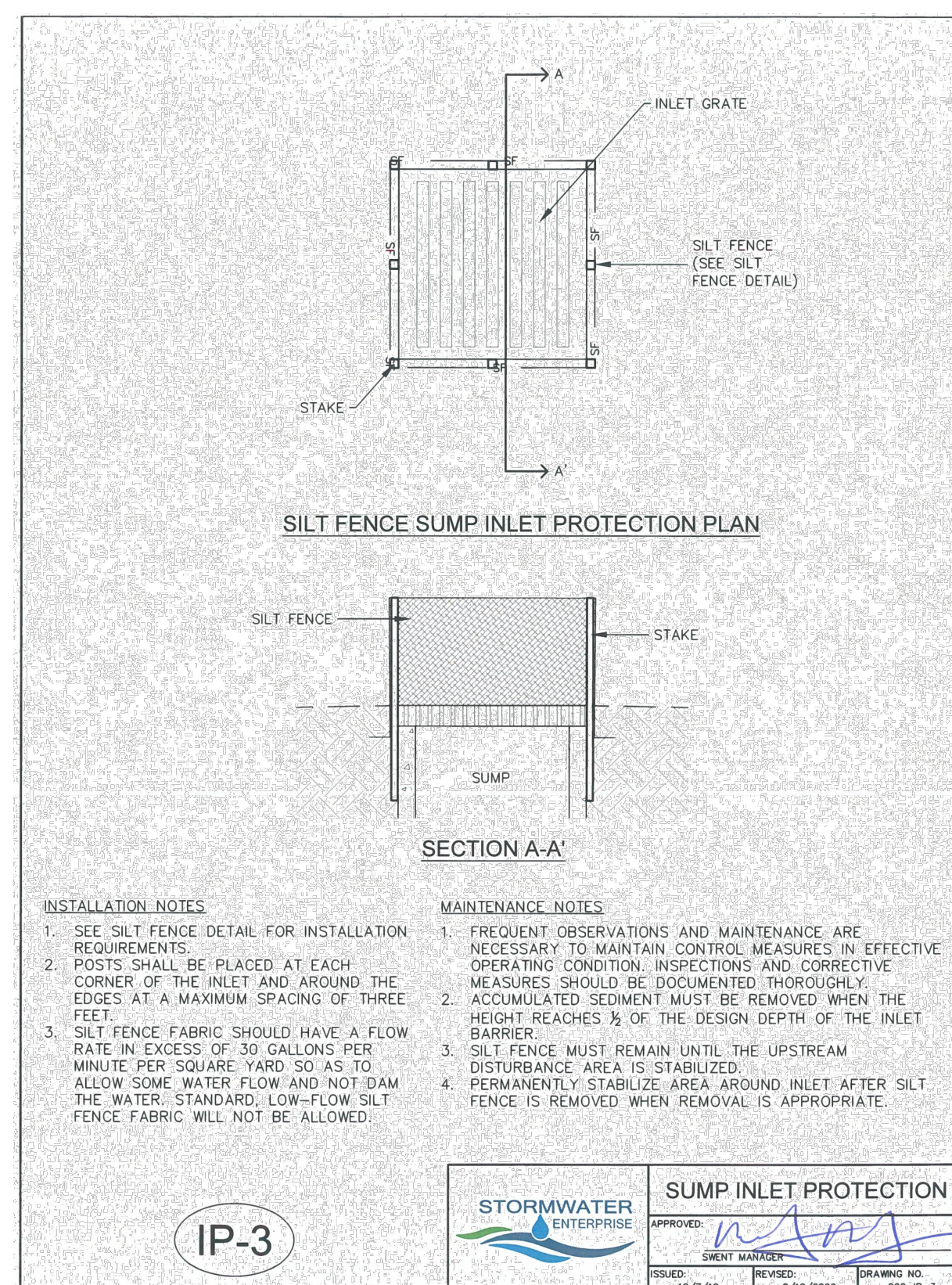
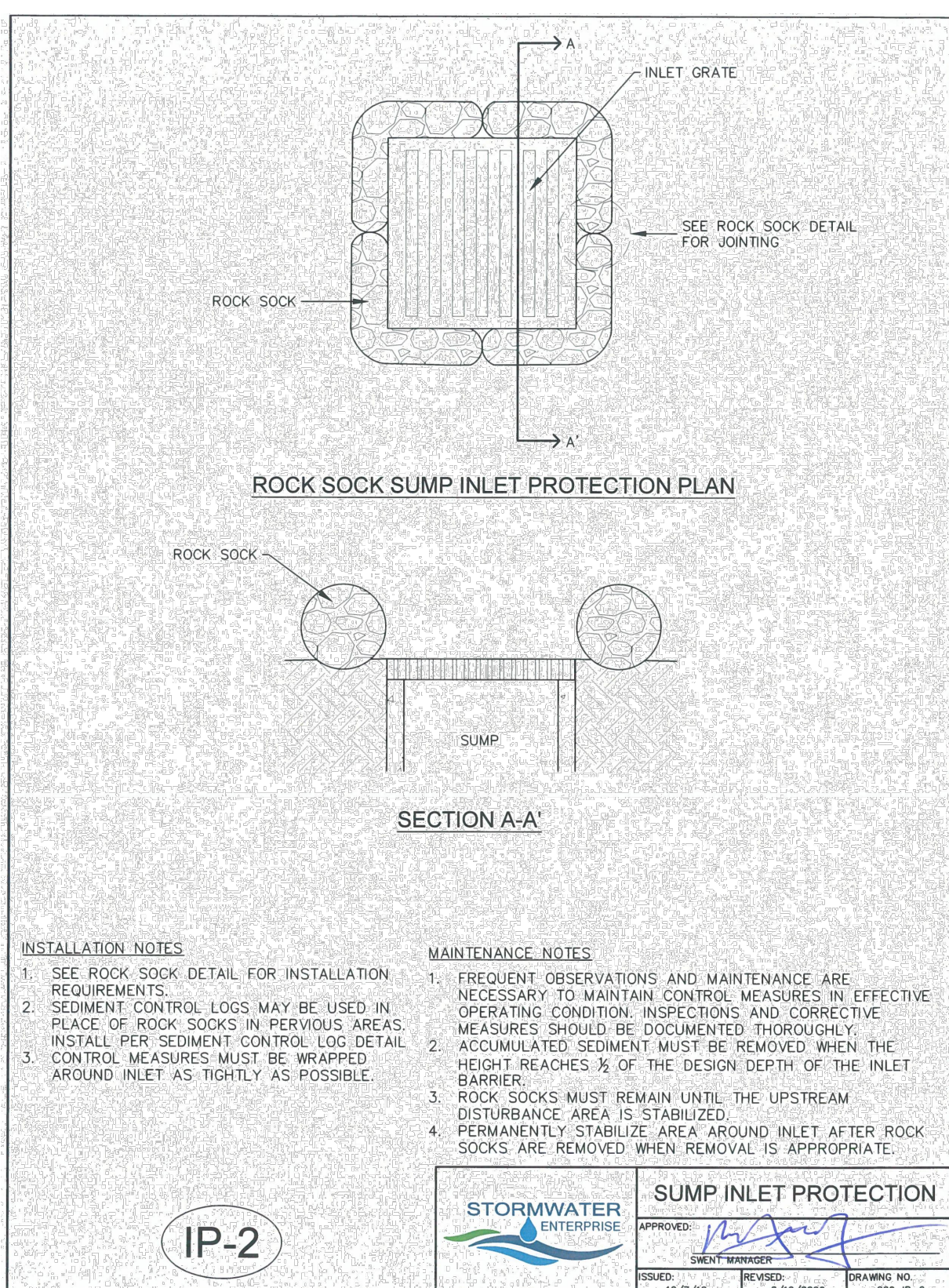
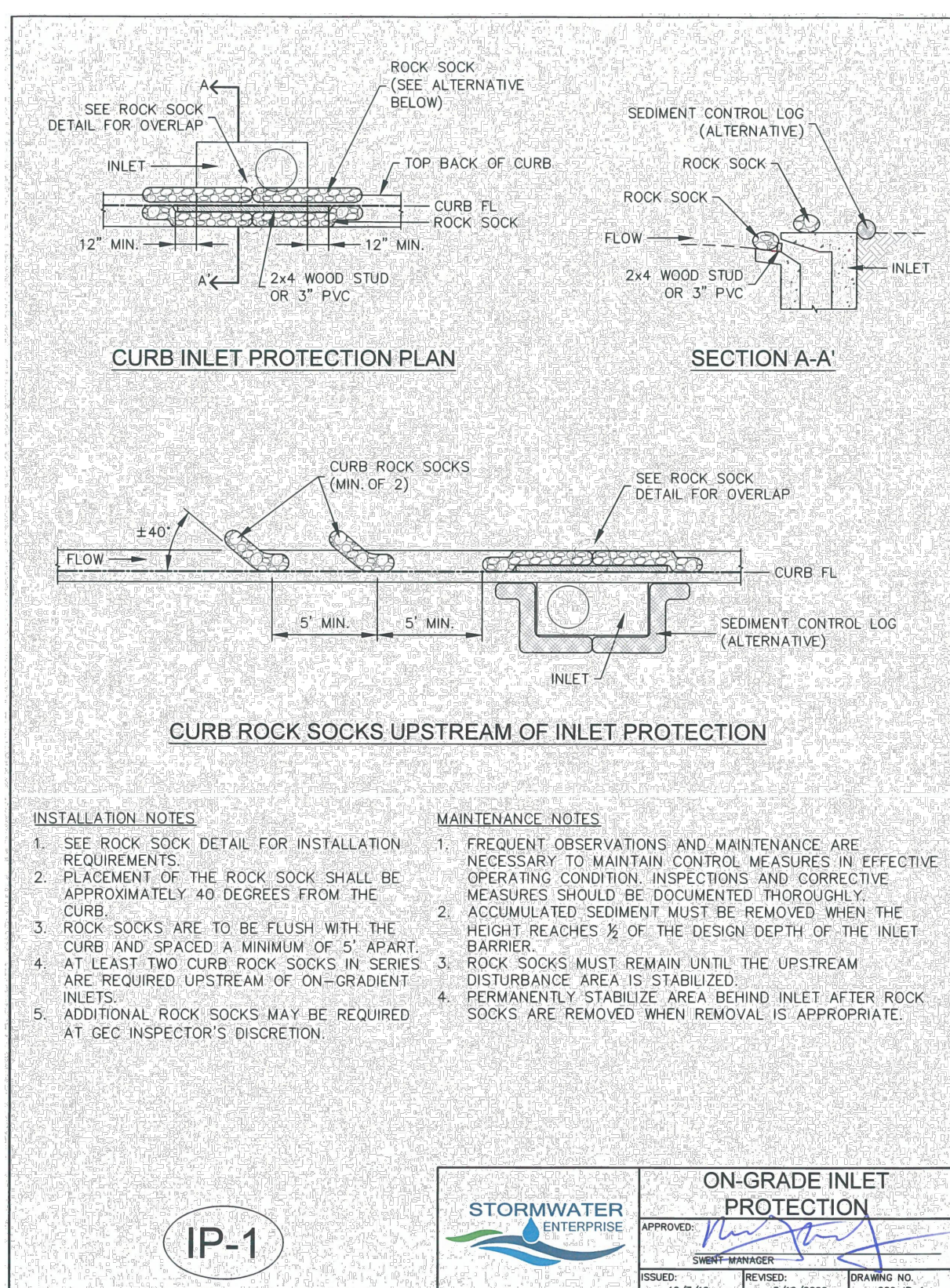
