

HR GREEN Xrefs: sdp, site, data, xc-03-cov, xv-cov, xc-cov, legend, light-pole, Wall_Details, lot, blob, typicals, esp, cover, general, notes, avigation, assessment, floodplain, statement, ADA, notes, 05-XC-ROW, xc-dgn, xc-dgn-matrix, typical_sections, typical_actions, matrix, ada, parking, detail, legal, description, xref-1.dwg, SFP, HUHN, KEN, 11/2/2023 2:53 PM

LEGAL DESCRIPTION:

A PARCEL OF LAND LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE NORTH-SOUTH CENTERLINE OF SAID SECTION 9, MONUMENTED AT BOTH ENDS BY A 3 1/4" ALUMINUM CAP STAMPED "RLS 10377", AND IS ASSUMED TO BEAR S 00°19'23" E, A DISTANCE OF 5252.20 FEET.

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 9; THENCE N 26°26'00" E, A DISTANCE OF 2193.75 FEET TO THE SOUTHWEST CORNER OF THAT PARCEL OF LAND RECORDED UNDER RECEPTION NO. 217095082 OF THE RECORDS OF EL PASO COUNTY; THENCE N 78°40'02" E, A DISTANCE OF 17.06 FEET ALONG THE SOUTHERLY LINE OF SAID PARCEL TO THE POINT OF BEGINNING;

THENCE THE FOLLOWING TWENTY ONE (21) COURSES ALONG THE SOUTHERLY LINE OF SAID PARCEL:

- 1) N 78°40'02" E, A DISTANCE OF 99.73 FEET;
2) N 71°35'08" E, A DISTANCE OF 50.42 FEET;
3) N 70°23'19" E, A DISTANCE OF 59.86 FEET;
4) N 77°53'05" E, A DISTANCE OF 68.07 FEET;
5) S 78°35'46" E, A DISTANCE OF 66.61 FEET;
6) S 81°03'44" E, A DISTANCE OF 64.48 FEET;
7) S 85°11'50" E, A DISTANCE OF 93.93 FEET;
8) N 73°00'46" E, A DISTANCE OF 10.12 FEET;
9) N 64°40'00" E, A DISTANCE OF 40.77 FEET;
10) N 56°29'23" E, A DISTANCE OF 49.43 FEET;
11) N 54°28'00" E, A DISTANCE OF 64.73 FEET;
12) N 73°15'59" E, A DISTANCE OF 65.21 FEET;
13) N 83°14'32" E, A DISTANCE OF 65.21 FEET;
14) S 86°46'55" E, A DISTANCE OF 65.21 FEET;
15) S 76°48'22" E, A DISTANCE OF 65.21 FEET;
16) S 58°01'44" E, A DISTANCE OF 65.11 FEET;
17) S 56°51'17" E, A DISTANCE OF 63.47 FEET;
18) N 73°43'11" E, A DISTANCE OF 12.43 FEET;
19) N 67°07'45" E, A DISTANCE OF 83.24 FEET;
20) S 83°00'10" E, A DISTANCE OF 91.98 FEET;
21) N 74°03'26" E, A DISTANCE OF 64.38 FEET;

THENCE S 15°56'34" E, A DISTANCE OF 878.04 FEET; THENCE 238.67 FEET ALONG THE ARC OF A 298.00 FOOT RADIUS CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 45°53'20" AND A CHORD THAT BEARS S 07°00'06" W, 232.34 FEET; THENCE S 29°56'46" W, A DISTANCE OF 85.84 FEET; THENCE S 73°05'18" W, A DISTANCE OF 43.78 FEET; THENCE 318.46 FEET ALONG THE ARC OF A 802.00 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 22°45'03" AND A CHORD THAT BEARS N 76°13'01" W, 316.37 FEET; THENCE N 87°35'32" W, A DISTANCE OF 226.06 FEET; THENCE 859.58 FEET ALONG THE ARC OF A 728.00 FOOT RADIUS CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 67°39'05" AND A CHORD THAT BEARS N 53°46'00" W, 810.51 FEET; THENCE N 19°56'27" W, A DISTANCE OF 524.28 FEET TO THE POINT OF BEGINNING.

CONTAINING A CALCULATED AREA OF 1,259,463 SQUARE FEET (28.91 ACRES) OF LAND, MORE OR LESS.

TO BE PLATTED AS BRADLEY HEIGHTS FILING 5

SITE DATA:

Table with 2 columns: Field Name (OWNER, APPLICANT, TAX ID NUMBER, etc.) and Value (CHALLENGER HOMES, HR GREEN DEVELOPMENT, LLC, etc.).

BRADLEY HEIGHTS FILING 5 PUD DEVELOPMENT PLAN

LOCATED WITHIN A PORTION OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



VICINITY MAP 1"=500'

SHEET INDEX:

- 1 - COVER SHEET
2 - LEGEND & TYPICAL SECTIONS
3 - LEGEND & TYPICAL SECTIONS (CONTD)
4 - SITE PLAN-OVERALL
6 - SITE PLAN-SOUTH
6 - SITE PLAN- SOUTH
7 - PRELIMINARY GRADING PLAN- NORTH
8 - PRELIMINARY GRADING PLAN- SOUTH
9 - PRELIMINARY UTILITY & PUBLIC FACILITY PLAN- NORTH
10 - PRELIMINARY UTILITY & PUBLIC FACILITY PLAN- SOUTH
11 - ARCH ELEVATIONS-1690
12 - ARCH ELEVATIONS-1840
13 - ARCH ELEVATIONS-2066
14 - ARCH ELEVATIONS-2342
15 - ARCH ELEVATIONS-1752
16 - ARCH ELEVATIONS-1978
17 - ARCH ELEVATIONS-2145
18 - ARCH ELEVATIONS-2380
19 - LANDSCAPE COVER SHEET
20 - LANDSCAPE NOTES
21 - PRELIMINARY LANDSCAPE PLAN
22 - LANDSCAPE DETAILS
23 - LANDSCAPE DETAILS

PUD DEVELOPMENT STANDARDS:

Table detailing development standards for proposed use (SINGLE FAMILY RESIDENTIAL DETACHED), including max building height, gross density, lot dimensions, setbacks, and driveway requirements.

BRADLEY HEIGHTS FILING 5 - TRACT TABLE. Table with columns: TRACT, AREA (ACRES), PUBLIC IMPROVEMENTS, PUBLIC UTILITIES, PUBLIC DRAINAGE, PEDESTRIAN ACCESS, LANDSCAPING, SIGNAGE, ROADWAY ACCESS, MAINTENANCE, OWNERSHIP.

P = WHERE EASEMENTS DEDICATED
BHMD= BRADLEY HEIGHTS METROPOLITAN DISTRICT
TOTAL OPEN SPACE (ACRES) (TRACTS A THROUGH J) 6.782
REFER TO SHEET 19 FOR OPEN SPACE REQUIREMENT PER SMALL LOT GUIDELINES (INTERNAL LANDSCAPING SMALL LOTS)

FLOODPLAIN STATEMENT

THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NO. 08041C0768G, EFFECTIVE DATE DECEMBER 8, 2018, INDICATES THIS PARCEL OF LAND TO BE LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

ADA DESIGN STANDARD NOTES

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE.

AVIGATION EASEMENT

AN AVIGATION EASEMENT EFFECTING THE SUBJECT PROPERTY AND DEVELOPMENT IS THERIN ESTABLISHED BY THE BRADLEY HEIGHTS FILING 5 SUBDIVISION PLAT. THIS EASEMENT IS SUBJECT TO THE TERMS AND CONDITIONS AS SPECIFIED IN THE INSTRUMENT RECORDED UNDER RECEPTION NO. 217069667 OF THE RECORDS OF EL PASO COUNTY, COLORADO

GENERAL NOTES:

- 1. INTERIM WATER AND WASTEWATER SERVICE MAY BE OBTAINED THROUGH THE COLORADO CENTRE METROPOLITAN DISTRICT (CCMD). THE APPLICANT ACKNOWLEDGES AND AGREES THAT CCMD SHALL PROVIDE INTERIM SERVICE IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE INTERGOVERNMENTAL AGREEMENT FOR WATER DISTRIBUTION AND WASTEWATER COLLECTION, TREATMENT AND DISPOSAL (IGA) DATED AUGUST 11, 2009...
2. AS A CONDITION OF APPROVAL OF ANY DEVELOPMENT PLAN AND PRIOR TO THE PROVISION OF UTILITY SERVICE FOR THE SUBJECT PROPERTY, A FACILITIES PARTICIPATION, UTILIZATION, AND SERVICE AGREEMENT (SERVICE AGREEMENT) BETWEEN COLORADO SPRINGS UTILITIES AND CHALLENGER HOLMES OR THE MASTER DEVELOPMENT ENTITY SHALL BE EXECUTED...
3. PRIOR TO THE RECEIPT OF INTERIM SERVICE, THE APPLICANT SHALL PROVIDE THE FOLLOWING NOTICE TO ALL INTERIM CUSTOMERS: "ANY CUSTOMER RECEIVING COLORADO CENTRE METROPOLITAN DISTRICT (CCMD) INTERIM WATER OR WASTEWATER SERVICE IN THE IGA, SHALL BE A CCMD INTERIM CUSTOMER SUBJECT TO CCMD'S STANDARD RULES AND REGULATIONS...
4. A HOME OWNERS ASSOCIATION IS NOT PROPOSED FOR THIS DEVELOPMENT.
5. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE BRADLEY HEIGHTS METROPOLITAN DISTRICT OR CURRENT TRACT OWNER.
6. ALL STREET TREES AND STREETScape IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY BRADLEY HEIGHTS METROPOLITAN DISTRICT.
7. ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATION SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-685-6720 FOR ASSISTANCE.
8. SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982 TO BEGIN A SIGN PERMIT APPLICATION.
9. PER CITY CODE SECTION 7.4.102.D, ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES OR ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
10. PARKING IS ALLOWED ON BOTH SIDES OF THE LOCAL- RESIDENTIAL STREETS UNLESS SPECIFICALLY NOTED WITH NO PARKING SIGNAGE.
11. AIRPORT ACKNOWLEDGEMENT: UPON ACCEPTING RESIDENCY WITHIN BRADLEY HEIGHTS, ALL ADULT RESIDENTS AND OCCUPANTS SHALL BE REQUIRED TO SIGN A NOTICE IN WHICH THE TENANT ACKNOWLEDGES THAT BRADLEY HEIGHTS LIES WITHIN AN AIRPORT OVERLAY ZONE AND IS LOCATED LESS THAN 2 MILES FROM COLORADO SPRINGS MUNICIPAL AIRPORT AND MAY, AT TIMES (24 HOURS PER DAY), EXPERIENCE NOISE AND OTHER ACTIVITIES AND OPERATIONS ASSOCIATED WITH AIRCRAFT AND THE AIRPORT.
12. THE DEVELOPMENT AND ITS OCCUPANTS MAY BE IMPACTED BY AIR ILLUMINATION OR APPROACH LIGHTING SYSTEMS THAT USE MEDIUM AND HIGH-INTENSITY LIGHTS TO GUIDE AIRCRAFT TO THE RUNWAY CENTERLINE USED FOR NAVIGATION OR FLIGHT IN AIR.
13. FAA FORM 7460-1: BASED ON ELEVATION DATA AND DISTANCE TO RUNWAY, THE APPLICANT WILL NEED TO FILE FEDERAL AVIATION ADMINISTRATION (FAA) FORM 7460-1 "NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION" FOR ANY NEW VERTICAL DEVELOPMENT AT THIS SITE, INCLUDING TEMPORARY CONSTRUCTION EQUIPMENT, AND PROVIDE FAA DOCUMENTATION TO THE AIRPORT BEFORE THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES; FAA'S WEBSITE: (HTTPS://DEAAA.FAA.GOV/OEAAA/EXTERNAL/PORTAL.JSP).
14. THE IMPROVEMENTS SHOWN ON BRADLEY ROAD, BRADLEY LANDING BOULEVARD AND BLISS ROAD ARE INTENDED TO BE CONSTRUCTED BY THE BRADLEY HEIGHTS METROPOLITAN DISTRICT. IF THE DISTRICTS SCHEDULE FOR THESE IMPROVEMENTS DOES NOT ALIGN WITH THE DEVELOPMENT SCHEDULE FOR FILING 5, THESE IMPROVEMENTS SHALL BE COMPLETED BY CHALLENGER HOMES WITH THE COSTS REIMBURSED BY THE DISTRICT.
15. NOTE REMOVED
16. PER CDOT REQUIREMENT, THIS DEVELOPMENT SHALL PROVIDE CONTRIBUTIONS TOWARDS THE REQUIRED INTERSECTION IMPROVEMENTS AT POWERS BOULEVARD AND BRADLEY ROAD. REFER TO NOTE 8.3 ON SHEET SPS & SPS6.
17. STORMWATER FLOWS FROM THIS DEVELOPMENT ARE TREATED BY EITHER THE OFF-SITE FSD (IDENTIFIED AS WFJCC POND #1 FSD) OR THE OFF-SITE FSD (IDENTIFIED AS MKJCC POND #5), BOTH DESIGNED AND CONSTRUCTED BY THE BRADLEY HEIGHTS METROPOLITAN DISTRICT (SEE REFERENCES BELOW):
MDDPA: MASTER DEVELOPMENT DRAINAGE PLAN AMENDMENT FOR BRADLEY HEIGHTS (STM-REV-0046) PREPARED BY MATRIX DESIGN GROUP (APPROVED 05/06/22)
FDR: BRADLEY HEIGHTS METRO DISTRICT (PHASE 2) FINAL DRAINAGE REPORT (FOR ROAD & STORM IMPROVEMENTS) STM-REV22-0405 PREPARED BY MATRIX DESIGN GROUP (APPROVAL: 09/28/22)
FDR: BRADLEY HEIGHTS METRO DISTRICT (PHASE 3) FINAL DRAINAGE REPORT (FOR ROAD & STORM IMPROVEMENTS) STM-REV22-1155 PREPARED BY MATRIX DESIGN GROUP (APPROVAL: PENDING)

BRADLEY HEIGHTS FILING 5 - LAND USE TABLE. Table with columns: LAND USE, AREA (ACRES), UNITS, NET DENSITY (DU/ACRE), % OF LAND.



NOT FOR CONSTRUCTION
LAND USE REVIEW FILE NO: PUDD-22-0016

Table with columns: DRAWN BY, APPROVED, CAD DATE, CAD FILE, JOB DATE, JOB NUMBER, and a scale bar (1" = 100').

Table with columns: NO., DATE, BY, REVISION DESCRIPTION.

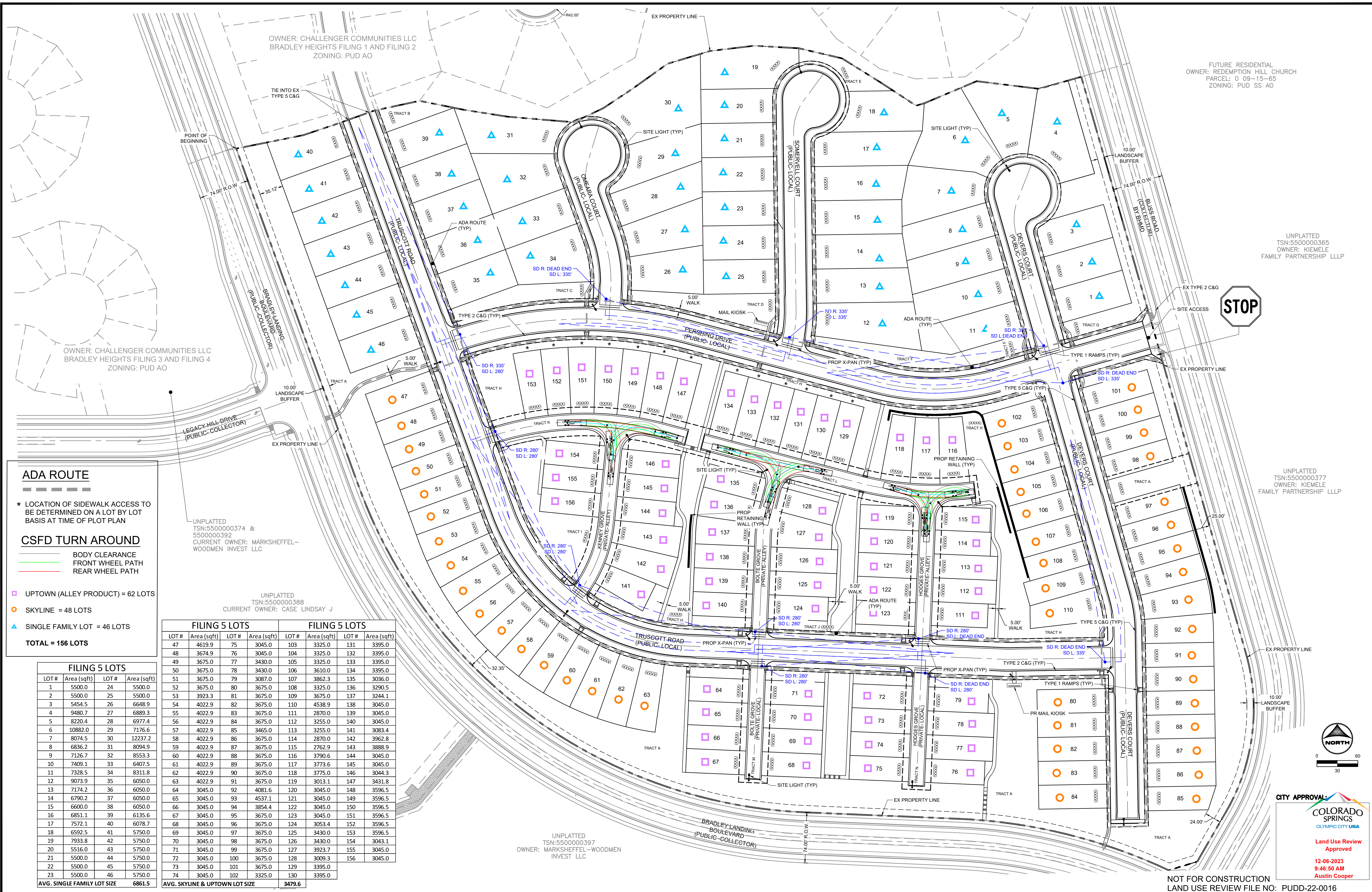
HRGreen logo and contact information: HR GREEN - COLORADO SPRINGS, 7222 COMMERCE CENTER DR. SUITE 220, COLORADO SPRINGS CO 80919, PHONE: 719.622.6222, FAX: 844.273.1057

BRADLEY HEIGHTS - FILING 5
CHALLENGER HOMES
COLORADO SPRINGS, COLORADO



PUD DEVELOPMENT PLAN
COVER SHEET

SHEET CV 1



ADA ROUTE

* LOCATION OF SIDEWALK ACCESS TO BE DETERMINED ON A LOT BY LOT BASIS AT TIME OF PLOT PLAN

CSFD TURN AROUND

— BODY CLEARANCE
— FRONT WHEEL PATH
— REAR WHEEL PATH

□ UPTOWN (ALLEY PRODUCT) = 62 LOTS
○ SKYLINE = 48 LOTS
▲ SINGLE FAMILY LOT = 46 LOTS

TOTAL = 156 LOTS

FILING 5 LOTS				FILING 5 LOTS			
LOT #	Area (sqft)	LOT #	Area (sqft)	LOT #	Area (sqft)	LOT #	Area (sqft)
47	4619.9	75	3045.0	103	3325.0	131	3395.0
48	3674.9	76	3045.0	104	3325.0	132	3395.0
49	3675.0	77	3430.0	105	3325.0	133	3395.0
50	3675.0	78	3430.0	106	3610.0	134	3395.0
51	3675.0	79	3087.0	107	3862.3	135	3036.0
52	3675.0	80	3675.0	108	3325.0	136	3290.5
53	3923.3	81	3675.0	109	3675.0	137	3244.1
54	4022.9	82	3675.0	110	4538.9	138	3045.0
55	4022.9	83	3675.0	111	2870.0	139	3045.0
56	4022.9	84	3675.0	112	3255.0	140	3045.0
57	4022.9	85	3465.0	113	3255.0	141	3083.4
58	4022.9	86	3675.0	114	2870.0	142	3962.8
59	4022.9	87	3675.0	115	2762.9	143	3888.9
60	4022.9	88	3675.0	116	3790.6	144	3045.0
61	4022.9	89	3675.0	117	3773.6	145	3045.0
62	4022.9	90	3675.0	118	3775.0	146	3044.3
63	4022.9	91	3675.0	119	3013.1	147	3431.8
64	3045.0	92	4081.6	120	3045.0	148	3596.5
65	3045.0	93	4537.1	121	3045.0	149	3596.5
66	3045.0	94	3854.4	122	3045.0	150	3596.5
67	3045.0	95	3675.0	123	3045.0	151	3596.5
68	3045.0	96	3675.0	124	3053.4	152	3596.5
69	3045.0	97	3675.0	125	3430.0	153	3596.5
70	3045.0	98	3675.0	126	3430.0	154	3043.1
71	3045.0	99	3675.0	127	3923.7	155	3045.0
72	3045.0	100	3675.0	128	3009.3	156	3045.0
73	3045.0	101	3675.0	129	3395.0		
74	3045.0	102	3325.0	130	3395.0		

