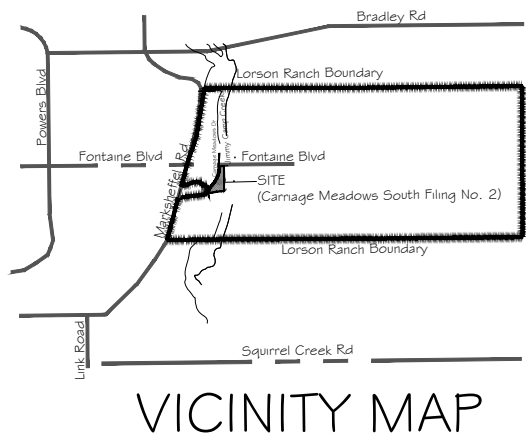


# CARRIAGE MEADOWS SOUTH FILING NO.2

## A PLANNED UNIT DEVELOPMENT & PRELIMINARY PLAN FOR CARRIAGE MEADOWS SOUTH AT LORSON RANCH FILING 2

A TRACT OF LAND LOCATED IN A PORTION OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 22 AND A PORTION OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 23, ALL IN TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO



### GENERAL PROVISIONS:

STATEMENT OF INTENT: The purpose of this PUD (Planned Unit Development) Plan is to provide for 49 Single-Family attached residential units in a manner consistent with the approved Lorson Ranch Sketch Plan Minor Amendment which identifies a target density range of 1.0-1.3 DU/AC.

AUTHORITY: This PUD is authorized by Chapter 4 of the El Paso County Land Development Code, as amended, adopted pursuant to the Colorado Planned Unit Development Act of 1972, as amended.

APPLICABILITY: The provisions of this PUD shall run with the land. The landowners, their successors, heirs, or assigns shall be bound by this Development Plan, as amended and approved by the Planning and Community Development Department Director or Board of County Commissioners.

ADOPTION: The adoption of this development plan shall evidence the findings and decisions of the El Paso County Board of County Commissioners that this Development Plan for CARRIAGE MEADOWS SOUTH AT LORSON RANCH FILING 2 is in general conformity with the El Paso County Master Plan, El Paso County Policy Plan and applicable Small Area Plan(s), as authorized under the provision of the El Paso County Land Development Code, as amended; and this development plan complies with the Colorado Planned Unit Development Act of 1972, as amended.

RELATIONSHIP TO COUNTY REGULATIONS: The provisions of this Development Plan shall prevail and govern the development of CARRIAGE MEADOWS SOUTH AT LORSON RANCH FILING 2 provided, however, that where the provisions of this Development Plan do not address a particular subject, the relevant provisions of the El Paso County Land Development Code, as amended, administrative determination by the PCD Director, or any other applicable resolutions or regulations of El Paso County, shall be applicable.

ENFORCEMENT: To further the mutual interest of the residents, occupants, and owners of the PUD and of the public in the preservation of the integrity of this development plan, the provisions of this plan relating to the use of land and the location of common open space shall run in favor of El Paso County and shall be enforceable at law or in equity by the County without limitation on any power or regulation otherwise granted by law.

CONFLICT: Where there is more than one provision within the development plan that covers the same subject matter, the provision which is most restrictive or imposes higher standards or requirements shall govern.

### GENERAL NOTES

- Refer to the approved Lorson Ranch Development Agreement #6 (recorded March 4, 2015 at Reception No. 215Q20531), as Amended, by the El Paso County Board of County Commissioners for development information related to public improvements.
- Urban Park improvements provided by the developer may be applied to park land application and/or fees with review and approval by El Paso County Parks. Any Urban Park improvements will be coordinated at a later date with El Paso County Parks via park land agreements.
- Any future park site locations will be per discussions with the El Paso County Park Department. Park site amenities and timing of construction are to be determined with future coordination with the El Paso County Park Department.
- Any future non-regional trails which may be planned as part of an overall trail network which has not been identified on this plan but which may include unplanned portions of property and/or tracts within this plan area will be owned and maintained by the Lorson Ranch Metropolitan District. Any additional trails not shown on this plan may require an amendment to the PUD.
- All water system elements and sanitary sewerage conveyance conduits and their associated appurtenances shall be dedicated to the Widefield Water & Sanitation District. All other utilities shall be owned as appropriate.
- All electric service shall be provided by Mountain View Electric Association. All tracts through which MVEA utilities will be located will be given utility easements as required.
- Natural Gas shall be provided by Black Hills Energy.
- All tracts, landscape, and detention facilities are designated for Public Utilities as required.
- Site lighting will meet the requirements set forth in Section 6.2.3 of the El Paso County Land Development Code, as amended, the Declaration of Covenants, Conditions and Restrictions for Lorson Ranch and the Lorson Ranch Design Guidelines.
- Landscaping and installing sidewalk systems. The future lot owner or builder is responsible for repair of any damages after the initial installation. **delete or reference sidewalk notes?**
- The mailbox kiosk will be determined with each final plat and in coordination with the U.S. Postal Service.
- For MVEA request 3/20/19, a blanket easement over all tracts and private roads will be granted with subsequent final plats.
- Private storm drains to be owned and maintained by the Lorson Ranch Metropolitan District.

Easements ? Gas, water, wastewater, phone, cable? MVEA has the blanket based on the PUD modification

### DEVELOPMENT STANDARDS AND GUIDELINES

- Residential Use Standards:
- There shall only be one (1) Principal (primary) use of Single-Family Attached Residence per lot.
  - Allowed Uses include: Single Family Attached Residential, mail kiosks, trail corridors, development signage, pedestrian walkways, fencing, utilities, stormwater facilities, drainage improvements, open space and landscape improvements, parks and associated park related equipment.
  - Model Home/ Subdivision Sales Office is a permitted temporary uses. Temporary uses are subject to the requirements of the El Paso County Land Development Code Section 5.3.1, as amended.
  - Residential Home Occupations are permitted per the El Paso County Land Development Code, as amended. Compliance with permit requirements, including visitor/guest parking requirements, shall be the sole responsibility of the home owner/applciant. Residential Day Care to be permitted per the El Paso County Land Development Code, as amended.
  - Solar Energy Systems and permitted as part of the main structure per the El Paso County Land Development Code, as amended.
  - Projections into setbacks are governed by the El Paso County Land Development Code, as amended, in effect at the time of PUD Plan Approval.
  - Minimum Lot Area: 1,200 SF, as depicted on the Plan.
  - Maximum Impervious Coverage: No Maximum.
  - Maximum Structural Height: Forty Five Feet (45').
  - Minimum Width of Lot at Front Building Setback Line: No Minimum, as depicted.
  - Lot Setback Standards (See Lot Details Sheet for additional information):
    - Front Yard: Zero (0) lot line setback
    - Internal Side Yard (between units): Zero (0) lot line setback between internal property lines of townhome unit buildings
    - End Unit Side Yard: 2'
    - Rear Side Yard Setbacks:
      - Zero-foot (0) Minimum Rear Yard Setback from property line
      - Ten-foot (10) Maximum Rear Yard Setback from property line
  - Open Space Setbacks: All tracts designated as open space to meet PUD and multi-family open space requirements shall be setback 10' from all structures on adjacent tracts or parcels.
  - Fencing: There shall be no internal fencing allowed within individual lots. Fences used for buffering, screening, or landscape enhancement, shall in no way be sited or otherwise constructed in a manner which may impede surface drainage, stormwater runoff, or planned drainage facilities in any way.

delete?

### Accessory Structures:

No private accessory structures shall be permitted, including, but not limited to decks, gazebos, saunas, or other accessory structures regardless of size or placement on any private lot. Accessory structures for District use for maintenance purposes may be permitted in Tracts A through G, inclusive. Placement of accessory structures within this PUD by the Lorson Ranch Metropolitan District may be subject to site location approval or site development plan requirements as applicable and determined by the Planning and Community Development Director.

If were in a tract it would be a principal use. Add a specific allowance for tracts (park equipment/benches may be likely and would not need a site dev. plan for example).

- ### LANDSCAPE
- Landscaping areas, trails, common open space and buffers shall be installed by the developer with private/public improvements required by this PUD and associated final plats. Landscaping shall be maintained by the Lorson Ranch Metropolitan District No. 1.
  - Any landscaping within the public rights-of-way will be subject to a license agreement with El Paso County for ownership and maintenance responsibilities.
  - No landscaping shall obstruct sight distance triangles per Engineering Criteria Manual Reference 2.3.6.G. The minimum horizontal clearance for sidewalks around utility structures, furniture, and other encroachments shall be 4 feet or greater to provide safe conditions for pedestrians and bicyclists per the Engineering Criteria Manual.

### SOILS & GEOLOGY CONDITIONS, CONSTRAINTS, & HAZARDS

A 'Geology and Soils Study' for Carriage Meadows South, El Paso County, Colorado' was completed by Rocky Mountain Group (RMG) on October 7, 2019.

Geologic Hazard Note:  
No lots have been identified by the referenced RMG report which are adversely impacted by geologic hazards. The overall development area has been found to be impacted by geologic constraints listed below. Mitigation measures and a map of geologic conditions can be found in the report 'GEOLOGIC AND SOILS STUDY' prepared by RMG dated, October 7, 2019, in file Carriage Meadows South at Lorson Ranch Filing No. 2 available at the El Paso County Planning and Community Development Department:

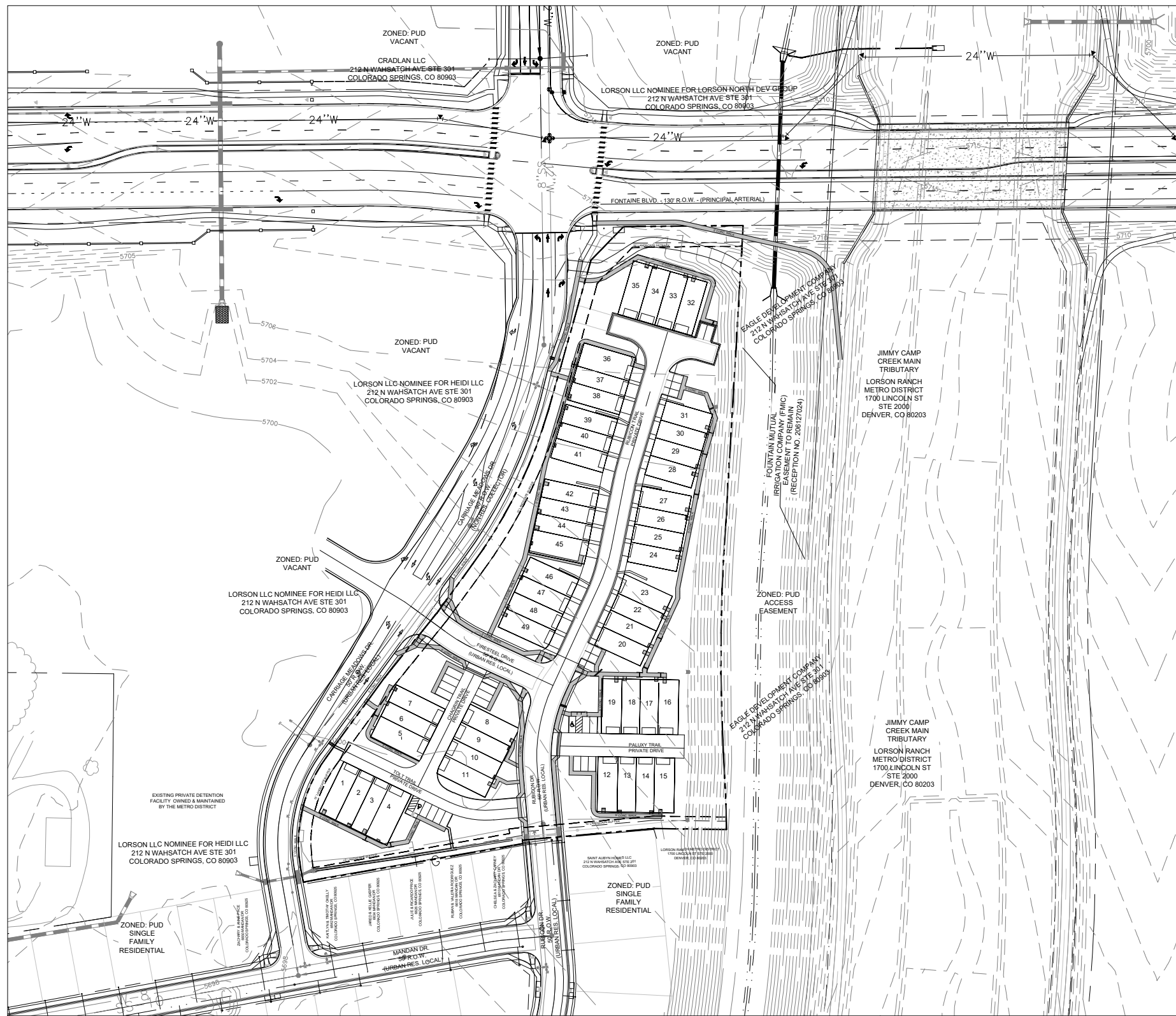
- Expansive and hydrocompactive soils
- Sensimicity
- Radon
- Erosion
- Fill soils

Concerning geologic constraints, RMG concludes that the referenced constraints are not considered hazards or unusual for the Front Range region of Colorado. Mitigation of identified constraints is most effectively accomplished by avoidance. However, where avoidance is not a practical or acceptable alternative, geologic conditions should be mitigated by implementing appropriate planning, engineering, and local construction practices.

According to the report, conventional shallow foundation systems consisting of standard spread footings/stemwalls are anticipated to be suitable for the proposed residential structures. The report recommends foundation systems for the attached single family structures should be designed and constructed based on recommendations developed in a site-specific Subsurface Soil Investigation. The recommendations presented in the Subsurface Soil Investigation should be verified following the excavations of each structure and evaluation of the building loads.

### FLOODPLAIN NOTES:

This property is not located within a designated FEMA floodplain as determined by the flood insurance rate map, community map number 08041C0957G, effective date 12/7/2018. The floodplain was previously revised per LONR Case No. OG-DB-643P effective date of revision August 29, 2007.



LEGAL DESCRIPTION: TRACT O CARRIAGE MEADOWS SOUTH AT LORSON RANCH FILING NO. 1

GENERAL COMMENT- NOTES ARE REPEATED IN SOME CASES # TIMES THROUGHOUT PUD SET

### STREETS, PARKING, & SIDEWALKS

- This PUD includes a request for authorization to use private roads and a PUD Design Modification to introduce the cross section for which the private streets will be constructed. The private road section identified as Rubicon Trail is designed to meet the urban low volume local cross section; therefore, no modifications will be required.
- The following streets (alleys) are designed as private and will be privately owned and maintained by the Lorson Ranch Metropolitan District: CHAGRIN TRAIL, TOLT TRAIL, PALUXY TRAIL, northern segment of RUBICON TRAIL, as identified on the PUD plan. Private streets with the exception of Rubicon Trail have been designed to a proposed alley cross section. Use of the alley requires a PUD modification to establish a criteria for the proposed alley where none exists in the LDC or ECM. See PUD modification discussion and Street Details Sheet for additional information in the proposed alley cross section.
- All private streets shall be named to El Paso/Feller County E-911 and PFRBD/Enumerations standards.
- All homes shall be addressed off the named street at the rear of the home. Addresses for all lots 1-49 shall be placed on both the front and rear of the building.
- There shall be no direct lot access to or from Carriage Meadows Dr. or Fontaine Blvd.
- No on-street parking is permitted on roadways less than 34' in width or as illustrated on the plan.
- Landscaping areas, common open space and buffers shall be owned and maintained by the Homeowner's association as described in the Tract Table and Tract Notes.
- Streets within this development provide for levels of vehicular circulation required by the Traffic Study. Sidewalks shall be provided as illustrated on the plan.
- Per the Noise Impact Study, the results of the noise prediction modeling show that in the year 2040 testing locations along Fontaine Blvd, have predicted noise levels that would exceed 67 decibels Leq. Construction/installation of six-foot-high noise barrier by the developer at the locations shown on the Noise Study drawings, is anticipated to mitigate noise impacts. If the barrier is installed according to the Study and Plan, all noise receiver locations are predicted to be below the threshold. Final ownership and maintenance of the sound wall barrier shall be the responsibility of the Lorson Ranch Metropolitan District.
- Parking shall not be permitted on driveways less than 20' in length. Driveways less than 20' in length have been designated as 'No Parking' on the plan.
- Parking and/or vehicle storage within the driveway is prohibited on Lots 1-36. See Parking Data table and Lot Details Sheets for more information.
- Lots 37-49 may utilize driveways for off-street parking. Driveways for Lots 37-49 have been designed with a minimum length of 20' in support of use for off-street parking.

### PARKING TABLE:

NUMBER OF LOTS: 49	SPACES/UNIT	SPACES REQUIRED	SPACES PROVIDED
SINGLE-FAMILY ATTACHED	2 / DU	98	98 (va 2 car attached garages)
GUEST SPACES	1 SPACE / 4 UNITS	13 SPACES (49/4=12.25)	18
ACCESSIBLE SPACES	1 ADA / 25 SPACES	2	5
<b>TOTAL:</b>		<b>113</b>	<b>121 PARKING SPACES</b>

NOTE: Lot Nos. 37-49 have 20' long driveways which provide 2 additional parking spaces for each respective lot. This additional parking has not been identified to meet any parking requirements of the Code or this PUD. The use of driveways less than 20' is prohibited as depicted and designated on this PUD Plan.

### SIDEWALKS:

- Sidewalks depicted as encroaching into individual townhome lots are for accessibility purposes associated with the affected lot or to provide adequate external pedestrian destinations and circulation. All lots thus affected will be platting with a sidewalk easement for the purposes of granting public access and identifying the maintenance obligations of the Homeowner's Association.
- Sidewalks have been identified as extending to individual townhome lots. These depictions are for informational purposes only. Final locations of sidewalk extensions into the individual lots will be determined at the time of site plan approval.
- Developments within a Planned Unit Development (PUD) zoning district shall be required to design and construct sidewalks to a thickness of five inches (5') for all sidewalks along the entire length of any roadway from which temporary or permanent access will be provided unless an alternative thickness is approved by the Board of County Commissioners as an element of the associated PUD development standards.
- Under no circumstances shall any sidewalk be designed and constructed to a thickness of less than four inches (4"). All other sidewalks within a PUD zoning district (e.g., sidewalks in common areas, sidewalks along identified school parcels, sidewalks in open space, etc.) may be designed and constructed to a thickness of five inches (5') but may, at the developer's discretion, be reduced to a thickness no less than four inches (4").

that should be 6 if over 100 spaces than 6

this does not match the easements notes... or modification requested.

5" inches along all roadways- private or public

### LAND USE:

CURRENT ZONING:	PUD (PLANNED UNIT DEVELOPMENT) RMH RESIDENTIAL MEDIUM HIGH TARGET DENSITY 1.0-1.3 DU/ AC
CURRENT LAND USE:	VACANT/ UNDEVELOPED
PROPOSED LAND USE:	SINGLE-FAMILY ATTACHED RESIDENTIAL WITH THREE (3) + FOUR (4) UNIT TOWNHOME STRUCTURES; LANDSCAPE, DRAINAGE, & UTILITY TRACTS/EASEMENTS; OPEN SPACE; TRAIL CORRIDORS & PEDESTRIAN FACILITIES; DRAINAGE FACILITIES; AND SIGNAGE

### SITE DATA TABLE:

TOTAL SITE ACREAGE	5.4 AC
PROPOSED SINGLE-FAMILY ATTACHED DWELLING UNITS	49 D.U.
FINAL PROPOSED (GROSS) DENSITY	9.07 D.U./AC.
FINAL PROPOSED (NET) DENSITY	9.83 D.U./AC.
PLANNED TARGET DENSITY RANGE	1.0-1.3 D.U./AC.

remove this planned target... This is the PUD and the density is proposed at 9.83

### LAND USE TABLE:

TYPE OF USE	# ACRES PROVIDED	% OF PROPERTY
SINGLE-FAMILY ATTACHED RESIDENTIAL (49 LOTS)	1.68 AC	31.11%
LANDSCAPE	1.36 AC	25.19%
OPEN SPACE	1.02 AC	18.89%
PUBLIC STREETS (ROW DEDICATED WITH FUTURE PLAT)	0.42 AC	7.78%
PRIVATE STREETS	0.95 AC	17.59%
<b>TOTAL</b>	<b>5.4 AC</b>	<b>100%</b>

NOTE: TOTAL OPEN SPACE REQUIRED IS 15% OF TOTAL ACREAGE, 5.4 AC X .15 = 0.81 ACRES  
TOTAL OPEN SPACE PROVIDED IS 18.89% = 1.02 ACRES

### PUD MODIFICATIONS

- A PUD Modification of Section 6.4.4.C.4.E (Public Roads Required & Private Road Allowances) of the EPC Land Development Code to permit the use of private roads subject to the PUD process. The use of the private roads requires authorization by the PUD and approval by the BOCC. Private roads will be constructed with a modified design in accordance with the modification approval process.
- A PUD Modification is required to establish a cross section for use as private alley where no standard or cross section exists. The PUD includes a request for authorization to use private roads. A design modification is requested to establish a private road cross section and standard for use in the development. A detail of the cross section is provided in the details section of this Plan.
- A PUD modification of Section 6.6.C.1.g Blanket Utility Easements Prohibited is required to provide MVEA requested utility easements over Tracts 'A' through 'R', inclusively, in lieu of typical 5' side and 7' rear yard utility easements.