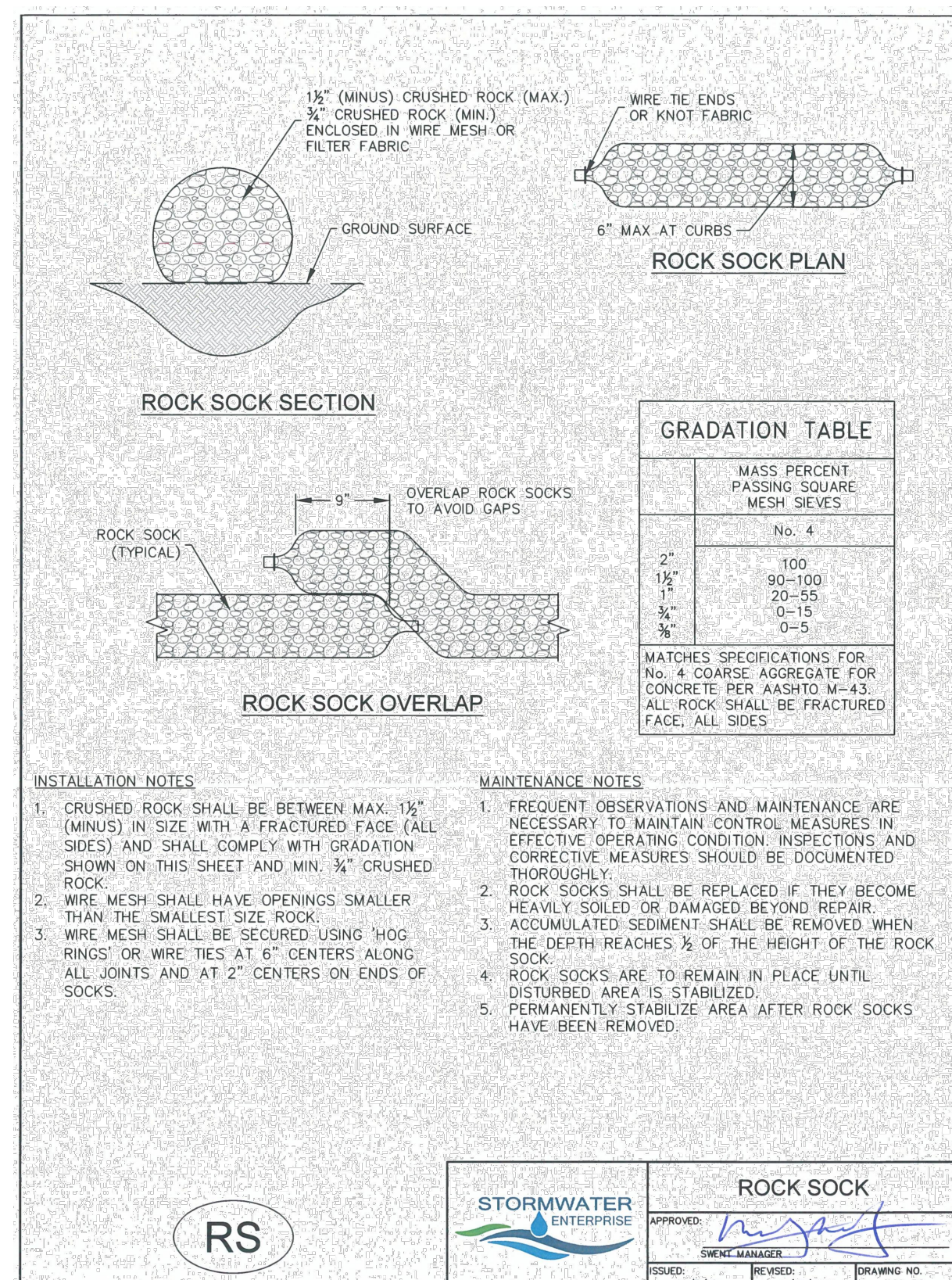
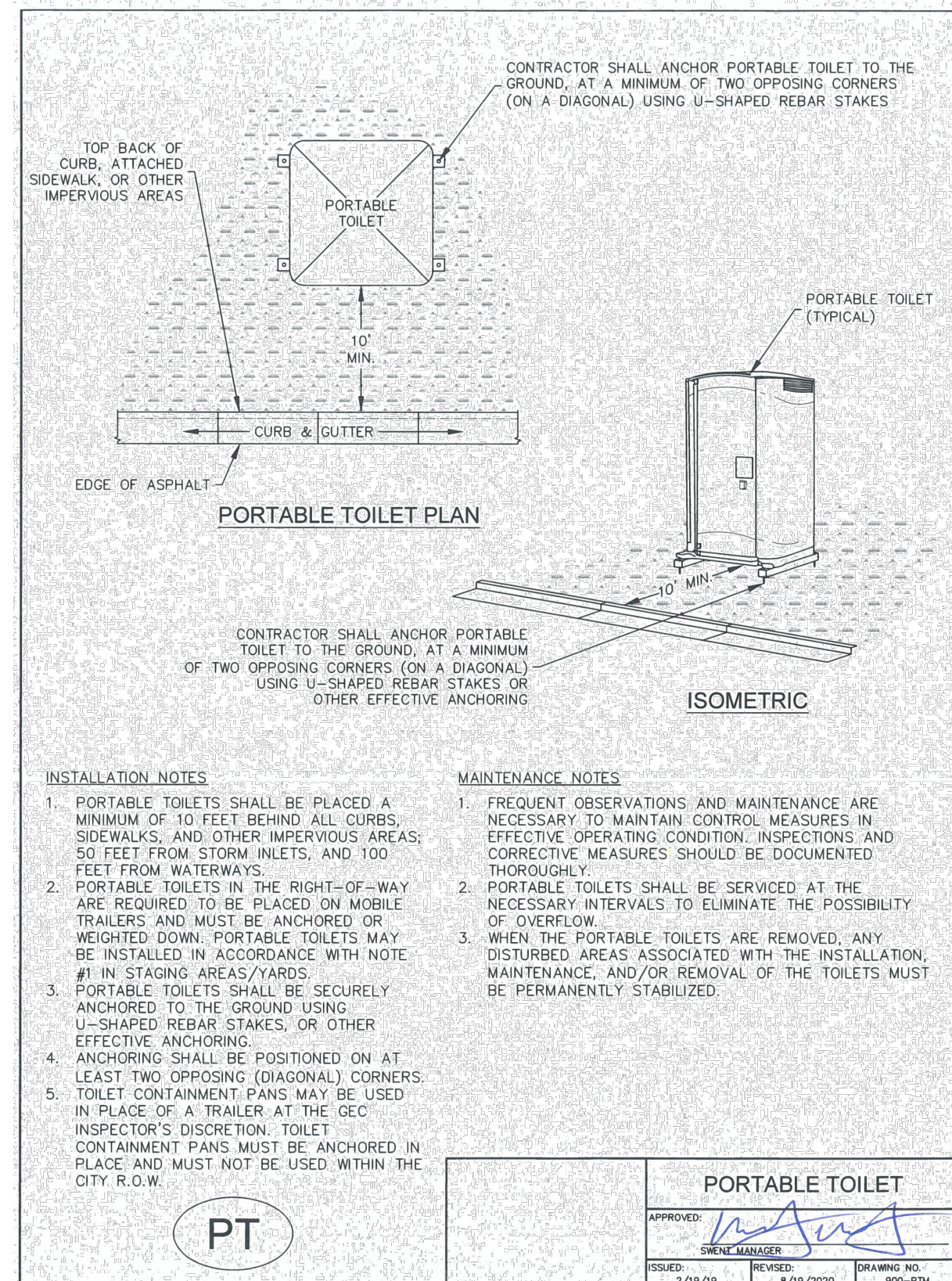