AVG. SINGLE FAMILY LOT SIZE 6861.5 AVG. SKYLINE & UPTOWN LOT SIZE 3479.6

FILING 5 LOTS			
LOT #	Area (sqft)	LOT #	Area (sqft)
1	5500.0	24	5500.0
2	5500.0	25	5500.0
3	5454.5	26	6648.9
4	9480.7	27	6889.3
5	8220.4	28	6977.4
6	10882.0	29	7176.6
7	8074.5	30	12237.2
8	6836.2	31	8094.9
9	7126.7	32	8553.3
10	7409.1	33	6407.5
11	7328.5	34	8311.8
12	9073.9	35	6050.0
13	7174.2	36	6050.0
14	6790.2	37	6050.0
15	6600.0	38	6050.0
16	6851.1	39	6135.6
17	7572.1	40	6078.7
18	6592.5	41	5750.0
19	7933.8	42	5750.0
20	5516.0	43	5750.0
21	5500.0	44	5750.0
22	5500.0	45	5750.0
23	5500.0	46	5750.0

FUTURE RESIDENTIAL
OWNER: REDEMPTION HILL CHURCH
PARCEL: 0 09-15-65
ZONING: PUD SS AO

UNPLATTED
TSN:550000365
OWNER: KIEMELE
FAMILY PARTNERSHIP LLLP

UNPLATTED
TSN:550000377
OWNER: KIEMELE
FAMILY PARTNERSHIP LLLP

UNPLATTED
TSN:550000397
OWNER: MARKSHEFFEL-WOODMEN
INVEST LLC

UNPLATTED
TSN:550000374 &
550000392
CURRENT OWNER: MARKSHEFFEL-
WOODMEN INVEST LLC

UNPLATTED
TSN:550000388
CURRENT OWNER: CASE LINDSAY J

CITY APPROVAL

Land Use Review
Approved

12-06-2023
9:46:50 AM
Austin Cooper

NOT FOR CONSTRUCTION
LAND USE REVIEW FILE NO: PUDD-22-0016

DRAWN BY: CBM JOB DATE: 11/1/2023
APPROVED: KMH JOB NUMBER: 211450
CAD DATE: 11/2/2023
CAD FILE: J:\2021\211450\CAD\DWG\CSDP\Site_Plan

BAR IS ONE INCH ON OFFICIAL DRAWINGS.
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
HR GREEN - COLORADO SPRINGS
7222 COMMERCE CENTER DR. SUITE 220
COLORADO SPRINGS CO 80919
PHONE: 719.622.6222
FAX: 844.273.1057

BRADLEY HEIGHTS - FILING 5
CHALLENGER HOMES
COLORADO SPRINGS, COLORADO



PUD DEVELOPMENT PLAN
SITE PLAN- OVERALL

SHEET
SP
4

Line Table		
Line #	Length	Direction
L1	192.00	S 74°03'26" W
L2	84.96	S 74°03'26" W
L4	133.38	N 75°14'37" W
L5	148.99	N 75°14'37" W
L6	6.28	S 70°03'33" W
L7	198.11	N 15°56'34" W
L9	18.48	N 14°45'23" E
L11	258.41	N 0°48'37" W
L16	57.01	S 17°19'42" W
L17	356.58	N 19°56'13" W
L18	258.79	N 19°56'07" W
L21	106.07	N 87°35'32" W
L22	239.42	N 87°35'32" W
L23	119.07	N 87°35'32" W
L24	165.69	S 89°03'26" W
L25	224.95	N 0°56'34" W

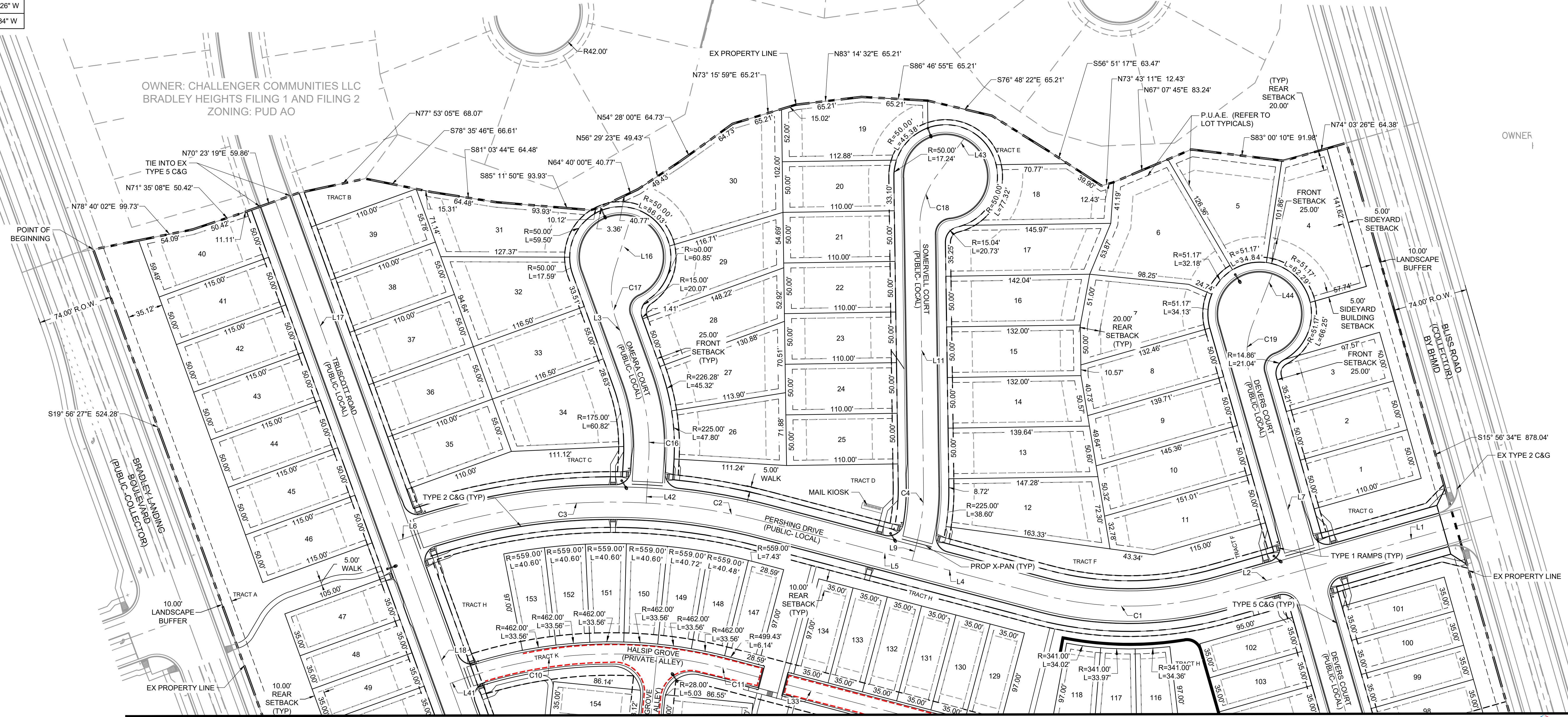
Line Table		
Line #	Length	Direction
L26	38.50	N 0°56'34" W
L28	352.69	N 15°56'34" W
L30	147.53	S 5°42'54" W
L32	19.56	S 37°48'04" W
L33	117.17	N 75°14'37" W
L34	116.35	N 75°14'37" W
L35	71.06	N 14°45'23" E
L37	162.61	N 2°24'28" E
L38	191.00	S 2°24'28" W
L39	239.61	S 2°24'28" W
L40	185.00	S 2°24'28" W
L41	6.33	S 70°03'53" W

Curve Table			
Curve #	Length	Radius	Delta
C1	179.49	335.00	30°41'57"
C2	363.35	600.00	34°41'50"
C3	363.35	600.00	34°41'50"
C4	54.34	200.00	15°34'00"
C6	170.57	300.00	32°34'36"
C7	183.67	300.00	35°04'46"
C8	13.16	225.00	3°21'02"
C9	52.36	200.00	15°00'00"
C10	201.46	450.00	25°39'05"
C11	71.01	450.00	9°02'30"
C12	112.00	200.00	32°05'10"
C13	43.11	200.00	12°20'56"
C14	106.69	450.00	13°35'01"
C15	67.93	450.00	8°38'55"

LEGEND:
 - - - - - NO PARKING FIRE LANE - SIGNED OR STRIPED CURB (DETAILS TO BE PROVIDED ON CONSTRUCTION DRAWING SIGNAGE AND STRIPING PLAN)

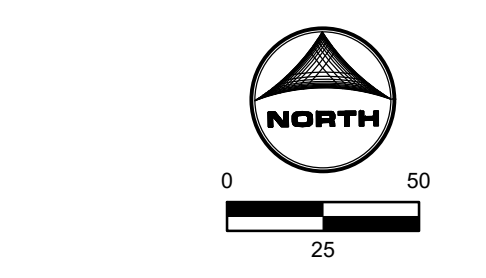
- SITE PLAN NOTES:**
- SEE SHEET 2 & 3 FOR TYPICAL SECTIONS
 - SEE SHEET 7 & 8 FOR EXISTING AND PROPOSED CONTOURS.
 - SEE SHEET 9 & 10 FOR EXISTING AND PROPOSED UTILITIES
 - ALL UNITS WILL HAVE A MINIMUM DRIVEWAY LENGTH OF 20' AS MEASURED FROM EITHER:
 - THE FRONT PROPERTY LINE
 - FROM THE NEAREST EDGE OF SIDEWALK
 - ALL PROPOSED PUBLIC ROADWAYS AND PARKING AREAS TO BE ASPHALT PAVED
 - PRIVATE ALLEYS TO BE CONCRETE
 - ALL CROSS PANS ARE CITY STANDARD TYPE D-7
 - INTERNAL ROADS WILL BE PUBLIC AND HAVE A POSTED SPEED OF 25 MPH AND A DESIGN SPEED OF 25 MPH.
 - ALLEYS WILL BE PRIVATE, WITH POSTED SPEED OF 20 MPH AND A DESIGN SPEED OF 15 MPH.
 - REQUIRED PUBLIC IMPROVEMENTS:
 - 5' DETACHED WALK ALONG ALL INTERNAL, PUBLIC ROADS
 - TYPE 2 C&G AND TYPE 5 C&G ARE THE TYPICAL CURBS.
 - DUE TO THE TRAFFIC IMPACTS FROM THE OVERALL BRADLEY HEIGHTS DEVELOPMENT, CDOT IS REQUIRING IMPROVEMENTS TO THE INTERSECTION OF POWERS BOULEVARD/BRADLEY ROAD INTERSECTION. THIS DEVELOPMENT SHALL PROVIDE CONTRIBUTIONS TO THESE IMPROVEMENTS IN ACCORDANCE WITH THE INTERSECTION FAIR SHARE ANALYSIS PREPARED BY MATRIX DESIGN GROUP (DATED MARCH 31, 2022). FINAL CONTRIBUTIONS SHALL BE BASED ON THE FINAL ANALYSIS ONCE APPROVED BY CDOT.

ABBREVIATIONS:
 P.I.E. - PUBLIC IMPROVEMENTS EASEMENT
 P.U.A.E. - PUBLIC UTILITY & ACCESS EASEMENT
 B.H.M.D. - BRADLEY HEIGHTS METROPOLITAN DISTRICT
 B.S.L. - BUILDING SETBACK LINE



SEE SHEET 6

CITY APPROVAL:
 COLORADO SPRINGS
 OLYMPIC CITY, USA
 Land Use Review
 Approved
 12-06-2023
 9:46:50 AM
 Austin Cooper



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NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
 HR GREEN - COLORADO SPRINGS
 7222 COMMERCE CENTER DR. SUITE 220
 COLORADO SPRINGS CO 80919
 PHONE: 719.622.8222
 FAX: 844.273.1057

BRADLEY HEIGHTS - FILING 5
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO

PUD DEVELOPMENT PLAN
 SITE PLAN- NORTH

SHEET
 SP 5

UNPLATTED
TSN:5500000388
CURRENT OWNER: CASE LINDSAY J

UNPLATTED
TSN:5500000377
OWNER: KIEMELE
FAMILY PARTNERSHIP LLLP

UNPLATTED
TSN:5500000397
OWNER: MARKSHEFFEL-WOODMEN
INVEST LLC

Line #	Length	Direction
L1	192.00	S 74°03'26" W
L2	84.96	S 74°03'26" W
L4	133.38	N 75°14'37" W
L5	148.99	N 75°14'37" W
L6	6.28	S 70°03'33" W
L7	198.11	N 15°56'34" W
L9	18.48	N 14°45'23" E
L11	258.41	N 0°48'37" W
L16	57.01	S 17°19'42" W
L17	356.58	N 19°56'13" W
L18	258.79	N 19°56'07" W
L21	106.07	N 87°35'32" W
L22	239.42	N 87°35'32" W
L23	119.07	N 87°35'32" W
L24	165.69	S 89°03'26" W
L25	224.95	N 0°56'34" W

Line #	Length	Direction
L26	38.50	N 0°56'34" W
L28	352.69	N 15°56'34" W
L30	147.53	S 5°42'54" W
L32	19.56	S 37°48'04" W
L33	117.17	N 75°14'37" W
L34	116.35	N 75°14'37" W
L35	71.06	N 14°45'23" E
L37	162.61	N 2°24'28" E
L38	191.00	S 2°24'28" W
L39	239.61	S 2°24'28" W
L40	185.00	S 2°24'28" W
L41	6.33	S 70°03'53" W

Curve #	Length	Radius	Delta
C1	179.49	335.00	30°41'57"
C2	363.35	600.00	34°41'50"
C3	363.35	600.00	34°41'50"
C4	54.34	200.00	15°34'00"
C6	170.57	300.00	32°34'36"
C7	183.67	300.00	35°04'46"
C8	13.16	225.00	3°21'02"
C9	52.36	200.00	15°00'00"
C10	201.46	450.00	25°39'05"
C11	71.01	450.00	9°02'30"
C12	112.00	200.00	32°05'10"
C13	43.11	200.00	12°20'56"
C14	106.69	450.00	13°35'01"
C15	67.93	450.00	8°38'55"

LEGEND:

--- "NO PARKING FIRE LANE" - SIGNED OR STRIPED CURB (DETAILS TO BE PROVIDED ON CONSTRUCTION DRAWING SIGNAGE AND STRIPING PLAN)

SITE PLAN NOTES:

- SEE SHEET 2 & 3 FOR TYPICAL SECTIONS
- SEE SHEET 7 & 8 FOR EXISTING AND PROPOSED CONTOURS.
- SEE SHEET 9 & 10 FOR EXISTING AND PROPOSED UTILITIES
- ALL UNITS WILL HAVE A MINIMUM DRIVEWAY LENGTH OF 20' AS MEASURED FROM EITHER:
 - THE FRONT PROPERTY LINE
 - FROM THE NEAREST EDGE OF SIDEWALK
- ALL PROPOSED PUBLIC ROADWAYS AND PARKING AREAS TO BE ASPHALT PAVED
 - PRIVATE ALLEYS TO BE CONCRETE
 - ALL CROSS PANS ARE CITY STANDARD TYPE D-7
 - INTERNAL ROADS WILL BE PUBLIC AND HAVE A POSTED SPEED OF 25 MPH AND A DESIGN SPEED OF 25 MPH.
 - ALLEYS WILL BE PRIVATE, WITH POSTED SPEED OF 20 MPH AND A DESIGN SPEED OF 15 MPH.
- REQUIRED PUBLIC IMPROVEMENTS:
 - 5' DETACHED WALK ALONG ALL INTERNAL, PUBLIC ROADS
 - TYPE 2 C&G AND TYPE 5 C&G ARE THE TYPICAL CURBS.
 - DUE TO THE TRAFFIC IMPACTS FROM THE OVERALL BRADLEY HEIGHTS DEVELOPMENT, CDOT IS REQUIRING IMPROVEMENTS TO THE INTERSECTION OF POWERS BOULEVARD/BRADLEY ROAD INTERSECTION. THIS DEVELOPMENT SHALL PROVIDE CONTRIBUTIONS TO THESE IMPROVEMENTS IN ACCORDANCE WITH THE INTERSECTION FAIR SHARE ANALYSIS PREPARED BY MATRIX DESIGN GROUP (DATED MARCH 31, 2022). FINAL CONTRIBUTIONS SHALL BE BASED ON THE FINAL ANALYSIS ONCE APPROVED BY CDOT.

ABBREVIATIONS:
P.I.E. - PUBLIC IMPROVEMENTS EASEMENT
P.U.A.E. - PUBLIC UTILITY & ACCESS EASEMENT
B.H.M.D. - BRADLEY HEIGHTS METROPOLITAN DISTRICT
B.S.L. - BUILDING SETBACK LINE



LAND USE REVIEW FILE NO: PUDD-22-0016

DRAWN BY: CBM JOB DATE: 11/1/2023
APPROVED: KMH JOB NUMBER: 211450
CAD DATE: 11/2/2023
CAD FILE: J:\2021\211450\CADD\dwg\C\SDP\Site_Plan

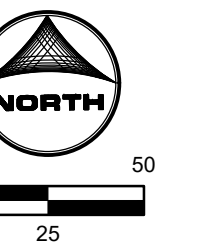
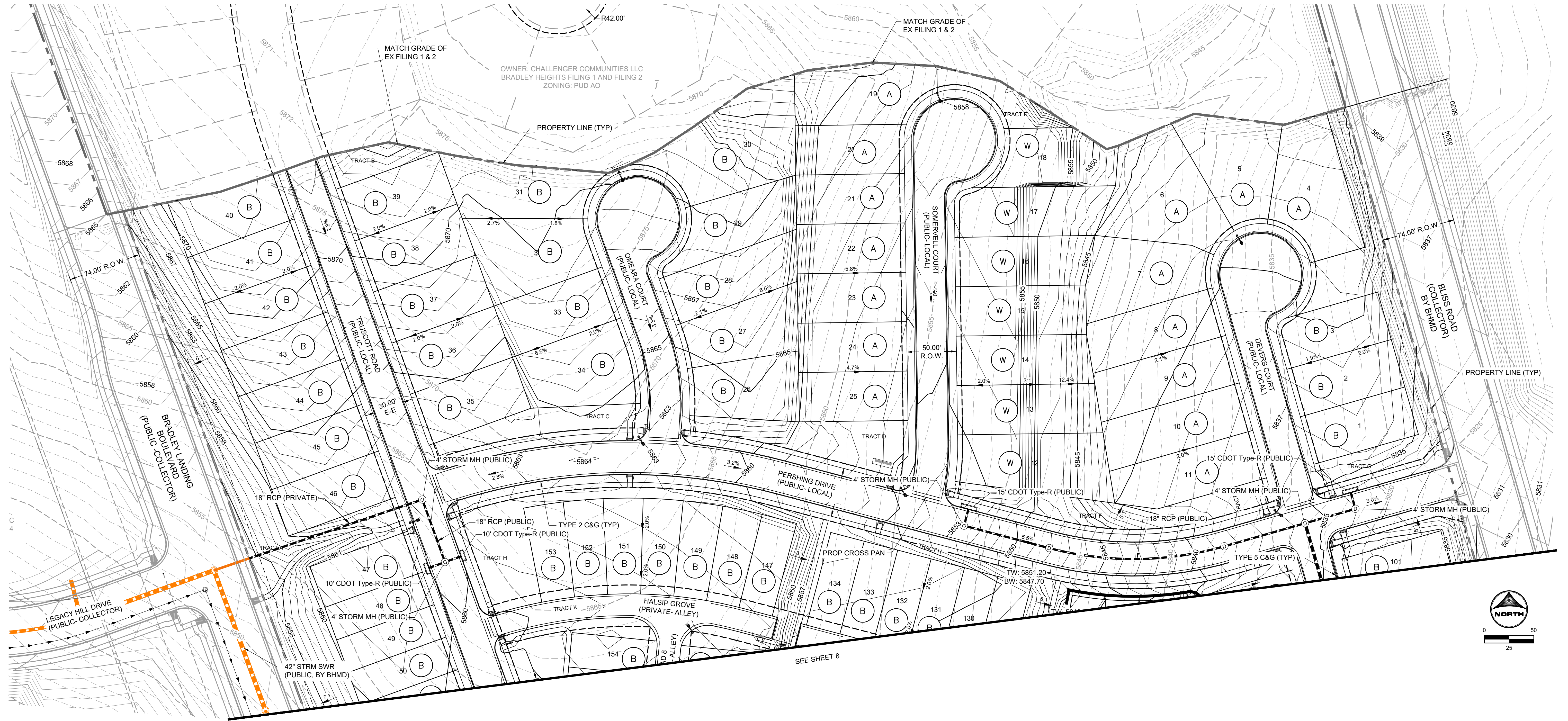
NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
7222 COMMERCE CENTER DR. SUITE 220
COLORADO SPRINGS CO 80919
PHONE: 719.622.6222
FAX: 844.273.1057