Does that means no other utilities can use...?

so the lots have the 5' side and 7' rear for other utilities?

### ARCHITECTURAL CONTROL COMMITTEE REVIEW

Individual Unit build out, design, and architectural style shall be in accordance to architectural control committee rules and regulations of the Lorson Ranch Metro District CCR's as well as the Declaration of Covenants, Conditions and Restrictions for Lorson Ranch, and the Lorson Ranch Design Guidelines. Please visit: www.lorsonranch.com for more information regarding review and approval by the architectural control committee.

8.4.6.C-

### Land Owner Certification

In Witness Whereof: The aforementioned Lorson LLC as Nominee has executed these presents this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_ A.D. Lorson LLC as Nominee for Heidi LLC, a Colorado Limited Liability Company

Authorized Agent, Manager

STATE OF COLORADO )  
 )SS.  
EL PASO COUNTY )

The above and foregoing statement was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_ A.D. by \_\_\_\_\_ Witness my Hand and SEAL:

Notary Public \_\_\_\_\_ My Commission Expires: \_\_\_\_\_

### County Certification

This rezoning request to PUD has been reviewed and found to be complete and in accordance with the (Board resolution or motion # \_\_\_\_\_ and date \_\_\_\_\_) approving the PUD and all applicable El Paso County regulations.

Chair, Board of County Commissioners \_\_\_\_\_ Date \_\_\_\_\_  
Director, Planning and Community Development \_\_\_\_\_ Date \_\_\_\_\_

### Clerk and Recorder Certification

STATE OF COLORADO )  
 )SS.  
EL PASO COUNTY )

I hereby certify that this Plan was filed in my office on this \_\_\_\_\_ of \_\_\_\_\_ 20\_\_ at \_\_\_\_\_ o'clock a.m./p.m. and was recorded per Reception No. \_\_\_\_\_.

El Paso County Clerk and Recorder

### SHEET INDEX:

P1	PUD COVER SHEET
P2	TRACT TABLE
P3	PUD LOT DETAILS
P4	PUD STREET, FENCE, SIGN DETAILS
P5-P	PUD DEVELOPMENT PLAN
L1-4	LANDSCAPE PLAN

PCD FILE NO.: PUDSP-19-5



CARRIAGE MEADOWS SOUTH AT LORSON RANCH FIL NO. 2 PUD & PRELIMINARY PLAN El Paso County, Colorado

STAMP:

REV #	REVISIONS	DATE
1	1ST COMMENT REVIEW REVISIONS	04.08.19
2	2ND COMMENT REVIEW REVISIONS	08.16.19
3	3RD COMMENT REVIEW REVISIONS	10.21.19
4		
5		
6		

DESIGNED	STB	DATE	AS NOTED
DRAWN	STB	04.11.19	
CHECKED	JEH	04.11.19	
PROJECT NUMBER:		2816.06	
SCALE:			

PUD COVER SHEET & DETAILS P1 OF 10



# LORSON RANCH

## CARRIAGE MEADOWS SOUTH AT LORSON RANCH FILING 2

A TRACT OF LAND LOCATED IN A PORTION OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 22 AND A PORTION OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 23, ALL IN TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO

### TRACT MAP



### TRACT TABLE

TRACT	SIZE	OPEN SPACE	LANDSCAPING	SIGNAGE/ PUBLIC IMPROVEMENTS	DRAINAGE/ DETENTION	PRIVATE DRIVE/ PARKING	PUBLIC UTILITES	OWNED BY	MAINTAINED BY
A	2,257 SF	X	X	X	X		X	HOA	HOA
B	1,342 SF	X	X	X	X		X	HOA	HOA
C	7,043 SF	X	X	X	X		X	HOA	HOA
D	945 SF	X	X	X	X		X	HOA	HOA
E	2,835 SF	X	X	X	X		X	HOA	HOA
F	2,638 SF	X	X	X	X		X	HOA	HOA
G	11,892 SF	X	X	X	X		X	HOA	HOA
H	10,414 SF	X	X	X	X		X	HOA	HOA
I	5,237 SF	X	X	X	X		X	HOA	HOA
J	12,923 SF		X	X	X		X	HOA	HOA
K	1,267 SF		X	X	X		X	HOA	HOA
L	262 SF		X	X	X		X	HOA	HOA
M	40,151 SF		X	X	X		X	HOA	HOA
N	3,037 SF		X	X	X		X	HOA	HOA
O	1,521 SF		X	X	X		X	HOA	HOA
P	24,431 SF		X	X	X	X	X	LRMD	LRMD
Q	11,400 SF		X	X	X	X	X	LRMD	LRMD
R	5,579 SF		X	X	X	X	X	LRMD	LRMD

TOTAL TRACT AREA: 145,174 SF (3.33 AC)

TOTAL OPEN SPACE TRACT AREA (TRACTS A THROUGH I): 44,603 SF (1.02 AC)

LRMD= LORSON RANCH METROPOLITAN DISTRICT  
HOA= CARRIAGE MEADOWS SOUTH FILING NO. 2 HOMEOWNER'S ASSOCIATION  
'X'= DENOTES PERMITTED USE WITHIN DESIGNATED TRACTS

sidewalk (pedestrian easements along the private roads that cross over lots)

### TRACTS DEVELOPMENT STANDARDS AND GUIDELINES

- Residential Use Standards:
- Permitted Tract Uses Include: Access (ingress/egress), mail kiosks, development signage, fencing, utilities, stormwater facilities, drainage improvements, open space and landscape improvements, parks and associated park related equipment, trail corridors, pedestrian walkways & sidewalks.
  - Tracts 'A' through 'R' inclusive, shall be platted with blanket utility easements to allow respective utility providers flexibility in designing planned infrastructure and service lines within the proposed tracts. All utility design shall be coordinated with the respective utility service provider and subject to review by the Planning and Community Development Department for compliance with established LDC and ECM criteria regarding the design and location of utility service lines and associated appurtenances. Utility providers include: Mountain View Electric Association (MVEA), Black Hills Energy, and Widefield Water & Sanitation District. All entities have reviewed this PUD with respect to:
  - Open space tracts shall be setback a minimum 10' from residential structures.
  - All open space amenities, including outdoor furniture and associated equipment, shall be owned and maintained by the Carriage Meadows South Filing No. 2 Homeowner's Association.
  - Private Alley (ingress/egress): the following tracts are designated for use as private alleys to provide access to rear loaded garages attached to each townhome unit. Private alleys shall be constructed to the private alley cross section located on the Street/Road detail sheet of this Plan. The use of private roads within the PUD requires authorization by the BOCC. The use of a modified alley cross section in the absence of a standard in the ECM requires recommendation by the ECM and LDC administrators and authorization by the BOCC.
  - The following Tracts have been planned for use as private alley ways (private streets) and will be owner and maintained by the Lorson Ranch Metropolitan District:
    - Tract P: Private extension of Rubicon Drive (public street) from Firesteel Drive intersection, northward.
    - Tract Q: Tolt Trail, Chagnn Trail
    - Tract R: Paluxy Trail
    - Parking is prohibited on Tracts except planned/stripped guest parking areas and where driveways are a 20' in length.
  - Roadway Landscape Buffers:
    - Fontaine Boulevard: A Twenty-five-foot (25) landscape buffer adjacent to Fontaine Blvd for arterial road/street landscaping and buffering. Required roadway trees to be installed within the buffer at a ratio of 1/20 feet of linear frontage.
    - Carriage Meadows Drive: A Fifteen-foot (15) roadway landscape buffer against collector road/street classification of Carriage Meadows Blvd against the western PUD edge. Required roadway trees to be installed within the buffer at a ratio of 1/30 feet of linear frontage.
  - Zoning District Boundary Landscape Buffer: A Fifteen-foot (15') zoning district landscape buffer to buffer against the planned townhome community (multifamily) and single-family residential uses locate in Filing No. 1 Adjacent to the southern PUD boundary. Filing (single-family zone) located at the project's southern property boundary. Required landscape buffer trees is 1/30 linear feet of affected property boundary.
  - Landscaping located within existing or planned public rights-of-way shall be subject to a license agreement for private improvements in the public right-of-way.

### OPEN SPACE TRACTS

Since you have this here remove from accessory uses- these uses are the principle allowed uses in the tracts...

- 1.02 AC, or 18.9% of the 5.4 AC site has been designated as open space to meet the PUD and multifamily open space requirements of the Code. Open space meeting this requirement has been designated within Tract A, Tract B, Tract C, Tract D, Tract E, Tract F, Tract G, Tract H, and Tract I, inclusively. Remaining Tracts 'J' through 'R' permit landscaping, but are not included in the PUD open space requirement calculations.
- Areas of Required Landscaping:
  - Fontaine Boulevard streetscape
  - Carriage Meadows Drive streetscape
  - Zoning district boundary between planned townhome development and single-family residential (Carriage Meadows South at Lorson Ranch Filing No. 1).
  - Multi-family housing internal landscaping/open space requirements (15% internal landscaping).
- Open space tracts shall be setback a minimum 10' from residential structures.
- All open space amenities, including outdoor furniture and associated equipment, shall be owned and maintained by the Carriage Meadows South Filing No. 2 Homeowner's Association
- Open Space amenities may include:
  - Bike racks
  - Outdoor seating areas
  - Pedestrian safety lights (blue light)
  - Trail/open space legend
  - Pedestrian amenities
  - Paving enhancements around outdoor amenities (stamped, stained, colored, painted, etched, etc...)
  - Other pedestrian/outdoor furniture amenities consistent with approved intent and purpose of this PUD and identified details provided herein. Introduction of additional outdoor/pedestrian amenities not listed or otherwise identified herein, shall be subject to determination of consistency by the PCD Director, and subject to PUD amendment if it is determined that the proposed amenities are outside of the scope and/or character of approved outdoor/pedestrian amenities.

play ground equipment, gazebos

STAMP:

REV#	REVISIONS	DATE
1	1ST COMMENT REVIEW REVISIONS	04/08/19
2	2ND COMMENT REVIEW REVISIONS	08/16/19
3	3RD COMMENT REVIEW REVISIONS	10/21/19
4		
5		
6		

