

# LORSON RANCH

## A PLANNED UNIT DEVELOPMENT FOR CARRIAGE MEADOWS SOUTH AT LORSON RANCH FILING 2

A TRACT OF LAND LOCATED IN A PORTION OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 22 AND A PORTION OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 23, ALL IN TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO

### LEGAL DESCRIPTION- CARRIAGE MEADOWS SOUTH AT LORSON RANCH FILING 2

TR: O CARRIAGE MEADOWS SOUTH AT LORSON RANCH FIL NO. 1

#### LAND USE:

CURRENT ZONING: PUD (PLANNED UNIT DEVELOPMENT) RMH RESIDENTIAL MEDIUM HIGH DENSITY 1.0-1.3 DU/AC  
CURRENT LAND USE: VACANT/ UNDEVELOPED  
PROPOSED LAND USE: SINGLE-FAMILY ATTACHED RESIDENTIAL WITH THREE (3) & FOUR (4) UNIT TOWNHOME STRUCTURES; LANDSCAPE EASEMENTS; PARKS/ OPEN SPACE; TRAIL CORRIDORS; UTILITY EASEMENTS; DRAINAGE & DETENTION FACILITIES; SIGNAGE

#### SITE DATA TABLE:

TOTAL SITE ACREAGE	5.32 AC
PROPOSED SINGLE-FAMILY ATTACHED DWELLING UNITS	50 D.U.
PROPOSED GROSS DENSITY	9.39 D.U./AC.

#### LAND USE TABLE:

TYPE OF USE	# ACRES PROVIDED	% OF PROPERTY
SINGLE-FAMILY ATTACHED RESIDENTIAL (50 LOTS)	1.73 AC	32.5%
OPEN SPACE/ LANDSCAPE	2.33 AC	43.8%
STREET RIGHTS-OF-WAY	1.26 AC	23.7%
TOTAL	5.32 AC	100%

NOTE: TOTAL OPEN SPACE REQUIRED IS 10% OF TOTAL ACREAGE, 5.32 AC X .10 = 0.53 ACRES  
TOTAL OPEN SPACE PROVIDED IS 43.8% = 2.33 ACRES

#### PARKING TABLE:

NUMBER OF LOTS: 50	SPACES/UNIT	SPACES REQUIRED	SPACES PROVIDED
SINGLE-FAMILY ATTACHED	2 / DU	100	128*
GUEST SPACES	1 SPACE / 4 UNITS	13	18
ACCESSIBLE SPACES	1 ADA / 25 SPACES	5	5
TOTAL		118	151 PARKING SPACES

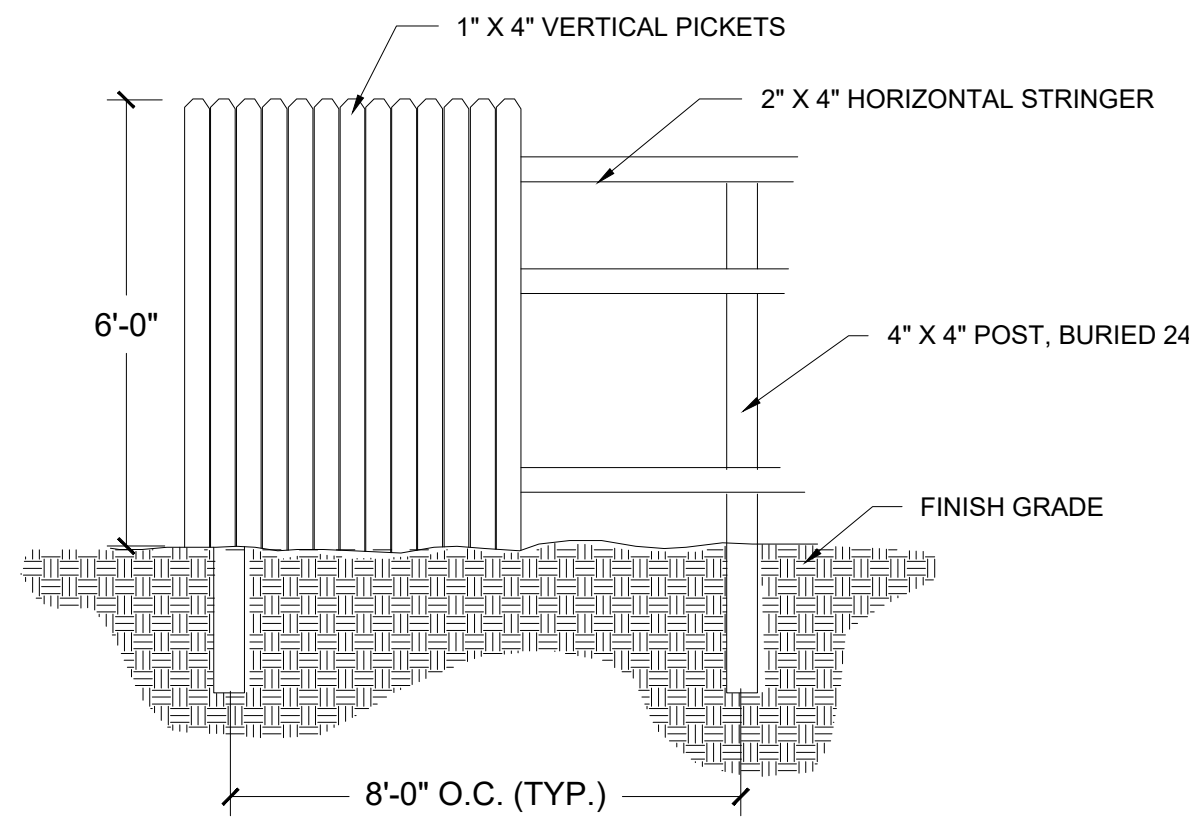
NOTE: Lot Nos. 37-50 have 20' driveways which provide 2 additional spaces for each respective lot. Parking is prohibited on driveways less than 20 feet in length.

#### SIDEWALKS:

Sidewalks depicted as encroaching into individual townhome lots are for accessibility purposes associated with the affected lot or to provide adequate internal pedestrian connections and circulation. All lots thus affected will be platted with a sidewalk easement for the purposes of granting public access and identifying the maintenance obligations of the Lorson Ranch Metropolitan District.

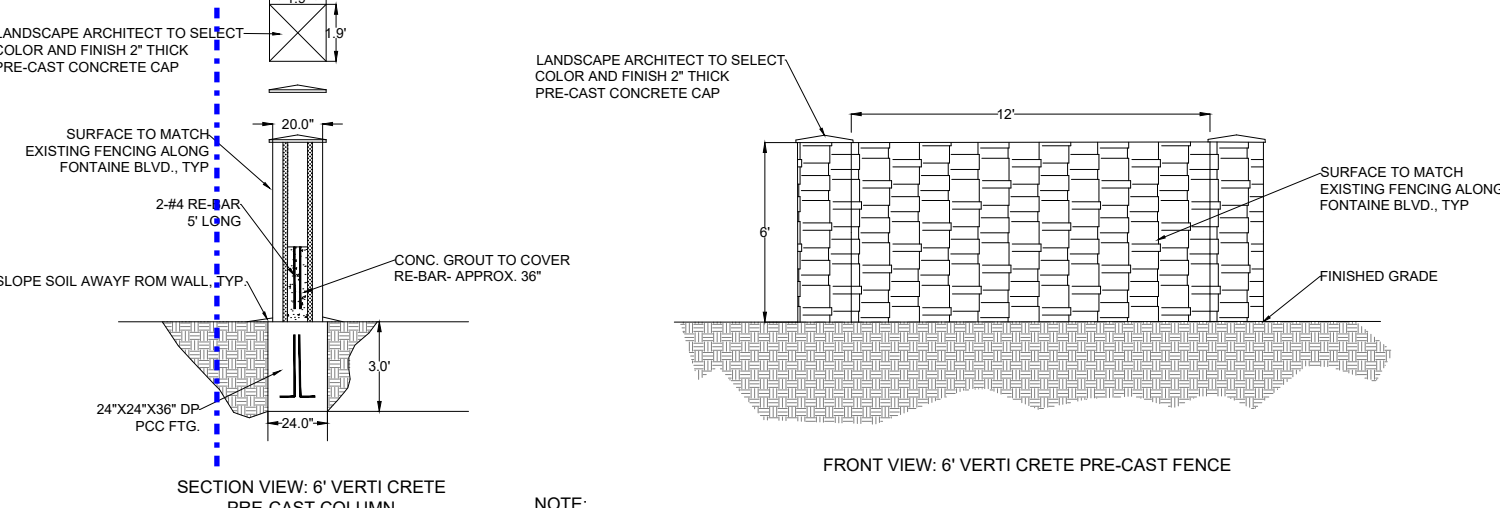
Sidewalks have been identified as extending to individual townhome lots. These depictions are for informational purposes only. Final locations of sidewalk easements into the individual lots will be determined at the time of site plan approval.

sidewalks must be completed prior to CO for each lot. This note needs to reflect the sidewalk program for single family.



6' WOOD FENCE (EXISTING ADJACENT TO SOUTHERN BOUNDARY, SHEET P4) and northern?

label distance outside of ROW



NOTE: FENCING, COLUMNS, CAP, ETC. TO MATCH EXISTING FOUND WITHIN LORSON RANCH, TYP. FENCE AND COLUMN COLOR, TEXTURE, PATTERN, ETC. TO MATCH EXISTING FOUND WITHIN LORSON RANCH, TYP. COLUMNS, WALL, STEEL FENCING PER MANUFACTURERS SPECIFICATIONS.

#### NOISE WALL DETAIL

along the Fontaine ROW and edge of property

& Preliminary Plan

which is already a PUD so the title is Carriage Meadows South at Lorson Ranch Filing no 2 PUD & Preliminary Plan-- correct not as depicted...

### DEVELOPMENT STANDARDS AND GUIDELINES

- Residential Use Standards:
1. There shall only be one (1) Principal (primary) use of Single-Family Attached Residence per lot.
2. Allowed Uses include: Single Family Attached Residential, mail kiosks, trail corridors, development signage, pedestrian walkways, fencing, utilities, stormwater facilities, drainage improvements, open space and landscape improvements, parks and associated park related equipment.
3. Model Home/ Subdivision Sales Office is a permitted temporary use. Temporary uses are subject to the requirements of the El Paso County Land Development Code Section 5.3.1, as amended.
4. Residential Home Occupation to be per the El Paso County Land Development Code, as amended. Compliance with parking requirements necessary to obtain a home occupation permit shall be the sole responsibility of the home owner/applicant. Rural Home Occupations shall not be permitted.
5. Residential Day Care to be per the El Paso County Land Development Code, as amended.
6. Solar Energy Systems permitted as part of the main structure per the El Paso County Land Development Code, as amended.
7. Projections into setbacks are governed by the El Paso County Land Development Code in effect at the time of PUD Plan Approval.
8. Minimum Lot Area:
a. Dwelling, Single Family Attached Dwelling Unit: 1,200 SF
9. Maximum Impervious Coverage: No Maximum
10. Maximum Structural Height: Forty Five Feet (45').
11. Minimum Width of Lot at Front Building Setback Line: No Minimum Lot Setback Standards (See Details Sheet 2).

this is accessory use and below you state none are allowed..which is it?

as amended

see PUD standards 10- building setback feet is required adjacent to open space.

we cant enforce this it must be from a property line- we dont use ILCs here

Remove this, you do not want to make this a zoning requirement do you?

this doesnt make sense... if there are no uses than there are no uses

that report was not for this area - as it was clearly defined as to be planned at a later date. This note will need to be amended when Geo report is revised.