BRADLEY HEIGHTS - FILING 5
CHALLENGER HOMES
COLORADO SPRINGS, COLORADO



PUD DEVELOPMENT PLAN
SITE PLAN- SOUTH
SHEET SP 6



- LEGEND:**
- ██████████ PROPOSED STORM SEWER
 - ▤▤▤▤▤▤ PROPOSED STORM SEWER (BY BHMD)

GRADING PLAN LEGEND

- 1 LOT NUMBER
- Ⓚ LOT TYPE
- A = "A" TYPE LOT
- T = TRANSITIONAL LOT
- B = "B" TYPE LOT
- G = GARDEN LOT
- W = WALKOUT LOT
- HP = HIGH POINT
- LP = LOW POINT
- TOF = TOP OF FOUNDATION
- FOG=FRONT OF GARAGE FLOOR ELEVATION
- LTF = LOWER TOP OF FOUNDATION
- BW = FINISHED GRADE AT BOTTOM OF WALL
- TW = FINISHED GRADE AT TOP OF WALL

CITY APPROVAL:

OLYMPIC CITY USA

Land Use Review Approved

12-06-2023 9:46:50 AM Austin Cooper

NOT FOR CONSTRUCTION
LAND USE REVIEW FILE NO: PUDD-22-0016

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CAD FILE: J:\2021\211450\CADD\dwg\CI\SDP\Grading_Plan		

NO.	DATE	BY	REVISION DESCRIPTION



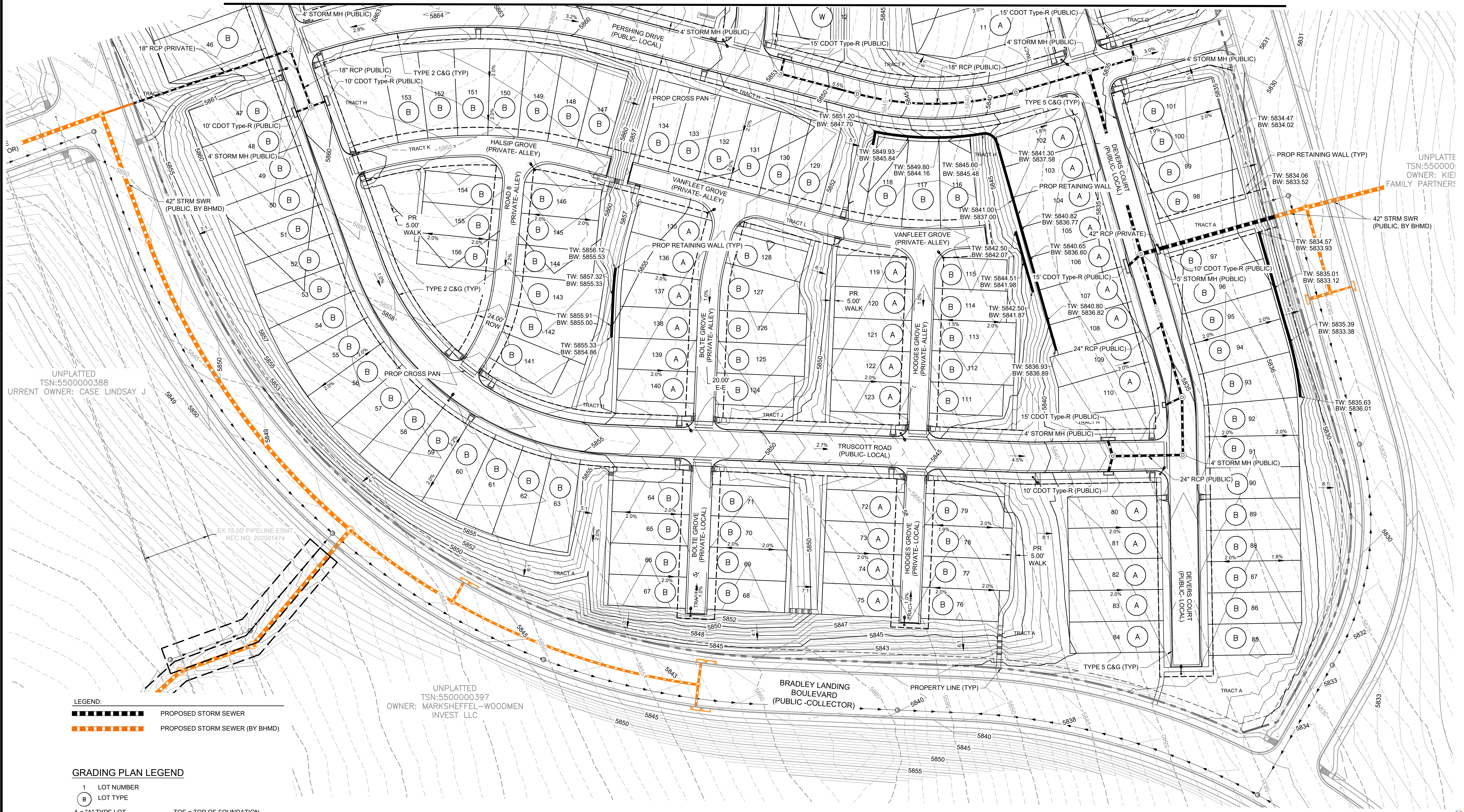
HR GREEN - COLORADO SPRINGS
7222 COMMERCE CENTER DR. SUITE 220
COLORADO SPRINGS CO 80919
PHONE: 719.622.6222
FAX: 844.273.1057

BRADLEY HEIGHTS - FILING 5
CHALLENGER HOMES
COLORADO SPRINGS, COLORADO



PUD DEVELOPMENT PLAN
PRELIMINARY GRADING PLAN- NORTH

SHEET
GR
7



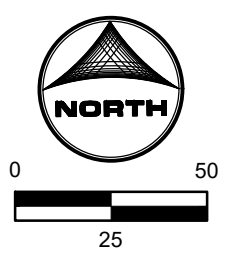
UNPLATTED
TSN:5500000388
CURRENT OWNER: CASE LINDSAY J

UNPLATTED
TSN:5500000397
OWNER: MARKSHEFFEL-WOODMEN INVEST LLC

UNPLATTED
TSN:550000
OWNER: KIEI FAMILY PARTNERS

LEGEND:
 PROPOSED STORM SEWER
 PROPOSED STORM SEWER (BY BHMD)

GRADING PLAN LEGEND
 1 LOT NUMBER
 B LOT TYPE
 A = "A" TYPE LOT
 T = TRANSITIONAL LOT
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CITY APPROVAL
 COLORADO SPRINGS
 OLYMPIC CITY USA
 Land Use Review
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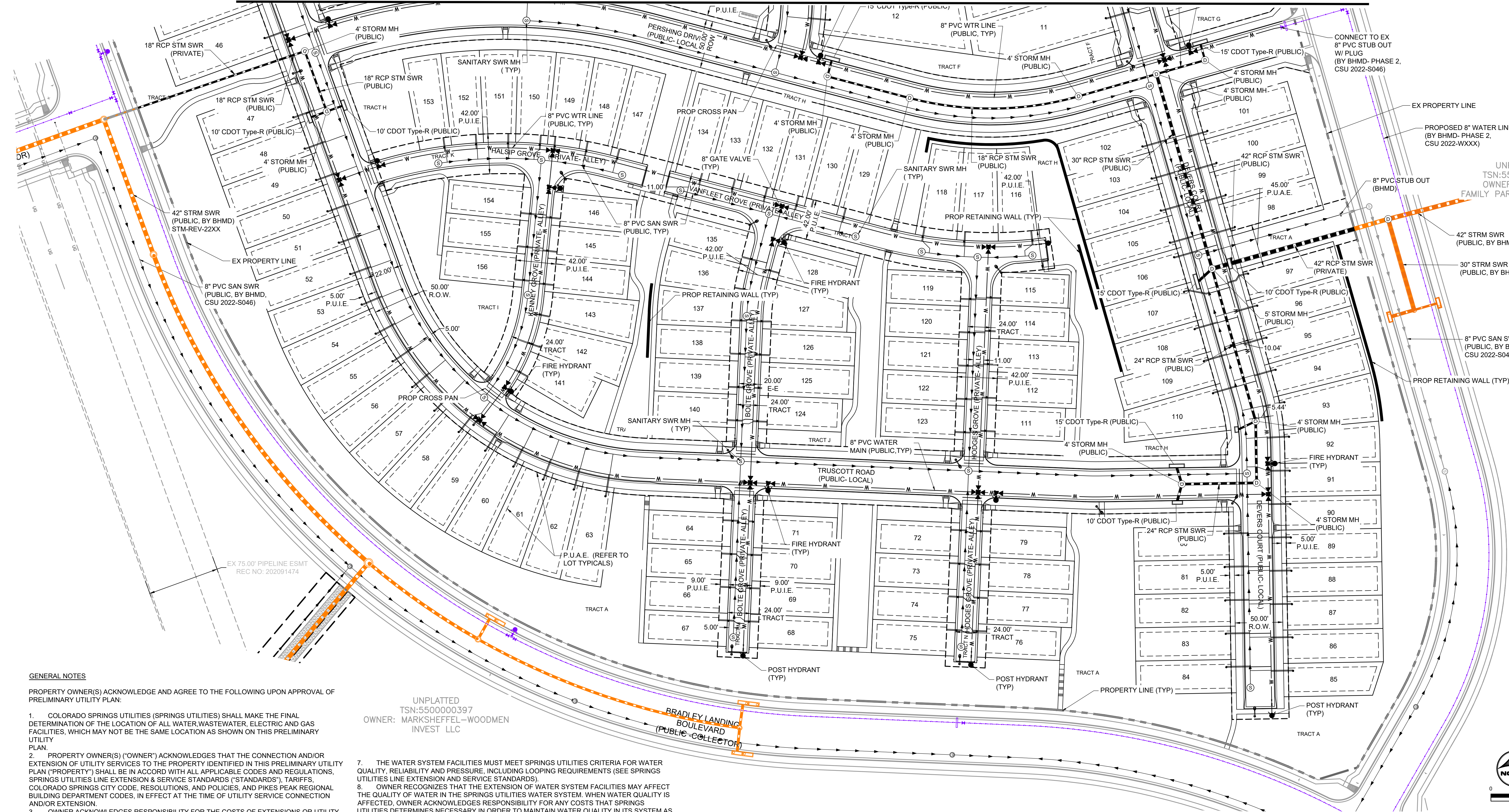
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HRGreen
 HR GREEN - COLORADO SPRINGS
 7222 COMMERCE CENTER DR. SUITE 220
 COLORADO SPRINGS CO 80919
 PHONE: 719.622.6222
 FAX: 844.273.1057

BRADLEY HEIGHTS - FILING 5
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO
CHALLENGER HOMES

PUD DEVELOPMENT PLAN
 PRELIMINARY GRADING PLAN- SOUTH

SHEET
GR
 8



GENERAL NOTES

- PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:
- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
 - PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
 - OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
 - SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
 - THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
 - OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
 - THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
 - OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
 - OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
 - IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
 - SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS, AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

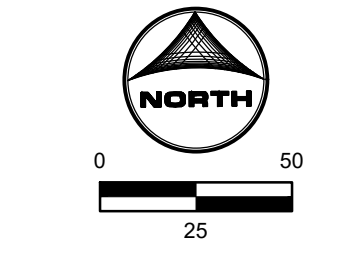
UNPLATTED
TSN:550000397
OWNER: MARKSHEFFEL-WOODMEN
INVEST LLC

UTILITY PLAN NOTES:

- ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY AN ENGINEERING DEVELOPMENT REVIEW INSPECTOR

UTILITY LEGEND

	EX WATER LINE (TO BE REMOVED)		EX SEWER (TO REMAIN)
	EX WATER LINE (TO REMAIN)		PROPOSED 8" SEWER
	PROPOSED 8" WATER LINE		PROPOSED 8" SEWER (BY BHMD)
	PROPOSED 8" WATER LINE (BY BHMD)		PROPOSED STORM SEWER
	PROPOSED 12" WATER LINE (BY BHMD)		PROPOSED STORM SEWER (BY BHMD)



CITY APPROVAL

 Land Use Review
 Approved
 12-06-2023
 9:46:50 AM
 Austin Cooper

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 LAND USE REVIEW FILE NO: PUDD-22-0016

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CAD FILE: J:\2021\211450\CAD\DWG\CISDP\Utility_Plan		

NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
 7222 COMMERCE CENTER DR. SUITE 220
 COLORADO SPRINGS CO 80919
 PHONE: 719.622.6222
 FAX: 844.273.1057

BRADLEY HEIGHTS - FILING 5
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO



PUD DEVELOPMENT PLAN
 PRELIMINARY UTILITY & PUBLIC FACILITY PLAN- SOUTH

1690



FRONT ELEVATION-TRADITIONAL
1/4"=1'-0"



FRONT ELEVATION - FARMHOUSE
1/4"=1'-0"



FRONT ELEVATION - CRAFTSMAN
1/4"=1'-0"



FRONT ELEVATION-TRADITIONAL - STUCCO
1/4"=1'-0"



FRONT ELEVATION - FARMHOUSE - STUCCO
1/4"=1'-0"



FRONT ELEVATION - CRAFTSMAN - STUCCO
1/4"=1'-0"

DRAWN BY: YOU JOB DATE: 11/16/2022
APPROVED: KEN JOB NUMBER: 211450
CAD DATE: 11/2/2023
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COLORADO SPRINGS CO 80919
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BRADLEY HEIGHTS - FILING 5
CHALLENGER HOMES
COLORADO SPRINGS, COLORADO



ELEVATIONS
ARCH ELEVATIONS-1690

SHEET
EL
11

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CITY APPROVAL



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1840



FRONT ELEVATION-TRADITIONAL

1/4"=1'-0"



FRONT ELEVATION - FARMHOUSE

1/4"=1'-0"



FRONT ELEVATION - CRAFTSMAN

1/4"=1'-0"



FRONT ELEVATION-TRADITIONAL - STUCCO

1/4"=1'-0"



FRONT ELEVATION - FARMHOUSE - STUCCO

1/4"=1'-0"



FRONT ELEVATION - CRAFTSMAN - STUCCO

1/4"=1'-0"



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HR GREEN - COLORADO SPRINGS
7222 COMMERCE CENTER DR. SUITE 220
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BRADLEY HEIGHTS - FILING 5
CHALLENGER HOMES
COLORADO SPRINGS, COLORADO



ELEVATIONS
ARCH ELEVATIONS-1840

SHEET
EL

12

2066



FRONT ELEVATION-TRADITIONAL
1/4"=1'-0"



FRONT ELEVATION - FARMHOUSE
1/4"=1'-0"



FRONT ELEVATION - CRAFTSMAN
1/4"=1'-0"



FRONT ELEVATION-TRADITIONAL - STUCCO
1/4"=1'-0"



FRONT ELEVATION - FARMHOUSE - STUCCO
1/4"=1'-0"



FRONT ELEVATION - CRAFTSMAN - STUCCO
1/4"=1'-0"

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BRADLEY HEIGHTS - FILING 5
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO

CHALLENGER HOMES

ELEVATIONS
 ARCH ELEVATIONS-2066

SHEET
 EL
 13

2342



FRONT ELEVATION-TRADITIONAL
1/4"=1'-0"



FRONT ELEVATION - FARMHOUSE
1/4"=1'-0"



FRONT ELEVATION - CRAFTSMAN
1/4"=1'-0"



FRONT ELEVATION-TRADITIONAL
1/4"=1'-0"



FRONT ELEVATION - FARMHOUSE - STUCCO
1/4"=1'-0"



FRONT ELEVATION - CRAFTSMAN - STUCCO
1/4"=1'-0"

CITY APPROVAL

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HUHN, KEN, 11/2/2023 6:44 AM

HR GREEN XREF MASTER FILE OF ELEVATIONS: xref-001_SDP

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 HR GREEN - COLORADO SPRINGS
 7222 COMMERCE CENTER DR. SUITE 220
 COLORADO SPRINGS CO 80919
 PHONE: 719.622.6222
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BRADLEY HEIGHTS - FILING 5
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO

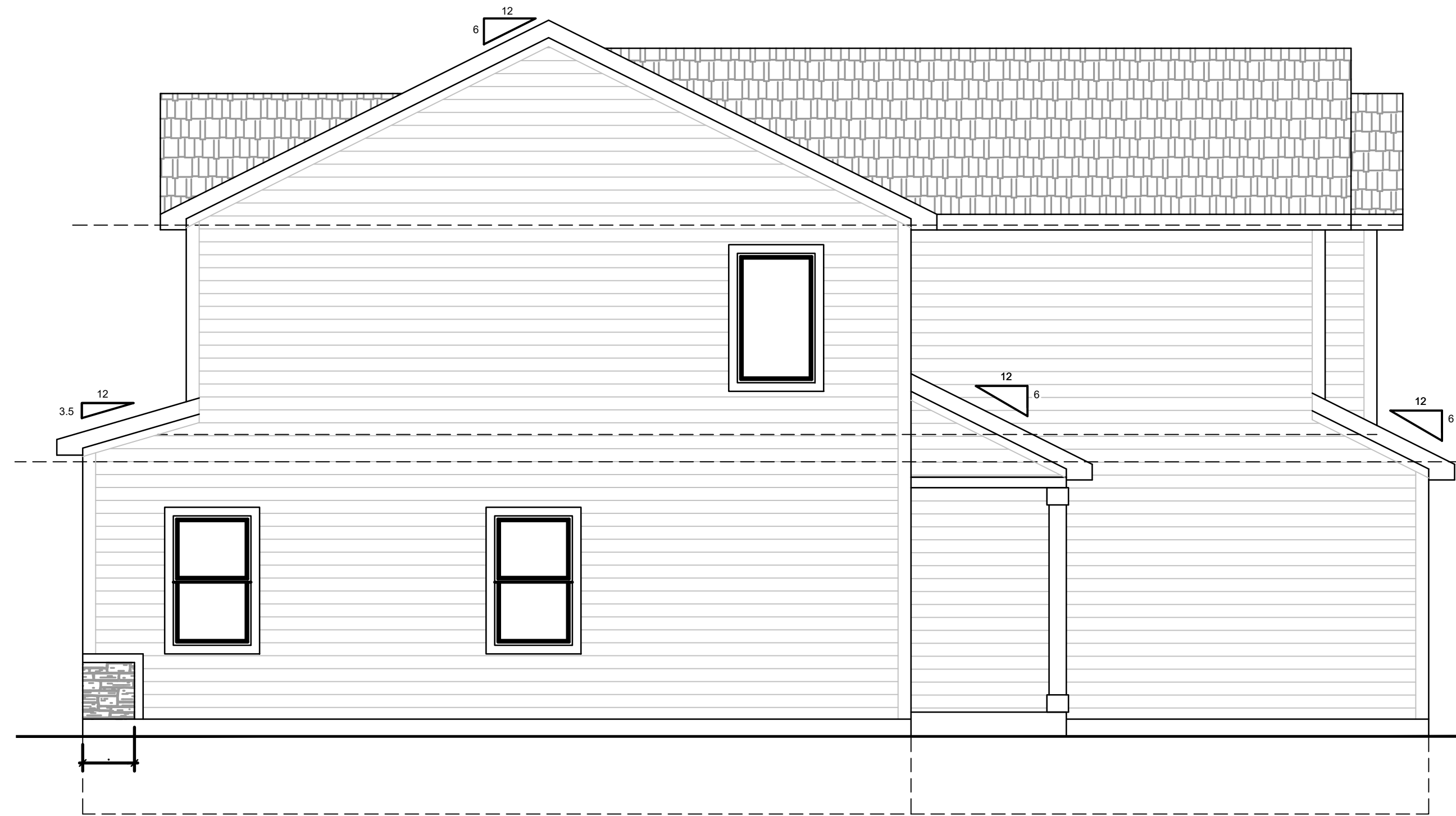
CHALLENGER HOMES

ELEVATIONS
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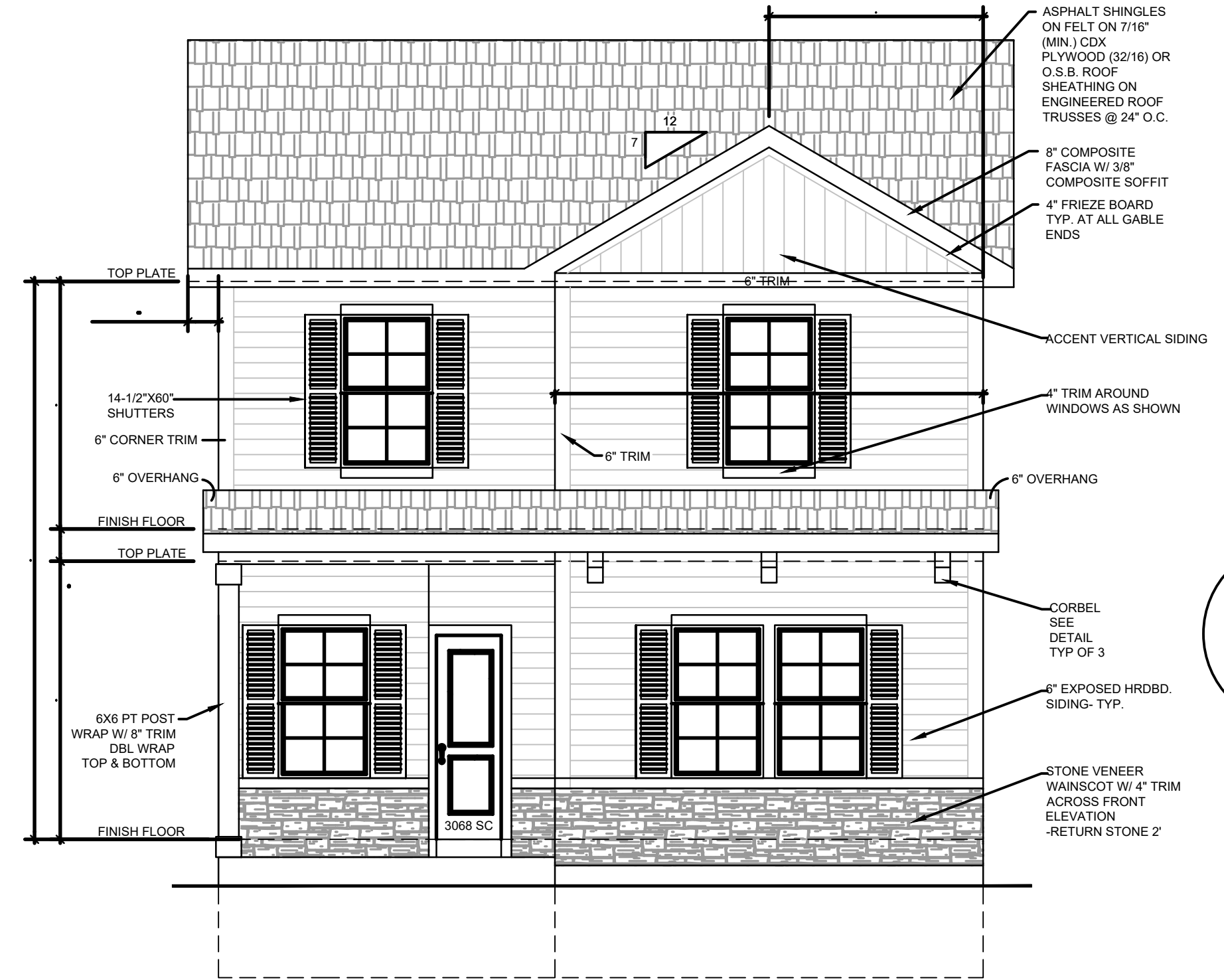
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1752

HUHN, KEN, 11/2/2023 6:44 AM

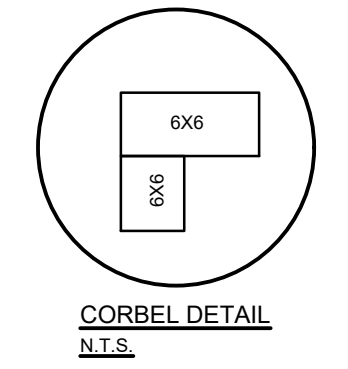


RIGHT SIDE ELEVATION
1/4"=1'-0"



FRONT ELEVATION-TRADITIONAL
1/4"=1'-0"

TYPICAL ROOF NOTES:
ROOF PITCH AT 6/12 U.N.O.
12" ENERGY HEEL OVER COND. SPACE ONLY
12" OVERHANGS U.N.O.