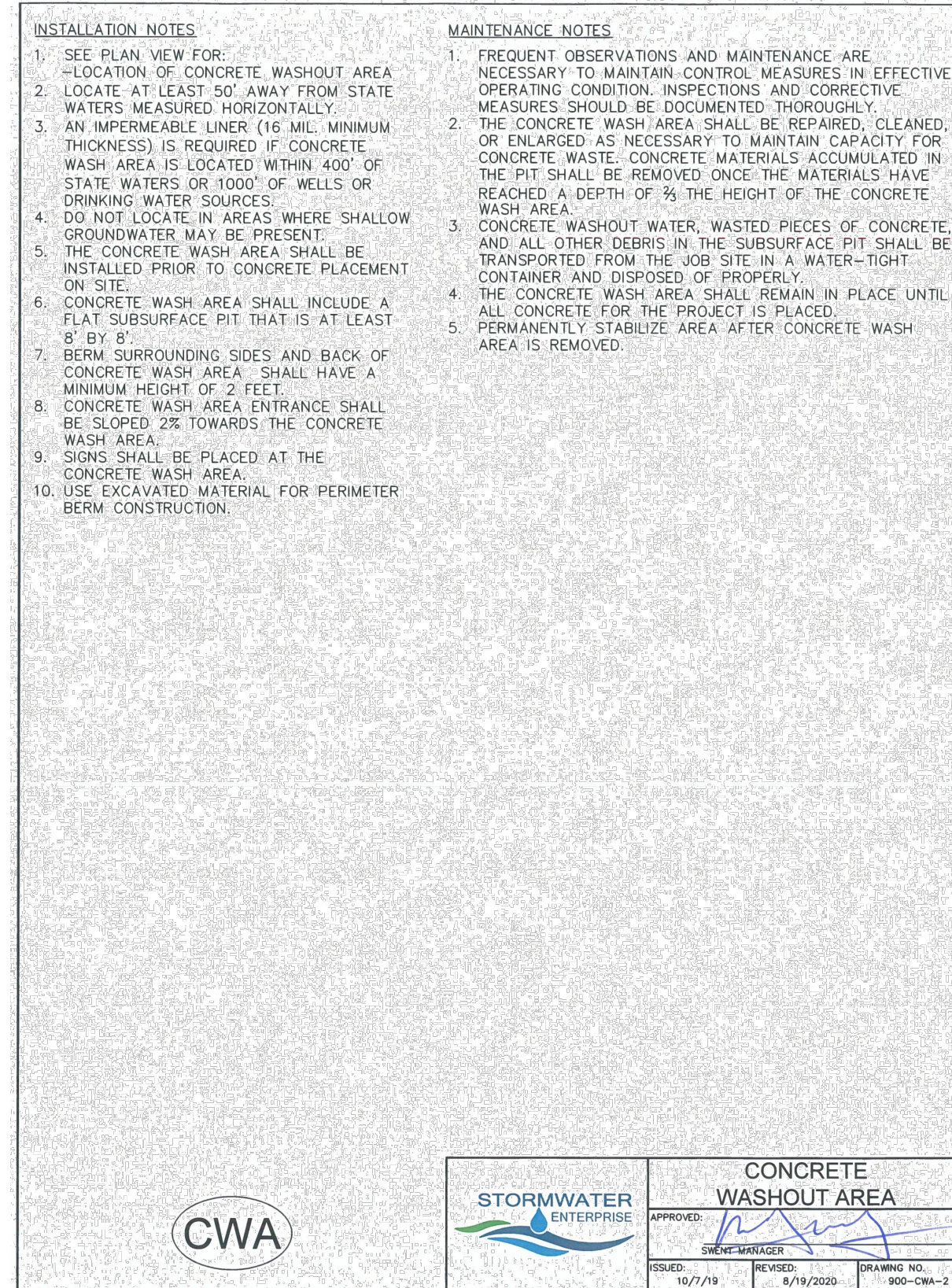
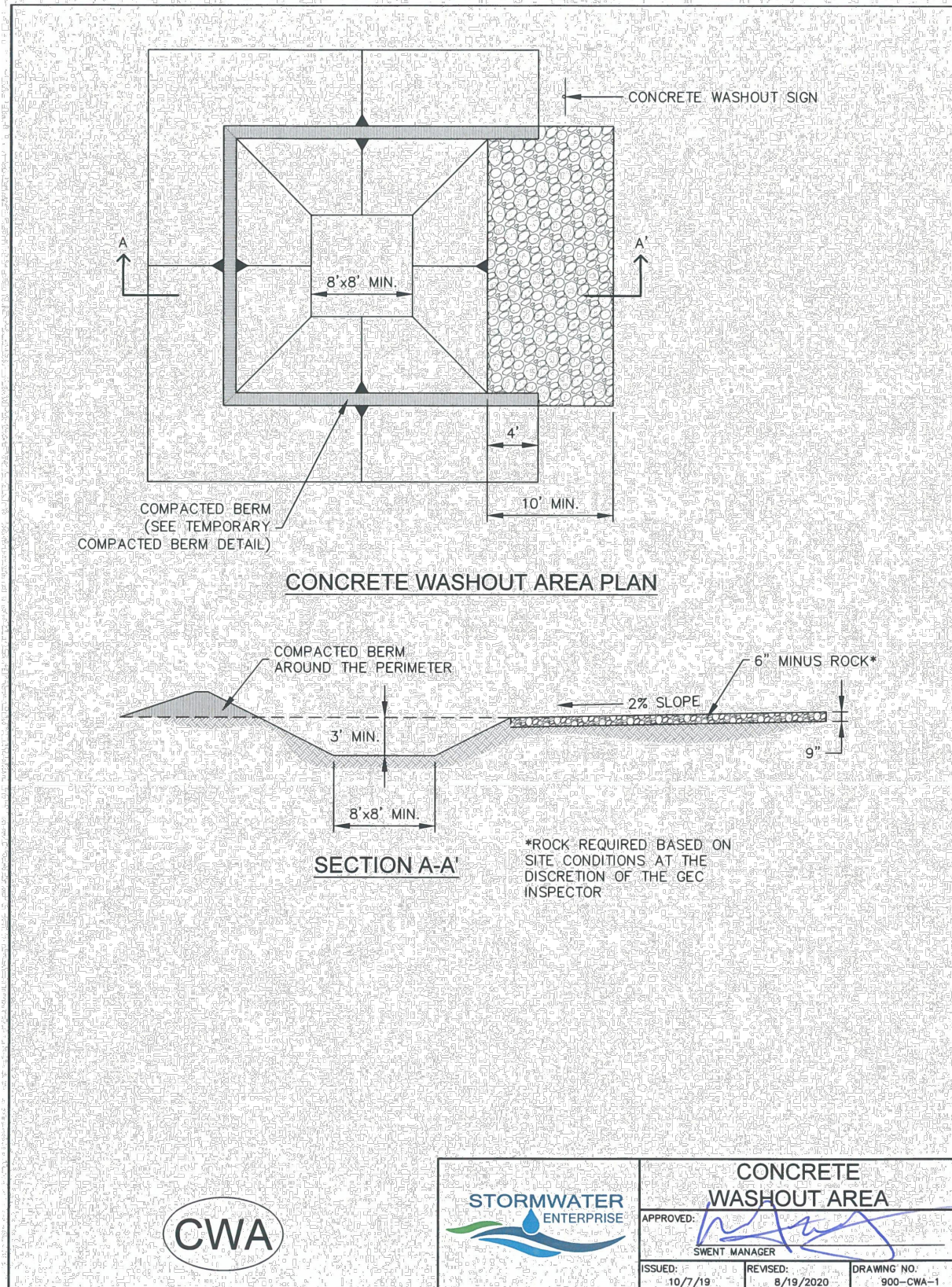
DATE	DESCRIPTION
2021.06.15	1ST SDP SUBMITTAL