### GENERAL NOTES

- 1. There are no accessory structures permitted, including, but not limited to decks, gazebos, saunas, or other accessory structures regardless of size.
2. ADA Units being provided are identified as Lots 5, 4, 3, 2, 1, 15, 29, 36, 37, 42. Refer to the approved Lorson Ranch Development Agreement #6 (recorded March 4, 2015 at Reception No. 215020531), as Amended, by the El Paso County Board of County Commissioners for development information related to public improvements.
3. A Geology and Soils Report for Carriage Meadows South, El Paso County, Colorado was completed by Rocky Mountain Group (RMG) on October 7, 2016 and included the Carriage Meadows South at Lorson Ranch Filing 2 site. The Geology and Soils Report for Carriage Meadows South was approved with as part of the Carriage Meadows South PUDSP-16-002 Recorded on April 5, 2017 Rec. No. 217038741, as amended and recorded June 11, 2018 Rec. No. 218066396.
4. All water system elements and sanitary sewerage conveyance conduits and their associated appurtenances shall be dedicated to the Wieldfield Water & Sanitation District. All other utilities shall be owned as appropriated.
5. All electric service shall be provided by Mountain View Electric Association. All tracts through which MVEA utilities will be located will be given utility easements as required.
6. Natural Gas shall be provided by Black Hills Energy.
7. Public Utility/ Drainage Easements shall be provided around the perimeter of the project as follows:
a) Front: Ten feet (10')
b) Side: Five Feet (5')
c) Rear: Five Feet (5')
8. All tracts, landscape and detention facilities will be designated for Public Utilities as required.
9. Street lights will be restricted to Mountain View Electric Association's details and specifications.
10. Site lighting will meet the requirements set forth in Section 6.2.3 of the El Paso County Land Development Code, as amended; the Declaration of Covenants, Conditions and Restrictions for Lorson Ranch and the Lorson Ranch Design Guidelines.
11. Fencing:
- All proposed fencing is subject to Design Review Committee approval as set forth in the Covenants and Design Guidelines for Lorson Ranch. Please visit: www.lorsonranch.com for more information regarding review.
- Internal Fencing: There shall be no internal fencing allowed within individual lots.
- No fences shall enclose driveways in any way.
12. New sidewalks are to be 5' wide and subject to the developer collateralizing and installing said sidewalks. The future lot owner or builder is responsible for repair of any damages after the initial installation.
13. The mailbox kiosk will be determined with each lot and in coordination with the U.S. Postal Service.
14. For MVEA request in letter dated May 13, 2019, a blanket easement over all tracts and private roads will be granted with subsequent final plats.

MVEA requests more... what about interior lot easements there has to be easements on lots to serve houses?

as approved by EPC

### ARCHITECTURAL CONTROL COMMITTEE REVIEW

- 1. Individual Unit build out, design, and architectural style shall be in accordance to architectural control committee rules and regulations of the Lorson Ranch Metropolitan District CCR as well as the Declaration of Covenants, Conditions and Restrictions for Lorson Ranch, and the Lorson Ranch Design Guidelines. Please visit: www.lorsonranch.com for more information regarding review and approval by the architectural control committee.

You might want to expand on this note. (5' sidewalks are required along public roads in front of single family development.)

### FLOODPLAIN NOTES:

This property is not located within a designated FEMA floodplain as determined by the flood insurance rate map, community map number 08041 C0257G, effective date 12/7/2018. The floodplain was previously revised per LOMR Case No. 0C-08-B643P effective date of revision August 29, 2007.

Add: private storm drains to be maintained by Lorson Ranch Metropolitan District..

### STREETS & PARKING

- 1. All streets and public roads shall be named by El Paso/El Paso County E-911 and PPRBD/Enumerations standards.
2. All homes shall be addressed off the named street at the rear of the home. Addresses for all lots 1-50 shall be placed on both the front and rear of the building.
3. There shall be no direct lot access from Carriage Meadows Dr. or Fontaine Blvd.
4. No on-street parking is permitted on roadways less than 34' in width or as illustrated on the plan.
5. Landscaping areas, common open space and buffers shall be owned and maintained by the Lorson Ranch Metropolitan District No. 1.
6. Streets within this development provide for levels of vehicular circulation required by the Traffic Study. Sidewalks shall be provided as illustrated on this plan.
7. Per the Noise Impact Study, the results of the noise prediction modeling show that in the year 2040 all testing locations along Fontaine Blvd. have predicted noise levels that would exceed 67 decibels Leq. Construction/installation of six-foot-high noise barrier at the locations shown on the Noise Study drawings, is anticipated to mitigate noise impacts. The noise barrier shall be installed according to the Study and Plan, all noise receiver locations are predicted to be below the threshold.
8. Parking shall not be installed on lots less than 20' in length. Driveways less than 20' in length have been designated as "No Parking" on the plan.
9. Parking and/or vehicle storage prohibited on lots as prohibited on Lots 1-36.
10. Lots 37-50 may utilize driveways for off-street parking. Driveways for Lots 37-50 have been designed with a minimum length of 20' in support of use for off-street parking.

### LANDSCAPE

- 1. Urban Park improvements provided by the developer may be applied to park land dedication and/ or fees with review and approval by El Paso County Parks. Any Urban Park improvements will be coordinated at a later date with El Paso County Parks via park land agreements.
2. Any future park site locations will be per discussions with the El Paso County Park Department. Park site amenities and timing of construction are to be determined with future coordination with the El Paso County Park Department.
3. Total open space acreage is cumulative of the overall Lorson Ranch development in accordance with the Lorson Ranch Sketch Plan and the Lorson Ranch Overall PUD Development and Phasing Plan, as amended.
4. Landscaping areas, trails, common open space and buffers shall be installed by the developer with private/public improvements required by this PUD and associated final plats. Landscaping shall be maintained by the Lorson Ranch Metropolitan District No. 1.
5. Any landscaping within the public rights-of-way will be subject to a license agreement with El Paso County for ownership and maintenance responsibilities.
6. No landscaping shall obstruct sight distance triangles per Engineering Criteria Manual Reference 2.3.6.G. The minimum horizontal clearance for sidewalks around utility structures, furniture, and other encroachments shall be 4-feet or greater to provide safe conditions for pedestrians and bicyclists per the Engineering Criteria Manual.
7. Any future non-regional trails which may be planned as part of an overall trail network which has not been identified on this plan but which may include unimproved portions of property and/or tracts within this plan area will be owned and maintained by the Lorson Ranch Metropolitan District No. 1. Any additional trails not shown on the plan may require an amendment to the PUD.

### PUD MODIFICATIONS

- 1. A PUD Modification for Section 4.4.4.(A, B, C, D) of the EPC Land Development Code is requested to permit Private Roadways within this development as outlined in Section 4.4.4.(E) Private Road Allowances.

### SOILS & GEOLOGY CONDITIONS, CONSTRAINTS, & HAZARDS

Geologic Hazard Note: No lots have been identified which are adversely impacted by geologic hazards. Potential seasonally high groundwater was identified as a common geologic constraint affecting most properties in the County. Mitigation measures and a geologic and soils maps of the development area can be found in the report Geology and Soils Report prepared by RMG Engineers dated October 7, 2016 in the Carriage Meadows South Filing No. 2 project file, PCD File No. PUDSP-19-5 available at the El Paso County and Community Development Department.

Potentially Seasonally High Groundwater (Carriage Meadows South) In Areas of High Groundwater: Due to high groundwater in the area, all foundations shall incorporate an underground drainage system.

fire dept must specifically identify width of private roads in letter and support private streets and allow for parking on private streets (not recommended) ADD language to LOI stating they have done so... dont see the fire dept letter as noted in your response-

provide details with the a report specific to this development. You cant use the adjacent report it does not meet the criteria.

Soil and Geology Conditions: Geologic Hazard Note-Final Plat: (to be customized based upon the individual circumstances) The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the report (Title of Report, generally from the Preliminary Plan file) by (author of the report) (date of report) in the file (name of file and file number) available at the El Paso County Planning and Community Development Department:
•Downslope Creep: (name lots or location of area)
•Rockfall Source: (name lots or location of area)
•Rockfall Runout Zone: (name lots or location of area)
•Potentially Seasonally High Groundwater: (name lots or location of area)
•Other Hazard:
In Areas of High Groundwater: Due to high groundwater in the area, all foundations shall incorporate an underground drainage system.

### Land Owner Certification

In Witness Whereof: The aforementioned Lorson LLC as Nominee has executed these presents this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_ A.D. Lorson LLC as Nominee for Heidi LLC, a Colorado Limited Liability Company

Authorized Agent, Manager

STATE OF COLORADO )
)SS.
EL PASO COUNTY )

The above and foregoing statement was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_ A.D. by \_\_\_\_\_

Witness my Hand and SEAL: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

Notary Public

### County Certification

This rezoning request to PUD has been reviewed and found to be complete and in accordance with the (Board resolution or motion # \_\_\_\_\_ and date \_\_\_\_\_) approving the PUD and all applicable El Paso County regulations.

Chair, Board of County Commissioners Date

Director, Planning and Community Development Date

### Clerk and Recorder Certification

STATE OF COLORADO )
)SS.
EL PASO COUNTY )

I hereby certify that this Plan was filed in my office on this \_\_\_\_\_ of \_\_\_\_\_, 20\_\_ at \_\_\_\_\_ o'clock a.m./p.m. and was recorded per

Reception No. \_\_\_\_\_

El Paso County Clerk and Recorder

### GENERAL PROVISIONS:

STATEMENT OF INTENT: The purpose of this PUD (Planned Unit Development) Plan is to provide for 56 Single-Family attached residential units per the approved Lorson Ranch Sketch Plan Minor Amendment.

AUTHORITY: This PUD is authorized by Chapter 4 of the El Paso County Land Development Code, as amended, adopted pursuant to the Colorado Planned Unit Development Act of 1972, as amended.

APPLICABILITY: The provisions of this PUD shall run with the land. The landowners, their successors, heirs, or assigns shall be bound by this Development Plan, as amended and approved by the Planning and Community Development Department Director or Board of County Commissioners.

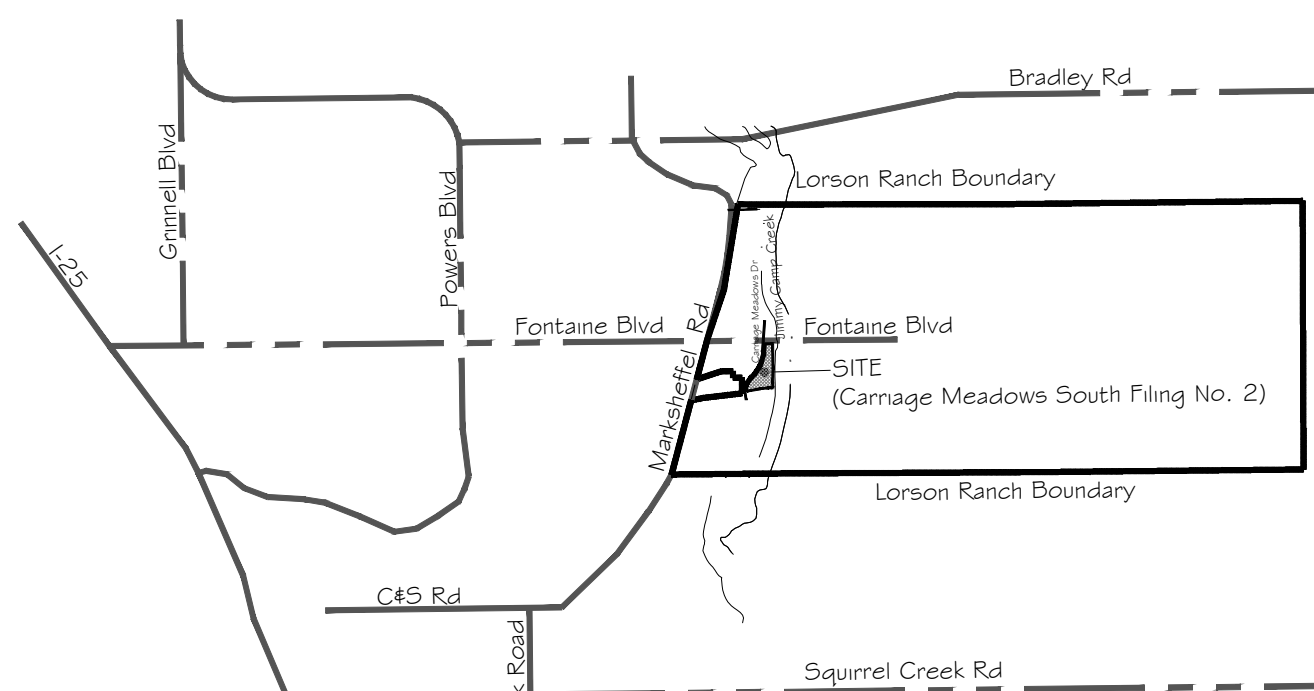
ADOPTION: The adoption of this development plan shall evidence the findings and decisions of the El Paso County Board of County Commissioners that this Development Plan for CARRIAGE MEADOWS SOUTH AT LORSON RANCH FILING 2 is in general conformity with the El Paso County Master Plan, El Paso County Policy Plan and applicable Small Area Plan(s); is authorized under the provision of the El Paso County Land Development Code, as amended; and this development plan complies with the Colorado Planned Unit Development Act of 1972, as amended.