REAR ELEVATION



LEFT SIDE ELEVATION

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COLORADO SPRINGS, COLORADO



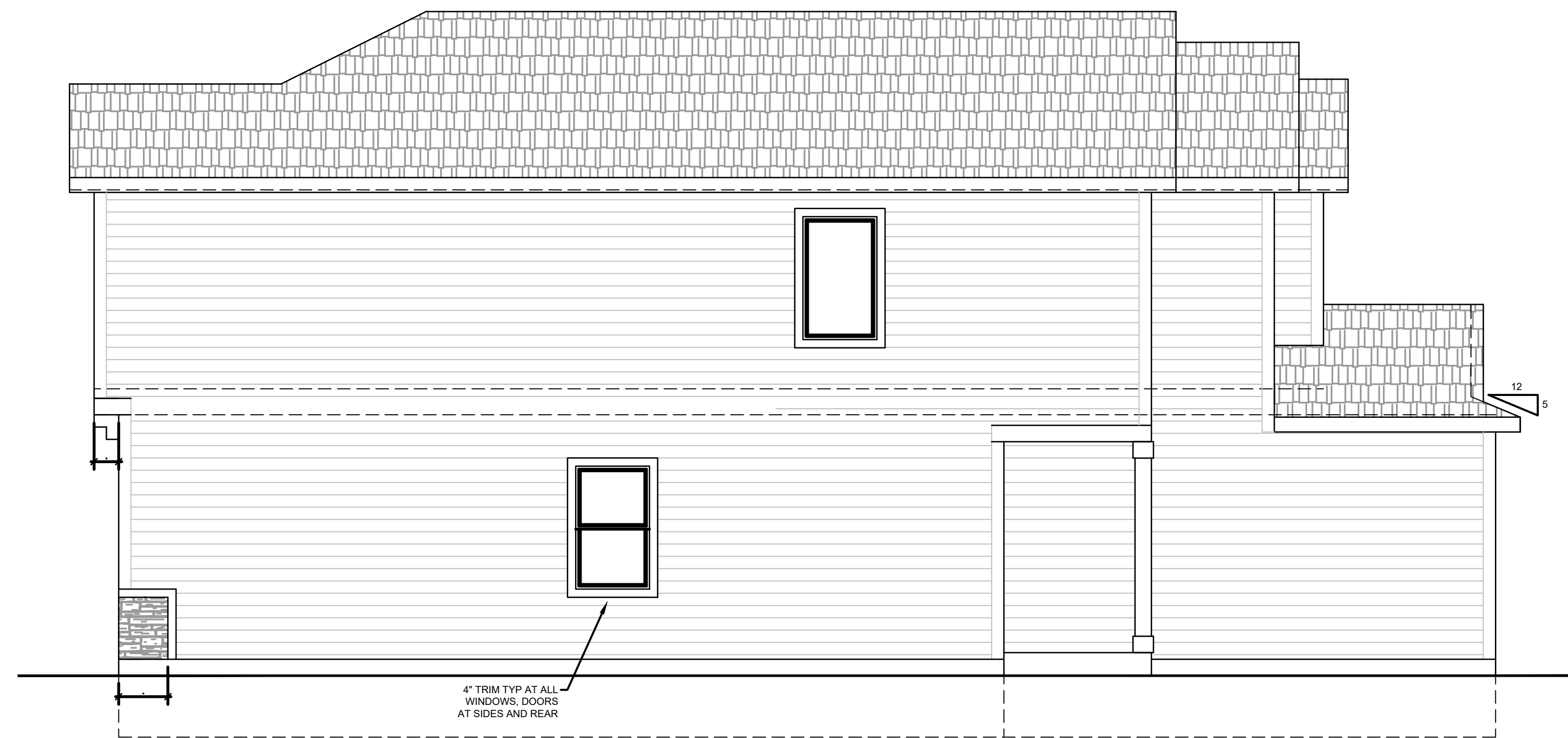
ELEVATIONS
ARCH ELEVATIONS-1752

SHEET
EL
15

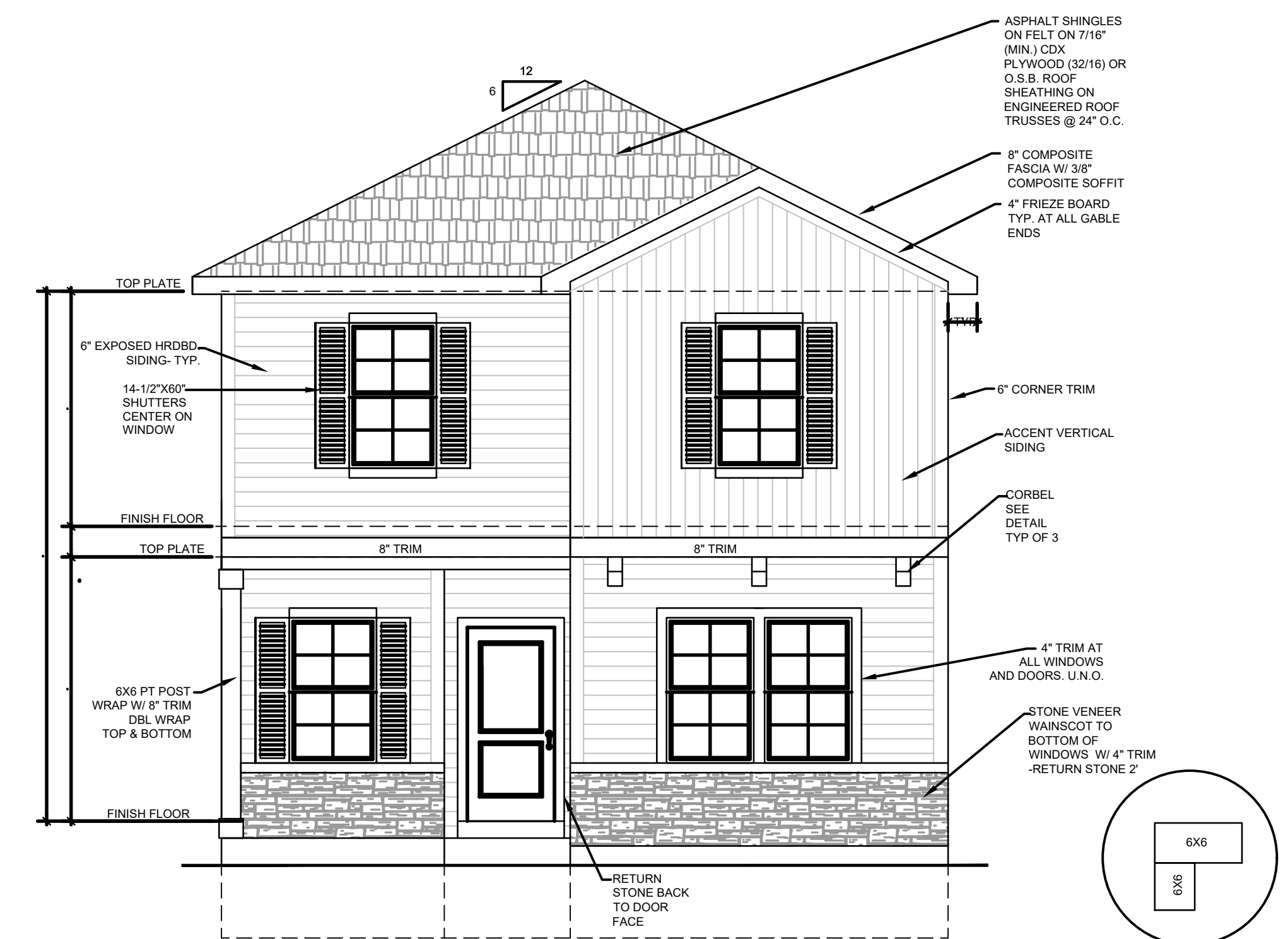
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HUHN, KEN, 11/2/2023 6:44 AM

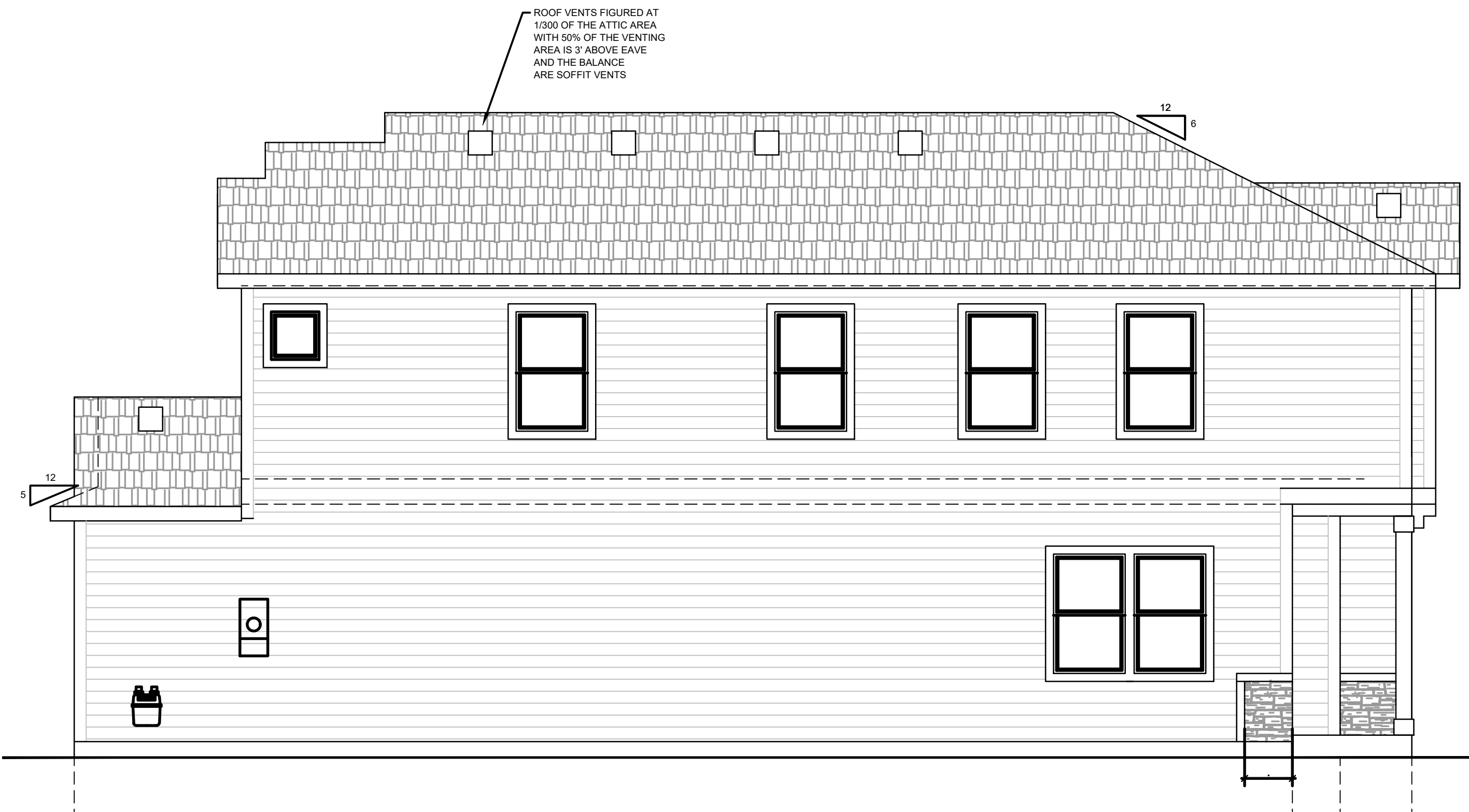
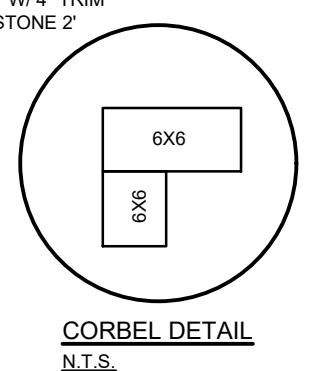


RIGHT SIDE ELEVATION - TRADITIONAL
1/4"=1'-0"

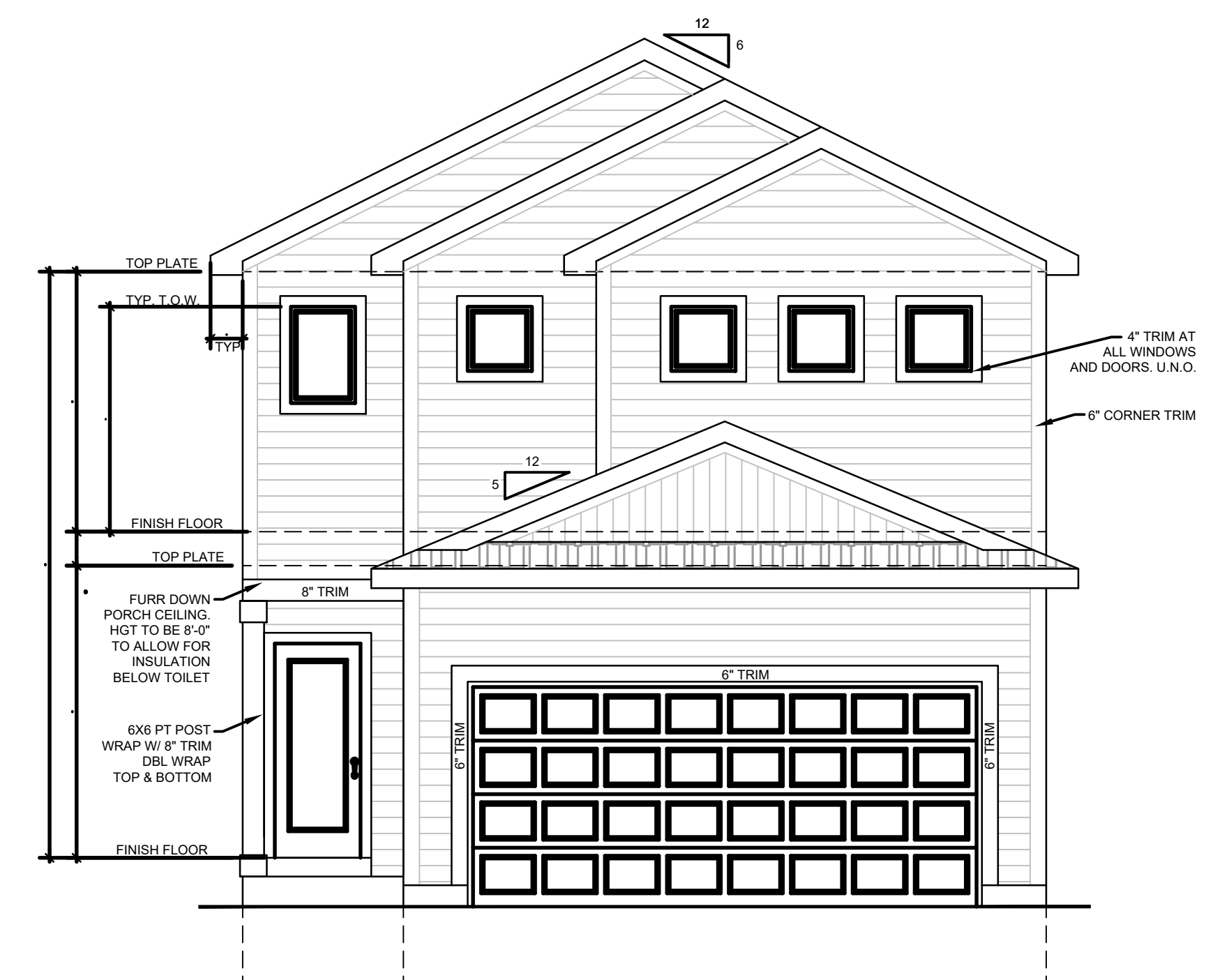


1978 - FRONT ELEVATION - TRADITIONAL
1/4"=1'-0"

TYPICAL ROOF NOTES:
ROOF PITCH AT 6/12 U.N.O.
1/2" ENERGY HEEL OVER COND. SPACE ONLY
12" OVERHANGS U.N.O.