DESIGNED	STB	04.11.19
DRAWN	STB	04.11.19
CHECKED	JH	04.11.19
PROJECT NUMBER		2816.06
SCALE:		AS NOTED

### TRACT DETAILS

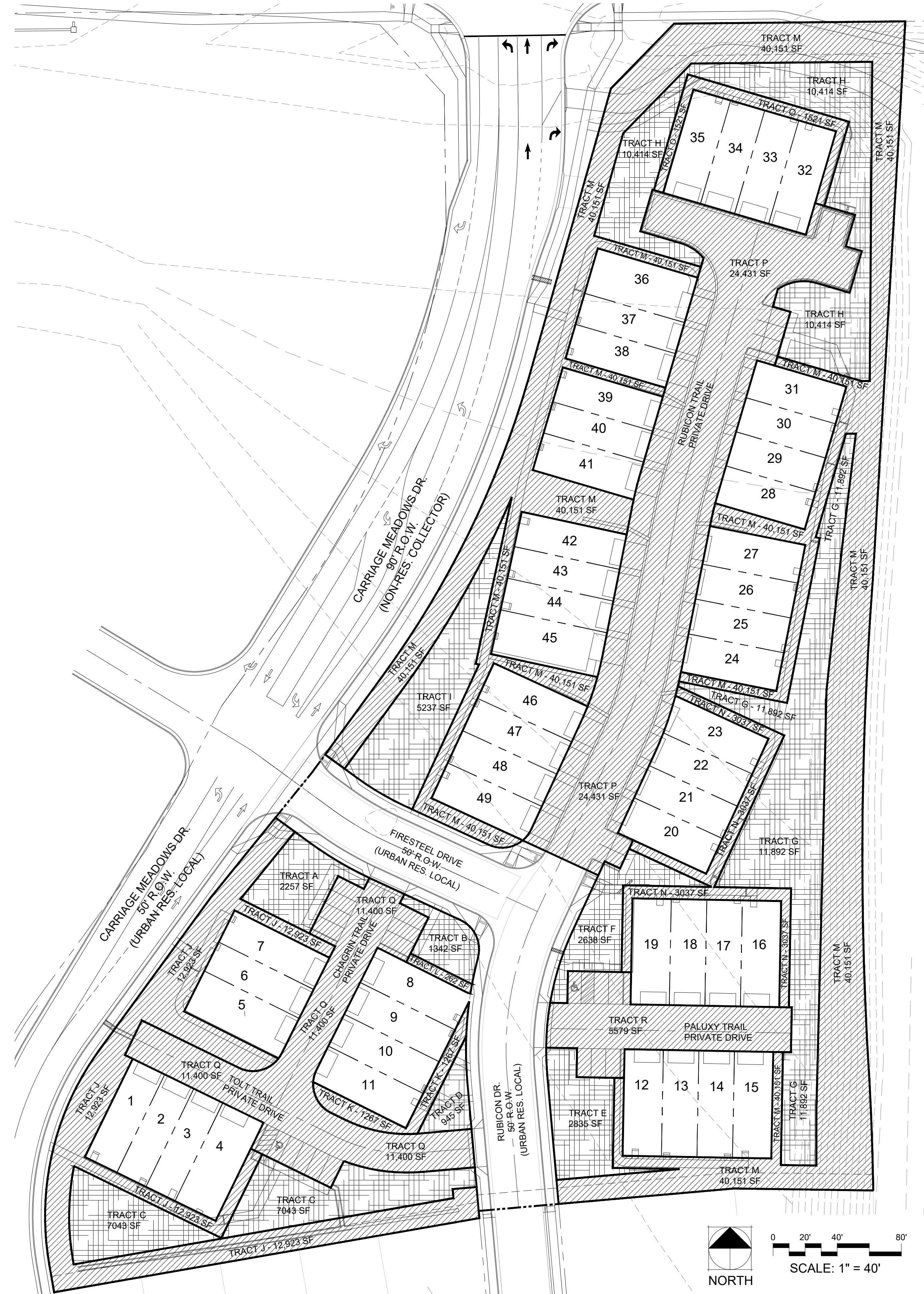


# LORSON RANCH

## CARRIAGE MEADOWS SOUTH AT LORSON RANCH FILING 2

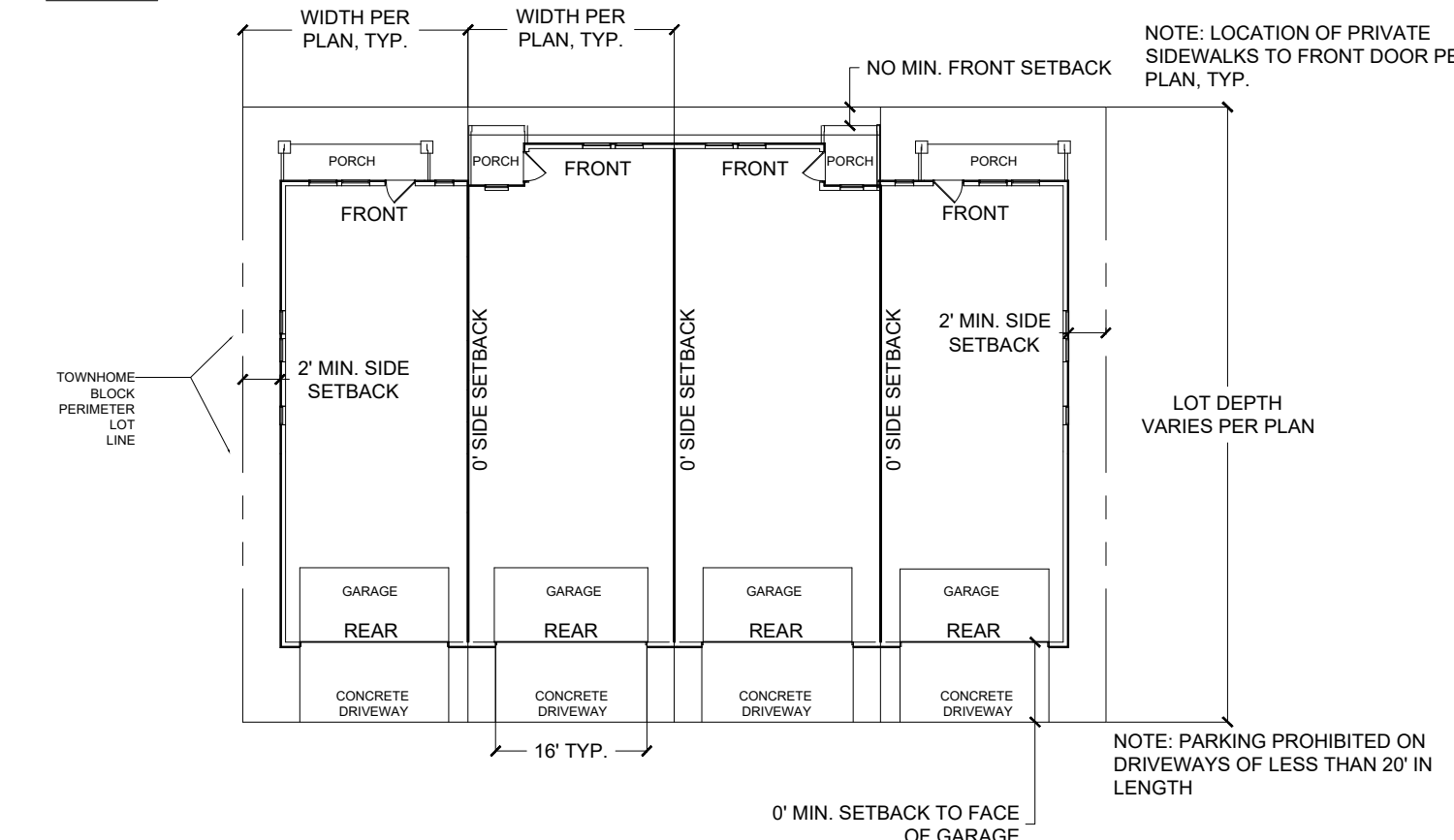
A TRACT OF LAND LOCATED IN A PORTION OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 22 AND A PORTION OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 23, ALL IN TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO

### TRACT MAP

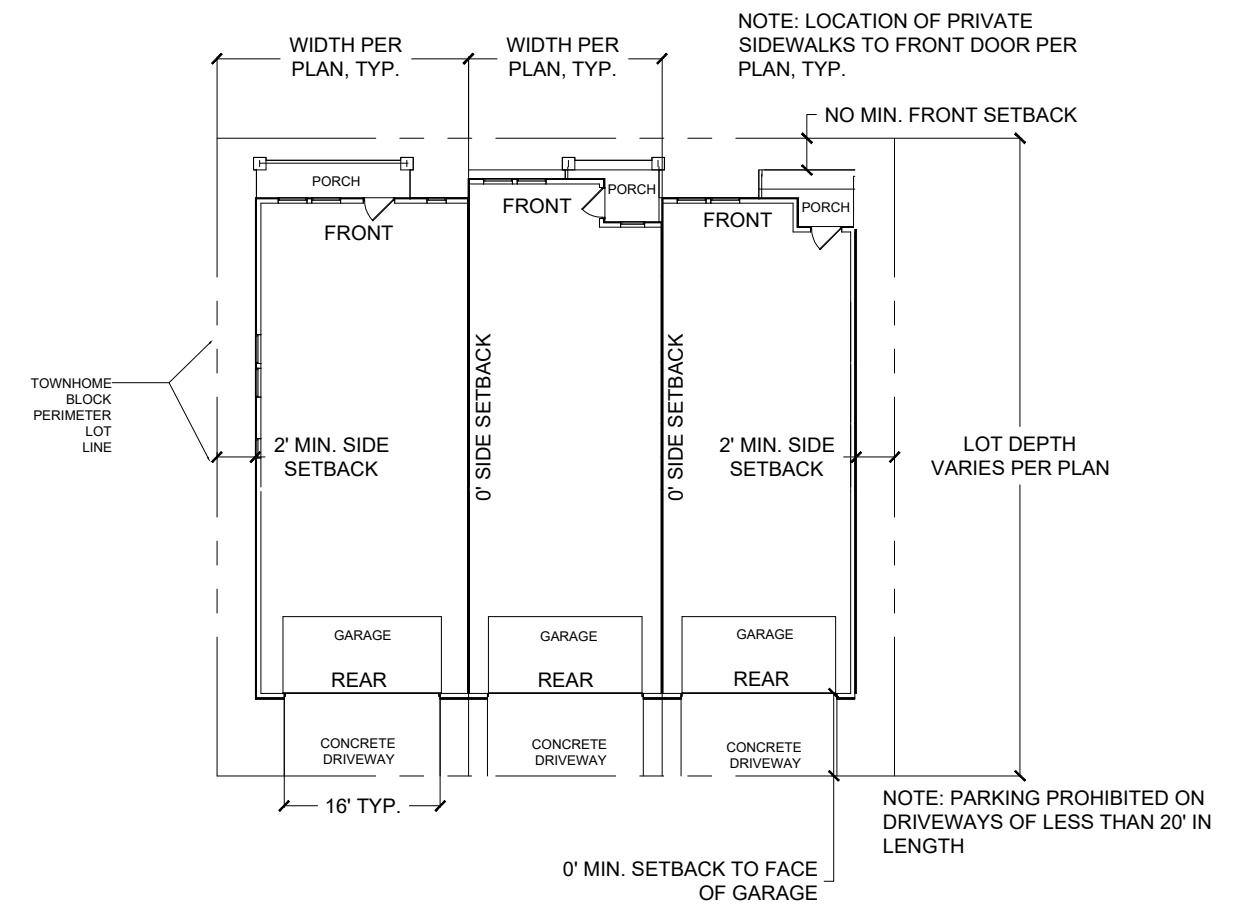


### TYPICAL LOT DIAGRAMS

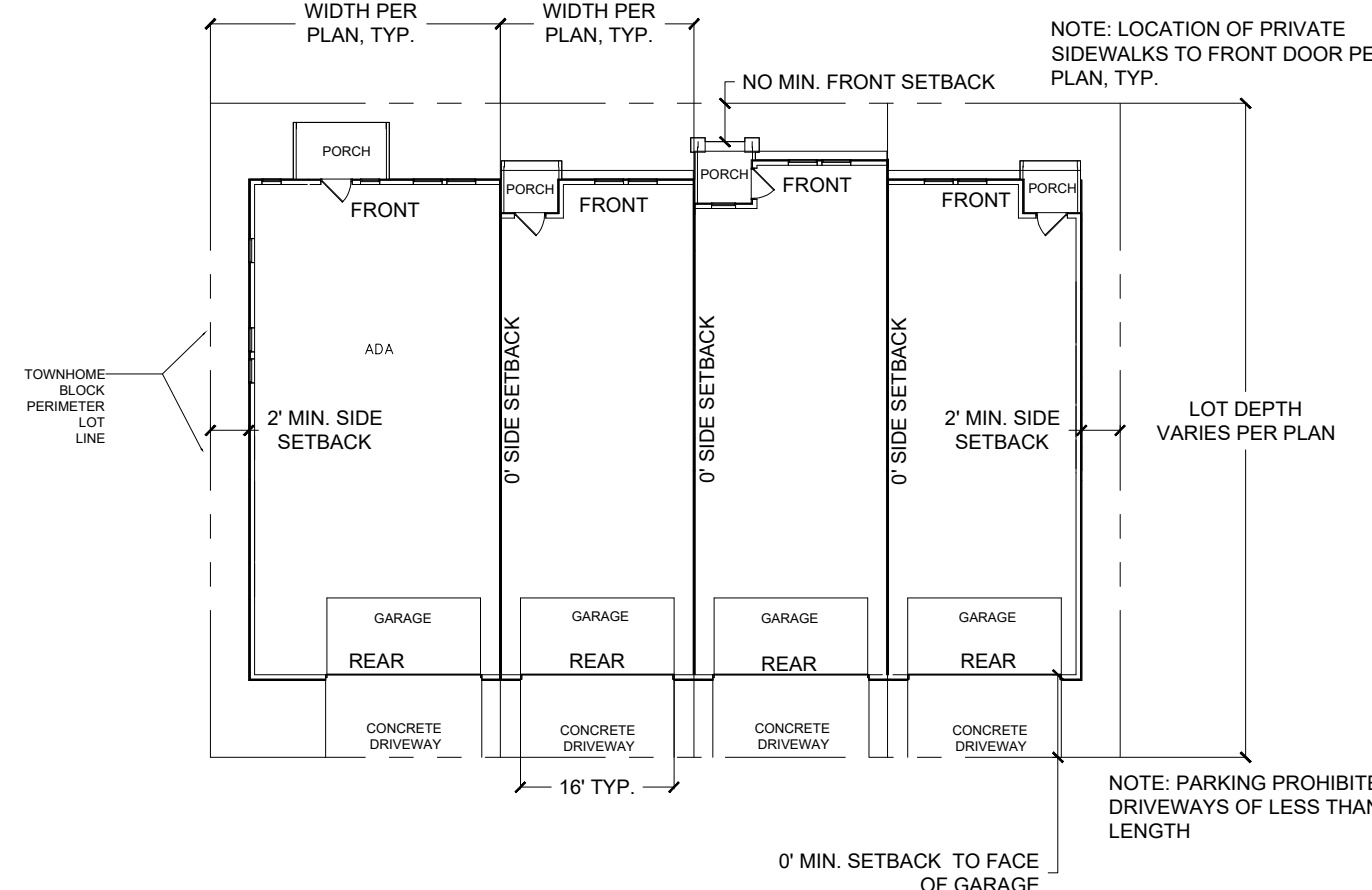
LOTS: 8-35, 46-49



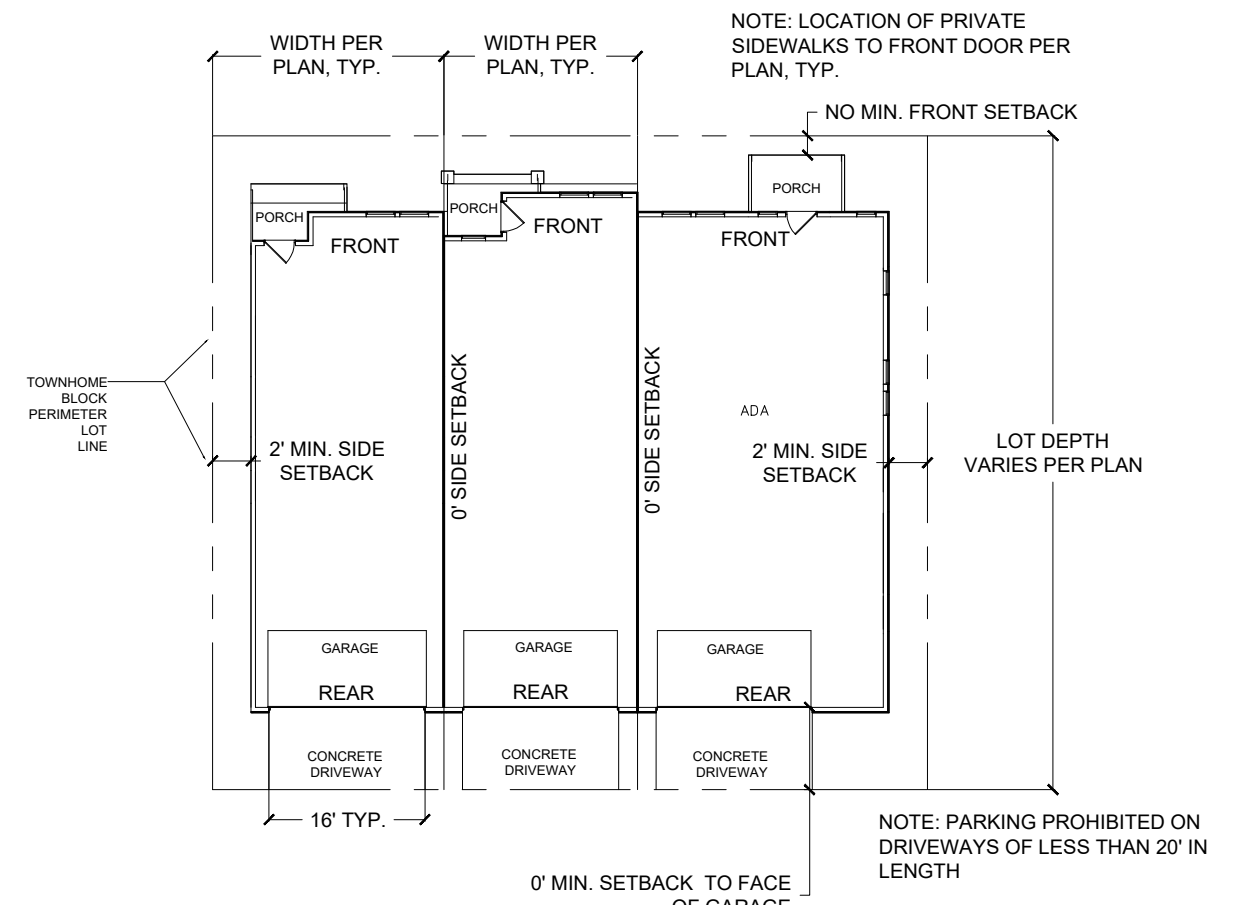
LOTS: 39-41



LOTS: 1-4, 42-45



LOTS: 5-7, 36-38



NOTE: ALL TOWNHOME BUILDING GROUPS ARE SEPARATED TEN FEET (10') FROM ADJACENT OPEN SPACE TRACTS BY LANDSCAPE TRACT NOS. J THROUGH O. SAID OPEN SPACE TRACTS AND/OR PORTIONS THEREOF PROVIDE REQUIRED TEN FOOT (10') BUFFER/SETBACKS BETWEEN PLANNED BUILDINGS AND ADJACENT OPEN SPACE TRACTS. SEE TRACT TABLE AND DETAILS FOR ADDITIONAL INFORMATION.

#### PARKING TABLE:

NUMBER OF LOTS: 49	SPACES/UNIT	SPACES REQUIRED	SPACES PROVIDED
SINGLE-FAMILY ATTACHED	2 / DU	98	98 (via 2 car attached garages)
GUEST SPACES	1 SPACE / 4 UNITS	13 SPACES (49/4 = 12.25)	18
ADA / 25 SPACES	5	5	5
TOTAL:		116	121 PARKING SPACES

NOTE: Lot Nos. 37-49 have 20' long driveways which provide 2 additional parking spaces for each respective lot. This additional parking has not been identified to meet any parking requirements of the Code or this PUD. The use of driveways less than 20' is prohibited as depicted and designated on this PUD Plan.

#### Driveways & Parking

- All planned driveways within the PUD are for the purpose of facilitating vehicular passage from private alleys and streets to the individual lots, specifically, to the designated parking areas for each lot which is located within the attached 2-car garage.
- Parking is permitted on driveways which are Twenty-foot (20') in length and have been identified on the plan.
- Parking or any form of vehicle storage is not permitted on driveways less than Twenty-feet (20') in length, as restricted by the PUD and associated notes.
- Guest and/or visitor parking has been provided via eighteen (18) designated standard visitor parking spaces together with five (5) additional ADA accessible spaces. A total of 23 guest spaces have been provided inclusive of standard and accessible spaces.

#### Lot Setback Standards:

- Front Yard: Zero (0') lot line setback
- Internal Side Yard (between units): Zero (0') lot line setback between internal property lines of townhome unit buildings
- External Unit Side Yard: Two-foot (2') side yard setback
- Rear Side Yard Setbacks:
  - Zero-foot (0') Minimum Rear Yard Setback from property line
  - Ten-foot (10') Maximum Rear Yard Setback from property line

Open Space Setbacks: All tracts designated as open space to meet PUD and multi-family open space requirements shall be setback 10' from all structures on adjacent tracts or parcels.