RELATIONSHIP TO COUNTY REGULATIONS: The provisions of this Development Plan shall prevail and govern the development of CARRIAGE MEADOWS AT LORSON RANCH FILING 2 provided, however, that where the provisions of this Development Plan do not address a particular subject, the relevant provisions of the El Paso County Land Development Code, as amended and in effect at the time of the PUD plan approval (or owner acknowledge the PUD changes with the Code), or any other applicable resolutions or regulations of El Paso County, shall be applicable.

ENFORCEMENT: To further the mutual interest of the residents, occupants, and owners of the PUD and of the public in the preservation of the integrity of this development plan, the provisions of this plan relating to the use of land and the location of common open space shall run in favor of El Paso County and shall be enforceable at law or in equity by the County without limitation on any power or regulation otherwise granted by law.

CONFLICT: Where there is more than one provision within the development plan that covers the same subject matter, the provision which is most restrictive or imposes higher standards or requirements shall govern.

### VICINITY MAP



### SHEET INDEX:

- P1 PUD COVER SHEET
P2 PUD DETAILS
P3-4 PUD DEVELOPMENT PLAN
L1-4 LANDSCAPE PLAN

OWNERS: LORSON LLC NOMINEE FOR HEIDI LLC
212 N Wabash, Suite 301
Colorado Springs, Co 80903
(719) 635-3200

PREPARED BY: THOMAS & THOMAS, INC.
PLANNING, URBAN DESIGN, LANDSCAPE ARCH., INC.
702 N. TELON STREET
Colorado Springs, Co 80903
(719) 578-8777

PCD FILE NO.:

CARRIAGE MEADOWS SOUTH AT LORSON RANCH FILING NO. 2
El Paso County, Colorado
PUD & PRELIMINARY PLAN

PUD & Prelim Plan

STAMP:

REV#	REVISIONS	DATE
1	1ST COMMENT REVIEW REVISIONS	
2		
3		
4		
5		
6		

DESIGNED	STB	04.11.19
DRAWN	STB	04.11.19
CHECKED	STB	08.06.19
PROJECT NUMBER:		2816.16
SCALE:		AS NOTED

COVER SHEET

P1 OF 4

Thomas+Thomas
planning urban design - landscape architecture, inc.
702 North Teton
Colorado Springs, Colorado 80903
(719) 578-8777

setbacks need to be from prop lines... you have a combo private road tracts and public roads

no hot tubs, sheds less or greater than 200 SF, gazebos, etc? no detached uses- ??? Above you state Home Ocs ok?

corner lot setbacks are:

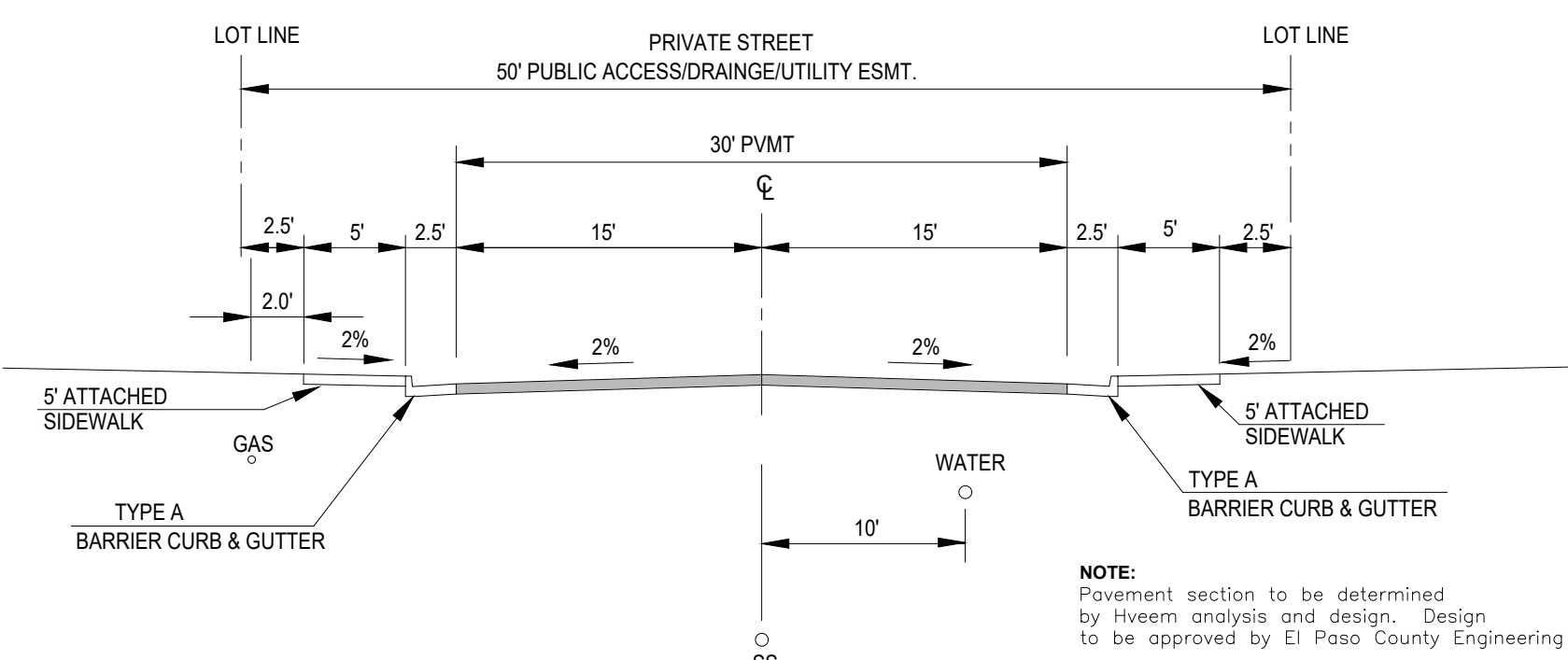


# LORSON RANCH

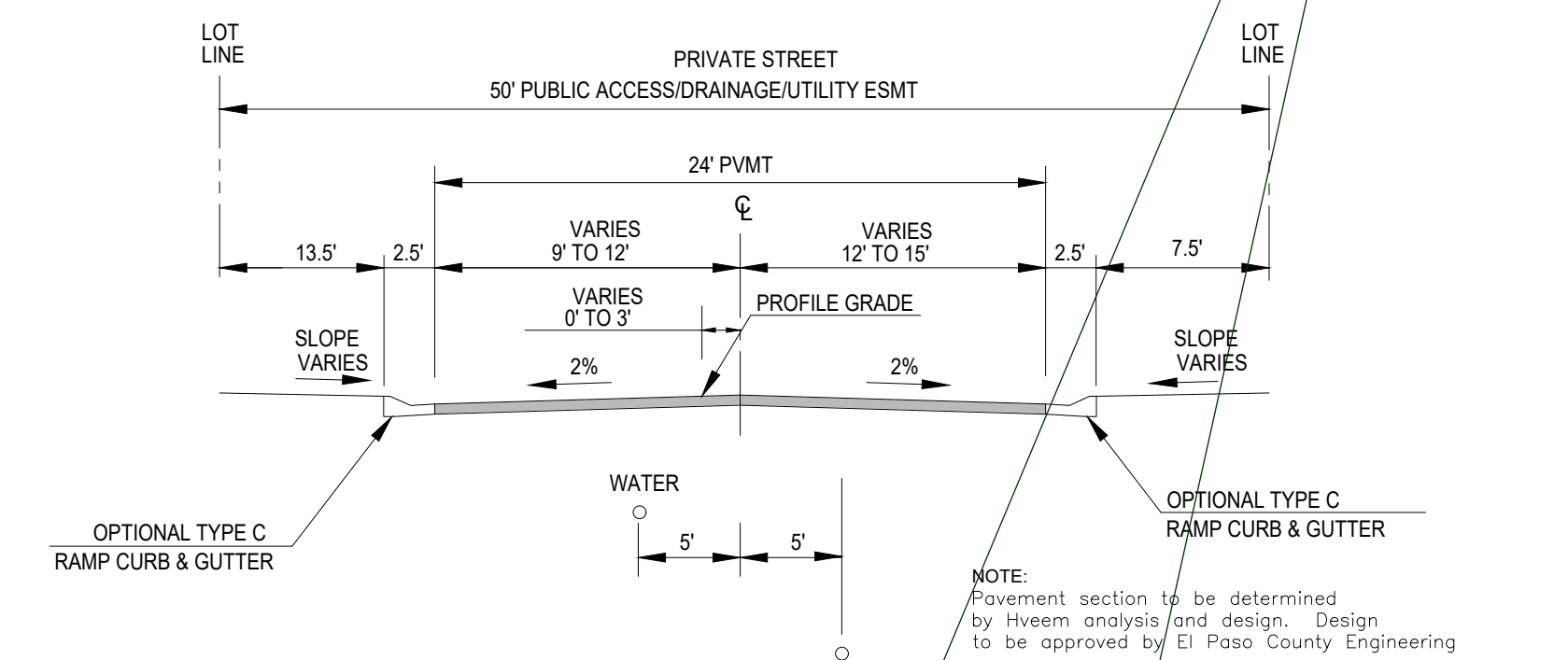
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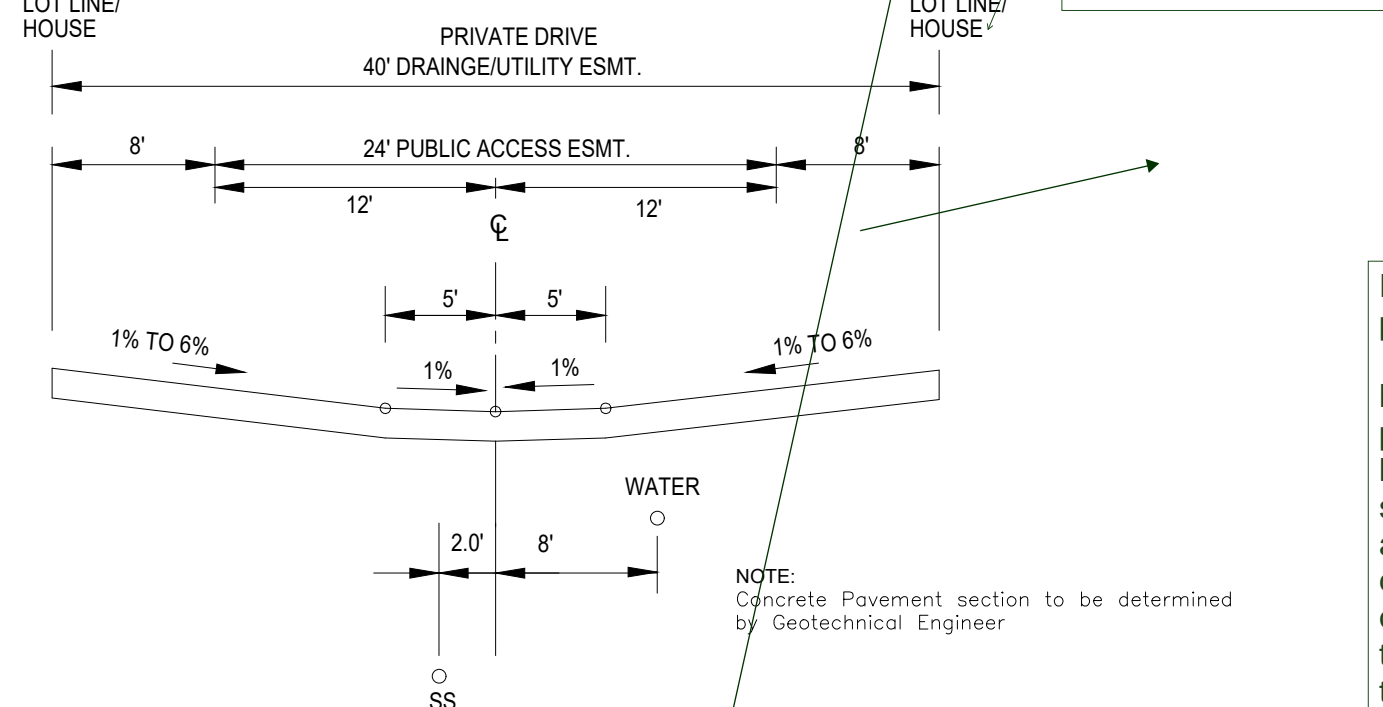
### TYPICAL STREET CROSS-SECTIONS