LEFT SIDE ELEVATION - TRADITIONAL



REAR ELEVATION - TRADITIONAL

CITY APPROVAL
COLORADO SPRINGS
 OLYMPIC CITY USA
 Land Use Review
 Approved
 12-06-2023
 9:46:50 AM
 Austin Cooper

NOT FOR CONSTRUCTION
 LAND USE REVIEW FILE NO: PUDD-22-0016

DRAWN BY: YOU JOB DATE: 11/16/2022
 APPROVED: KEN JOB NUMBER: 211450
 CAD DATE: 11/2/2023
 CAD FILE: J:\2021\211450\CAD\Drawings\CSDP\Arch_Elevations

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
 HR GREEN - COLORADO SPRINGS
 7222 COMMERCE CENTER DR. SUITE 220
 COLORADO SPRINGS CO 80919
 PHONE: 719.622.6222
 FAX: 844.273.1057

BRADLEY HEIGHTS - FILING 5
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO



ELEVATIONS
 ARCH ELEVATIONS-1978

SHEET
 EL
 16

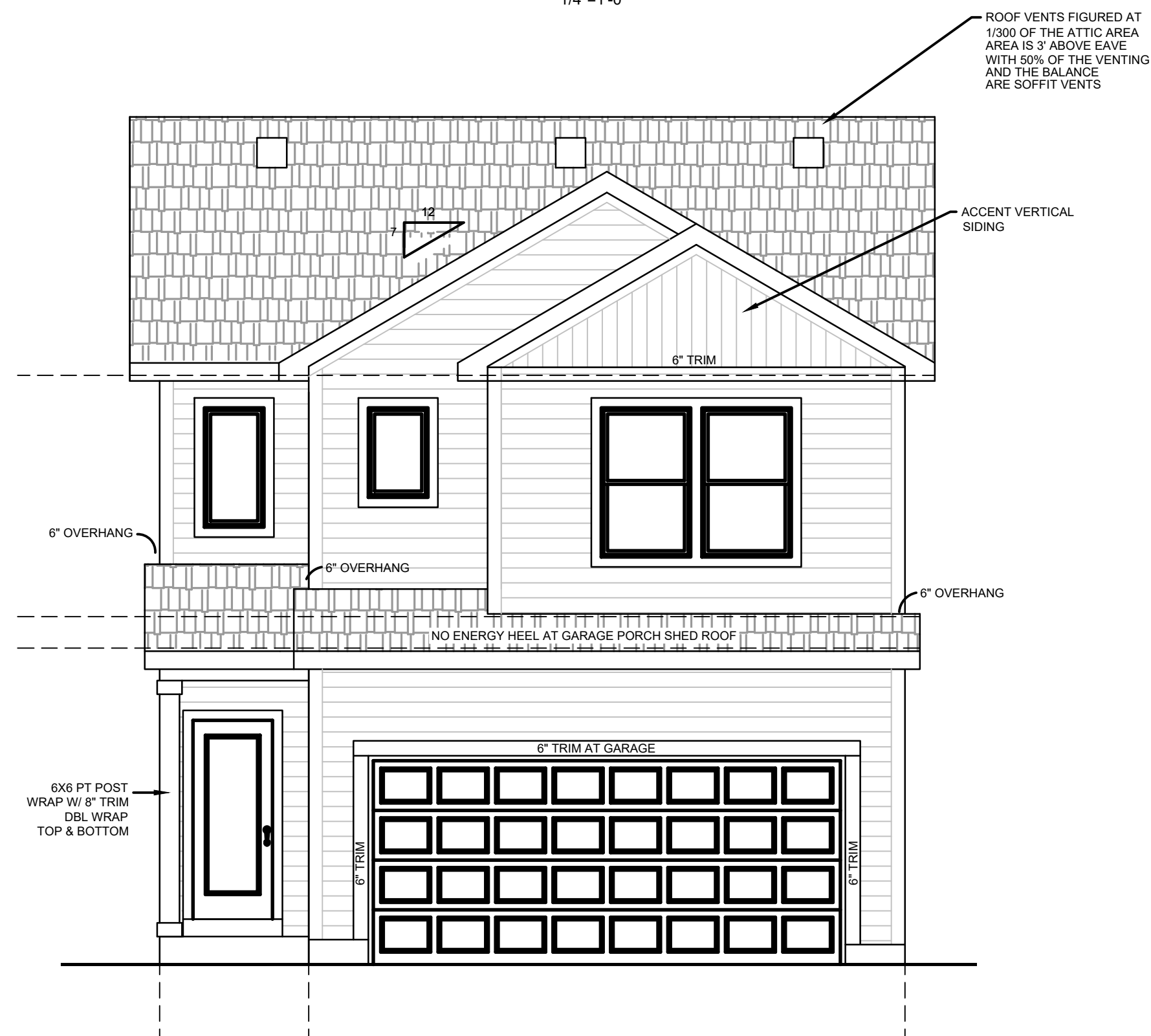
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2145



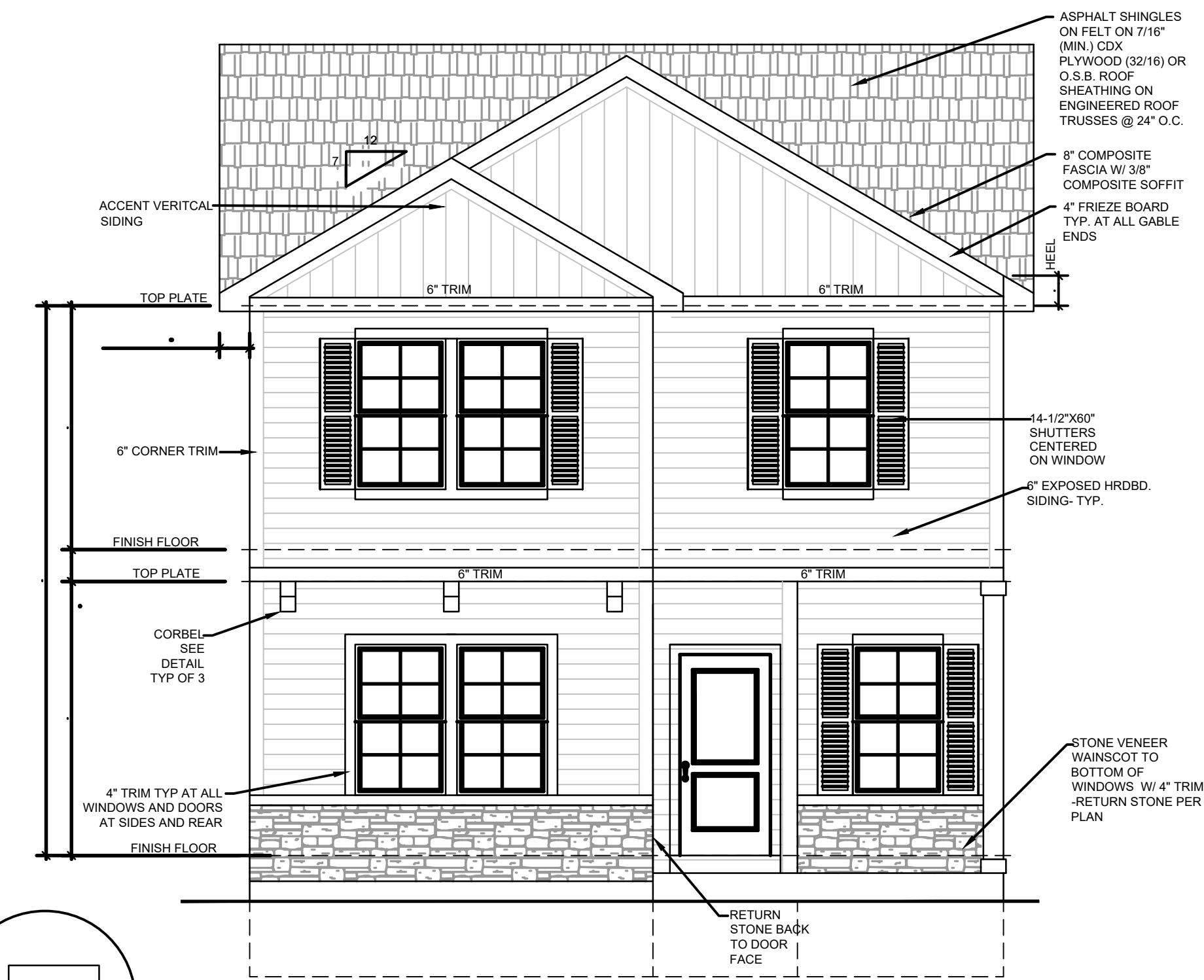
RIGHT SIDE ELEVATION - TRADITIONAL

1/4"=1'-0"



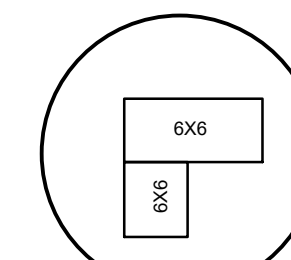
REAR ELEVATION - TRADITIONAL

1/4"=1'-0"



FRONT ELEVATION - TRADITIONAL

1/4"=1'-0"



CORBEL DETAIL
N.T.S.

TYPICAL ROOF NOTES:
 ROOF PITCH AT 6/12 U.N.O.
 12" ENERGY HEEL OVER COND. SPACE ONLY
 12" OVERHANGS U.N.O.



LEFT SIDE ELEVATION - TRADITIONAL

1/4"=1'-0"

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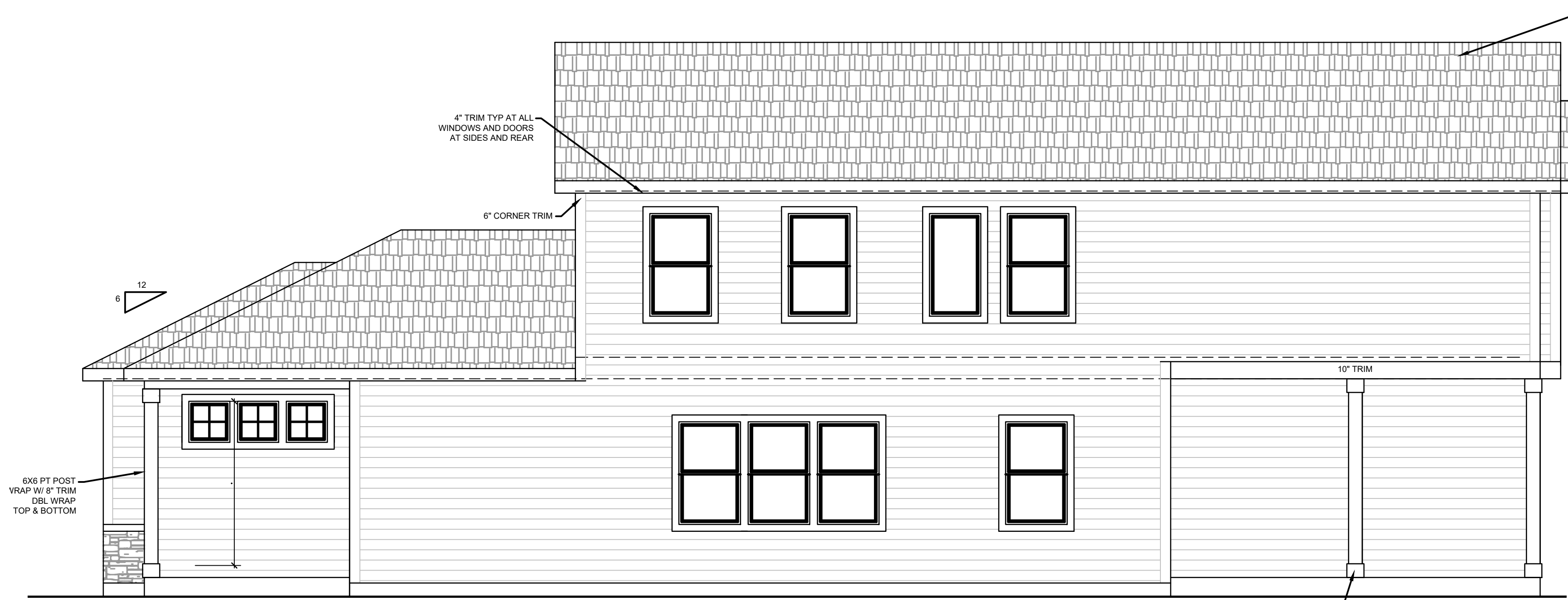
CHALLENGER HOMES

ELEVATIONS
 ARCH ELEVATIONS-2145

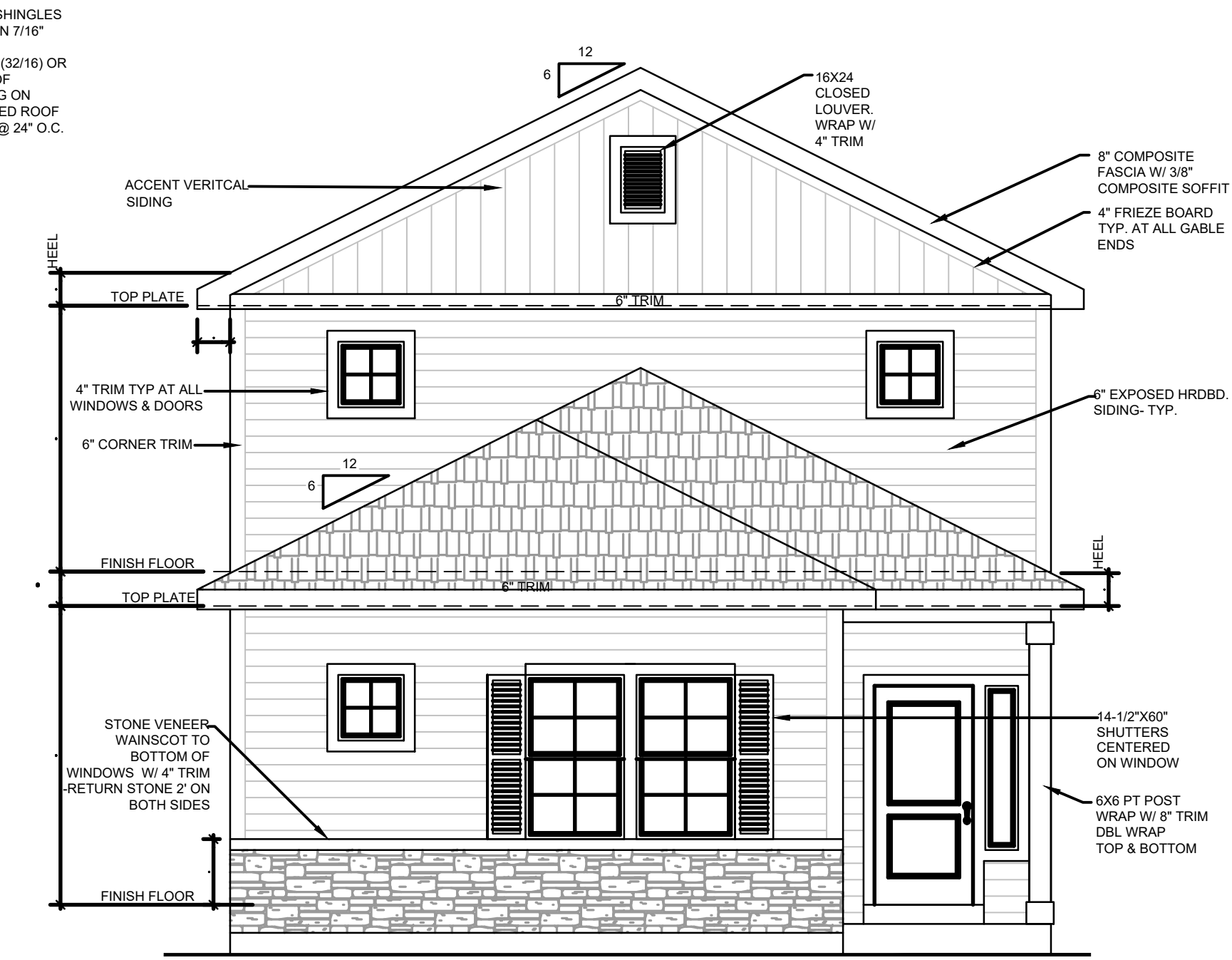
SHEET
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 17

2360

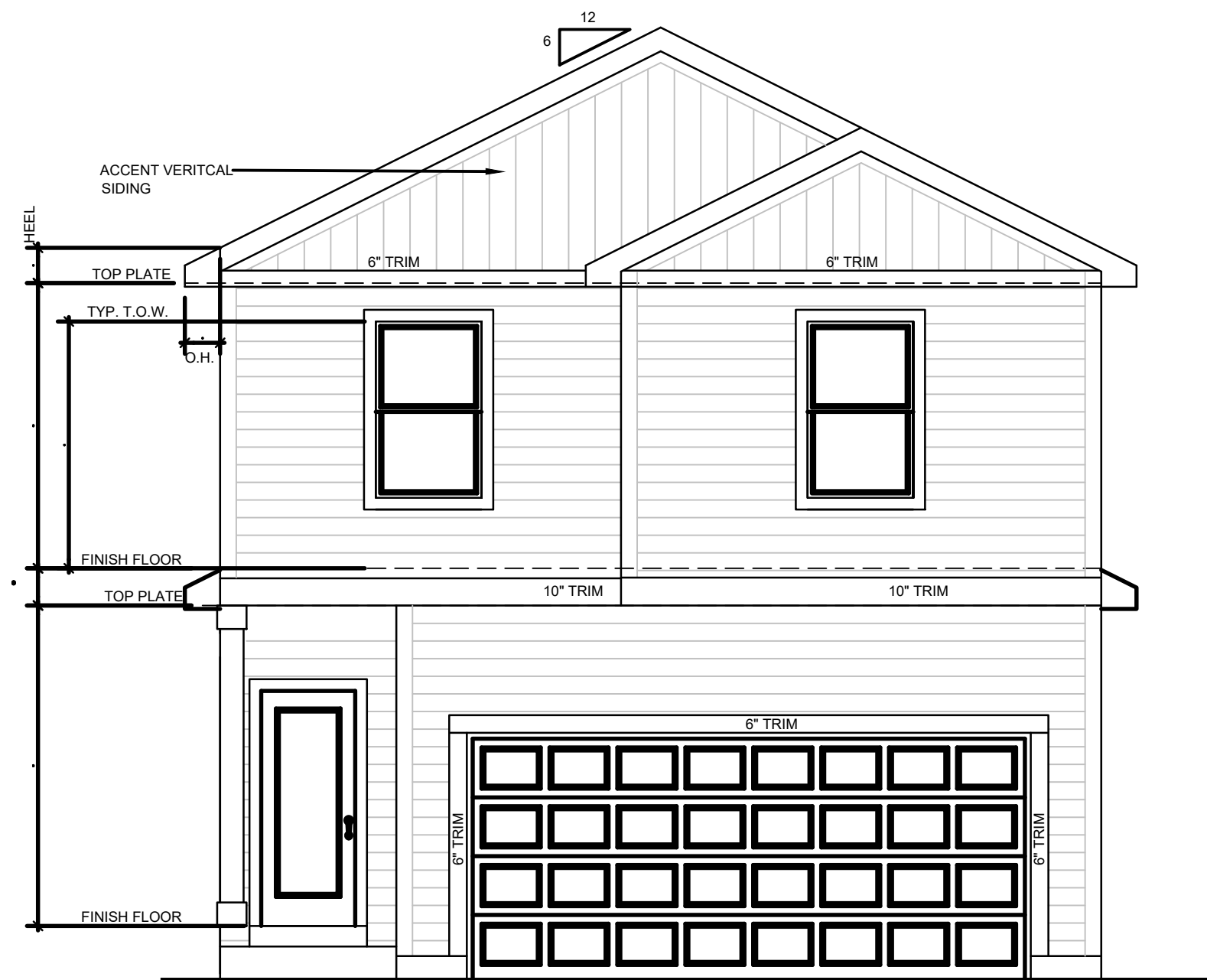
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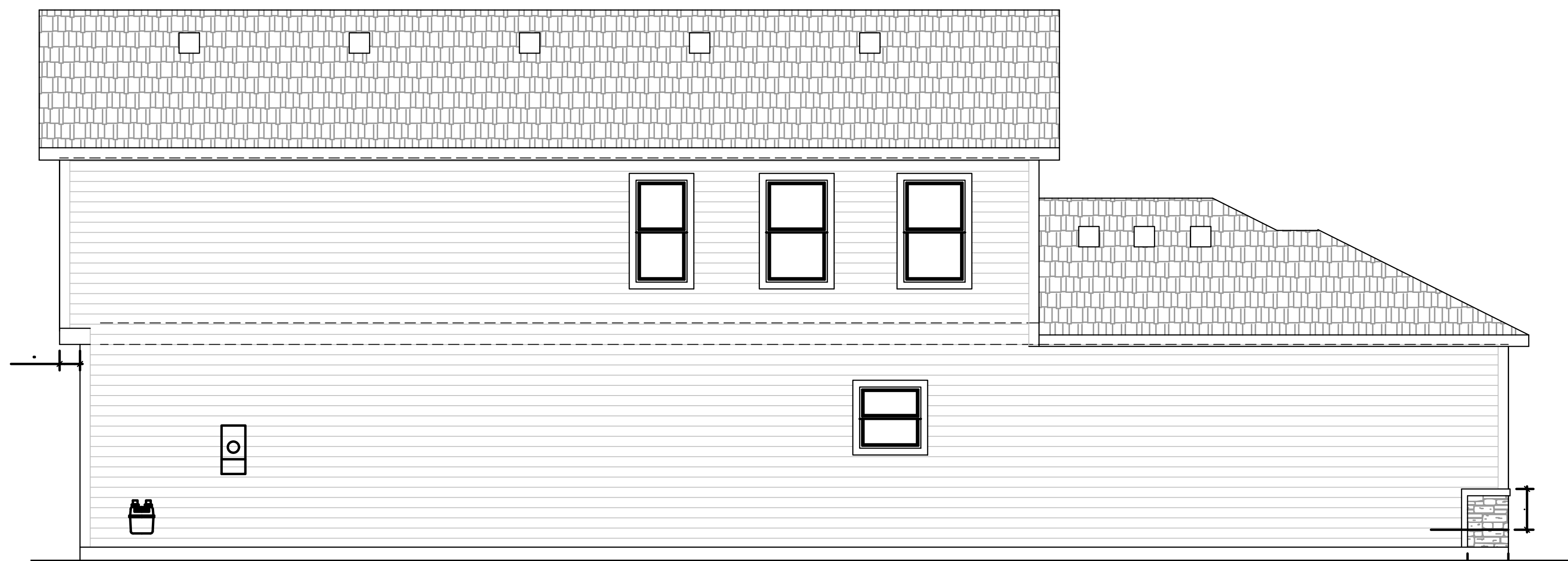
RIGHT SIDE ELEVATION - TRADITIONAL
1/4"=1'-0"



FRONT ELEVATION - TRADITIONAL
1/4"=1'-0"



REAR ELEVATION - TRADITIONAL
1/4"=1'-0"



LEFT SIDE ELEVATION - TRADITIONAL
1/4"=1'-0"

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BRADLEY HEIGHTS - FILING 5
CHALLENGER HOMES
COLORADO SPRINGS, COLORADO



ELEVATIONS
ARCH ELEVATIONS-2360

SHEET
EL
18

BRADLEY HEIGHTS - FILING 5

LOCATED WITHIN A PORTION OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

GENERAL LANDSCAPE PLAN NOTES:

***A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT.**

- LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICES NECESSARY TO FURNISH AND INSTALL LANDSCAPE ELEMENTS AND PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT LANDSCAPE ARCHITECT'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
- ALL PLANT LOCATIONS ARE APPROXIMATE, ADJUST AS NECESSARY TO AVOID CONFLICTS.
- QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON THE PLANTING PLAN.
- CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. UTILITIES HAVE BEEN SHOWN ON PLAN FOR ROUGH LOCATION OF SERVICES. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING "CALL BEFORE YOU DIG" AT (800) 922-1987 OR 811. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE HE MAY CAUSE TO UTILITIES.
- REMOVE ALL RUBBISH, EQUIPMENT, AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND UNOBSTRUCTED CONDITION AT ALL TIMES.
- STORAGE OF ANY MATERIALS, BUILDINGS, VEHICLES OR EQUIPMENT, FENCING AND WARNING SIGNS SHALL BE MAINTAINED THROUGHOUT THE SITE WORK AND CONSTRUCTION PERIODS BY THE CONTRACTOR.
- SOIL PREPARATION INCLUDES AMENDMENT, TILLING, AND ANY NECESSARY DE-COMPACTION OR EXCAVATION.
- SLOPE PROTECTION, RECLAMATION AND EROSION CONTROL (CODE 315) AS NEEDED OVER AND ABOVE SWMP PERMIT FOR RE-VEGETATION AND ESTABLISHMENT OF NATIVE SEED (OR COMPARABLE) WITHIN THE LANDSCAPE PROCESS.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF HOA (TO BE NAMED) OR CURRENT OWNER.