FINAL EROSION CONTROL PLAN

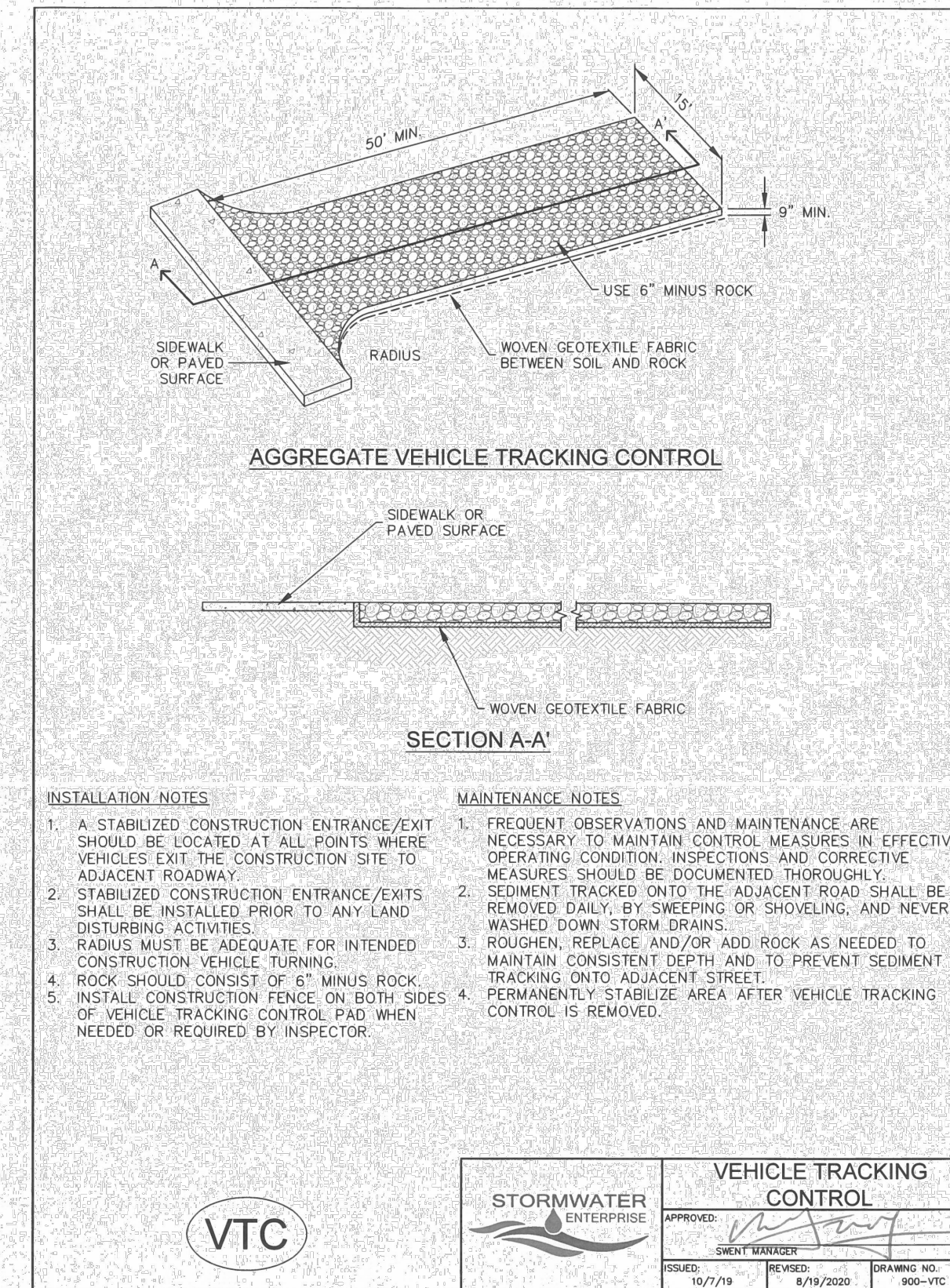
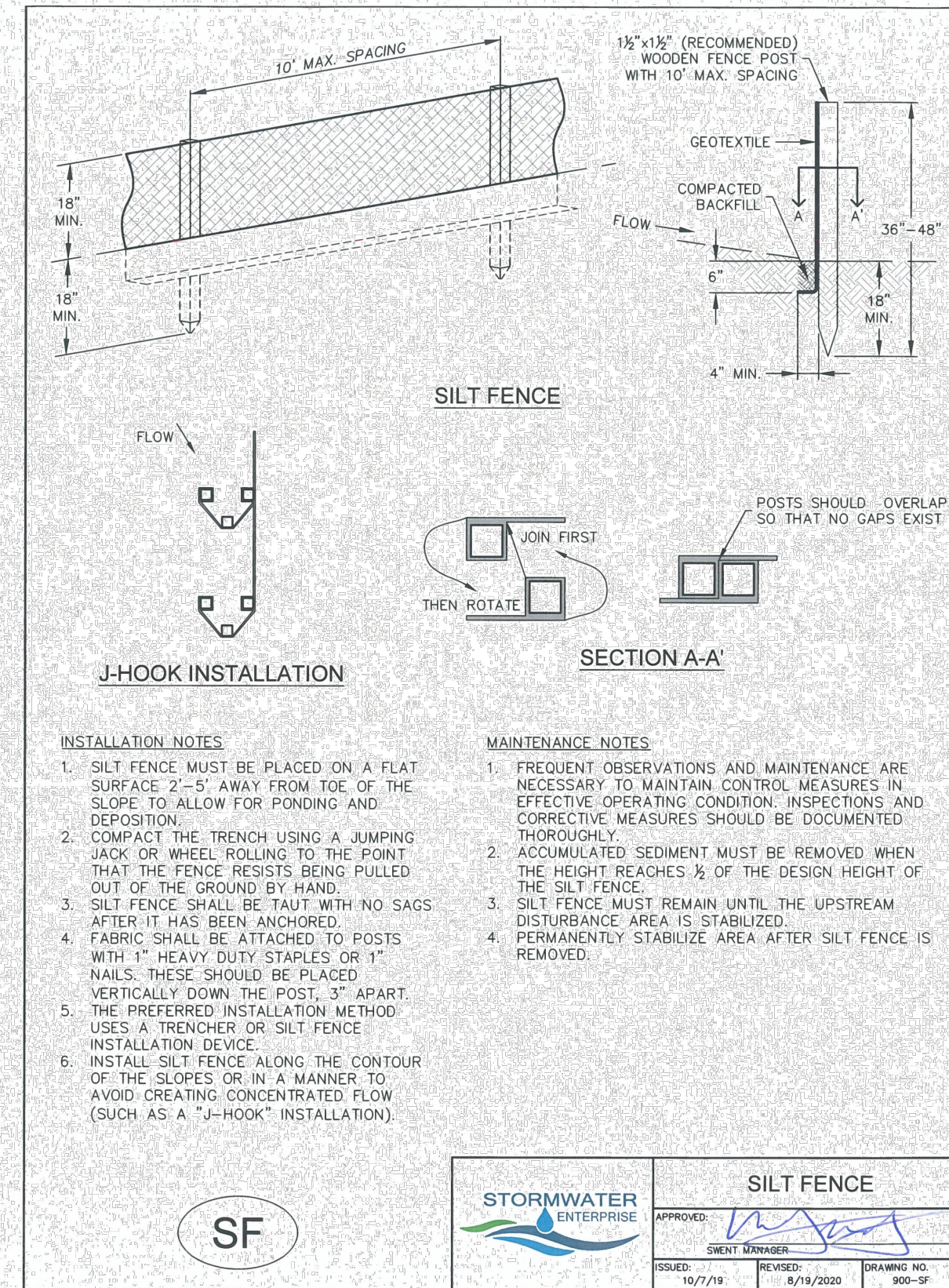
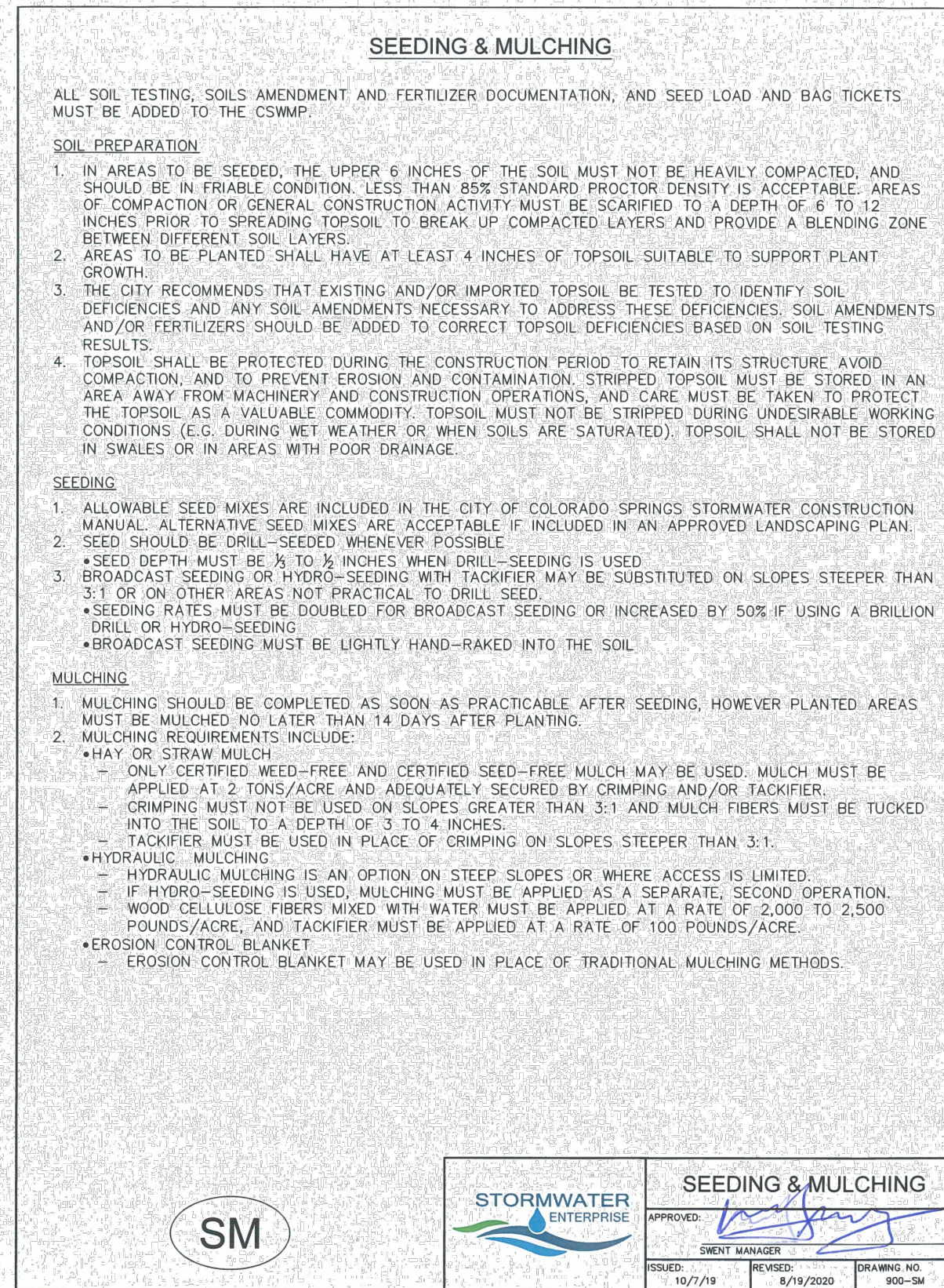
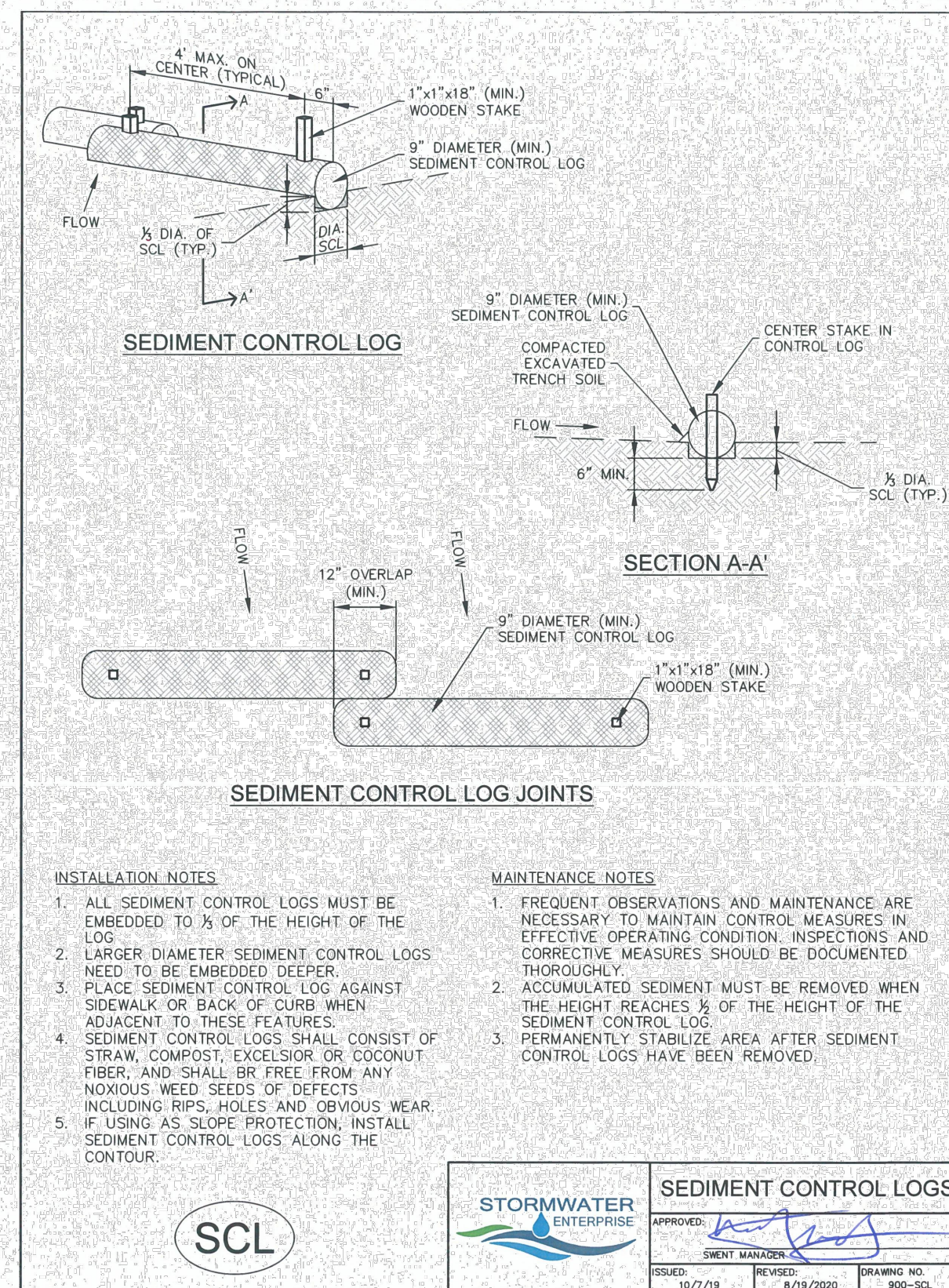
C5.12