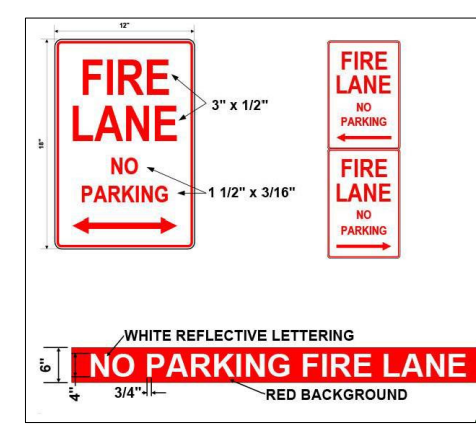
**TYPICAL SECTION 50' ESMT RESIDENTIAL URBAN LOCAL**  
NOT TO SCALE  
RUBICON TRAIL (PRIVATE STREET)  
FIRESTEEL TRAIL (PRIVATE STREET)



**TYPICAL SECTION 50' ESMT RESIDENTIAL URBAN LOW VOLUME**  
NOT TO SCALE  
RUBICON TRAIL PRIVATE STREET

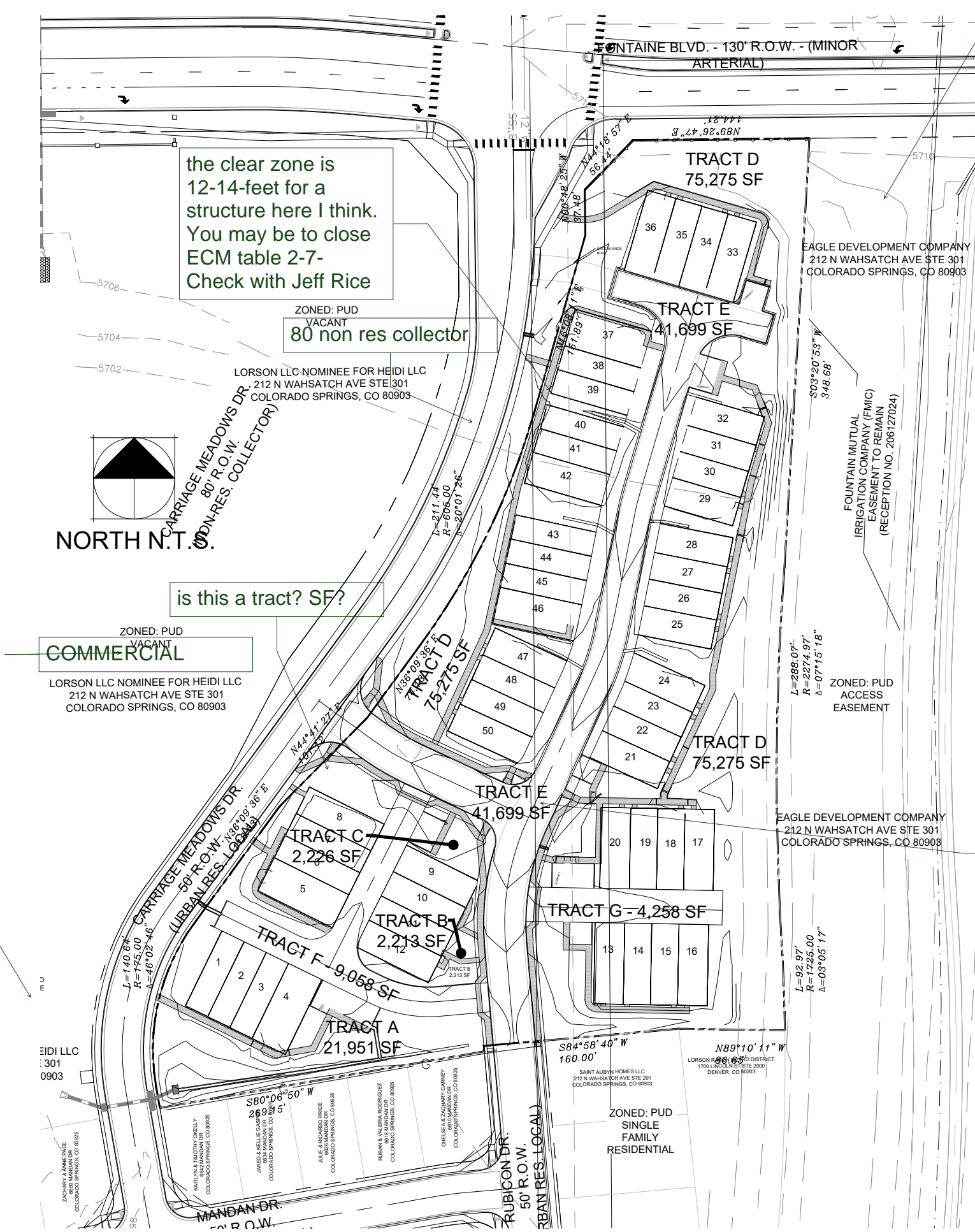


**TYPICAL SECTION 40' ESMT PRIVATE DRIVEWAYS 1, 2, 3 (lots 1-24)**  
NOT TO SCALE  
CHAGRIN TRAIL (PRIVATE STREET)  
PALUXY TRAIL (PRIVATE STREET)  
TOLT TRAIL (PRIVATE STREET)



**FIRE LANE SIGNAGE DETAIL**  
NOT TO SCALE  
STAFF CONCERN: If no parking in driveway and no parking on street-where do the people park? when visitors come over or teenagers vehicles? Parking seems inadequate

### TRACT MAP & TABLE



TRACT	SIZE	LANDSCAPE/ PARK OPEN SPACE/ TRAIL	SIGNAGE/ PUBLIC IMPROVEMENTS	DRAINAGE/ DETENTION	PRIVATE DRIVE/ PARKING	PUBLIC UTILITES	OWNED BY	MAINTAINED BY
A	765 SF	X	X	X	X	X	LRMD	LRMD
B	16,909 SF	X	X	X	X	X	LRMD	LRMD
C	2,158 SF	X	X	X	X	X	LRMD	LRMD
D	1,533 SF	X	X	X	X	X	LRMD	LRMD
E	68,619 SF	X	X	X	X	X	LRMD	LRMD
F	42,052 SF	X	X	X	X	X	LRMD	LRMD
G	11,065 SF	X	X	X	X	X	LRMD	LRMD
H	4,354 SF	X	X	X	X	X	LRMD	LRMD

TOTAL TRACT AREA: 147,455 SF (3.39 AC)

LRMD= LORSON RANCH METROPOLITAN DISTRICT  
'X'= DENOTES PERMITTED USE WITHIN DESIGNATED TRACTS

25% of the 10% must be for openspace parkland not drainage per Code...

these are attached single family- they are purchasing the land (lot) No perimeter

all these comments pertain to each detail to the right:

dimension ALL these details- check to make sure they work with your dim standards and the Code req before resubmitting

Existing trail connections were depicted on Carriage Meadows PUD for the SF. Please put back on the

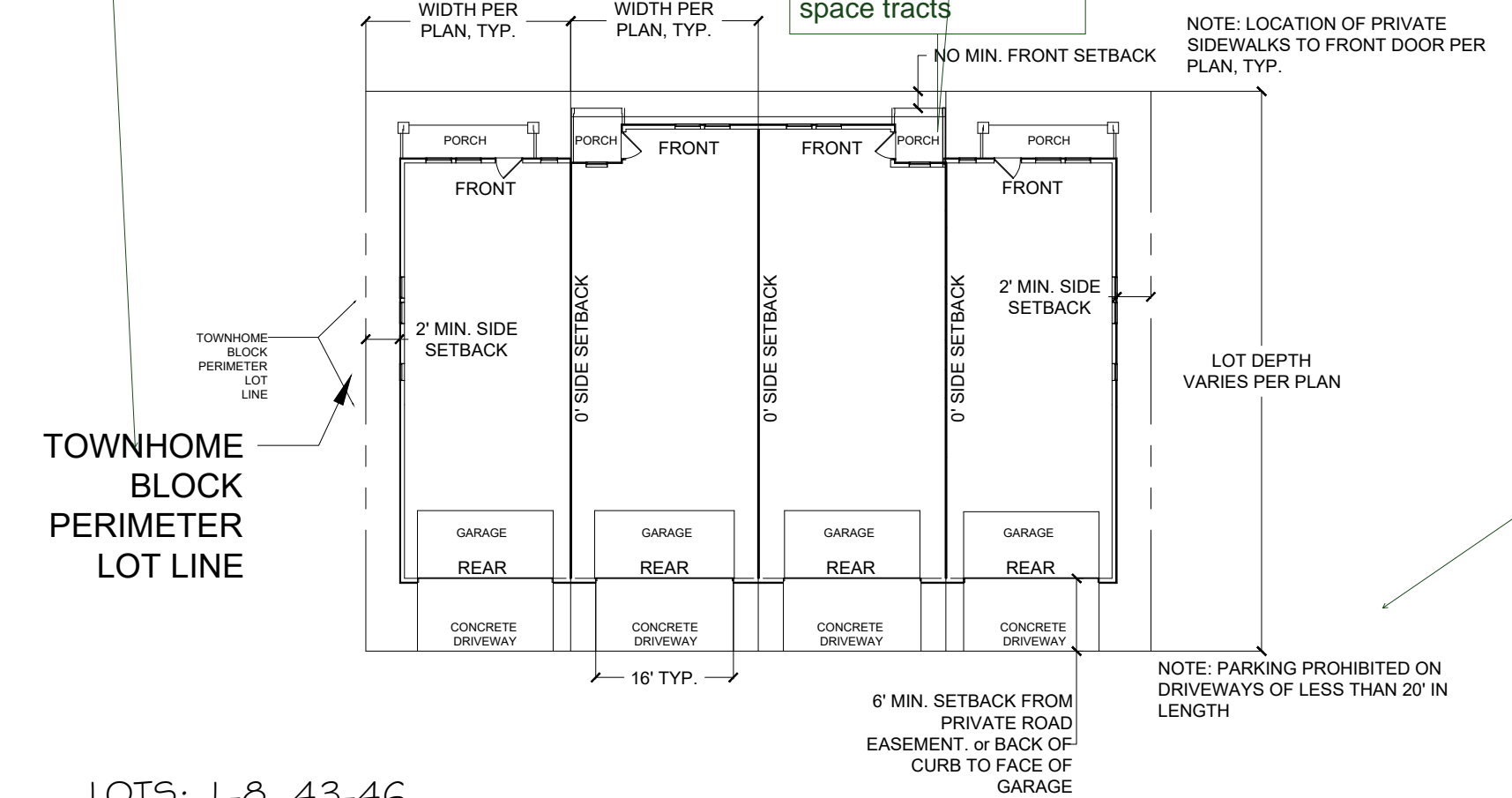
provide the setbacks to the lot lines

The end units may need 5foot side backs. Does PPRBD require 10- foot separation between buildings irrespective of lot lines?