IRRIGATION:

- AN IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- ALL SHRUBS AND TREES SHALL BE DRIP IRRIGATED. ALL TREES LOCATED WITHIN SOD TURF AREAS SHALL BE WATERED BY ADJACENT SOD IRRIGATION SYSTEM.
- ALL NATIVE LOW GROW SEEDING SHALL BE TEMPORARILY IRRIGATED UNTIL ESTABLISHMENT. A PERMANENT IRRIGATION SYSTEM SHALL BE REQUIRED FOR DETENTION SEEDING.
- THE CONTRACTOR SHALL PROVIDE WATER, WATERING DEVICES, AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL AUTOMATIC IRRIGATION SYSTEMS ARE OPERATIONAL AND ACCEPTED. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANT'S HEALTHY CONDITION BASED ON SEASONAL CONSIDERATIONS.

SHRUB/TREE PLANTING NOTES:

- OWNER AND OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO FINAL ACCEPTANCE OF WORK, ANY AND ALL PLANTS WHICH, IN THEIR OPINION, FAIL TO MEET THE REQUIREMENTS OF THE SPECIFICATIONS.
- ALL TREE AND SHRUB LOCATIONS ARE APPROXIMATE; ADJUST AS NECESSARY TO AVOID CONFLICTS. PLANTING LOCATIONS OF SHRUBS, GRASSES AND PERENNIALS AS SPECIFIED. OBTAIN OWNERS REPRESENTATIVE'S APPROVAL OF LOCATIONS PRIOR TO PLANTING TREES AND SHRUBS.
- ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE FREE, AND BE TYPICAL OF THE SPECIES.
- PLANTS SHALL COMPLY IN ALL APPLICABLE RESPECTS WITH ACCEPTABLE STANDARDS SET FORTH IN THE COLORADO NURSERY ACT OF 1965 - TITLE 35, ARTICLE 25, CRS 1974 (SEE LANDSCAPE THE NURSERY ACT).
- AT THE COMPLETION OF PLANTING OPERATIONS ALL PLANTS SHALL BE INSPECTED BY THE OWNER AND OWNER'S REPRESENTATIVE. CONTRACTOR SHALL REPLACE IMMEDIATELY ANY PLANTS NOT IN HEALTHY AND VIGOROUS CONDITION AT THAT TIME AT NO EXPENSE TO THE OWNER. ANY PLANT NOT IN HEALTHY CONDITION DURING THE WARRANTY PERIOD SHALL BE REPLACED AS PER THE ORIGINAL SPECIFICATIONS, AT NO CHARGE TO THE OWNER.
- PLANTS ARE TO BE SELECTED AND SIZED AS SHOWN ON THE PLANT SCHEDULE.
- PLANTS BED RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE. DO NOT APPLY HERBICIDE IN PERENNIAL BEDS.
- POROUS WEED BARRIER FABRIC, AS NOTED IN THE SPECIFICATIONS, SHALL BE INSTALLED WHERE ROCK AREAS ARE PRESENT.
- USE TRIANGULAR SPACING IN ALL GROUND COVER AND PERENNIAL BEDS.
- ALL WORK ON TREES TO REMAIN, INCLUDING CROWN AND ROOT PRUNNING SHALL BE PERFORMED BY A TREE SERVICE LICENSED BY THE CITY FORESTER.

SODDING & SEEDING:

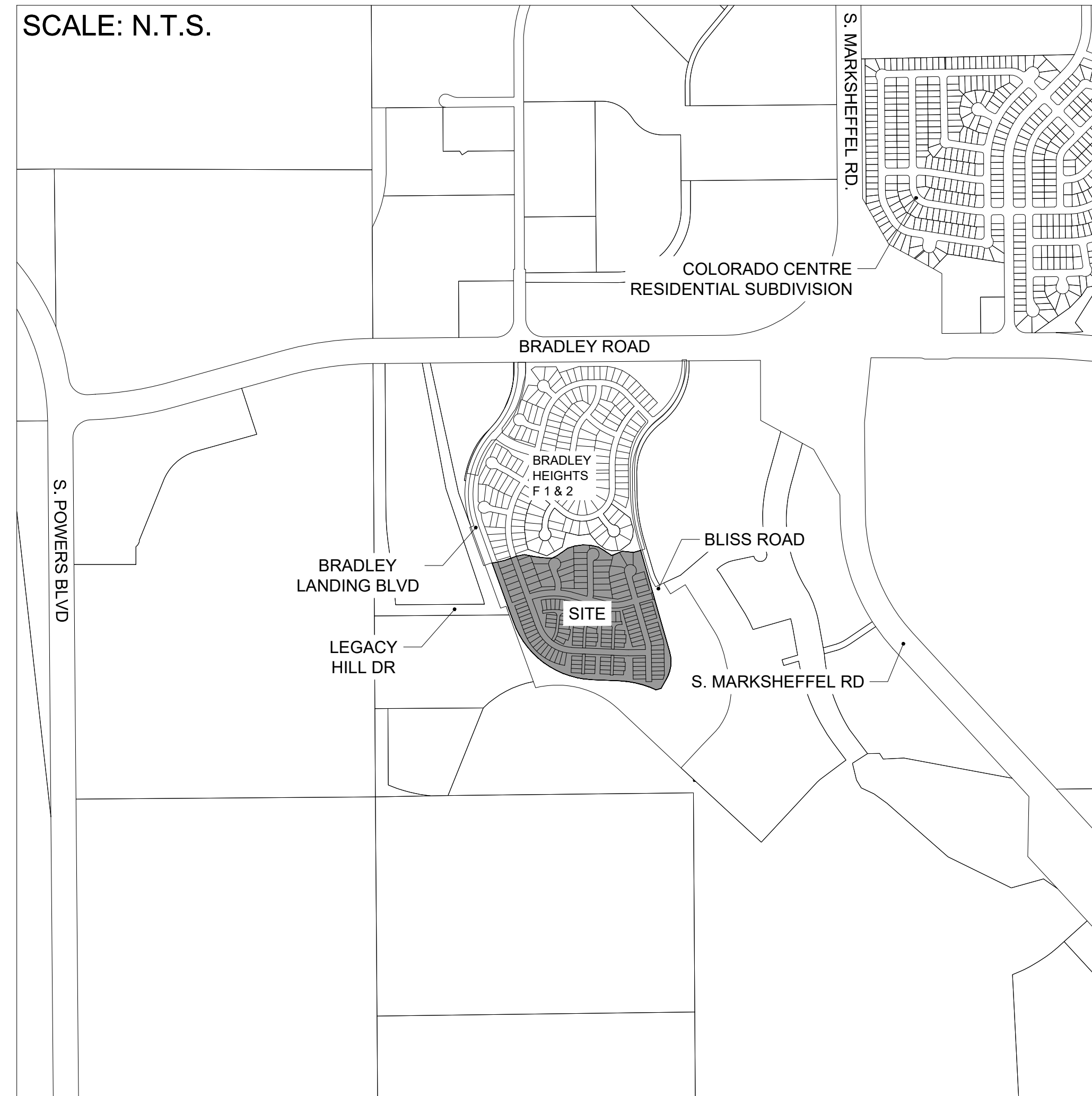
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING EROSION CONTROL MEASURES DURING THE DURATION OF WORK ON-SITE.
- ALL PROPOSED TURF AND PLANTING AREAS ARE TO BE ROTO-TILLED TO A DEPTH OF 8". FINE GRADE, AND REMOVE ALL CONSTRUCTION DEBRIS AND ROCKS OVER 1" IN DIAMETER FROM THE SITE.
- AFTER TILLING APPLY SOIL AMENDMENTS & FERTILIZERS TO ALL TURF AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. ALL FINISH GRADING SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.
- FINE GRADE SOD AREAS TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING.
- ALL AREAS TO BE SEEDED SHALL BE TILLED AS SPECIFIED AND THEN HARROWED, RAKED OR ROLLED TO PRODUCE A FIRM SEED BED FOR PLANTING. IMPORTED TOPSOIL MAY BE REQUIRED TO PROVIDE AN ACCEPTABLE PLANTING MEDIUM. LARGE ROCKS (1" DIAMETER) AND DEBRIS THAT MAY IMPEDE SEEDING SHALL BE CLEARED FROM THE SITE. ANY REQUIRED EROSION CONTROL FEATURES (E.G., WATER BARS, BERMS, BASINS, TURNOUTS) SHALL BE CONSTRUCTED PRIOR TO SEEDING. SITES THAT ARE NOT ADEQUATELY PREPARED PRIOR TO SEEDING (E.G., COMPACTED SOIL, INSUFFICIENT TOPSOIL, ROCKY, ERODED SURFACE, ETC.) SHALL BE REJECTED.
- ALL SPECIFIED SEED MIXES SHALL CONSIST OF CERTIFIED SEE VARIETIES THAT ARE FREE OF NOXIOUS WEEDS AND HAVE BEEN TESTED FOR PURITY AND GERMINATION WITHIN SIX MONTHS OF THE PLANTING DATE. CERTIFICATION LABELS WHICH INDICATE THE SPECIES, PURITY, GERMINATION, WEED CONTENT, ORIGIN, AND TEST DATE SHALL BE SUBMITTED FOR ALL SEED MATERIALS.
- SEEDING SHALL OCCUR DEPENDING ON THE PROJECT SCHEDULE, IT IS PREFERABLE THAT SEEDING OCCUR DURING THE FALL (SEPTEMBER-NOVEMBER) OR SPRING (MARCH-MAY) TO MAXIMIZE PLANTING SUCCESS. IF THE PROJECT SCHEDULED DOES NOT COINCIDE WITH THE PREFERRED SEEDING PERIODS, OR THERE ARE UNSUITABLE SITE CONDITIONS (I.E. FROZEN GROUND), THEN SOIL STABILIZATION AND/OR STORM WATER BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED TO STABILIZE THE AREA UNTIL THE NEXT APPROPRIATE SEEDING DATE.
- ANY SEEDING CONDUCTED OUTSIDE THE PREFERRED MONTHS SHALL BE APPROVED BY THE OWNER.

GENERAL NOTES

- BASE MAP INFORMATION IS ACCURATE AS OF THE DATE PRINTED ON THIS PACKAGE.
- THE LANDSCAPE PLANS CONTAINED HEREIN ILLUSTRATE APPROXIMATE LOCATIONS OF ALL SITE CONDITIONS. REFER TO SURVEY, ARCHITECTURAL, CIVIL ENGINEERING, STRUCTURAL, ELECTRICAL, IRRIGATION AND ALL OTHER DRAWINGS, IF AVAILABLE, FOR ADDITIONAL DETAILED INFORMATION.
- THE CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL COMPLY WITH ALL CODES APPLICABLE TO THIS WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH SUBCONTRACTORS AND OTHER CONTRACTORS OF RELATED TRADES, AS REQUIRED, TO ACCOMPLISH THE PLANTING AND RELATED OPERATIONS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL PLANT MATERIAL WITH THE INSTALLATION OF OTHER IMPROVEMENTS SUCH AS HARDSCAPE ELEMENTS AND RELATED STRUCTURES. ANY DAMAGE TO EXISTING IMPROVEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ALL AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED BY OPERATIONS OF OR RELATED TO THE CONTRACTOR'S WORK.
- LANDSCAPE EDGING SHALL BE REQUIRED BETWEEN WHERE ALL GROUND COVER TYPES CHANGE TO A DIFFERENT GROUND COVER. SEE SPECIFICATIONS DETAIL.
- ALL AREAS DESIGNED TO RECEIVE SOLID SOD SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO GRASSING OPERATIONS. FINISH GRADE AT TURF AREAS SHALL BE 3/4"-1" BELOW TOP OF ADJACENT PAVEMENT OR CURBS.
- CONTRACTOR SHALL FIELD ADJUST PLANT LOCATIONS TO ACCOMMODATE ALL LIGHTING AND ENSURE PLANTS WILL NOT INTERFERE WITH LIGHTING.
- FERTILIZING, AS SPECIFIED, STAKING, WATERING AND ONE (1) YEAR PLANT WARRANTY FOR INSTALLED PLANT MATERIAL, SHALL BE CONSIDERED INCIDENTAL TO THE PLANT ITEMS.
- WARRANTY: ONE (1) YEAR REPLACEMENT WARRANTY FOR ALL PLANT MATERIALS SHALL BE CONSIDERED INCIDENTAL TO THIS PROJECT. WARRANTY SHALL COVER PLANTS WHICH HAVE DIED OR PARTIALLY DIED (THEREBY RUINING THEIR NATURAL SHAPE), BUT SHALL NOT INCLUDE DAMAGE BY VANDALISM, BROWSING, HAIL, ABNORMAL FREEZES, DROUGHT OR NEGLIGENCE BY THE OWNER. THE WARRANTY IS INTENDED TO COVER CONTRACTOR NEGLIGENCE, INFESTATIONS, DISEASE AND DAMAGE OR SHOCK TO PLANTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND WATERING THE PLANT MATERIAL AS NECESSARY, TO ENSURE GROWTH AND ESTABLISHMENT DURING THE 1-YEAR WARRANTY PERIOD. ANY PLANTS THAT ARE NOT IN A LIVE, HEALTHY, GROWING CONDITION AT THE END OF THE 1-YEAR WARRANTY PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. PLANTS REPLACED UNDER WARRANTY WILL BE WARRANTED FOR ONE (1) YEAR FOLLOWING REPLACEMENT.

VICINITY MAP

SCALE: N.T.S.



SHEET INDEX:

- SHEET L.01: LANDSCAPE COVER SHEET
- SHEET L.02: LANDSCAPE NOTES
- SHEET L.03: PRELIMINARY LANDSCAPE PLAN
- SHEET L.04: LANDSCAPE DETAILS
- SHEET L.05: LANDSCAPE DETAILS

CLIENT
CHALLENGER HOMES
8605 EXPLORER DR.
COLORADO SPRINGS, CO 80920
719.598.5192

ENGINEER
HR GREEN INC.
1975 RESEARCH PARKWAY #230
COLORADO SPRINGS, CO 80920
720.602.4965

LANDSCAPE ARCHITECT
HR GREEN INC.
5619 DTC PARKWAY #1150
GREENWOOD VILLAGE, CO 80111
720.602.4999

ORDINANCE LANDSCAPE REQUIREMENTS

SMALL LOT LANDSCAPING

TOTAL LOTS (QTY.)	NO. OF SMALL LOTS	NO. OF LOTS GREEN WAY ORIENTED	NO. OF LOTS NOT GREEN WAY ORIENTED	NO. OF TREES REQUIRED/PROVIDED
156 LOTS	133 LOTS	46 LOTS	87	87 / 87

INTERNAL LANDSCAPING (SMALL LOTS)

O.S. FRONTED LOT SUMMARY	SQ. FT. OF LOTS	NUMBER OF LOTS	LANDSCAPE AREA PER LOT	LANDSCAPE AREA REQUIRED/PROVIDED	NO. OF TREES REQUIRED/PROVIDED
CREDITED LOTS	< 4,000 SQ. FT.	46 LOTS	400 SF / LOT	18,400	37
NON-CREDITED LOTS	< 4,000 SQ. FT.	76 LOTS	600 SF / LOT	45,600	92
NON-CREDITED LOTS	4,000-4,999 SQ. FT.	11 LOTS	400 SF / LOT	2,200	5
SINGLE FAMILY LOTS	> 6,000 SQ. FT.	23 LOTS	N/A	N/A	N/A
TOTAL	N/A	156 LOTS	N/A	66,200 / 260,952	134 / 134

LANDSCAPE BUFFERS/SETBACKS

ZONE BOUNDARY	CLASSIFICATION	LANDSCAPE BUFFER WIDTH REQUIRED/PROVIDED	LINEAR FOOTAGE TREE/FEET REQUIRED	LINEAR FOOTAGE	NO. OF TREES REQUIRED/PROVIDED
BRADLEY LANDING BLVD.	COLLECTOR	10' / 10'	1 TREE / 30 FT	1,928	65 / 65
BLISS ROAD	COLLECTOR	10' / 10'	1 TREE / 30 FT	1,203	41 / 41

DRAWN BY: JAG	JOB DATE: 11/22/2023	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
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PHONE: 719.622.6222
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BRADLEY HEIGHTS - FILING 5
CHALLENGER HOMES
COLORADO SPRINGS, COLORADO

CHALLENGER HOMES

PRELIMINARY LANDSCAPE PLAN
LANDSCAPE COVER SHEET

SHEET
L.01
19

811
Know what's below.
Call before you dig.

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CITY APPROVAL
COLORADO SPRINGS
OLYMPIC CITY USA
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PLANT SCHEDULE

DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	SIZE
	AM	Acer miyabei / Miyabe Maple	2" Cal.
	CO	Celtis occidentalis / Common Hackberry	2" Cal.
	GS	Gleditsia triacanthos inermis 'Skyline' / Skyline Honey Locust	2" Cal.
	TA	Tilia americana / American Linden	2" Cal.
	UC	Ulmus x 'Frontier' / Frontier Elm	2" Cal.
EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME	SIZE
	PD	Picea glauca densata / Black Hills Spruce	6' Ht.
	PP	Picea pungens 'Bacheri' / Bacheri Colorado Spruce	6' Ht.
	PN	Pinus nigra / Austrian Pine	8' Ht.
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	SIZE
	AG	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	1.5" Cal.
	MP	Malus x 'Prairifire' / Prairifire Crabapple	1.5" Cal.
	PM	Prunus maackii 'Canada Red' / Canada Red Chokecherry	1.5" Cal.
	RP	Robinia pseudoacacia 'Purple Robe' / Purple Robe Black Locust	1.5" Cal.
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE
	BT	Berberis thunbergii 'Concorde' / Concorde Japanese Barberry	5 gal.
	CS	Cornus sericea 'Isanti' / Isanti Red Twig Dogwood	5 gal.
	EA	Euonymus alatus 'Compactus' / Compact Burning Bush	5 gal.
	RS	Perovskia atriplicifolia / Russian Sage	5 gal.
EVERGREEN SHRUB	CODE	BOTANICAL / COMMON NAME	SIZE
	AC	Arctostaphylos x coloradensis / Mock Bearberry Manzanita	5 gal.
	CP	Cytisus purgans 'Spanish Gold' / Spanish Gold Broom	5 gal.
	JH	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	5 gal.
	JA	Juniperus sabinia 'Arcadia' / Arcadia Juniper	5 gal.
	MM	Pinus mugo 'Mops' / Mops Mugo Pine	5 gal.
GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE
	BG	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama	1 gal.
	FO	Festuca ovina glauca 'Elijah Blue' / Elijah Blue Fescue	1 gal.
	PV	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass	1 gal.
	PH	Panicum virgatum 'Heavy Metal' / Heavy Metal Switch Grass	1 gal.
PERENNIALS	CODE	BOTANICAL / COMMON NAME	SIZE
	AA	Aster alpinus / Alpine Aster	1 gal.
	HD	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	1 gal.
	LB	Leucanthemum x superbum 'Becky' / Becky Shasta Daisy	1 gal.
	SS	Salvia x sylvestris 'May Night' / May Night Sage	1 gal.
	SA	Sedum x 'Autumn Joy' / Autumn Joy Sedum	1 gal.

SCHEMATIC LANDSCAPE DIAGRAM

SCALE - N.T.S.