SITE DEVELOPMENT PLANS FOR SLIM CHICKEN'S FALCON MARKETPLACE LOT 9

A PARCEL OF LAND LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1,
TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
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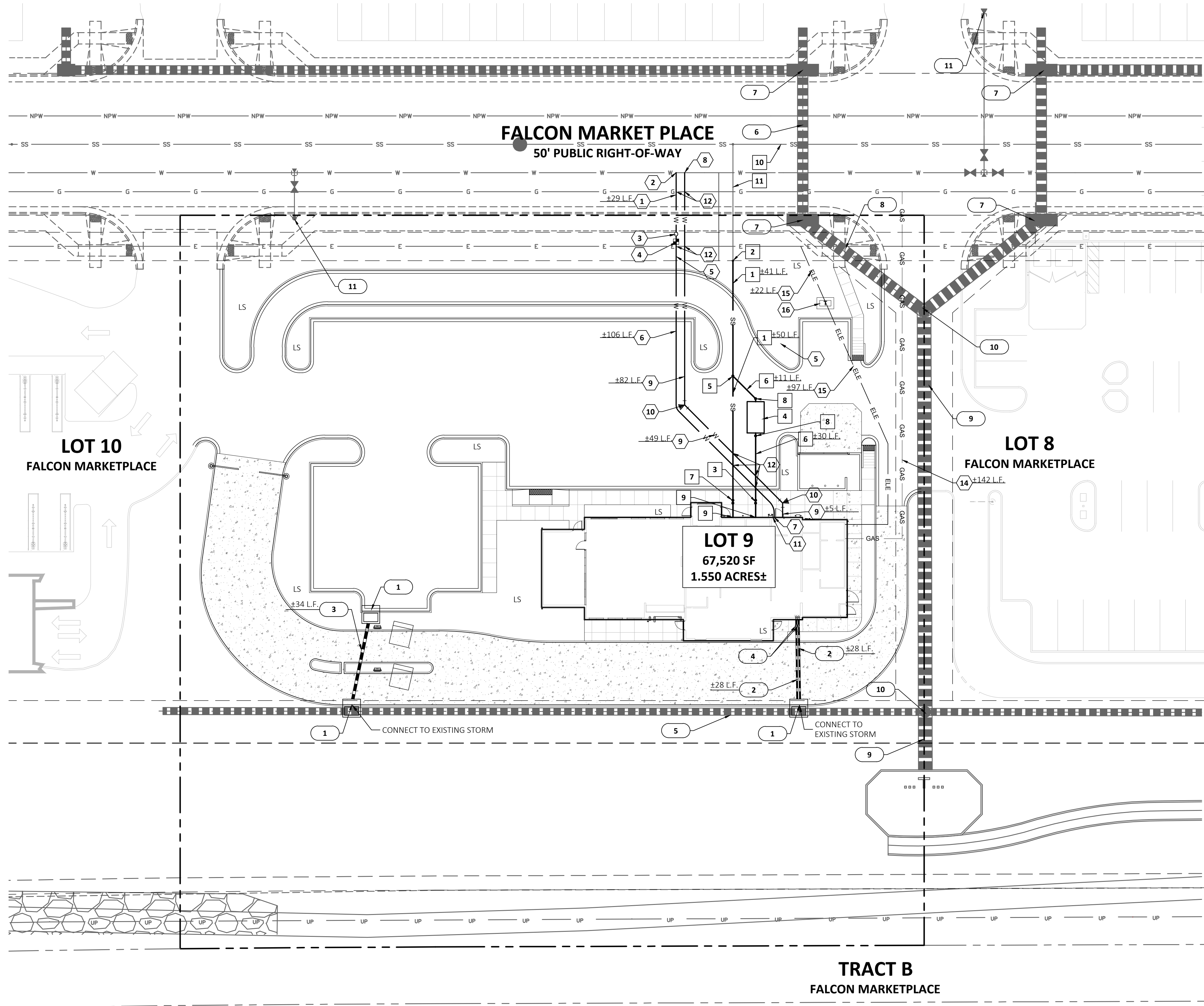


**A PARCEL OF LAND LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1,
TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO**



SITE DEVELOPMENT PLANS FOR
SLIM CHICKEN'S
FALCON MARKETPLACE LOT 9

A PARCEL OF LAND LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1,
TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
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LEGEND

- PROPERTY LINE
- EXISTING CURB AND GUTTER
- CURB AND GUTTER
- LANDSCAPE AREA
- CONCRETE SIDEWALK
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING GAS LINE
- EXISTING ELECTRIC LINE
- EXISTING STORM SEWER
- PROPOSED SEWER LINE
- EXISTING FIRE HYDRANT
- PROPOSED WATER LINE
- PROPOSED WATER CURB STOP
- PROPOSED WATER METER
- PROPOSED STORM PIPE
- PROPOSED STORM STRUCTURES

KEY NOTES

WATER AND DRY UTILITIES:

- PROPOSED 1-INCH TYPE-K COPPER WATER LINE.
- PROPOSED 1-INCH CONNECTION TO EXISTING WATER MAIN.
- PROPOSED 1-INCH CURB STOP.
- PROPOSED 1-INCH METER IN VAULT.
- PROPOSED 1-INCH BY 1.5-INCH REDUCER.
- PROPOSED 1.5-INCH TYPE-K COPPER WATER LINE.
- PROPOSED 1.5-INCH CONNECTION TO BUILDING.
- PROPOSED 4-INCH TAP SADDLE AND SLEEVE CONNECTION TO EXISTING WATER MAIN.
- PROPOSED 4-INCH DUCTILE IRON WATER LINE.
- PROPOSED 45-DEGREE BEND
- PROPOSED FDC CONNECTION
- CAUTION UTILITY CROSSING. CONTRACTOR TO VERIFY VERTICAL CLEARANCES PRIOR TO COMMENCING CONSTRUCTION. 18" MIN. VERTICAL CLEARANCE FOR SANITARY AND WATER (TYP). 24" MIN. VERTICAL CLEARANCE FOR WATER AND STORM (TYP).
- EXISTING 12-INCH WATER MAIN.
- PROPOSED GAS LINE.
- PROPOSED ELECTRIC LINE.
- PROPOSED TRANSFORMER ON CONCRETE PAD.

SANITARY:

- PROPOSED 6-INCH SANITARY LINE.
- PROPOSED CONNECTION TO EXISTING SANITARY.
- PROPOSED 4-INCH DOUBLE CLEANOUT.
- PROPOSED GREASE INTERCEPTOR.
- PROPOSED 6-INCH SANITARY SEWER CLEAN OUT.
- PROPOSED 4-INCH PVC SANITARY SERVICE LINE.
- PROPOSED 6-INCH DOUBLE CLEANOUT.
- PROPOSED 4-INCH SANITARY SEWER CLEAN OUT.
- PROPOSED CONNECTION TO BUILDING.
- EXISTING 8-INCH SANITARY MAIN.
- EXISTING 6-INCH SANITARY SERVICE LINE WITH END CAP.

STORM:

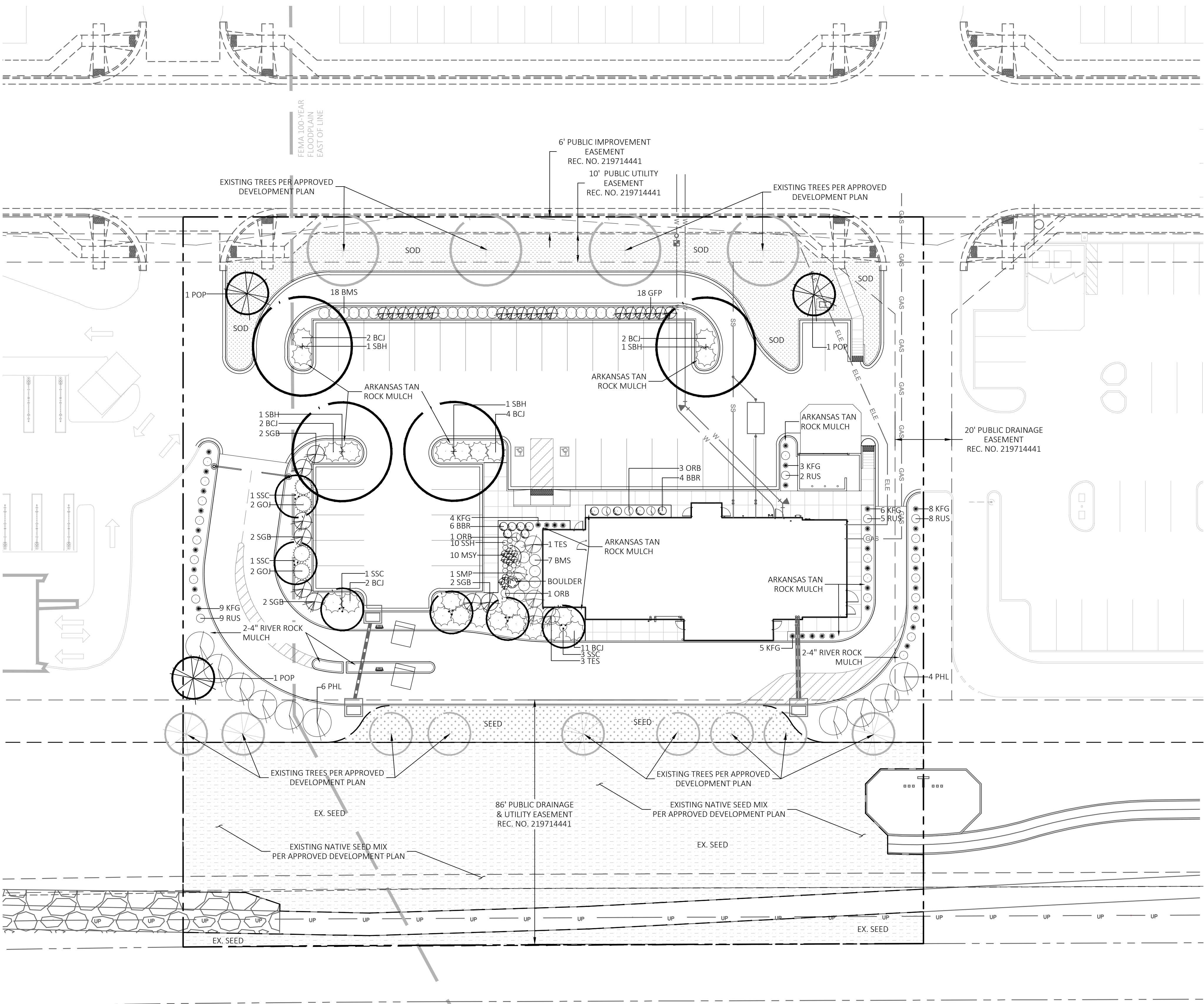
- PROPOSED 5-FOOT INLET.
- PROPOSED 6-INCH PVC STORM PIPE.
- PROPOSED 12-INCH HPPP STORM PIPE.
- PROPOSED 6-INCH STORM CLEANOUT.
- EXISTING 24-INCH RCP STORM PIPE.
- EXISTING 36-INCH RCP STORM PIPE.
- EXISTING 10-FOOT TYPE R STORM INLET.
- EXISTING 42-INCH RCP STORM PIPE.
- EXISTING 48-INCH RCP STORM PIPE.
- EXISTING TYPE I BOX BASE MANHOLE.
- EXISTING FIRE HYDRANT.