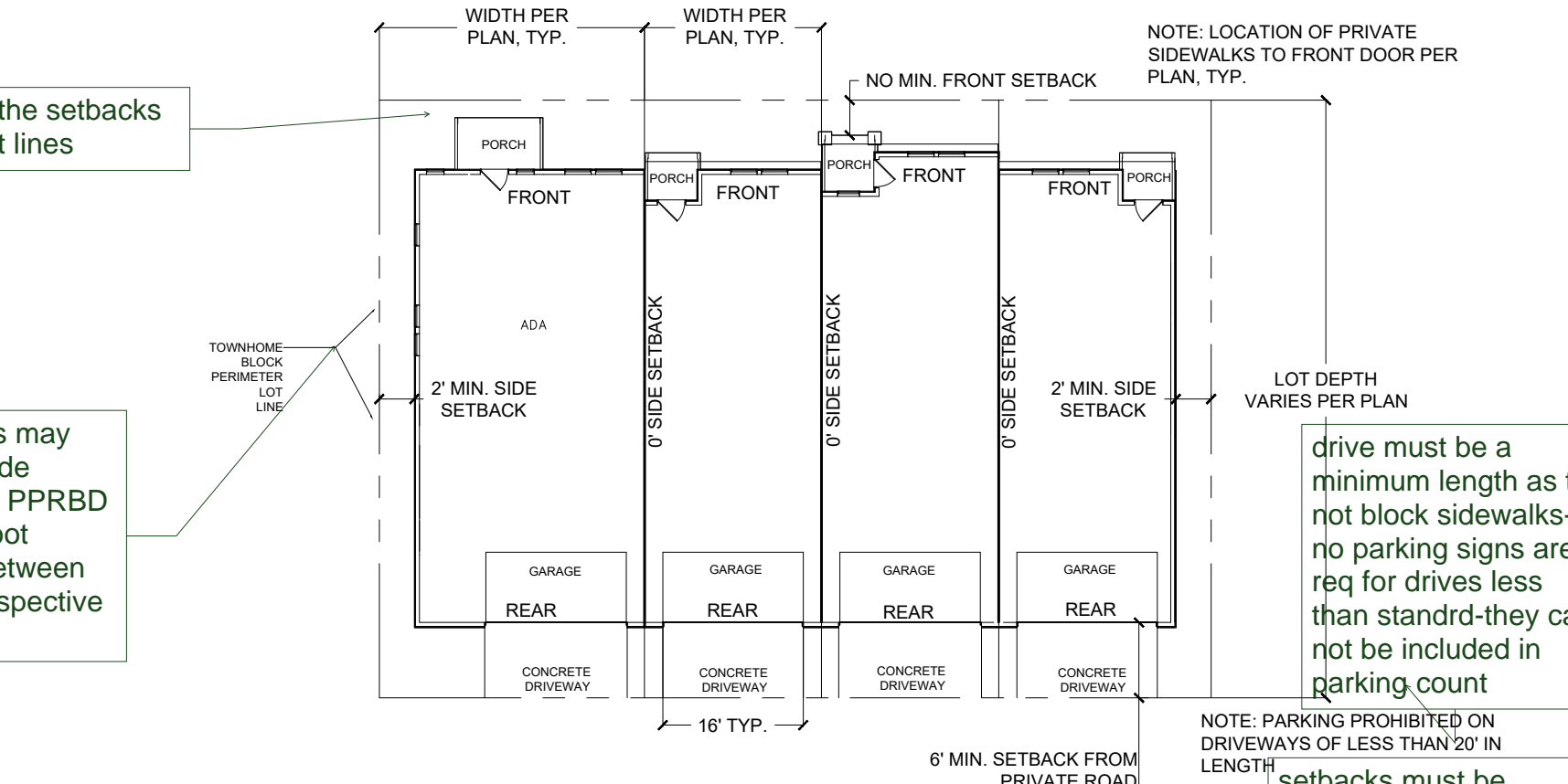
hatch the pavement tracts so we can clearly see the open space -drainage tracts- THIS sheet only. I think were missing some tracts as they should close like the lots.