#### Accessory Structures:

No private accessory structures are prohibited, including, but not limited to decks, gazebos, saunas, or other accessory structures regardless of size or placement on any private lot, and exclusive of Lorson Ranch Metropolitan District structures or facilities. Placement of Metro District accessory structures may be subject to site approval by the El Paso County Planning Commission.

so if a driveway is 20-foot one can store their rv vehicle or boat?

dont repeat note on first page

STAMP:

--	--	--	--	--	--

REV#	REVISIONS	DATE
1	1ST COMMENT REVIEW REVISIONS	04/08/19
2	2ND COMMENT REVIEW REVISIONS	08/16/19
3	3RD COMMENT REVIEW REVISIONS	10/21/19
4		
5		
6		

DESIGNED	STB	04.11.19
DRAWN	STB	04.11.19
CHECKED	JH	04.11.19
PROJECT NUMBER:	2816.16	
SCALE:	AS NOTED	



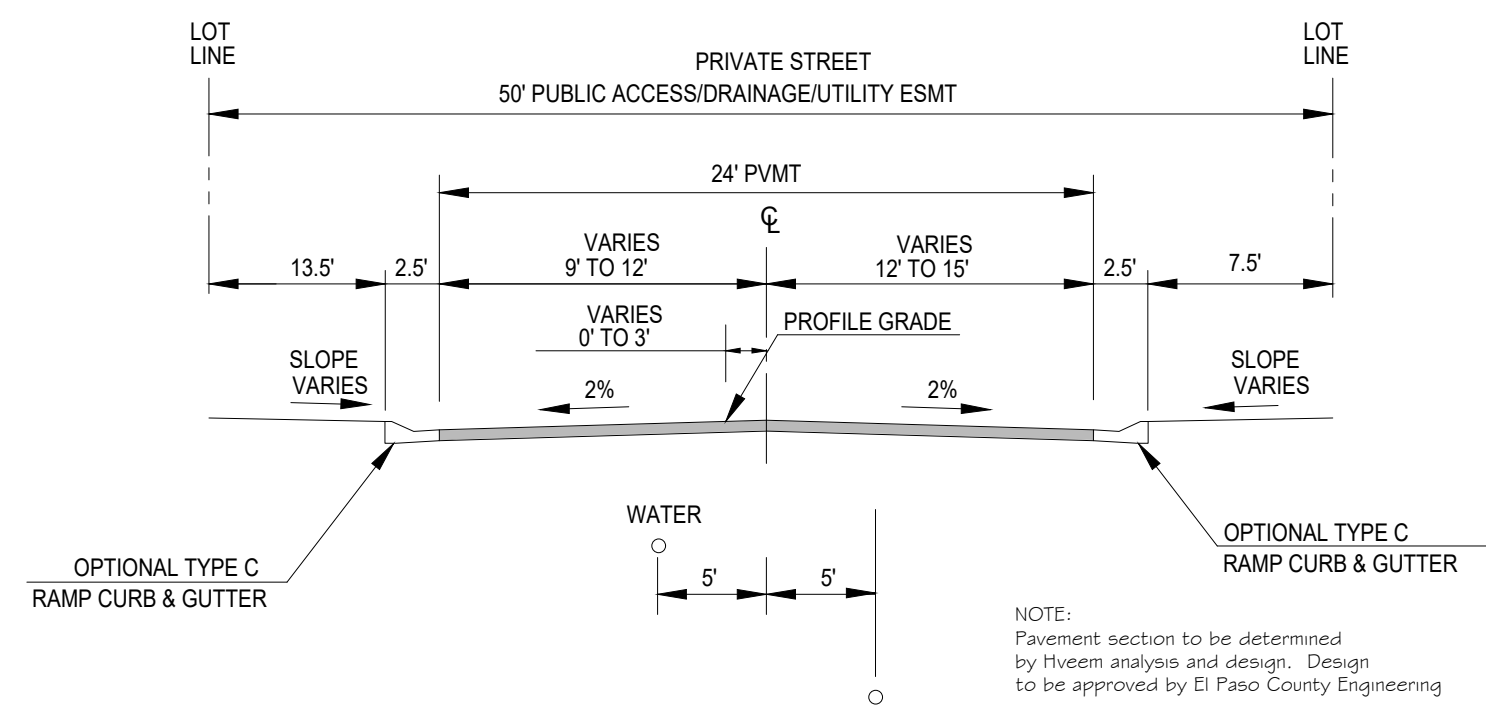
# LORSON RANCH

## CARRIAGE MEADOWS SOUTH AT LORSON RANCH FILING 2

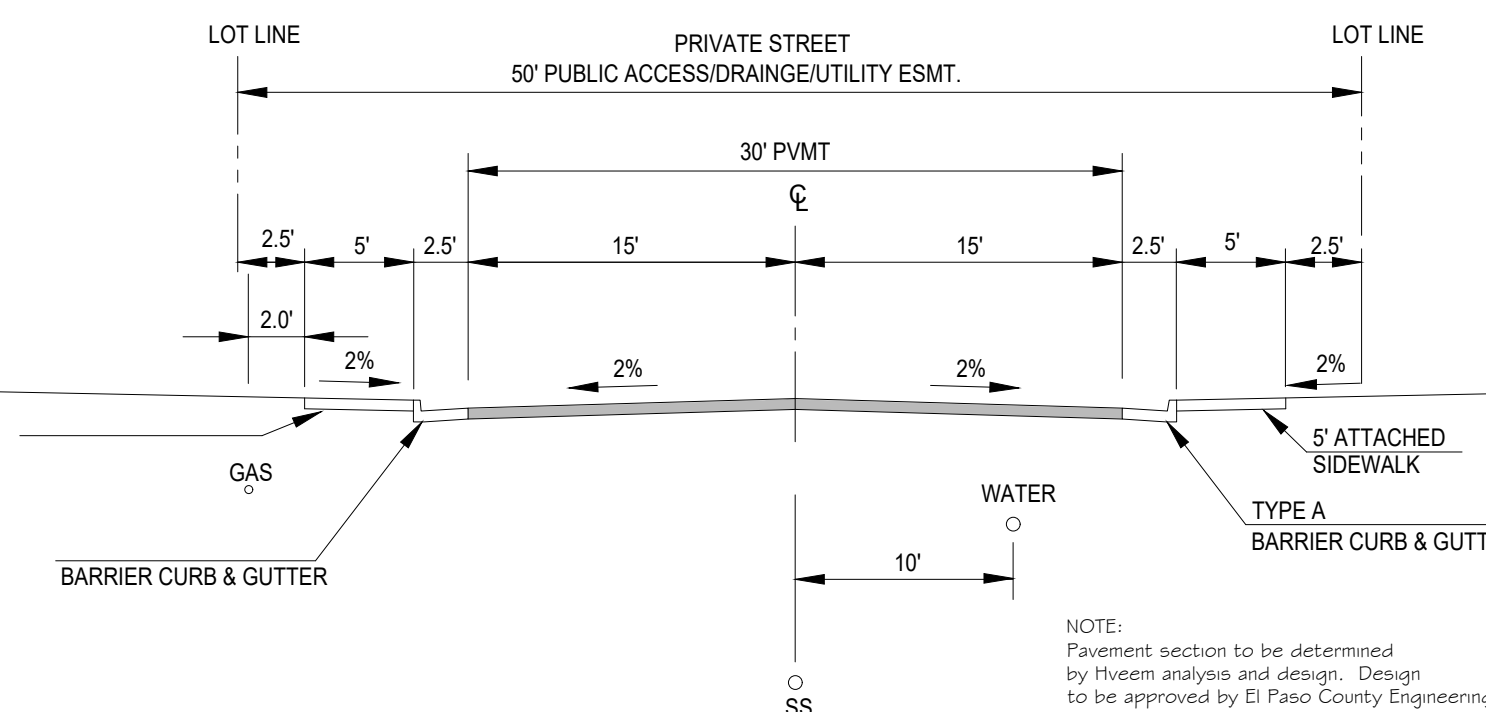
A TRACT OF LAND LOCATED IN A PORTION OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 22 AND A PORTION OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 23, ALL IN TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO

Provide all preliminary plan checklist items.

### TYPICAL STREET CROSS-SECTIONS



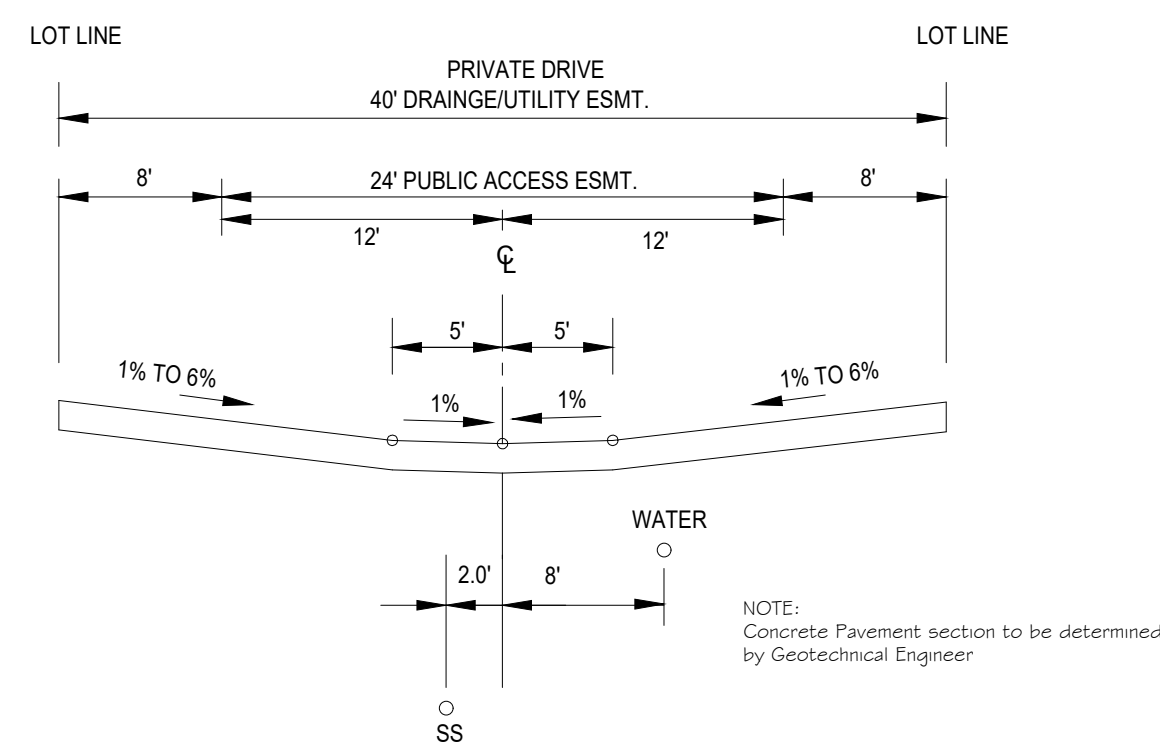
TYPICAL SECTION 50' ESMT  
RESIDENTIAL URBAN LOCAL LOW VOLUME  
NOT TO SCALE  
RUBICON TRAIL  
PRIVATE STREET SECTION



TYPICAL SECTION 50' ROW  
RESIDENTIAL URBAN LOCAL  
NOT TO SCALE  
RUBICON DRIVE (PUBLIC STREET)  
FIRESTEEL DRIVE (PUBLIC STREET)

#### PUD DESIGN MODIFICATION:

The alley cross section is presented as a PUD design modification to introduce a new cross section for use within the development subject recommendation by ECM & LDC administrators and BOCC approval. (SEE MODIFICATION JUSTIFICATION AND DISCUSSION IN LETTER OF INTENT AND PUD DEVELOPMENT PLAN COVER NOTES)



CHAGRIN TRAIL (PRIVATE STREET)  
PALUXY TRAIL (PRIVATE STREET)  
TOLT TRAIL (PRIVATE STREET)



### STREETS & DRIVEWAY DETAILS

PLANNED PUBLIC & PRIVATE ROAD IMPROVEMENTS, ROW DEDICATIONS AND ADJUSTMENTS:

- Expansion of adjacent segment of Carriage Meadows Drive from Eighty-foot (80') ROW to Ninety-feet (90')
- Proposed cross section to include required travel lanes, turn lanes, accel/decel lanes, stormwater, and pedestrian facilities to include sidewalks & associated trail corridor connections
- ROW vacation/reconfiguration to be completed in association with and/or concurrently with final plat review and approval. ROW vacation will require approval by the BOCC
- Striping for travel and turn lanes for Carriage Meadows Dr. depict future build-out conditions that will be constructed with the development of the adjacent commercial land use.