GENERAL NOTES

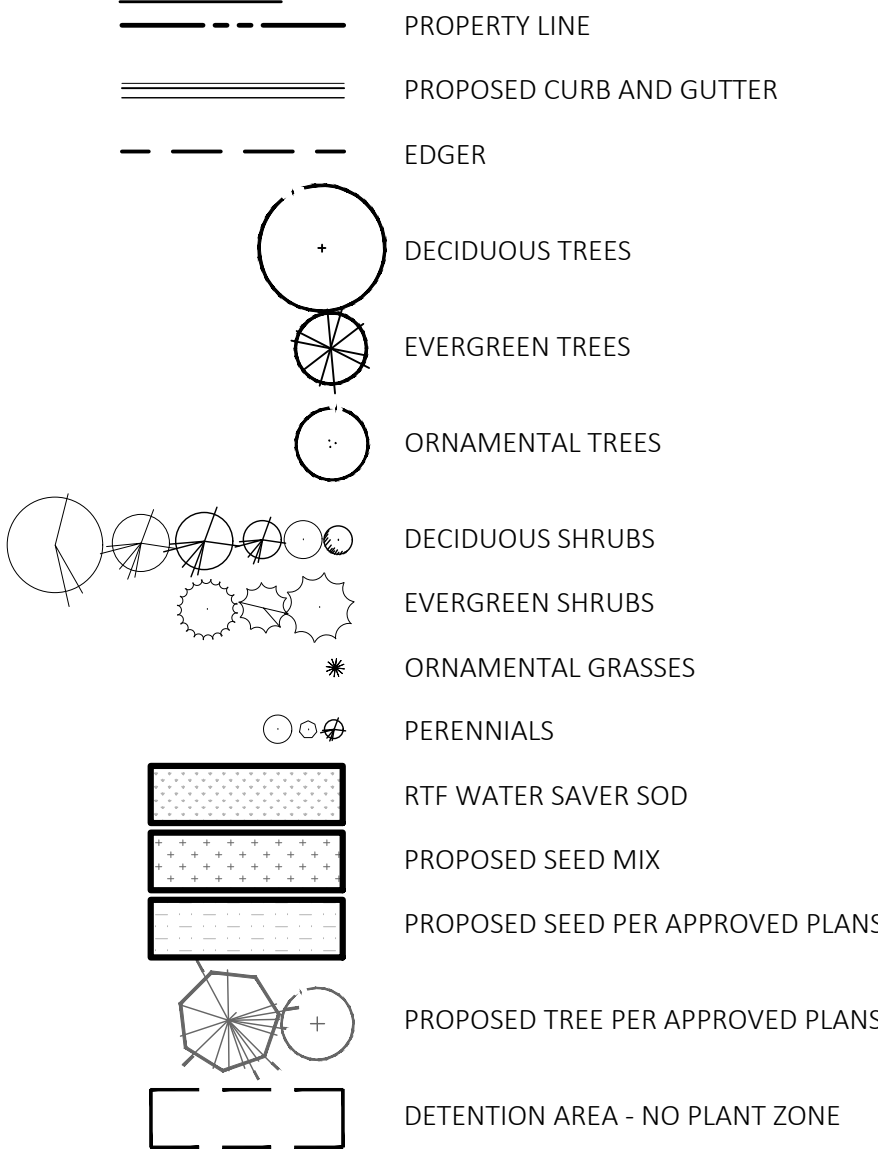
- SEE COVER SHEET FOR BENCHMARK AND BASIS OF BEARING

SITE DEVELOPMENT PLANS FOR
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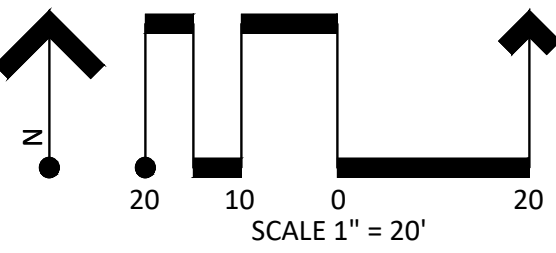



LANDSCAPE DATA

AREA	REQUIRED	PROVIDED	EXISTING
OVERALL SITE AREA	N/A	67,555 SF	
LANDSCAPE AREA	3378 SF - 5%	29,652 SF - 44%	
INTERNAL LANDSCAPE (8790 SF)			
(1 T / 500 SF)	18 TREE	9 TREE	9 TREE
		53 SHRUB/79 G&P	
STREETSCAPE			
	4		4 TREE
*SEE APPROVED DEVELOPMENT PLANS			
PARKING PERIMETER (181 LF)	2/3 COVERAGE		
LINEAR FEET	119 LF	171 LF	
SHRUBS		44 SHRUBS	
PARKING ISLANDS (4)			
(1 T PER ISLAND)	4 TREE	4 TREE	
		11 SHRUB	
LANDSCAPE TOTALS			
	26 TREE	13 TREE/108 SHRUB/79 G&P	13 TREE

GENERAL NOTES

- SEE COVER SHEET FOR BENCHMARK AND BASIS OF BEARING
- SEE SHEET L3.90, LANDSCAPE DETAILS, FOR THE LANDSCAPE NOTES, PLANT LIST, AND PLANTING DETAILS.





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SITE DEVELOPMENT PLANS

SLIM CHICKEN'S - FALCON

FALCON, EL PASO COUNTY, COLORADO

JOB NO. 21.030

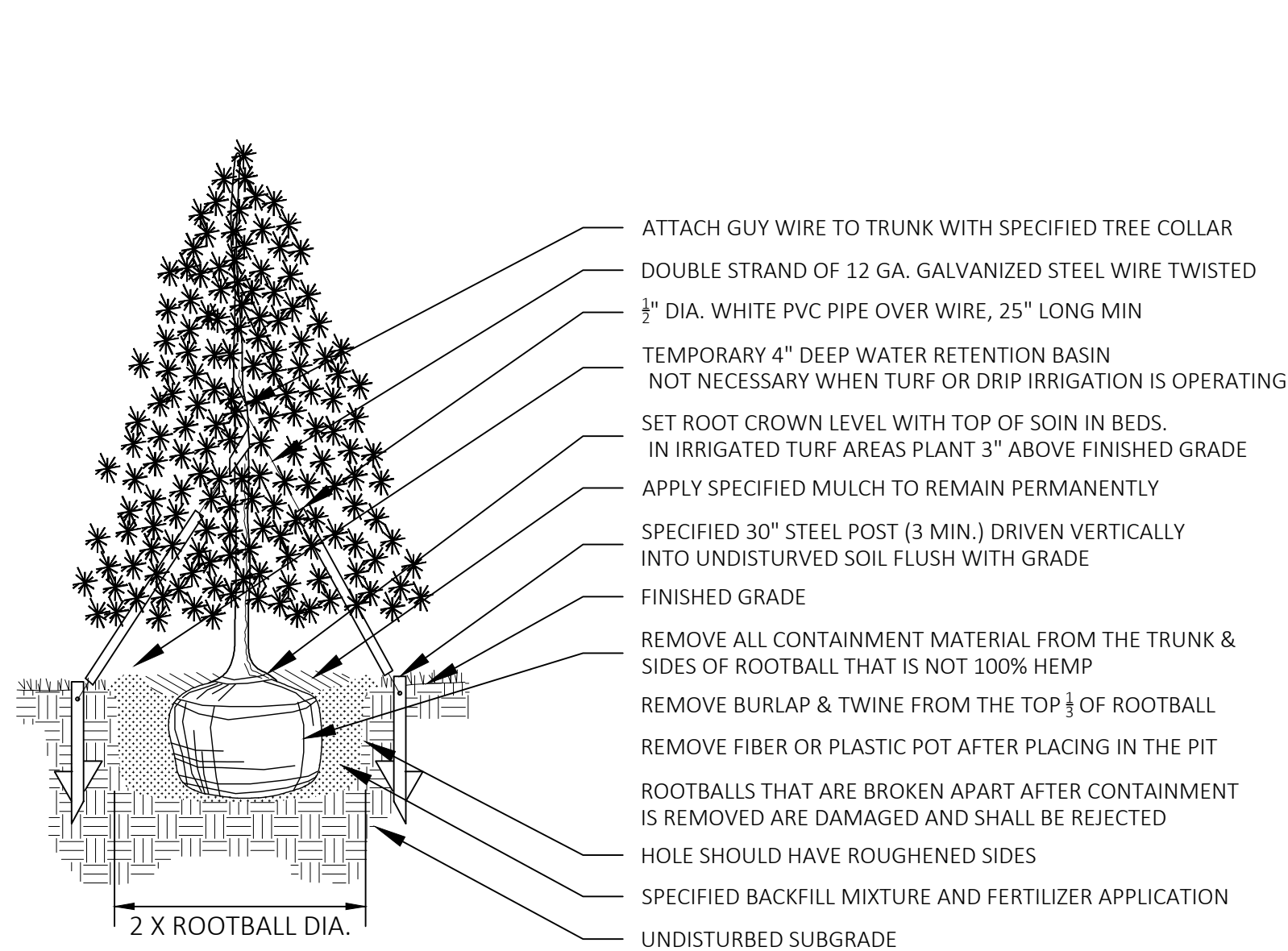
DATE	DESCRIPTION
2021.06.15	1 ST SDP SUBMITTAL