TO BE SUBMITTED IN CONFORMANCE WITH POLICY 311 CLIMATE ZONE (FROM FIGURE 4 OF LANDSCAPE POLICY MANUAL) - CIRCLE ONE:

FOOTHILLS Foothills & Plains Plains

PLANT COMMUNITIES

TO BE LABELED BY NUMBER(S) ON DIAGRAM IN FLP

- 1 - SEMIARID SHRUBLANDS
- 2 - PION-JUNIPER WOODLANDS
- 3 - PRAIRIE
- 4 - LOWER ELEVATION RIPARIAN
- 5 - FOOTHILL SHRUBLANDS
- 6 - PONDEROSA PINE FOREST
- 7 - UPPER ELEVATION RIPARIAN
- 8 - DOUGLAS-FIR FOREST

HYDROZONES

TO BE LABELED BY NUMBER(S) ON DIAGRAM IN FLP

- V - V - VERY LOW (0 TO 7 INCHES PER YEAR)
- L - LOW (7 TO 15 INCHES PER YEAR)
- M - MODERATE (15 TO 25 INCHES PER YEAR)
- H - HIGH (MORE THAN 25 INCHES PER YEAR)



GROUNDCOVER LEGEND/QUANTITIES

SYMBOL	DESCRIPTION	QUANTITY	UNITS
	SOD TURF	126,775	SQUARE FEET
	SHRUB BED	55,600	SQUARE FEET
	NATIVE SEEDING	136,368	SQUARE FEET

SEEDING SPECIFICATIONS

NATIVE SEEDING
 EL PASO COUNTY ALL PURPOSE LOW GROW MIX
 25% BUFFALOGRASS
 20% GRAMA, BLUE
 29% GRAMA, SIDEOATS
 5% GREEN NEEDLEGRASS
 20% WHEATGRASS, WESTERN
 1% DROPSEED, SAND

SEEDING RATE: 42 LBS PLS/ACRE

DETENTION SEEDING
 EL PASO COUNTY CONSERVATION DISTRICT ALL PURPOSE MIX
 20% BLUESTEM, BIG
 10% GRAMA, BLUE
 10% GREEN NEEDLEGRASS
 20% WHEATGRASS, WESTERN
 10% GRAMA, SIDEOATS
 10% SWITCHGRASS
 10% PRAIRIE SANDREED
 10% YELLOW INDIANGRASS

SEEDING RATE: 19.3 LBS PLS/ACRE

SIGNATURE TREES AND SHRUBS

TREES	XXX
SIGNATURE TREES	XXX
TOTAL TREES	XXX
PERCENTAGE	XX.X%

SHRUBS	XXX
SIGNATURE SHRUBS	XXX
TOTAL SHRUBS	XXX
PERCENTAGE	XX.X%

LEGEND

	EXISTING	PROPOSED		EXISTING	PROPOSED
MATCH LINE			STORM SEWER		
PHASE LINE			MANHOLE		
SECTION LINE			STORM INLET		
PROPERTY LINE			FLARED END SECTION		
EASEMENT LINE			RIPRAP		
RIGHT OF WAY			SANITARY SEWER		
CENTERLINE			CLEAN OUT		
PRIVACY FENCE			MANHOLE		
SPLIT RAIL FENCE			PLUG		
METAL FALL FENCE			WATER		
GUARDRAIL			FIRE HYDRANT		
CABLE TV			FIRE DEPT. CONNECTION		
U.G. ELECTRIC			GATE VALVE		
OVERHEAD ELECTRIC			MANHOLE		
FIBER OPTIC			METER		
GAS MAIN			TEE		
SANITARY SEWER			REDUCER		
STORM DRAIN			DRY UTILITIES		
TELEPHONE			ELECTRIC METER		
WATER MAIN			ELECTRIC PEDESTAL		
SWALE			ELECTRICAL CABINET		
TRAIL			ELECTRIC VAULT		
CURB & GUTTER			FIBER OPTIC PULL BOX		
DRAINAGE BASIN			FIBER OPTIC MANHOLE		
INDEX CONTOUR			FIBER OPTIC PEDESTAL		
INTER. CONTOUR			FIBER OPTIC SIGN		
100-YR FLOODPLAIN			FIBER OPTIC VAULT		
FLOODWAY			GAS METER		
EDGE OF WETLANDS			GAS SIGN		
DRAINAGE			GAS VAULT		
DRAINAGE BASIN			TELEPHONE CABINET		
BASIN TAG			TELEPHONE MANHOLE		
DESIGN POINT			TELEPHONE SIGNAL/MAST		
			TELEPHONE SIGN		
			TELEPHONE PEDESTAL		
			TRANSFORMER		
			LIGHT POLE		
			FIBER OPTIC VAULT		
			MISCELLANEOUS		
			SIGN		
			BOLLARD		
			ACCESSIBLE PARKING		



Know what's below. Call before you dig.

NOT FOR CONSTRUCTION LAND USE REVIEW FILE NO: PUDD-22-0016

CITY APPROVAL

Land Use Review Approved
 12-06-2023
 9:46:50 AM
 Austin Cooper

DRAWN BY: JAG	JOB DATE: 11/22/2023	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: JFR	JOB NUMBER: 211450	0" = 1"
CAD DATE: 11/2/2023		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2021\211450\CAD\DWG\CISDPLandscape_Plan		

NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
 7222 COMMERCE CENTER DR. SUITE 220
 COLORADO SPRINGS CO 80919
 PHONE: 719.622.6222
 FAX: 844.273.1057

BRADLEY HEIGHTS - FILING 5
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO

PRELIMINARY LANDSCAPE PLAN
 LANDSCAPE NOTES

SHEET L.02 20



GROUNDCOVER LEGEND

SYMBOL	DESCRIPTION
	SOD TURF
	SHRUB BED
	NATIVE SEEDING

GENERAL PLAN NOTES:

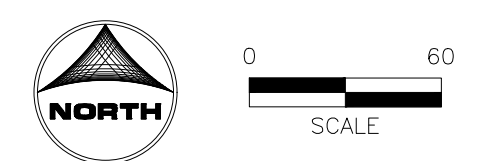
1. ALL LOTS SHALL HAVE FENCING ALONG THE PERIMETER OF THE LOTS.
2. ALL RETAINING WALL HEIGHTS ARE BASED OFF OF THE GRADING PLAN AND TO BE CONSIDERED GENERAL HEIGHTS. SHADE TREES, EVERGREEN TREES AND ORNAMENTAL TREES ARE SHOWN ON THE PLAN TO FULFILL THE REQUIREMENTS AND ARE SUBJECT TO CHANGE ON THE FINAL LANDSCAPE PLAN.
3. SHRUBS, GRASSES AND PERENNIALS ARE NOT SHOWN ON THE PLAN AND WILL BE SHOWN ON THE FINAL LANDSCAPE PLAN.
4. GROUND COVERS SHOWN ON THE PLAN ARE SUBJECT TO CHANGE ON THE FINAL LANDSCAPE DESIGN BASED ON THE FINAL DESIGN.
5. PLANT LEGEND AND QUANTITIES SHALL BE FINALIZED ON THE FINAL LANDSCAPE PLAN WITH COMPLETE QUANTITIES AND SYMBOLS.
6. MAINTAIN 15-FOOT MINIMUM SEPARATION FROM ANY TREE TO UTILITY SERVICE LINE.

KIEMELE FAMILY PARTNERSHIP LLP ZONING: PUD AO SS

CITY APPROVAL

Land Use Review Approved

12-06-2023 9:46:50 AM Austin Cooper



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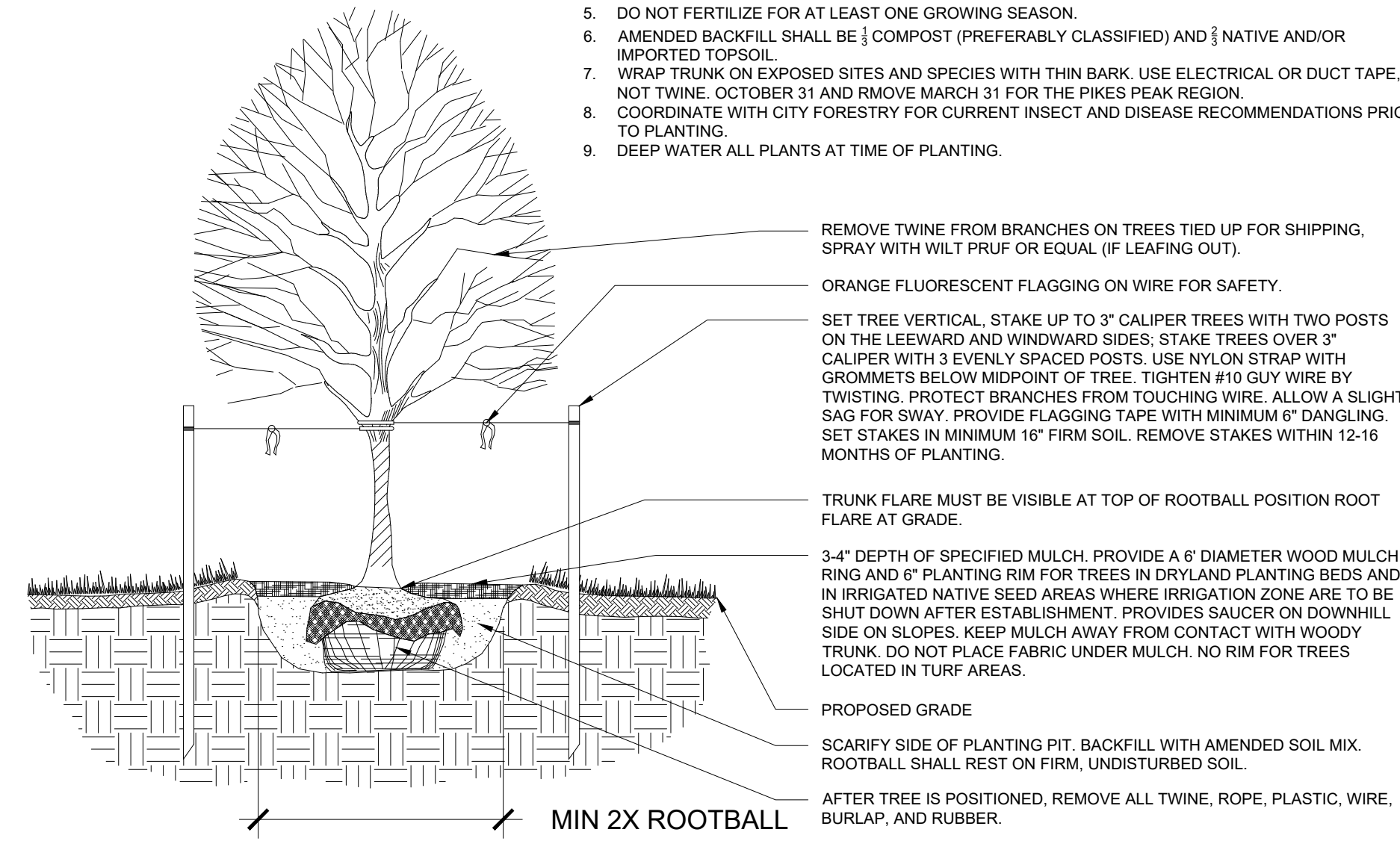
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PRELIMINARY LANDSCAPE PLAN
PRELIMINARY LANDSCAPE PLAN

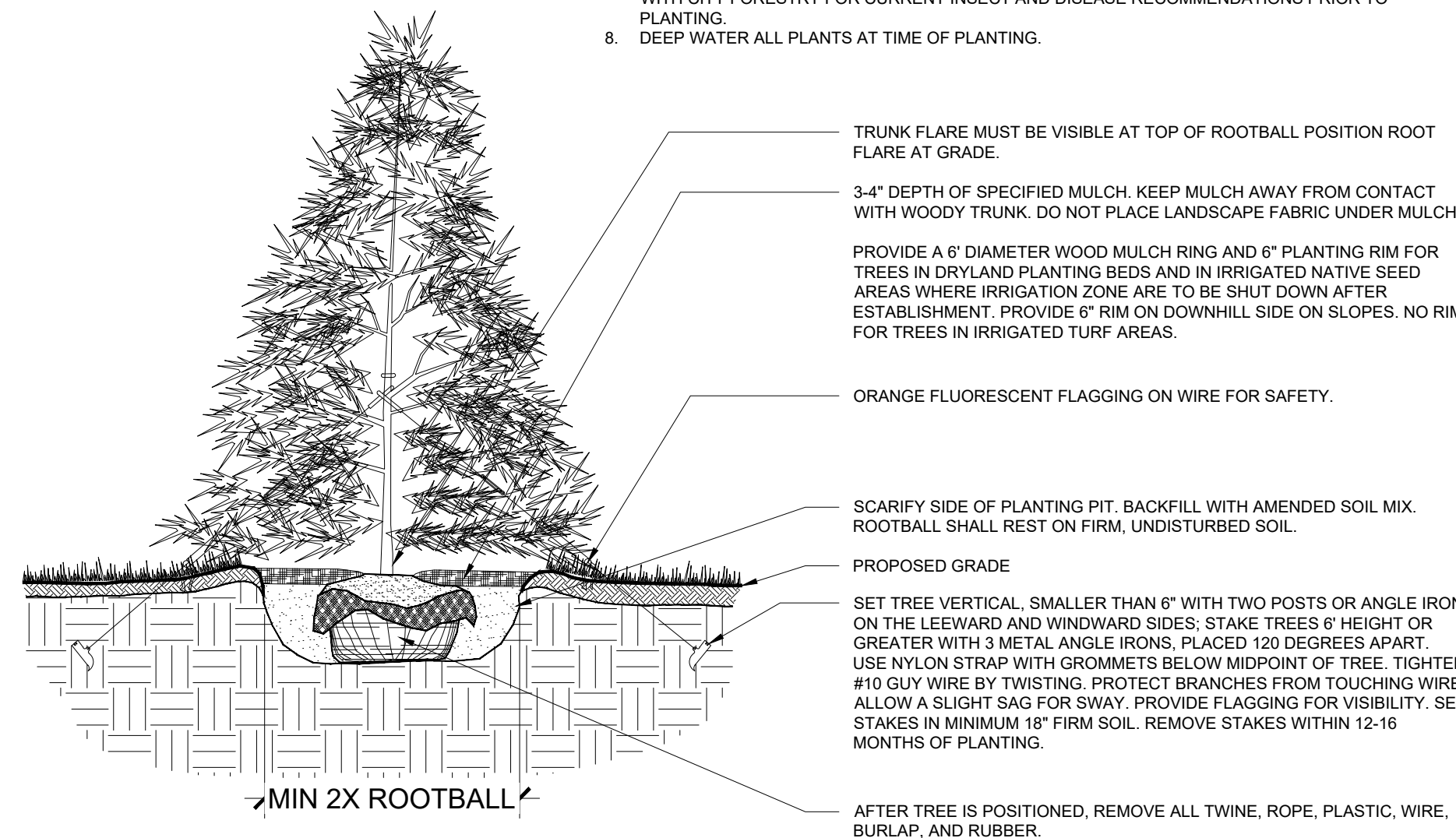
- NOTES:
1. MARK THE NORTH SIDE OF TREE IN NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
 2. AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 3. STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 5. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 6. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 7. WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE. OCTOBER 31 AND REMOVE MARCH 31 FOR THE Pikes Peak REGION.
 8. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
 9. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



1 TYP. DECIDUOUS TREE PLANTING DETAIL

SCALE: NTS

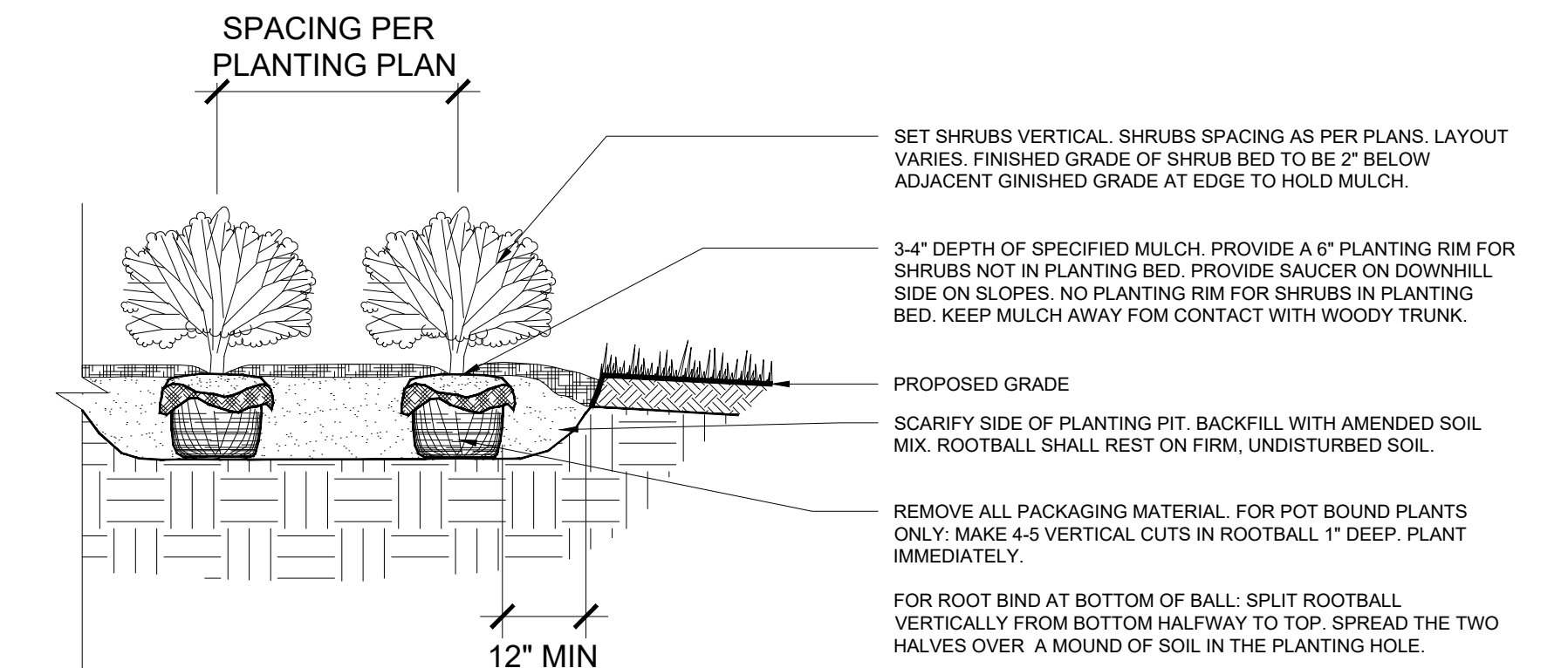
- NOTES:
1. DO NOT REMOVE OR CUT LEADER.
 2. PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 3. DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.
 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 5. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 6. MARK THE NORTH SIDE OF TREE IN NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
 7. PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
 8. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



2 TYP. EVERGREEN TREE PLANTING DETAIL

SCALE: NTS

- NOTES:
1. PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
 2. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 3. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 4. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 5. ALL SHRUBS IN ROCK AREAS TO RECEIVE SHREDDED MULCH RINGS.
 6. DEEP WATER ALL PLANTS AT TIME OF PLANTING.