### TYPICAL LOT DIAGRAMS

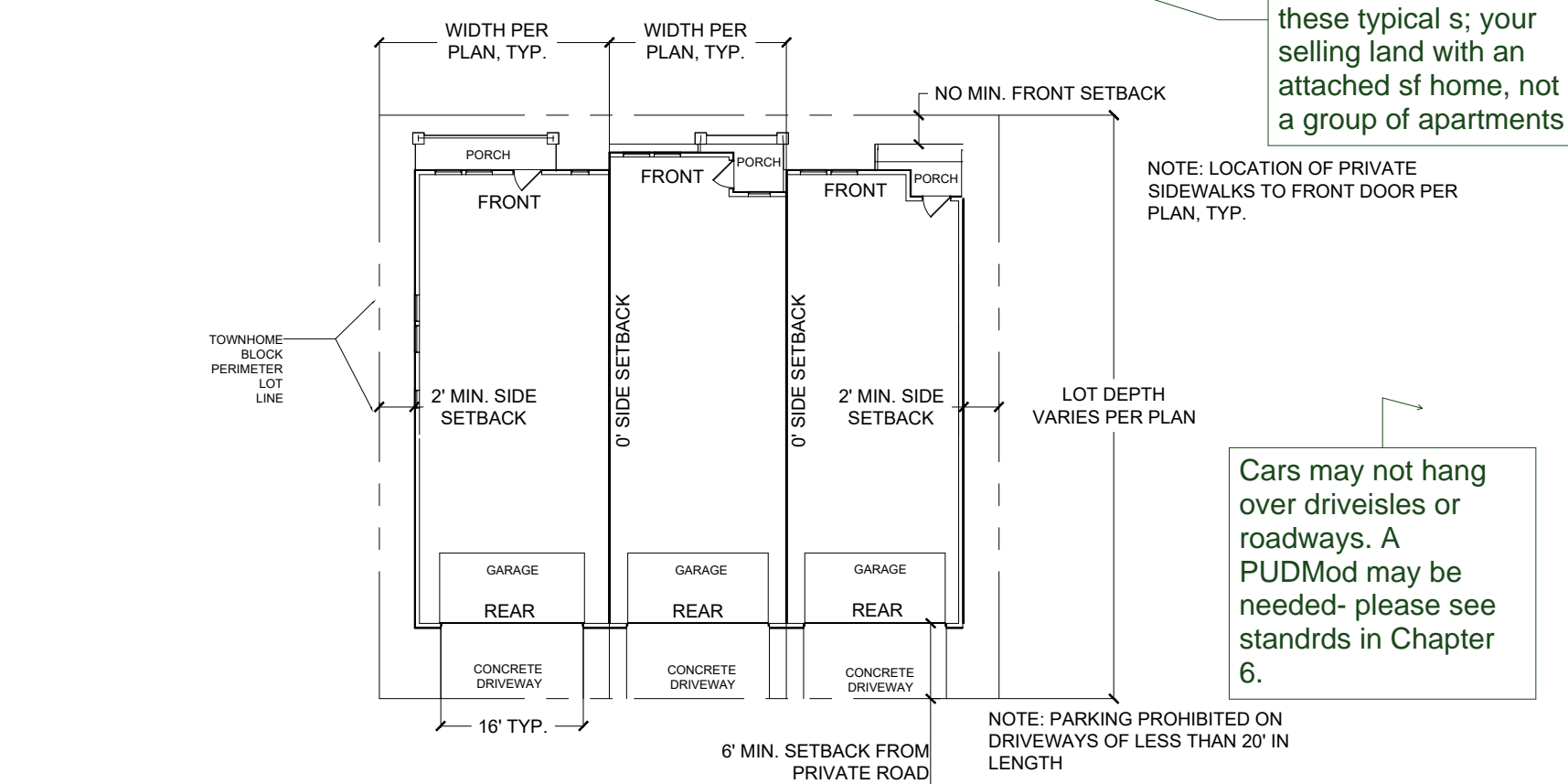
LOTS: 9-36, 47-50



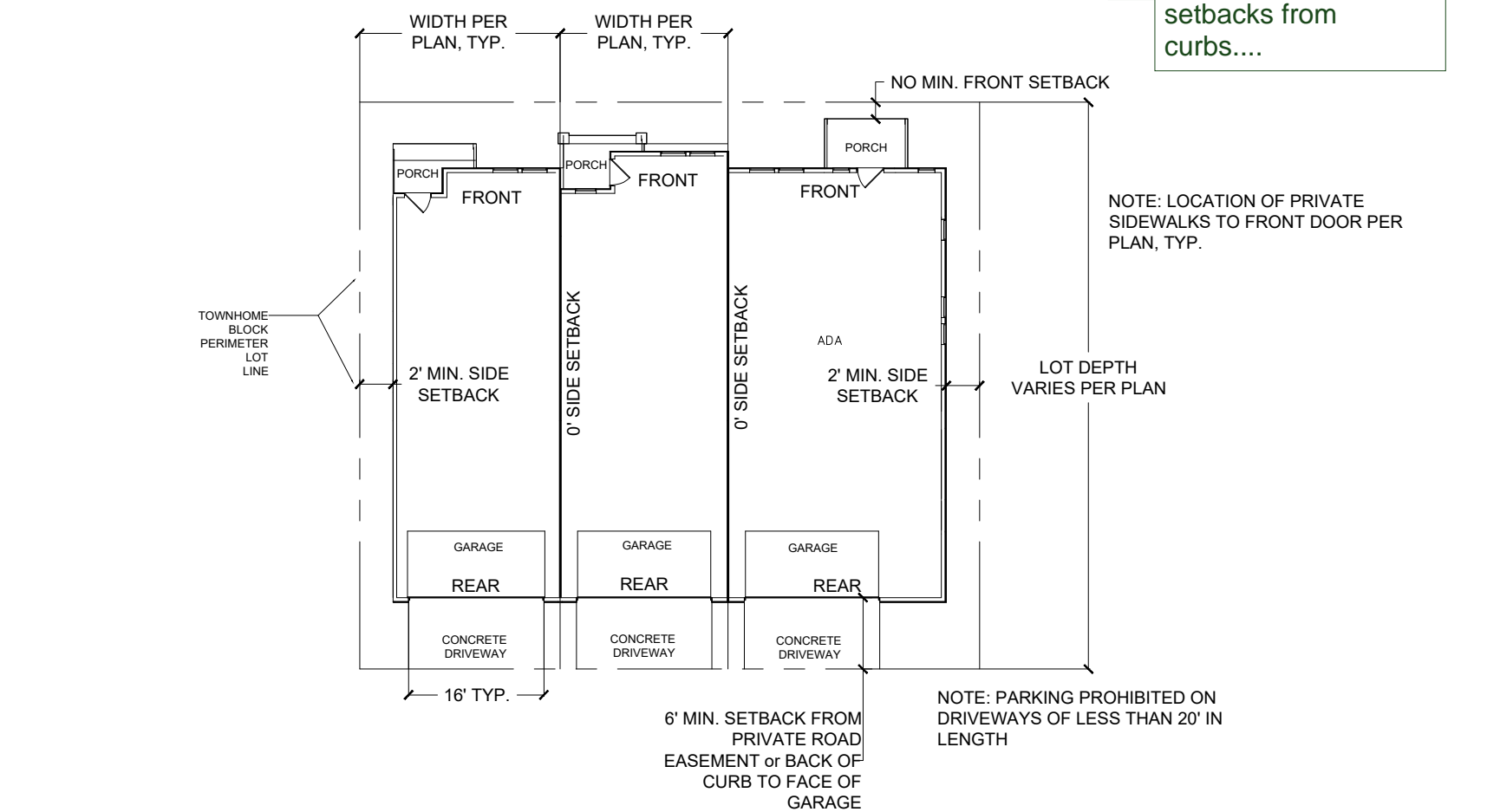
LOTS: 1-8, 43-46



LOTS: 40-42



LOTS: 37-39



how will the utilities fir in with no setbacks? Where are the easements for utilities per lot?

### CARRIAGE MEADOWS SOUTH AT LORSON RANCH FILING NO. 2

El Paso County, Colorado  
PUD & PRELIMINARY PLAN

STAMP:

REV#	DATE	REVISIONS
1		
2		
3		
4		
5		
6		

DESIGNED	STB	04.11.19
DRAWN	STB	04.11.19
CHECKED	JH	04.11.19
PROJECT NUMBER:		2816.16
SCALE:		AS NOTED

### DETAILS

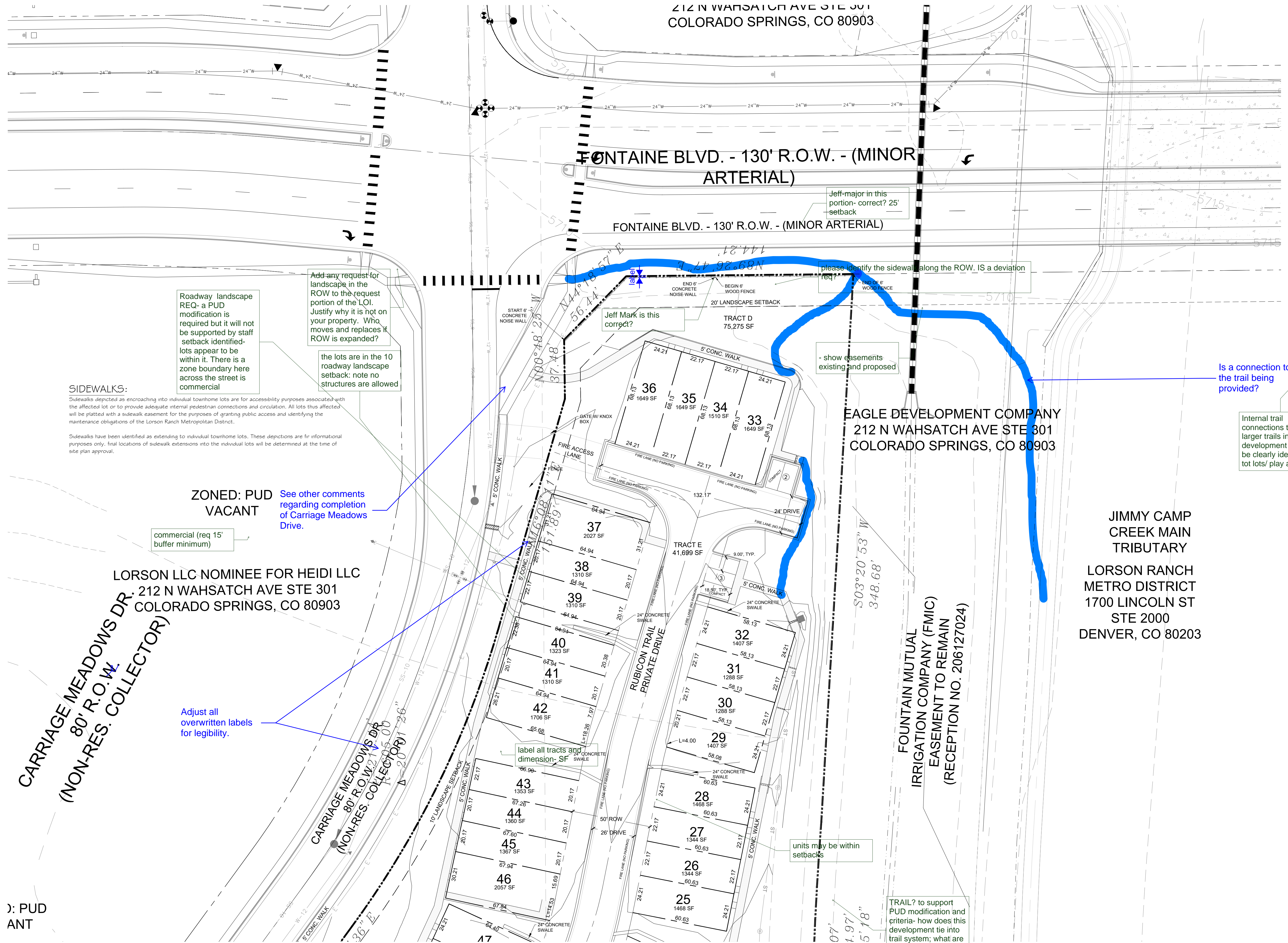
PCD FILE NO.:



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Roadway landscape REQ- a PUD modification is required but it will not be supported by staff setback identified-lots appear to be within it. There is a zone boundary here across the street is commercial

Add any request for landscape in the ROW to the request portion of the LOI. Justify why it is not on your property. Who moves and replaces if ROW is expanded?  
the lots are in the 10 roadway landscape setback: note no structures are allowed

**SIDEWALKS:**

Sidewalks depicted as encroaching into individual townhome lots are for accessibility purposes associated with the affected lot or to provide adequate internal pedestrian connections and circulation. All lots thus affected will be platted with a sidewalk easement for the purposes of granting public access and identifying the maintenance obligations of the Lorson Ranch Metropolitan District.  
Sidewalks have been identified as extending to individual townhome lots. These depictions are for informational purposes only. final locations of sidewalk extensions into the individual lots will be determined at the time of site plan approval.

ZONED: PUD VACANT  
See other comments regarding completion of Carriage Meadows Drive.

commercial (req 15' buffer minimum)

LORSON LLC NOMINEE FOR HEIDI LLC  
212 N WAHSATCH AVE STE 301  
COLORADO SPRINGS, CO 80903

CARRIAGE MEADOWS DR  
80' R.O.W.  
(NON-RES. COLLECTOR)

Adjust all overwritten labels for legibility.

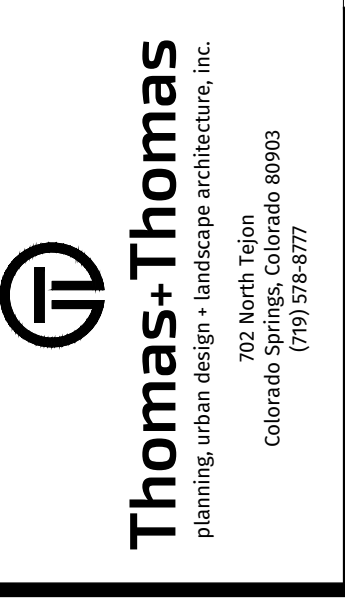
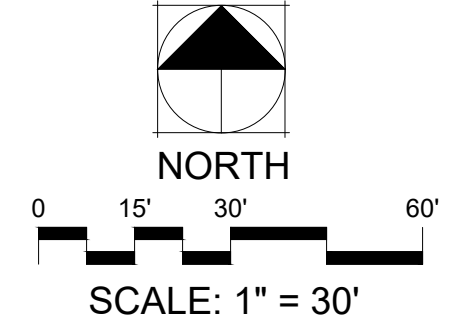
label all tracts and dimension- SF

units may be within setbacks

TRAIL? to support PUD modification and criteria- how does this development tie into trail system; what are the amenities as required per criteria?

EAGLE DEVELOPMENT COMPANY  
212 N WAHSATCH AVE STE 301  
COLORADO SPRINGS, CO 80903

JIMMY CAMP CREEK MAIN TRIBUTARY  
LORSON RANCH METRO DISTRICT  
1700 LINCOLN ST STE 2000  
DENVER, CO 80203



CARRIAGE MEADOWS SOUTH AT LORSON RANCH FILING NO. 2  
El Paso County, Colorado  
PUD & PRELIMINARY PLAN

REV#	REVISIONS	DATE
1		
2		
3		
4		
5		
6		

DESIGNED	STB	DATE
		04.11.19
DRAWN	STB	DATE
		04.11.19
CHECKED	JH	DATE
		04.11.19
PROJECT NUMBER:	2816.16	
SCALE:	AS NOTED	

SITE PLAN

P3 OF



# LORSON RANCH

## CARRIAGE MEADOWS SOUTH AT LORSON RANCH FILING 2

A TRACT OF LAND LOCATED IN A PORTION OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 22 AND A PORTION OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 23, ALL IN TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH F.M., EL PASO COUNTY, COLORADO

apply sheet 3  
comments to this  
sheet where  
applicable

Provide all checklist items.

Provide a public  
turnaround bulb for County  
maintenance vehicles.

ZONED: PUD  
VACANT

LORSON LLC NOMINEE FOR HEIDI LLC  
212 N WAHSATCH AVE STE 301  
COLORADO SPRINGS, CO 80903

Adjust overlapping  
labels for legibility

**SIDEWALKS:**  
Sidewalks depicted as encroaching into individual townhome lots are for accessibility purposes associated with the affected lot or to provide adequate internal pedestrian connections and circulation. All lots thus affected will be platted with a sidewalk easement for the purposes of granting public access and identifying the maintenance obligations of the Lorson Ranch Metropolitan District.  
Sidewalks have been identified as extending to individual townhome lots. These depictions are for informational purposes only. Final locations of sidewalk extensions into the individual lots will be determined at the time of site plan approval.

See comment  
letter. The east  
side of the road  
needs to be  
completed in its  
ultimate location.

Existing?

PRIVATE DETENTION FACILITY TO  
BE OWNED & MAINTAINED BY THE  
METRO DISTRICT

LORSON LLC NOMINEE FOR HEIDI LLC  
212 N WAHSATCH AVE STE 301  
COLORADO SPRINGS, CO 80903

ZONED: PUD  
SINGLE  
FAMILY  
RESIDENTIAL

ZACHARY & ANNE PACE  
6850 MANDAN DR  
COLORADO SPRINGS, CO 80925

MANDAN DR.  
50' R.O.W.  
(URBAN RES. LOCAL)

ZONED: PUD  
SINGLE  
FAMILY  
RESIDENTIAL

proposed private  
storm drain

proposed public  
storm drain

Internal trail  
connections to the  
larger trails in the  
development should  
be clearly identified,  
tot lots/ play areas?