LANDSCAPE PLAN

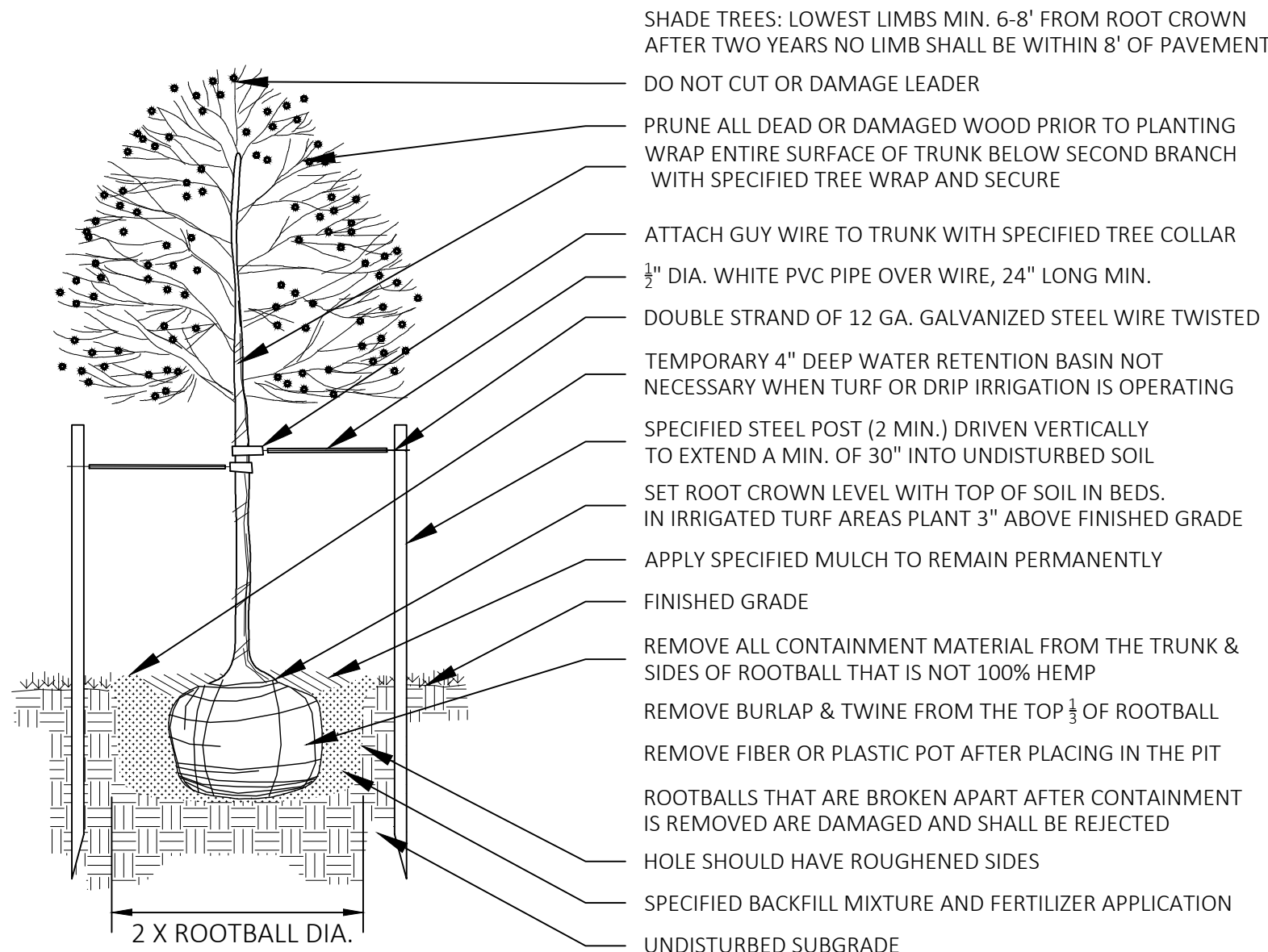
L3.10

SITE DEVELOPMENT PLANS FOR
SLIM CHICKEN'S
FALCON MARKETPLACE LOT 9

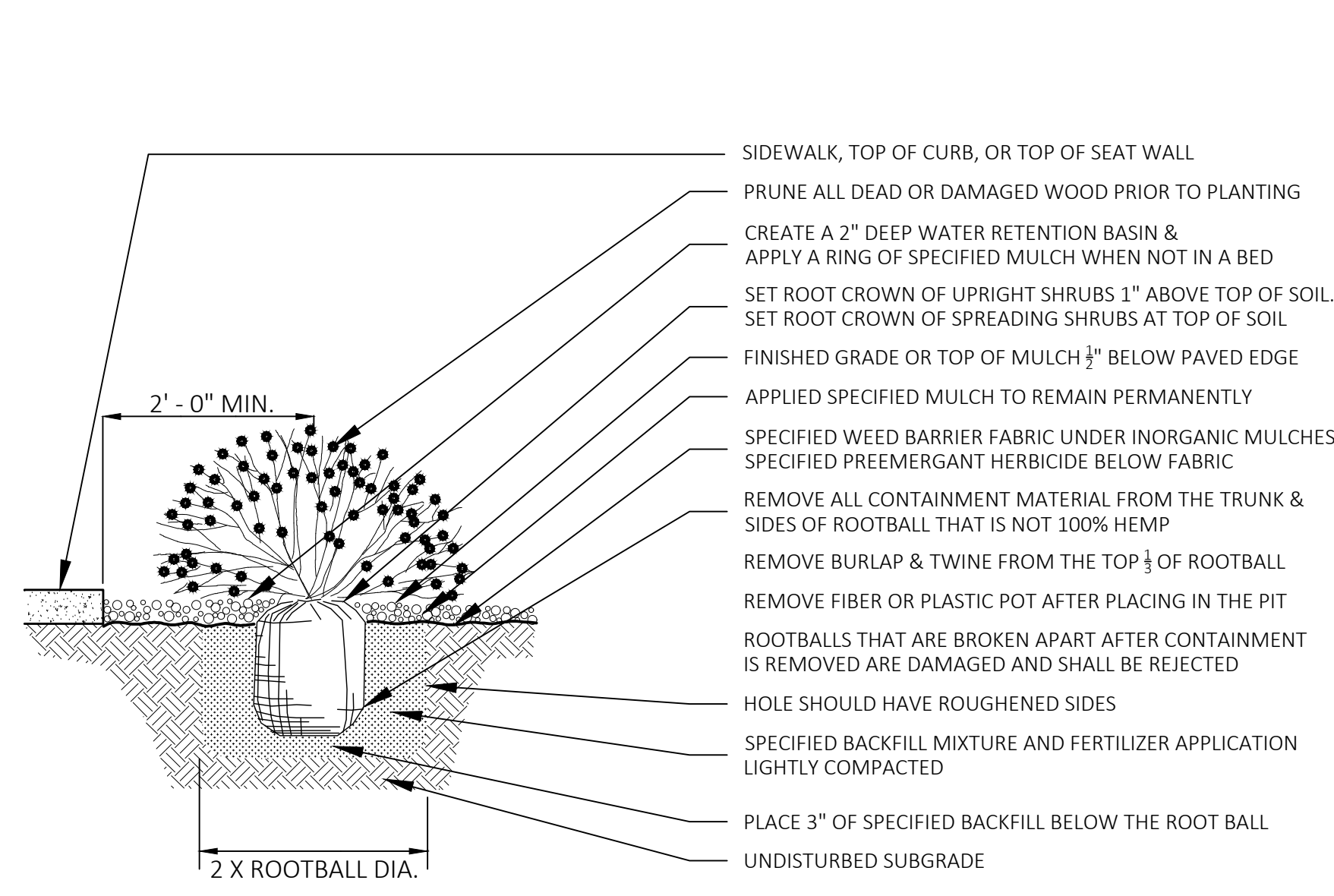
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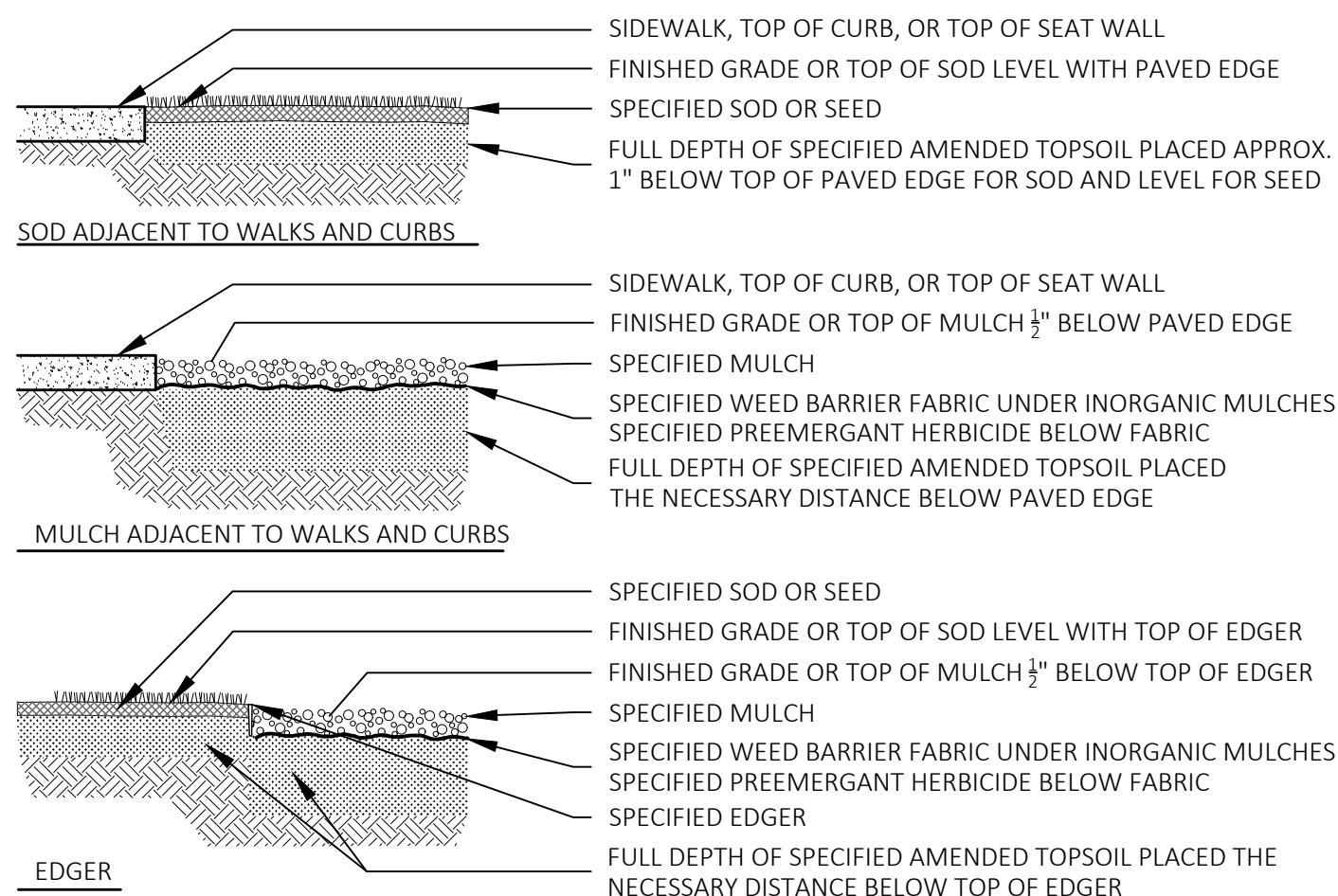
A EVERGREEN TREE PLANTING W/ GUY WIRES
NOT TO SCALE