PLANNED PUBLIC ROADS INCLUDE:

- Firesteel Drive (planned public): 50' urban low volume residential local
- Rubicon Drive (planned public): 50' urban low volume residential local (extended northward from southern plan boundary to intersection with Firesteel Drive; private street north of intersection)

PRIVATE STREETS:

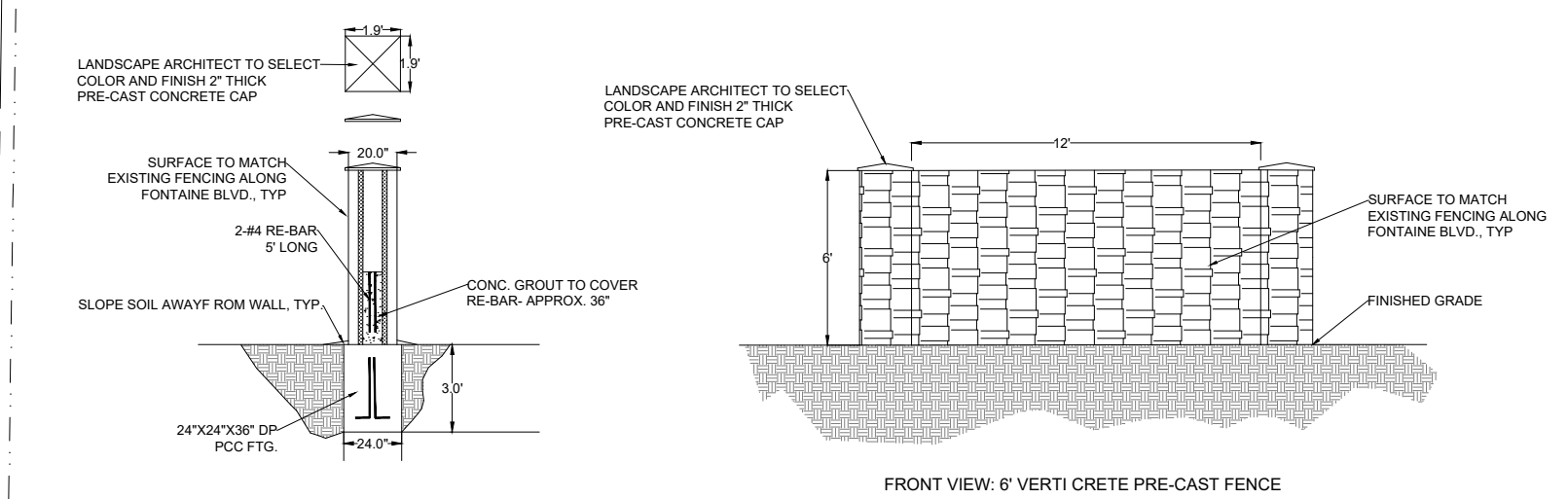
- PUD authorization for use of private roads included in request
- PUD Modifications for private road cross sections. No alley cross section is provided in the ECM; therefore, a modification is required to propose a new cross section for use an alley. (See PUD modification details for proposed alley cross section.)
- Private roads include:
  - Tolt Trail
  - Chagrin Trail
  - Paluxy Trail
  - Northern ±452 feet of Rubicon Trail (from Firesteel intersection northward)

### SIGN DETAILS (No. 1)

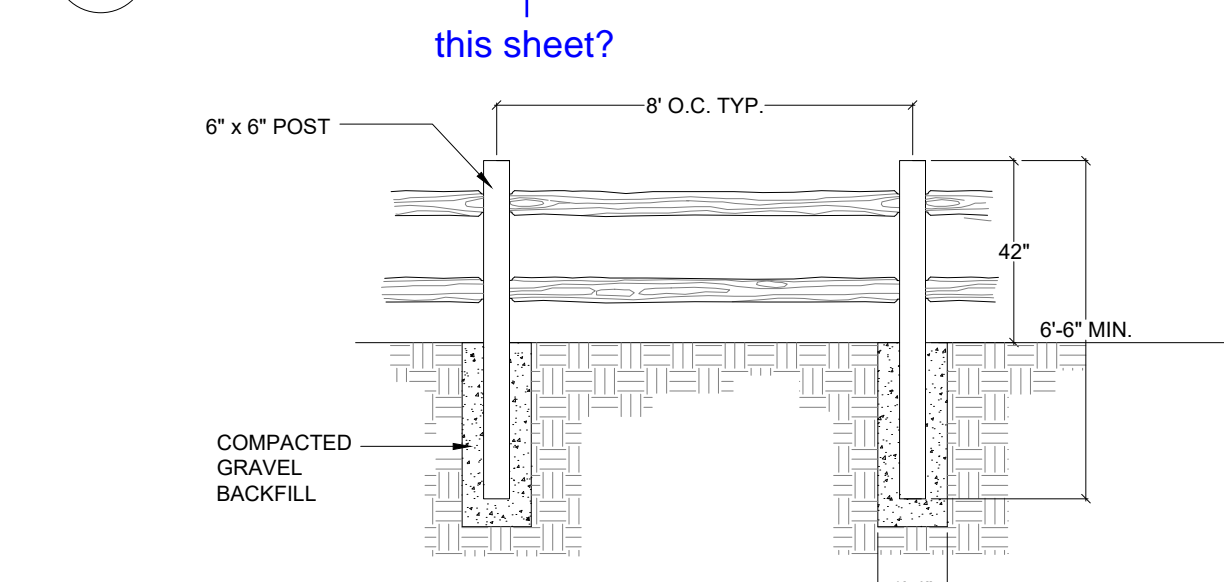


1 FIRE LANE/NO PARKING SIGN DETAIL  
NTS

### FENCING/SOUND WALL DETAILS (Nos. 2-3)



2 CONCRETE NOISE WALL DETAIL  
NTS



3 SPLIT-RAIL FENCE DETAIL  
NTS

REV#	REVISIONS	DATE
1	1ST COMMENT REVIEW REVISIONS	04.08.19
2	2ND COMMENT REVIEW REVISIONS	08.16.19
3	3RD COMMENT REVIEW REVISIONS	10.21.19
4		
5		
6		

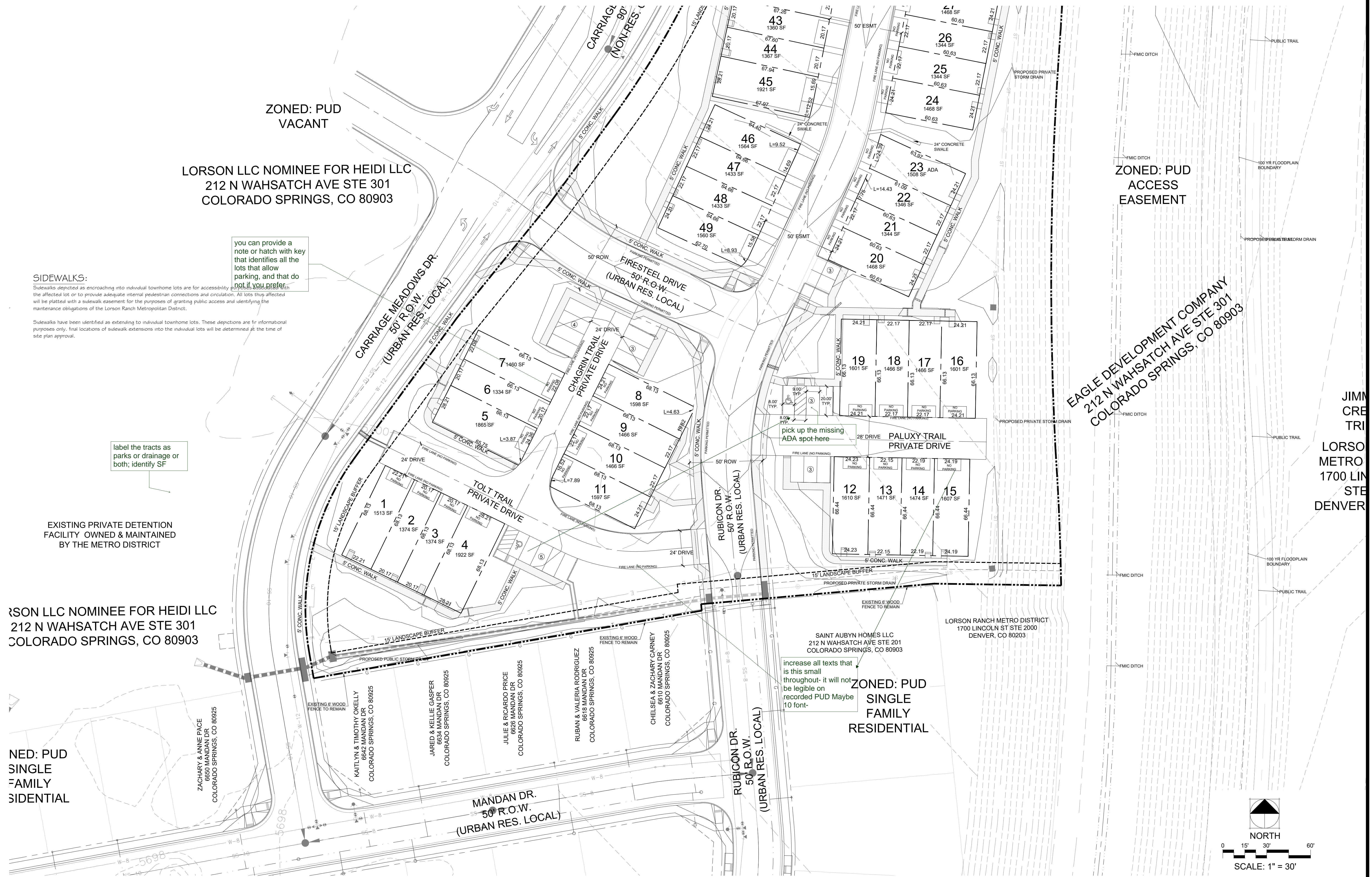
DESIGNED	STB	04.11.19
DRAWN	STB	04.11.19
CHECKED	JH	04.11.19
PROJECT NUMBER:		2816.16
SCALE:		AS NOTED



# LORSON RANCH

## CARRIAGE MEADOWS SOUTH AT LORSON RANCH FILING 2

A TRACT OF LAND LOCATED IN A PORTION OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 22 AND A PORTION OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 23, ALL IN TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH F.M., EL PASO COUNTY, COLORADO



ZONED: PUD  
VACANT

LORSON LLC NOMINEE FOR HEIDI LLC  
212 N WAHSATCH AVE STE 301  
COLORADO SPRINGS, CO 80903

you can provide a note or hatch with key that identifies all the lots that allow parking, and that do not if you prefer.