Call out the floodplain.

Provide a legend  
or label all of the  
lines.

L=288.07'  
R=2274.97'  
Δ=07°15'18"

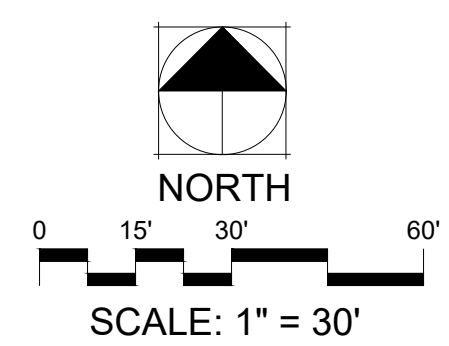
ZONED: PUD  
ACCESS  
EASEMENT

EAGLE DEVELOPMENT COMPANY  
212 N WAHSATCH AVE STE 301  
COLORADO SPRINGS, CO 80903

JIMM  
CRE  
TRI  
LORSON  
METRO  
1700 LIN  
STE  
DENVER

L=92.97'  
R=1725.00'  
Δ=03°05'17"

where is the FMIC  
easement and ditch?



PCD FILE NO.: PUDSP-18-5



CARRIAGE MEADOWS SOUTH  
AT LORSON RANCH  
FILING NO. 2  
El Paso County, Colorado  
PUD & PRELIMINARY PLAN

STAMP:

REV #	REVISIONS	DATE
1		
2		
3		
4		
5		
6		

DESIGNED	STB	04.11.19
DRAWN	STB	04.11.19
CHECKED	JH	04.11.19
PROJECT NUMBER:		2816.16
SCALE:		AS NOTED

SITE PLAN

P4 OF



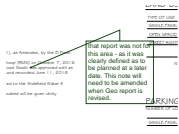
# Markup Summary 9-3-2019

dsdparsons (68)



**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:00:20 PM  
**Color:** ■

Remove this, you do not want to make this a zoning requirement do you?



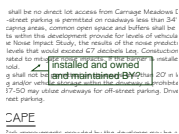
**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:01:21 PM  
**Color:** ■

that report was not for this area - as it was clearly defined as to be planned at a later date. This note will need to be amended when Geo report is revised.



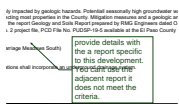
**Subject:** Highlight  
**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:01:44 PM  
**Color:** ■

. All streets will be private and will be privately owned and maintained by the Lorson Ranch Metropolitan District No. 1-4.  
2.



**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:02:38 PM  
**Color:** ■

installed and owned and maintained BY?



**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:27:14 PM  
**Color:** ■

provide details with the a report specific to this development. You cant use the adjacent report it does not meet the criteria.



**Subject:** Soils & Geology  
**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:28:40 PM  
**Color:** ■

Soil and Geology Conditions:  
Geologic Hazard Note-Final Plat: (to be customized based upon the individual circumstances)  
The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the report (Title of Report, generally from the Preliminary Plan file) by (author of the report) (date of report) in file (name of file and file number) available at the El Paso County Planning and Community Development Department:

- Downslope Creep: (name lots or location of area)
- Rockfall Source:(name lots or location of area)
- Rockfall Runout Zone:(name lots or location of area)
- Potentially Seasonally High Groundwater:(name lots or location of area)
- Other Hazard:

In Areas of High Groundwater:  
Due to high groundwater in the area, all foundations shall incorporate an underground drainage system.

JOB, ETC. TO MATCH EXISTING FOUND  
ACTURES SPECIFICATIONS

AIL along the Fontaine  
ROW and edge of  
property

**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:29:42 PM  
**Color:** ■

along the Fontaine ROW and edge of property

SOILS & GEOLOGY C  
ADD NOTE FOR:  
constraints on  
hazards and identify  
lots impacted. Depict  
said constraints on  
hazards on plan.  
Use a separate  
page if necessary.  
Report needs to be  
completed to  
compliance.

**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:30:19 PM  
**Color:** ■

Add note fill in constraints and hazards and identify lots impacted. Depict said constraints on hazards on prelim plan- use a separate page if necessary. Report needs to be completed to complete this .

The end units may  
need 5foot side  
backs. Does PPRBD  
require 10-foot  
separation between  
buildings irrespective  
of lot lines?

**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:31:48 PM  
**Color:** ■

The end units may need 5foot side backs. Does PPRBD require 10- foot separation between buildings irrespective of lot lines?

NOTE: PARALLEL TO  
DEVELOPER'S LOT LINE OR  
PROPERTY LINE. SETBACKS MUST BE  
FROM LOT LINES.  
Dimension lot lines on  
these typical s; your  
selling land with an  
attached sf home, not  
a group of apartments

**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:33:03 PM  
**Color:** ■

setbacks must be from lot lines. Dimension lot lines on these typical s; your selling land with an attached sf home, not a group of apartments

LOT DRIVE  
VARIABLE WIDTH  
Drive must be a  
minimum length as to  
not block sidewalks-  
no parking signs are  
req for drives less  
than standrd-they can  
not be included in  
parking count

**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:34:21 PM  
**Color:** ■

drive must be a minimum length as to not block sidewalks- no parking signs are req for drives less than standrd-they can not be included in parking count

all these  
comments  
pertain to  
each  
detail to  
the right:

**Subject:** Text Box  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:34:36 PM  
**Color:** ■

all these comments pertain to each detail to the right:

How will the utilities fir in with no setbacks? Where are the easements for utilites per lot?

**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:34:47 PM  
**Color:** ■

how will the utilities fir in with no setbacks? Where are the easements for utilites per lot?

Cars may not hang  
over driveisles or  
roadways. A  
PUDMod may be  
needed- please see  
standrds in Chapter  
6.

**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:35:04 PM  
**Color:** ■

Cars may not hang over driveisles or roadways. A PUDMod may be needed- please see standrds in Chapter 6.

PROPERTY LINE -we  
dont measure  
setbacks from  
curbs....

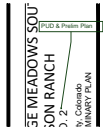
**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:35:51 PM  
**Color:** ■

property line --we dont measure setbacks from curbs....



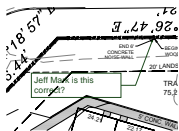
**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:38:48 PM  
**Color:** ■

Parking may cause a public safety concern. Provide a specific letter that the Fire protections district has no issues with on site street parking and length of driveway as as overhang will block the roadway. what is the mimium driveway legth-state on dimensional standards and state that drives less than 18 feet are not allowed to have a vehicle parked which overhangs sidewalk or row or private drives



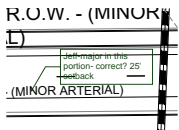
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**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:40:10 PM  
**Color:** ■

PUD & Prelim Plan



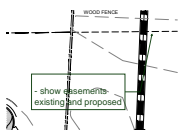
**Subject:** Callout  
**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:42:33 PM  
**Color:** ■

Jeff Mark is this correct?



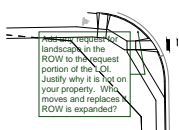
**Subject:** Callout  
**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:43:38 PM  
**Color:** ■

Jeff-major in this portion- correct? 25' setback



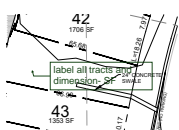
**Subject:** Callout  
**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:44:04 PM  
**Color:** ■

- show easements existing and proposed



**Subject:** Callout  
**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:45:26 PM  
**Color:** ■

Add any request for landscape in the ROW to the request portion of the LOI. Justify why it is not on your property. Who moves and replaces if ROW is expanded?



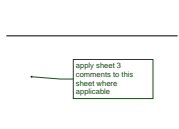
**Subject:** Callout  
**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:47:04 PM  
**Color:** ■

label all tracts and dimension- SF



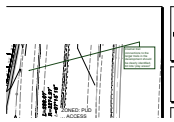
**Subject:** Callout  
**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:47:56 PM  
**Color:** ■

units may be within setbacks



**Subject:** Callout  
**Page Label:** [1] SITE PLAN 2  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:49:52 PM  
**Color:** ■

apply sheet 3 comments to this sheet where applicable



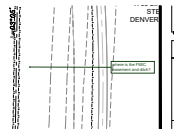
**Subject:** Callout  
**Page Label:** [1] SITE PLAN 2  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:50:11 PM  
**Color:** ■

Internal trail connections to the larger trails in the development should be clearly identified, tot lots/ play areas?



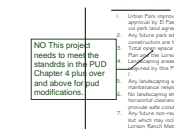
**Subject:** Callout  
**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:50:23 PM  
**Color:** ■

Internal trail connections to the larger trails in the development should be clearly identified, tot lots/ play areas?



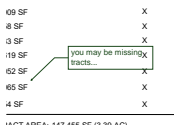
**Subject:** Callout  
**Page Label:** [1] SITE PLAN 2  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:50:51 PM  
**Color:** ■

where is the FMIC easement and ditch?



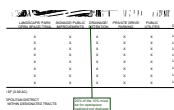
**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:52:50 PM  
**Color:** ■

NO This project needs to meet the standrds in the PUD Chapter 4 plus over and above for pud modifications.



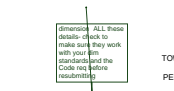
**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:56:33 PM  
**Color:** ■

you may be missing tracts...



**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:57:27 PM  
**Color:** ■

25% of the 10% must be for openspace parkland not drainage per Code...



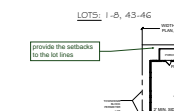
**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 1:59:20 PM  
**Color:** ■

dimension ALL these details- check to make sure they work with your dim standards and the Code req before resubmitting



**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 10:38:00 AM  
**Color:** ■

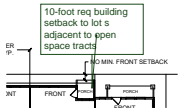
is this a tract? SF?



**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 12:32:19 PM  
**Color:** ■

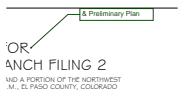
provide the setbacks to the lot lines





**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 12:33:10 PM  
**Color:** ■

10-foot req building setback to lot s adjacent to open space tracts



**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 12:48:16 PM  
**Color:** ■

& Preliminary Plan



**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 12:49:41 PM  
**Color:** ■

which is the title Lorson Ranch is already a PUD so the title is Carriage Meadows South at Lorson Ranch Filing no 2 PUD & Preliminary Plan-- correct not as depicted...



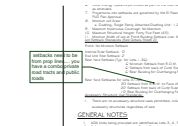
**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 12:51:31 PM  
**Color:** ■

see PUD standards 10- building setback feet is required adjacent to open space.



**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 12:52:26 PM  
**Color:** ■

we cant enforce this it must be from a property line- we dont use ILCs here



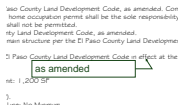
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**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 12:53:27 PM  
**Color:** ■

setbacks need to be from prop lines.... you have a combo private road tracts and public roads



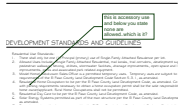
**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 12:53:57 PM  
**Color:** ■

this doesnt make sense... if there are no uses than there are no uses



**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 12:54:46 PM  
**Color:** ■

as amended



**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 12:55:18 PM  
**Color:** ■

this is accessory use and below you state none are allowed..which is it?





**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 12:57:13 PM  
**Color:** ■

no hot tubs, sheds less or greater than 200 SF, gazebos, etc? no detached uses- ??? Above you state Home Ocs ok?



**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 12:58:30 PM  
**Color:** ■

MVEA requests more... what about interior lot easements there has to be easements on lots to serve houses?