B DECIDUOUS TREE PLANTING
NOT TO SCALE



C SHRUB PLANTING
NOT TO SCALE



D EDGE TREATMENT
NOT TO SCALE

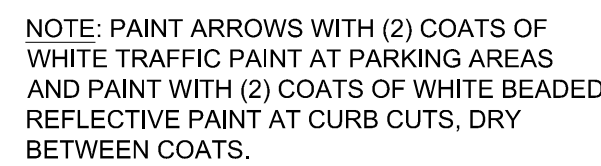
LANDSCAPE NOTES

- THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL, IRRIGATION, ARCHITECTURAL, MECHANICAL AND ELECTRICAL PLANS TO FORM COMPLETE INFORMATION REGARDING THIS SITE.
- LANDSCAPE CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND SPECIFICATIONS.
- ALL MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR, FROM DATE OF FINAL ACCEPTANCE.
- LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
- BEFORE COMMENCING WORK, CONTACT APPROPRIATE UTILITY COMPANIES FOR UTILITY LOCATIONS, AND COORDINATE WITH GENERAL CONTRACTOR IN REGARD TO LOCATION OF PROPOSED UTILITIES, IRRIGATION SLEEVES, CONDUITS, ETC.
- ALL PLANT MATERIALS SHALL MEET OR EXCEED SIZE IN SCHEDULES.
- OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET THE QUALITY REQUIRED FOR THE PROJECT. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS, ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND. PLANTING PROCEDURES SHALL CONFORM TO DETAILS.
- ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- ALL B&B PLANT MATERIAL SHALL HAVE ALL WIRE, TWINE OR OTHER CONTAINMENT MATERIAL, EXCEPT FOR THE BURLAP, REMOVED FROM THE TRUNK AND ROOT BALL OF THE PLANT PRIOR TO PLANTING.
- GROUND COVER
 - SEED - IN THE SPECIFIED AREAS, GROUND COVER SHALL BE A LOW GRO MIX BY ARKANSAS VALLEY SEED CONTAINING 30% EPHRAIM CRESTED WHEATGRASS, 25% SHEEP FESCUE, 20% PERENNIAL RYE, AND 15% CHEWINGS FESCUE. THE MIXTURE SHALL BE APPLIED AT 20-25 LBS AN ACRE.
 - SOD - IN THE SPECIFIED AREAS, SOD SHALL BE A RTF WATER SAVER SOD BY GREEN VALLEY TURF.
 - ROCK MULCH - IN THE SPECIFIED AREAS, INSTALL 2-4" ARKANSAS TAN COBBLE AND 1 1/2" ARKANSAS TAN ROCK BY C&C SAND AND STONE.
 - WOOD MULCH - IN THE SPECIFIED AREAS, INSTALL WESTERN RED CEDAR WOOD MULCH.
- BOULDERS: IN THE SPECIFIED AREA, INSTALL A 3' X 3' SILOAM STONE BOULDER BY C&C SAND AND STONE, OR AN APPROVED EQUAL.
- TOPSOIL SHOULD BE STRIPPED TO A DEPTH OF 6 INCHES AND ALL STOCKPILES SHOULD HAVE SIDE SLOPES NO STEEPER THAN 3:1 AND SEEDED.
- ALL DISTURBED AREAS SHOULD BE SEEDED AND MULCHED WITH WEED FREE HAY MULCH AT 4,000 LBS/ACRE. ALL DISTURBED AREAS SHOULD BE RE-SEEDED BETWEEN THE PLANTING DATES OF NOV. 1 - APRIL 30TH.
- GRASS SEED SHOULD BE DRILLED AT A DEPTH OF 1/4 INCH TO 1/2 INCH DEEP.
- SOIL PREPARATION: MIX THE FOLLOWING SOIL AMENDMENTS AND APPLY TO SOD AND SHRUB BED AREAS.
 - ASPEN RICH COMPOST -- 4 CUBIC YARDS PER 1,000 S.F.
 - COMMERCIAL FERTILIZER (20-10-5): 10 lbs. PER 1,000 S.F.
 - SUPERPHOSPHATE: 10 lbs. PER 1,000 S.F.
- BACKFILL FOR TREES AND SHRUBS: SHALL CONSIST OF 1/3 ASPEN RICH COMPOST AND 2/3 SITE SOIL. FERTILIZE WITH AGRI-FORM TABLETS AT MANUFACTURER'S RECOMMENDED RATES.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADES IN LANDSCAPE AREAS.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL AS NECESSARY BY THIS WORK.
- TEST SOIL IN PROPOSED LANDSCAPE AREAS PREVIOUSLY PAVED OR BUILT ON FOR STERILENT AND REMOVE CONTAMINATED SOIL. BACKFILL WITH SPECIFIED TOPSOIL.
- CONTRACTOR SHALL REPAIR ALL DAMAGE DUE TO HIS CONSTRUCTION AND KEEP PROJECT AREAS CLEAN AND ORDERLY DURING AND UPON COMPLETION OF HIS WORK.

PLANT LIST

Qty.	Sym.	Scientific/Botanic Name	Container/Size	Notes	Habit
DECIDUOUS TREES					
4	SBH	SUNBURST HONEYLOCUST Gleditsia triacanthos inermis 'Suncole'	2" CAL SINGLE TRUNK	FULL CROWN, B&B, STAKED SPECIMEN QUALITY	35X35 FEET
ORNAMENTAL TREES					
6	SSC	SPRING SNOW CRABAPPLE Malus sp. 'Spring Snow'	1 1/2" CAL SINGLE TRUNK	STRAIGHT TRUNK, B&B SPECIMEN QUALITY, STAKED	20x15 FEET
EVERGREEN TREES					
3	POP	PONDEROSA PINE Pinus ponderosa	6'-10' HT. SEE PLAN	FULL FORM, B&B SPECIMEN QUALITY, GUYED	60X30 FEET
DECIDUOUS SHRUBS					
10	BBR	BLUE CHIP JUNIPER Juniperus horizontalis 'Blue Chip'	5 GAL. 18"-24" HT.	SPACING 36" O.C. 5 CANES MIN.	2X3 FEET
25	BMS	BLUE MIST SPIREA Caryopteris x clandonen 'Blue Mist'	5 GAL. 18"-24" HT.	SPACING 36" O.C. 5 CANES MIN.	4x3 FEET
18	GFP	GOLDFINGER POTENTILLA Potentilla fruticosa 'Goldfinger'	5 GAL. 18"-24" HT.	SPACING 36" O.C. 5 CANES MIN.	3X4 FEET
5	ORB	ORANGE ROCKET BARBERRY Berberis thunbergii 'Orange Rocket'	5 GAL. 18"-24" HT.	SEE PLAN FOR SPACING 5 CANES MIN.	5X2.5 FEET
10	PHL	POCAHONTAS LILAC Syringa x hyacinthiflora 'Pocahontas'	5 GAL. 18"-24" HT.	SPACING 10' O.C. 5 CANES MIN.	12X12 FEET
8	SGB	SPANISH GOLD BROOM Cytisus purgans	5 GAL. 18"-24" HT.	SPACING 72" O.C. 5 CANES MIN.	4X6 FEET
4	TES	TIGER EYES SUMAC Rhus typhina 'Bailtiger'	5 GAL. 18"-24" HT.	SPACING 60" O.C. 5 CANES MIN.	6X6 FEET
EVERGREEN SHRUBS					
23	BCI	BLUE CHIP JUNIPER Juniperus horizontalis 'Blue Chip'	5 GAL. 18"-24" SPREAD	SPACING 72" O.C. 5 CANES MIN.	9'X7 FEET
4	GOJ	GREY OWL JUNIPER Juniperus virginiana 'Grey Owl'	5 GAL. 18"-24" SPREAD	SPACING 60" O.C. 5 CANES MIN.	3X6 FEET
1	SMP	SLOWMOUND MUGO PINE Pinus mugo 'Slowmound'	5 GAL. 18"-24" SPREAD	SPACING 48" O.C. 5 CANES MIN.	3X5 FEET
ORNAMENTAL GRASSES					
35	KFG	KARL FOERSTER FEATHER REED Calamagrostis acuti. 'Karl Foerster'	5 GAL. ESTABLISHED	SPACING 24" O.C.	4X2 FEET
PERENNIALS					
10	MSY	MOONSHINE YARROW Achillea x 'Moonshine'	1 GAL. ESTABLISHED	SEE PLAN FOR SPACING	24X24 INCHES
24	RUS	DENIM N LACE RUSSIAN SAGE Perovskia atriplicifolia 'Denim 'n Lace'	1 GAL. ESTABLISHED	SPACING 36" O.C.	36X36 INCHES
10	SSH	SONORAN SUNSET HYSSOP Agastache cana 'Sinning'	1 GAL. ESTABLISHED	SEE PLAN FOR SPACING	18X18 INCHES
GROUND COVER					
SEED		LOW GRO NATIVE SEED MIX			1,995 SQ. FT.
SOD		RTF WATER SAVER SOD			4,276 SQ. FT.

**A PARCEL OF LAND LOCATED IN THE SE QUARTER OF SECTION 1, TOWNSHIP 13
SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO**



9 SITE LIGHT POLE
SCALE: 1/2" = 1'-0"