**SIDEWALKS:**

Sidewalks depicted as encroaching into individual townhome lots are for accessibility purposes only. Final locations of sidewalk extensions into the individual lots will be determined at the time of site plan approval.

Sidewalks have been identified as extending to individual townhome lots. These depictions are for informational purposes only. Final locations of sidewalk extensions into the individual lots will be determined at the time of site plan approval.

label the tracts as parks or drainage or both; identify SF

EXISTING PRIVATE DETENTION FACILITY OWNED & MAINTAINED BY THE METRO DISTRICT

LORSON LLC NOMINEE FOR HEIDI LLC  
212 N WAHSATCH AVE STE 301  
COLORADO SPRINGS, CO 80903

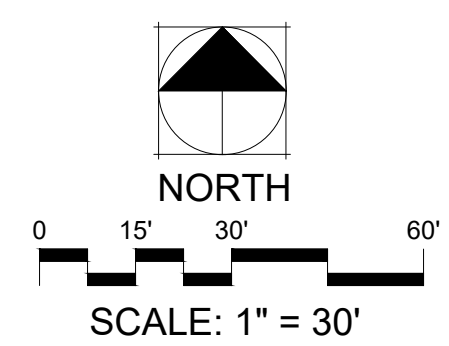
ZONED: PUD  
SINGLE  
FAMILY  
RESIDENTIAL

ZONED: PUD  
ACCESS  
EASEMENT

EAGLE DEVELOPMENT COMPANY  
212 N WAHSATCH AVE STE 301  
COLORADO SPRINGS, CO 80903

JIM CRETRI  
LORSON METRO  
1700 LINCOLN ST STE 2000  
DENVER, CO 80203

ZONED: PUD  
SINGLE  
FAMILY  
RESIDENTIAL



PCD FILE NO.: PUDSP-18-5

**Thomas+Thomas**  
planning, urban design + landscape architecture, inc.  
702 North Tejon  
Colorado Springs, Colorado 80903  
(719) 594-8777

**CARRIAGE MEADOWS SOUTH  
AT LORSON RANCH FIL 2  
PUD & PRELIMINARY PLAN**  
El Paso County, Colorado

STAMP:

REV #	REVISIONS	DATE
1		
2		
3		
4		
5		
6		

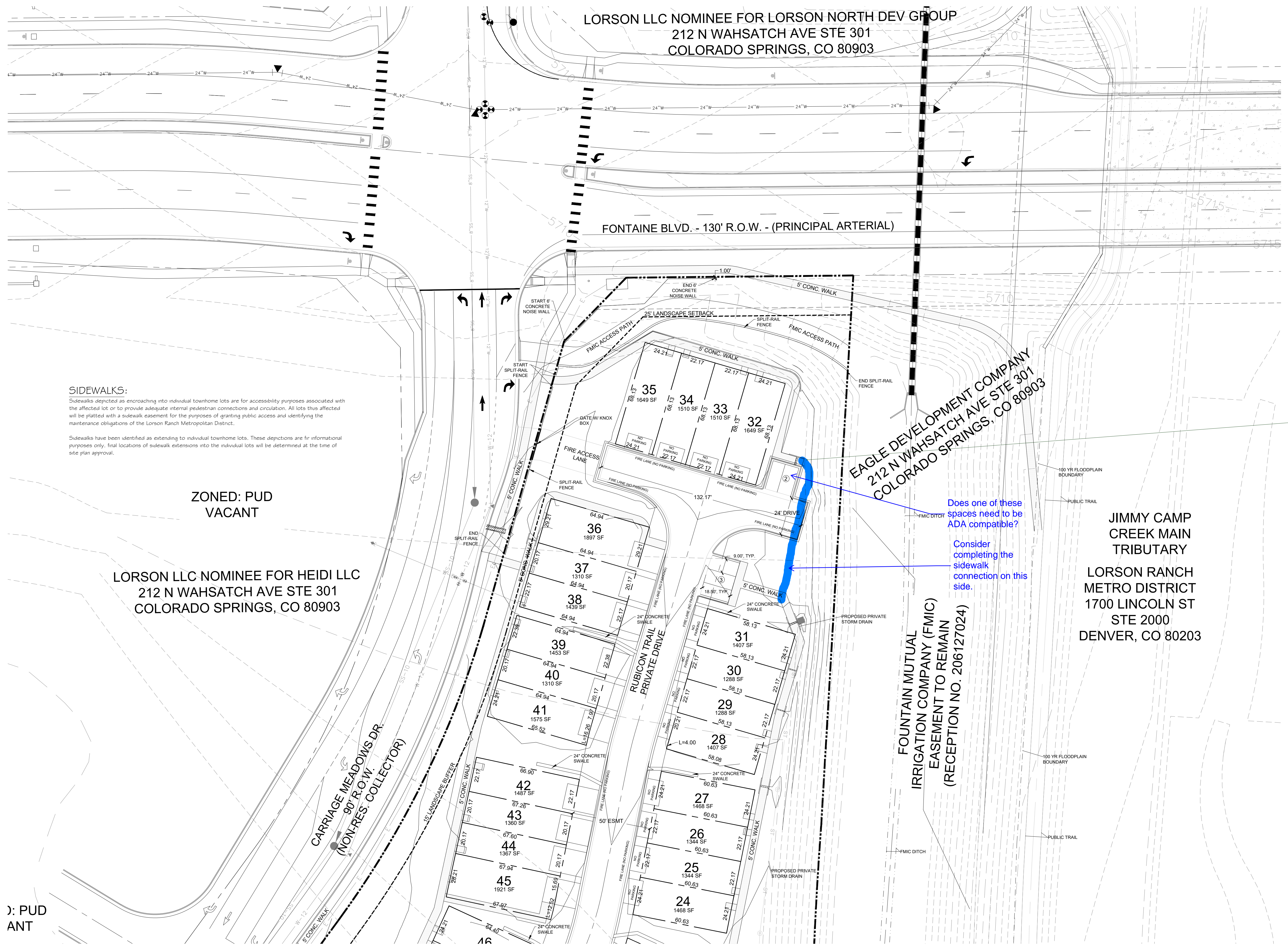
DESIGNED	STB	DATE
04.11.19 <td>STB <td>04.11.19</td> </td>	STB <td>04.11.19</td>	04.11.19
CHECKED	JH	04.11.19
PROJECT NUMBER:	2816.16	
SCALE:	AS NOTED	



# LORSON RANCH

## CARRIAGE MEADOWS SOUTH AT LORSON RANCH FILING 2

A TRACT OF LAND LOCATED IN A PORTION OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 22 AND A PORTION OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 23, ALL IN TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO



**SIDEWALKS:**

Sidewalks depicted as encroaching into individual townhome lots are for accessibility purposes associated with the affected lot or to provide adequate internal pedestrian connections and circulation. All lots thus affected will be platted with a sidewalk easement for the purposes of granting public access and identifying the maintenance obligations of the Lorson Ranch Metropolitan District.

Sidewalks have been identified as extending to individual townhome lots. These depictions are for informational purposes only. Final locations of sidewalk extensions into the individual lots will be determined at the time of site plan approval.

ZONED: PUD  
VACANT

LORSON LLC NOMINEE FOR HEIDI LLC  
212 N WAHSATCH AVE STE 301  
COLORADO SPRINGS, CO 80903

LORSON LLC NOMINEE FOR LORSON NORTH DEV GROUP  
212 N WAHSATCH AVE STE 301  
COLORADO SPRINGS, CO 80903

EAGLE DEVELOPMENT COMPANY  
212 N WAHSATCH AVE STE 301  
COLORADO SPRINGS, CO 80903

JIMMY CAMP  
CREEK MAIN  
TRIBUTARY  
LORSON RANCH  
METRO DISTRICT  
1700 LINCOLN ST  
STE 2000  
DENVER, CO 80203

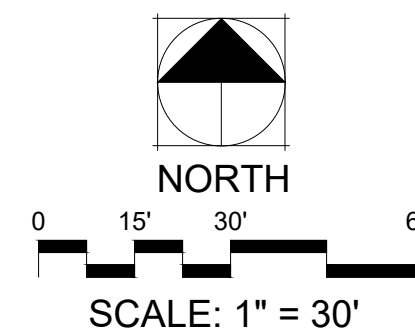
FOUNTAIN MUTUAL  
IRRIGATION COMPANY (FMIC)  
EASEMENT TO REMAIN  
(RECEPTION NO. 206127024)

Connect internal  
development to  
amenities in the  
overall community bu  
sidewalk please

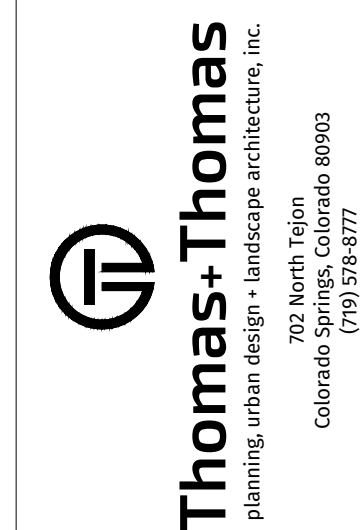
which open area is to  
be tot lot or play  
ground? Please  
identify and show  
ADA access.

Does one of these  
spaces need to be  
ADA compatible?

Consider  
completing the  
sidewalk  
connection on this  
side.



PCD FILE NO.: PUDSP-18-5



CARRIAGE MEADOWS SOUTH  
AT LORSON RANCH FIL 2  
PUD & PRELIMINARY PLAN

El Paso County, Colorado

REV#	REVISIONS	DATE
1		
2		
3		
4		
5		
6		

DESIGNED	STB	DATE
04.11.19	STB	04.11.19
CHECKED	JH	04.11.19
PROJECT NUMBER:	2816.16	

SCALE: AS NOTED

PUD  
SITE PLAN  
P5 OF 10