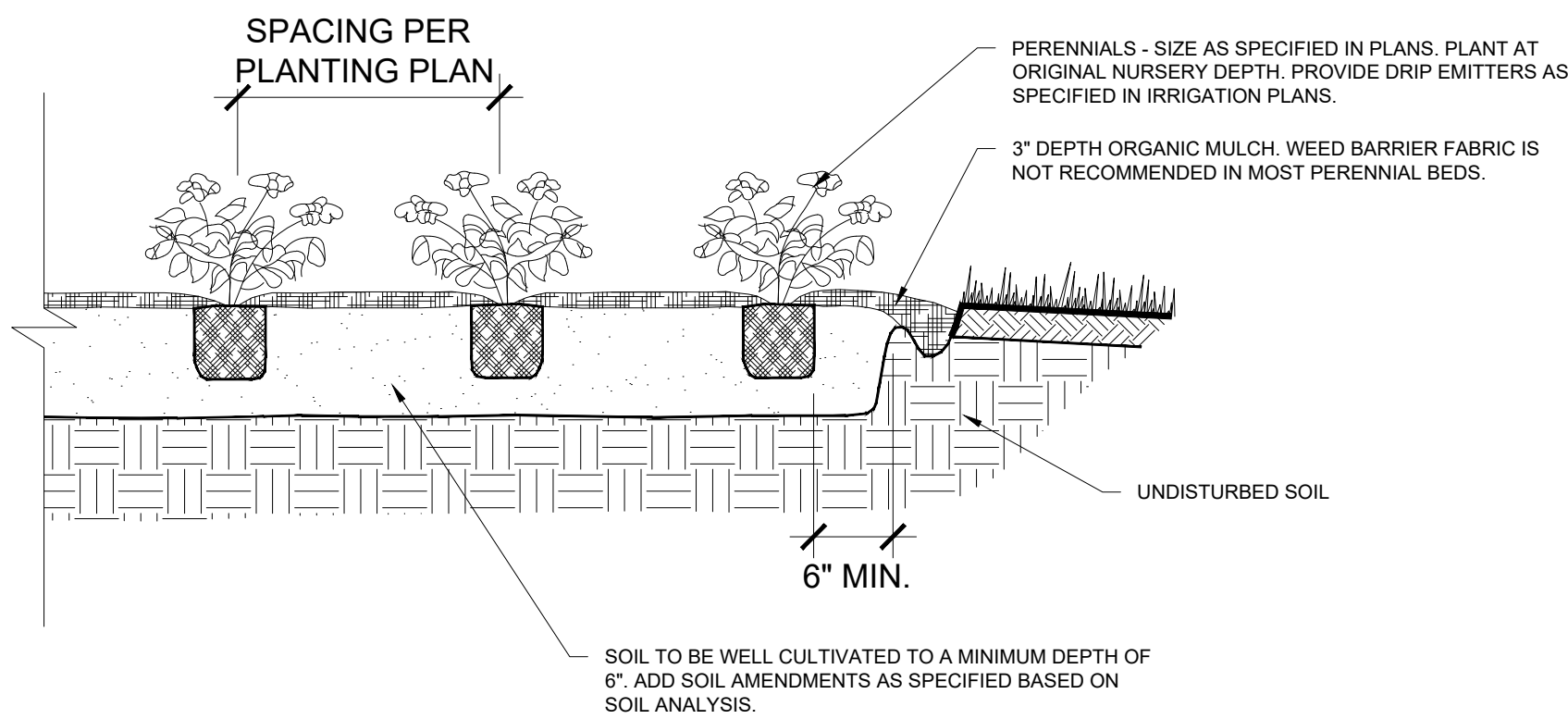
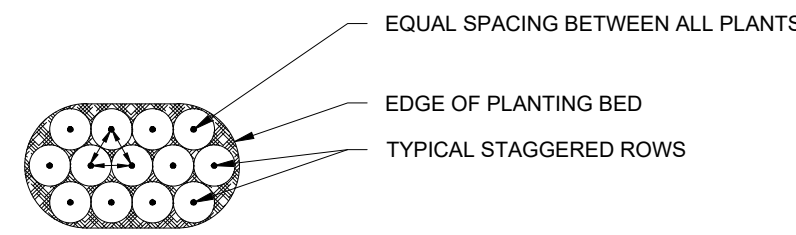


3 TYP. SHRUB PLANTING DETAIL

SCALE: NTS

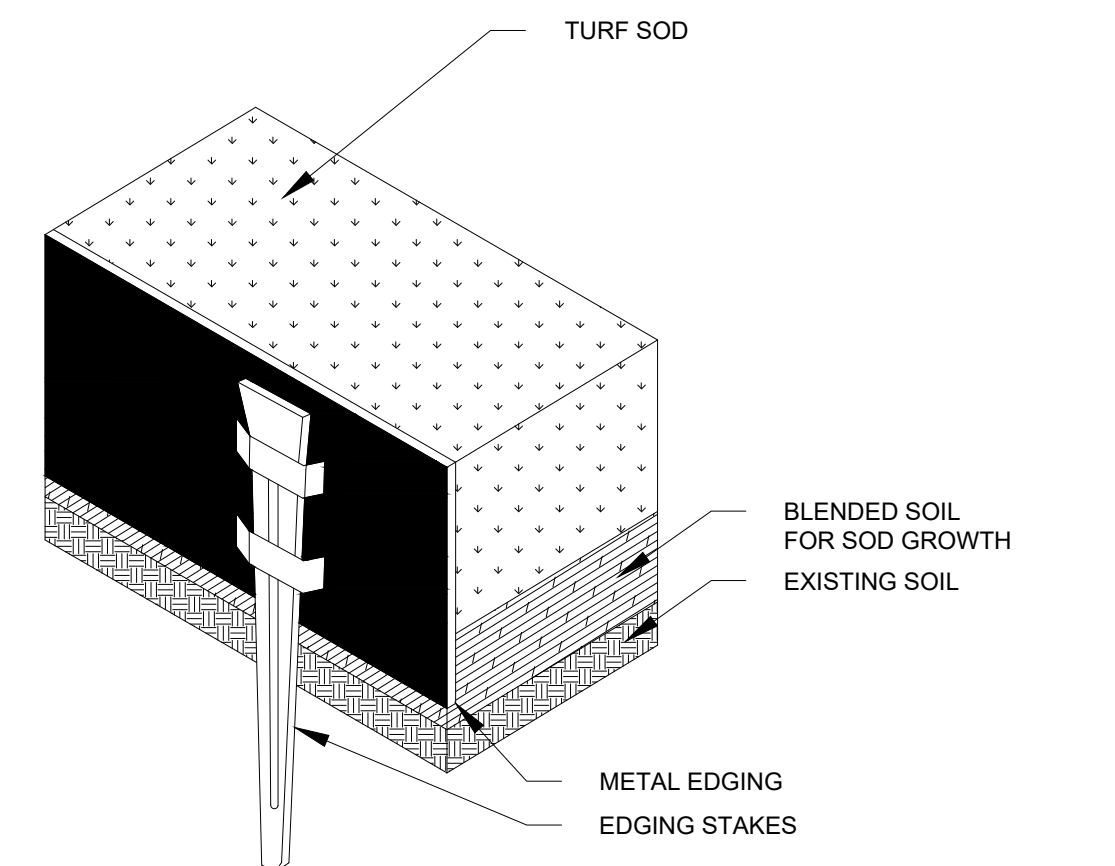
- NOTES:
1. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 2. PLANTING GROUND COVERS AND PERENNIALS LEVEL AND AT GRADE.
 3. PRUNE ALL DEAD OR BROKEN PARTS PRIOR TO PLANTING.
 4. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 5. ALL PERENNIALS PLANTED IN ROCK MULCH AREAS TO HAVE ORGANIC MULCH RINGS AROUND THE BASE OF THE PLANT.

*WHEN PLANTING MASSES OF SHRUBS, GROUNDCOVER, PERENNIALS, AND ANNUALS, THIS DIAGRAM SHALL BE FOLLOWED.



4 TYP. PERENNIAL PLANTING DETAIL

SCALE: NTS

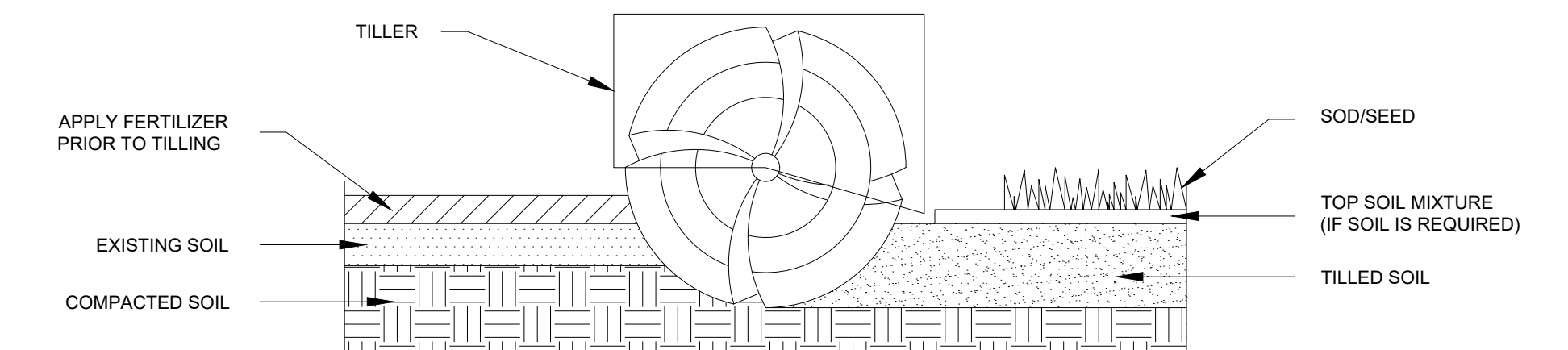


- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. METAL EDGING IS TO BE POWDER COATED AND ROLLED TOP.
 3. USE BROWN COLOR ONLY.
 4. CUT/BEND WHERE NEEDED TO CONFORM TO LANDSCAPE PLAN LAYOUT.

5 TYP. METAL EDGING DETAIL

SCALE: NTS

- NOTES:
1. TOPSOIL TO CONSIST OF DARK, LIGHT LOAM SOIL FREE OF ALL IMPURITIES SUCH AS ROCKS, ROOTS AND OTHER FOREIGN MATERIALS.
 2. APPLY FERTILIZER WITHIN 2-3 DAYS OF PLANTINGS.
 3. COMPOST TO CONSIST OF 1-YEAR OLD ORGANIC MATERIAL AND SHOULD NOT INCLUDE CHICKEN MANURE.
 4. MATERIALS GREATER THAN 1" DIAMETER OR FROZEN SOIL SHALL BE REMOVED.
 5. TILLED SOIL SHALL BE SMOOTHLY RAKED TO A FINISHED GRADE TO PROVIDE POSITIVE DRAINAGE.



6 TYP. SOIL PREPARATION (ALL AREAS)

SCALE: NTS



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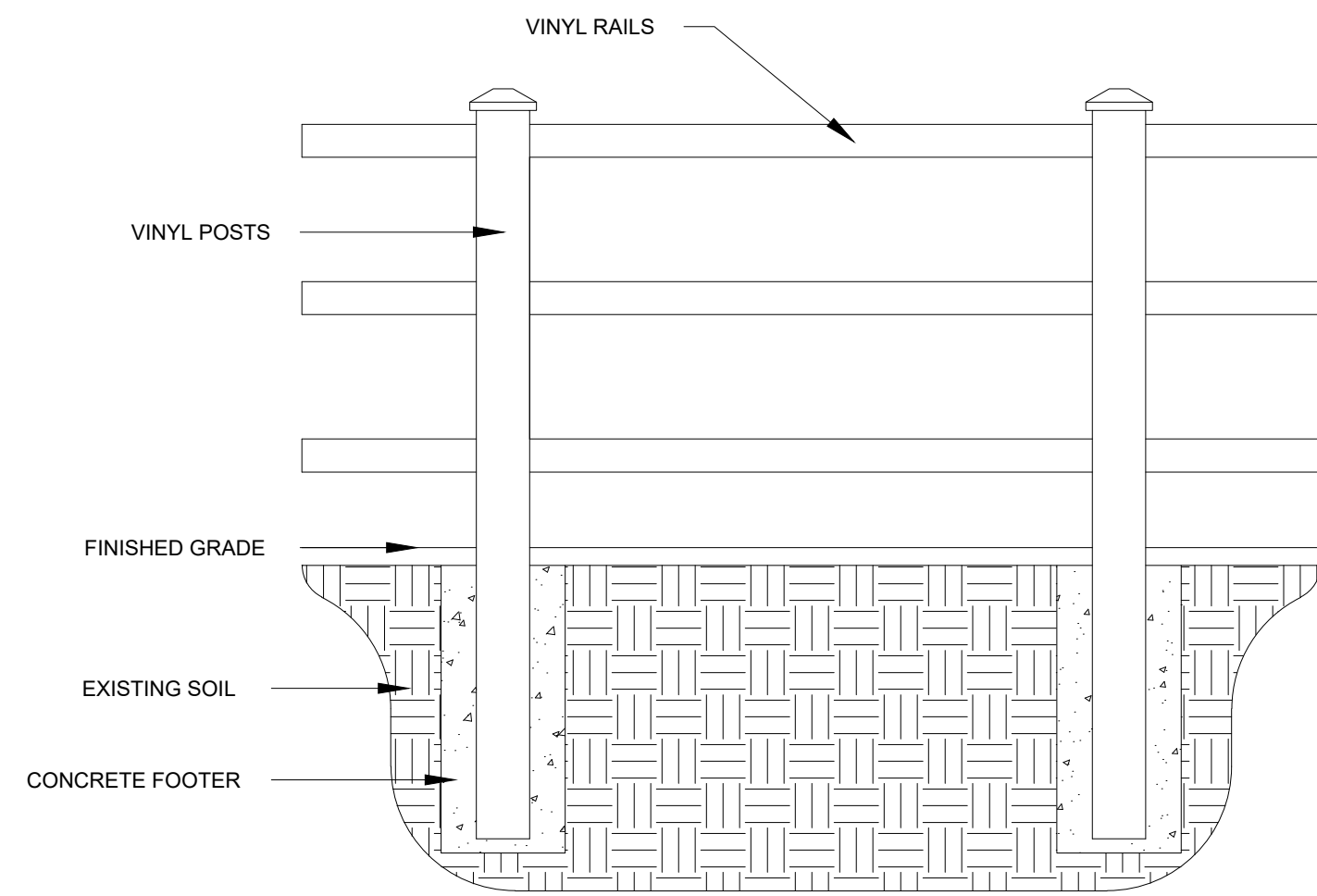
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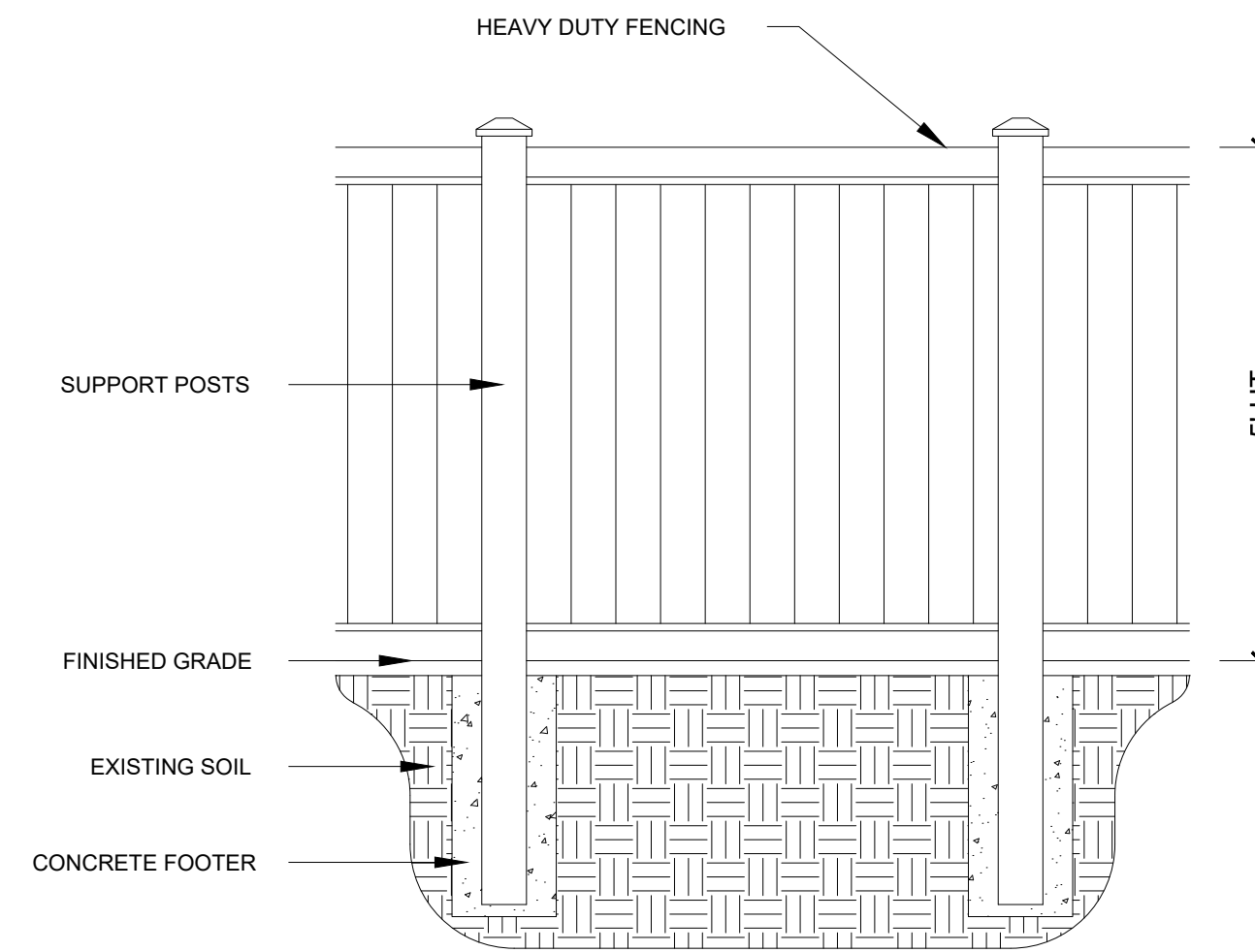


PRELIMINARY LANDSCAPE PLAN
 LANDSCAPE DETAILS

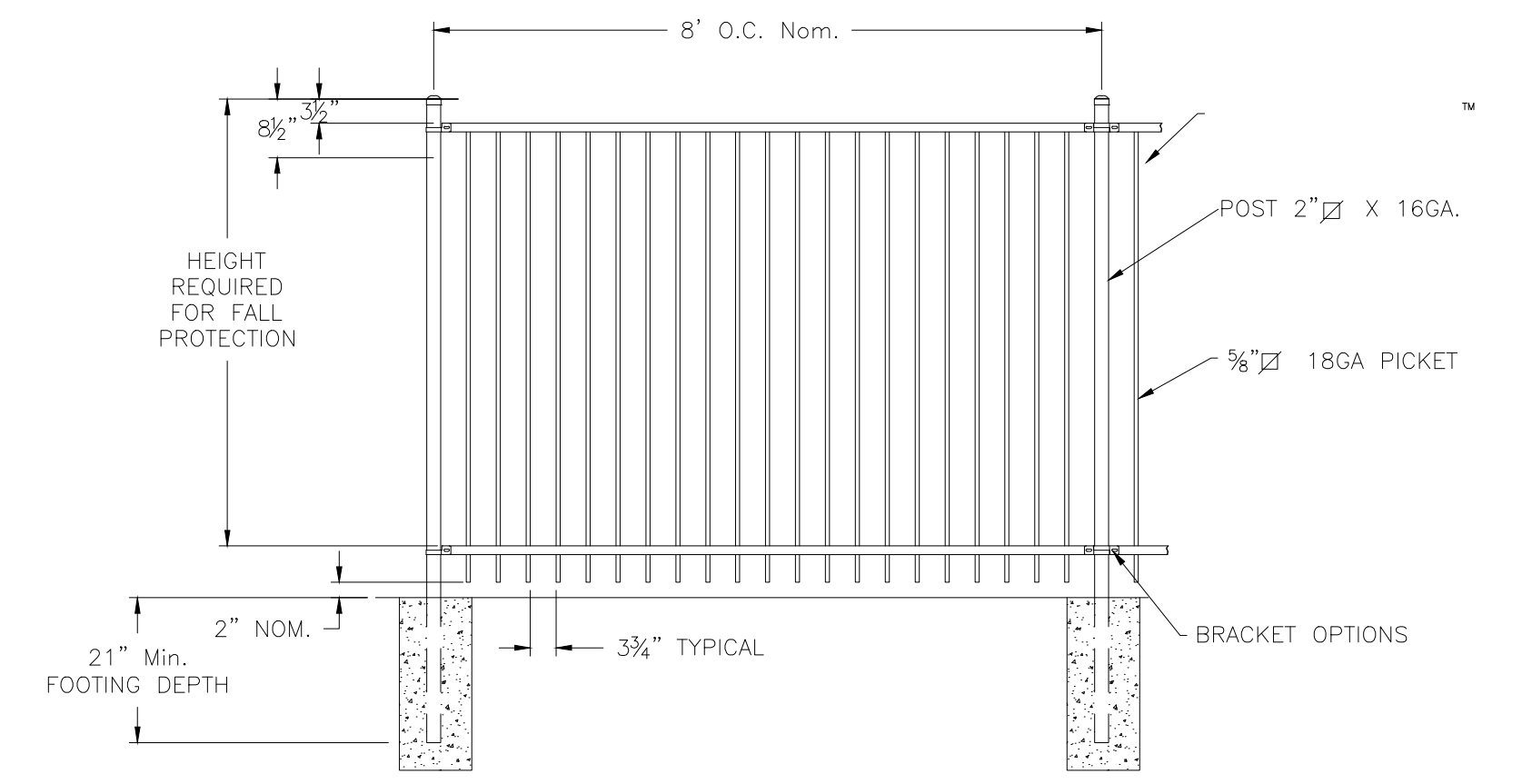
SHEET
 L.04
 22



1 TYP. VINYL SPLIT RAIL FENCE
SCALE: NTS



2 TYP. 5FT HIGH VINYL PRIVACY FENCE
SCALE: NTS



NOTES:
1. POST SIZE DEPENDS ON FENCE HEIGHT AND WIND LOADS. SEE MONTAGE™ SPECIFICATIONS FOR POST SIZING CHART.
2. AVAILABLE IN 3" AIR SPACE AND/OR FLUSH BOTTOM ON MOST HEIGHTS.

3 TYP. METAL FALL PROTECTION RAILING
SCALE: NTS

HR GREEN Xrefs: xref-dwg01_SDP, 05-AC-DSGN, 05-AC-ROW, 05-AC-LITE, 05-XL-3D-XREF, 05-XL-DSGN, Legend, xc-illum, xc-dgpr-matrix, xc-row



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 LANDSCAPE DETAILS