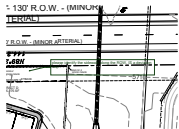
**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 12:59:09 PM  
**Color:** ■

corner lot setbacks are:



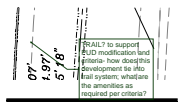
**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 2:00:58 PM  
**Color:** ■

these are attached single family- they are purchasing the land (lot) No perimeter



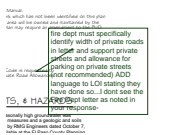
**Subject:** Callout  
**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 8/26/2019 2:03:03 PM  
**Color:** ■

please identify the sidewalk along the ROW. IS a deviation req?



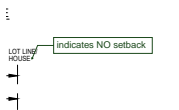
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**Author:** dsdparsons  
**Date:** 8/26/2019 2:04:53 PM  
**Color:** ■

TRAIL? to support PUD modification and criteria-how does this development tie into trail system; what are the amenities as required per criteria?



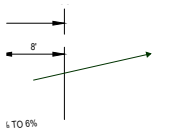
**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 2:07:42 PM  
**Color:** ■

fire dept must specifically identify width of private roads in letter and support private streets and allowance for parking on private streets (not recommended) ADD language to LOI stating they have done so...I dont see the Fire Dept letter as noted in your response-



**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 2:09:40 PM  
**Color:** ■

indicates NO setback



**Subject:** Arrow  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 2:09:55 PM  
**Color:** ■





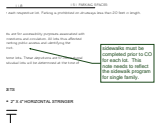
**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 2:10:25 PM  
**Color:** ■

STAFF CONCERN: If no parking in driveway and no parking on street- where do the people park? when visitors come over or teenagers vehicles? Parking seems inadequate



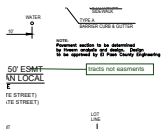
**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 2:11:48 PM  
**Color:** ■

Your response letter indicated that the driveways are be in the private roads (ROW is a road serving public)- that is a safety concern& and should not occur and will be written up in the staff report as such.



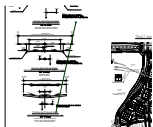
**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdparsons  
**Date:** 8/26/2019 2:14:54 PM  
**Color:** ■

sidewalks must be completed prior to CO for each lot. This note needs to reflect the sidewalk program for single family.



**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 2:19:55 PM  
**Color:** ■

tracts not easments



**Subject:** Arrow  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 2:20:01 PM  
**Color:** ■

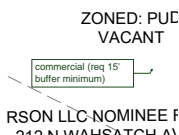


**Subject:** Arrow  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 2:20:08 PM  
**Color:** ■



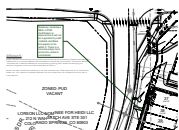
**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 2:24:28 PM  
**Color:** ■

what is the justification for proposing landscape in County ROW? it should be placed in the 10' landscape setback or 25 foot landscape setback....Are you proposing to utilize the landscape setbacks as open space?



**Subject:** Callout  
**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 8/26/2019 2:37:50 PM  
**Color:** ■

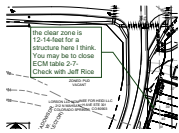
commercial (req 15' buffer minimum)



**Subject:** Callout  
**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 8/26/2019 2:39:42 PM  
**Color:** ■

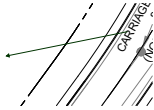
Roadway landscape REQ- a PUD modification is required but it will not be supported by staff setback identified- lots appear to be within it. There is a zone boundary here across the street is commercial





**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 2:42:24 PM  
**Color:** ■

the clear zone is 12-14-feet for a structure here I think. You may be to close ECM table 2-7- Check with Jeff Rice



**Subject:** Arrow  
**Page Label:** [1] SITE PLAN 2  
**Author:** dsdparsons  
**Date:** 8/26/2019 2:43:53 PM  
**Color:** ■



**Subject:** Callout  
**Page Label:** [1] SITE PLAN 2  
**Author:** dsdparsons  
**Date:** 8/26/2019 2:43:56 PM  
**Color:** ■

80 non res collector?  
Dimension



**Subject:** Callout  
**Page Label:** [1] SITE PLAN  
**Author:** dsdparsons  
**Date:** 8/26/2019 2:44:32 PM  
**Color:** ■

the lots are in the 10 roadway landscape setback:  
note no structures are allowed



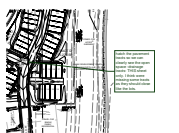
**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 2:45:13 PM  
**Color:** ■

80 non res collector



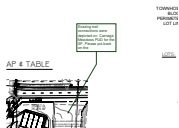
**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 2:52:49 PM  
**Color:** ■

COMMERCIAL



**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/26/2019 2:54:47 PM  
**Color:** ■

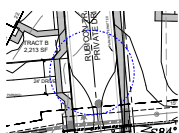
hatch the pavement tracts so we can clearly see the open space -drainage tracts- THIS sheet only. I think were missing some tracts as they should close like the lots.



**Subject:** Callout  
**Page Label:** [1] TRACT TABLES  
**Author:** dsdparsons  
**Date:** 8/27/2019 11:44:14 AM  
**Color:** ■

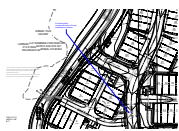
Existing trail connections were depicted on Carriage Meadows PUD for the SF. Please put back on the

dsdrice (27)



**Subject:** Ellipse Sketch to Scale  
**Page Label:** [1] SITE PLAN 2  
**Author:** dsdrice  
**Date:** 8/23/2019 1:05:51 PM  
**Color:** ■

3.14



**Subject:** Callout  
**Page Label:** [1] SITE PLAN 2  
**Author:** dsdrice  
**Date:** 8/23/2019 1:07:48 PM  
**Color:** ■

Provide a public turnaround bulb for County maintenance vehicles.

Side Set  
Site Se  
ard Setba

**Subject:**  
**Page Label:** [1] COVER SHEET  
**Author:** dsdrice  
**Date:** 8/23/2019 11:18:01 AM  
**Color:** ■

t

Setbac  
Setbaks (T

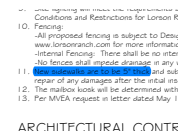
**Subject:**  
**Page Label:** [1] COVER SHEET  
**Author:** dsdrice  
**Date:** 8/23/2019 11:18:06 AM  
**Color:** ■

ak



**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdrice  
**Date:** 8/23/2019 11:20:52 AM  
**Color:** ■

as approved by EPC



**Subject:**  
**Page Label:** [1] COVER SHEET  
**Author:** dsdrice  
**Date:** 8/23/2019 11:21:59 AM  
**Color:** ■

New sidewalks are to be 5" thick



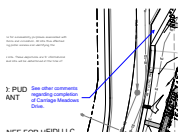
**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdrice  
**Date:** 8/23/2019 11:23:39 AM  
**Color:** ■

You might want to expand on this note. (5" sidewalks are required along public roads in front of single family development.)



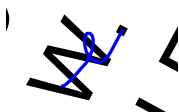
**Subject:** Callout  
**Page Label:** [1] SITE PLAN 2  
**Author:** dsdrice  
**Date:** 8/23/2019 11:31:54 AM  
**Color:** ■

Existing?



**Subject:** Callout  
**Page Label:** [1] SITE PLAN  
**Author:** dsdrice  
**Date:** 8/23/2019 11:33:22 AM  
**Color:** ■

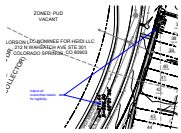
See other comments regarding completion of Carriage Meadows Drive.



**Subject:** Delete  
**Page Label:** [1] SITE PLAN  
**Author:** dsdrice  
**Date:** 8/23/2019 11:33:50 AM  
**Color:** ■

Delete





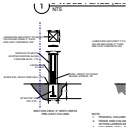
**Subject:** Callout  
**Page Label:** [1] SITE PLAN  
**Author:** dsdrice  
**Date:** 8/23/2019 11:34:42 AM  
**Color:** ■

Adjust all overwritten labels for legibility.

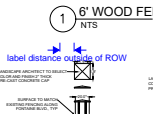


**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdrice  
**Date:** 8/23/2019 11:44:25 AM  
**Color:** ■

and northern?

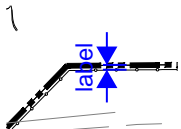


**Subject:** Line  
**Page Label:** [1] COVER SHEET  
**Author:** dsdrice  
**Date:** 8/23/2019 11:45:33 AM  
**Color:** ■



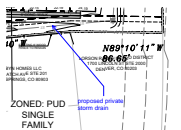
**Subject:** Dimension  
**Page Label:** [1] COVER SHEET  
**Author:** dsdrice  
**Date:** 8/23/2019 11:46:30 AM  
**Color:** ■

label distance outside of ROW



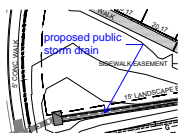
**Subject:** Dimension  
**Page Label:** [1] SITE PLAN  
**Author:** dsdrice  
**Date:** 8/23/2019 11:47:49 AM  
**Color:** ■

label



**Subject:** Callout  
**Page Label:** [1] SITE PLAN 2  
**Author:** dsdrice  
**Date:** 8/23/2019 11:49:09 AM  
**Color:** ■

proposed private storm drain



**Subject:** Callout  
**Page Label:** [1] SITE PLAN 2  
**Author:** dsdrice  
**Date:** 8/23/2019 11:50:17 AM  
**Color:** ■

proposed public storm drain



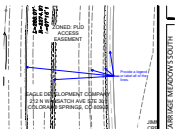
**Subject:** Callout  
**Page Label:** [1] SITE PLAN 2  
**Author:** dsdrice  
**Date:** 8/23/2019 11:51:07 AM  
**Color:** ■

Adjust overlapping labels for legibility



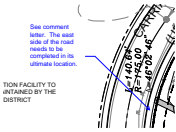
**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Author:** dsdrice  
**Date:** 8/23/2019 11:53:25 AM  
**Color:** ■

Add: private storm drains to be maintained by Lorson Ranch Metropolitan District...



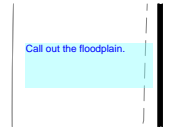
**Subject:** Callout  
**Page Label:** [1] SITE PLAN 2  
**Author:** dsdrice  
**Date:** 8/23/2019 11:56:03 AM  
**Color:** ■

Provide a legend or label all of the lines.



**Subject:** Callout  
**Page Label:** [1] SITE PLAN 2  
**Author:** dsdrice  
**Date:** 8/23/2019 12:36:35 PM  
**Color:** ■

See comment letter. The east side of the road needs to be completed in its ultimate location.



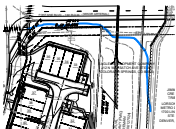
**Subject:** text box  
**Page Label:** [1] SITE PLAN 2  
**Author:** dsdrice  
**Date:** 8/23/2019 12:51:45 PM  
**Color:** ■

Call out the floodplain.



**Subject:** Callout  
**Page Label:** [1] SITE PLAN  
**Author:** dsdrice  
**Date:** 8/23/2019 12:55:47 PM  
**Color:** ■

Is a connection to the trail being provided?



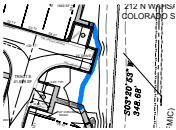
**Subject:**  
**Page Label:** [1] SITE PLAN  
**Author:** dsdrice  
**Date:** 8/23/2019 12:58:22 PM  
**Color:** ■

sidewalk/conc. trail?



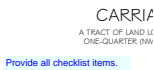
**Subject:**  
**Page Label:** [1] SITE PLAN  
**Author:** dsdrice  
**Date:** 8/23/2019 12:58:22 PM  
**Color:** ■

sidewalk/conc. trail?



**Subject:**  
**Page Label:** [1] SITE PLAN  
**Author:** dsdrice  
**Date:** 8/23/2019 12:58:22 PM  
**Color:** ■

sidewalk/conc. trail?



**Subject:** Text Box  
**Page Label:** [1] SITE PLAN 2  
**Author:** dsdrice  
**Date:** 9/2/2019 4:32:15 PM  
**Color:** ■

Provide all checklist items.