

LOT 5, FALCON MARKETPLACE

7575 FALCON MARKETPLACE

EL PASO COUNTY, COLORADO

DEVELOPMENT PLAN

LEGAL DESCRIPTION:

LOT 5, FALCON MARKETPLACE

FLOODPLAIN STATEMENT:

THE EFFECTIVE FLOODPLAIN ZONE A LIMITS ARE DEFINED ON THE FIRM FOR EL PASO COUNTY, COLORADO AND UNINCORPORATED AREAS, MAP NUMBER 08041C0553G, EFFECTIVE DATE DECEMBER 7, 2018.

A LOMR TO MODIFY THE FLOODPLAIN HAS BEEN APPROVED BY FEMA, CASE NO. 21-08-0534P (OCT 7, 2021) WITH AN EFFECTIVE DATE OF FEBRUARY 22, 2022.

ADA DESIGN PROFESSIONAL STANDARDS:

1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARD AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE.
2. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
3. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

NOTES:

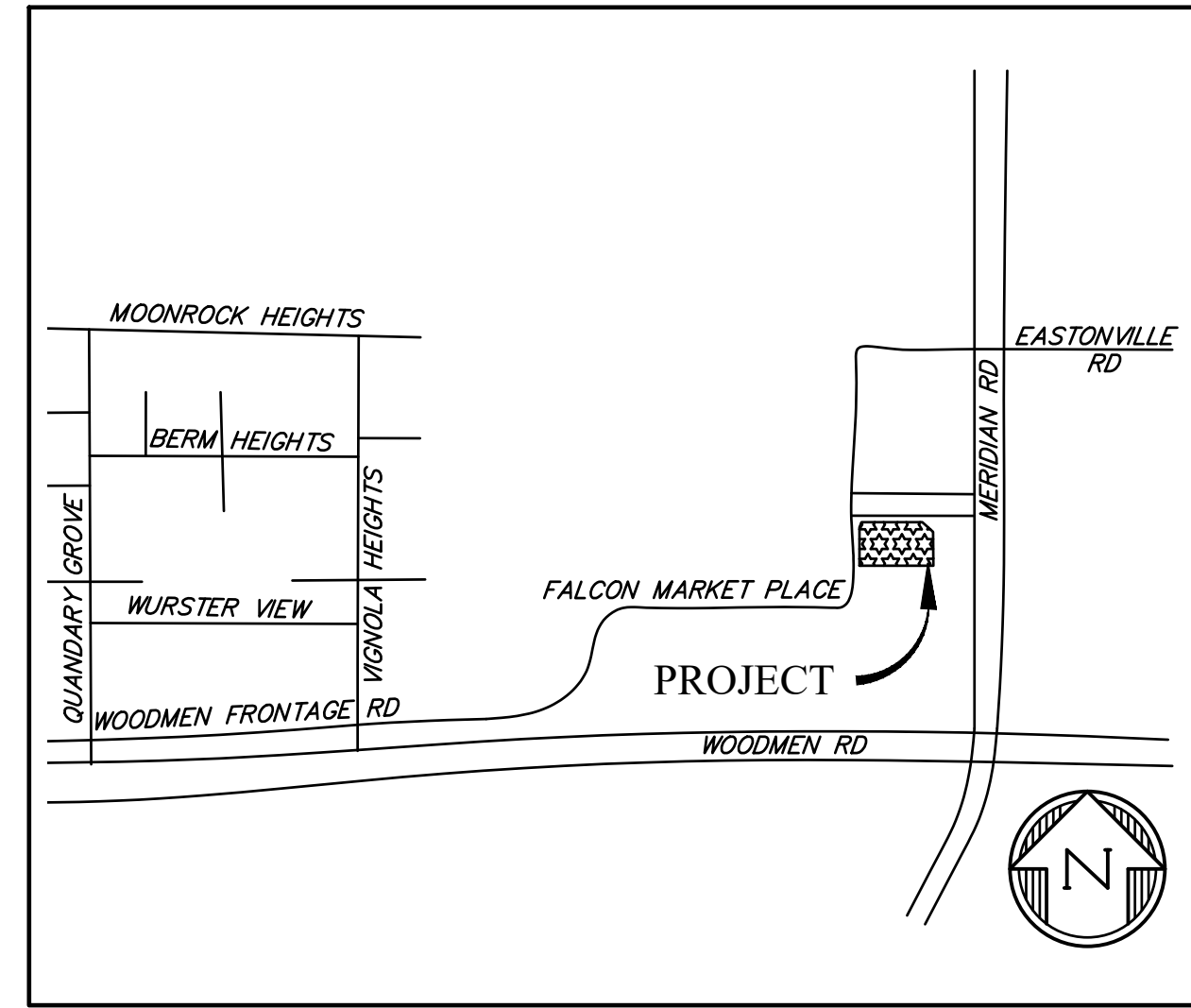
1. A SEPARATE SIGN PERMIT IS REQUIRED.
2. ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS.
3. THE ADA PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50) (2 PERCENT) IN ALL DIRECTIONS.

GENERAL NOTES:

1. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS.
2. THE GENERAL DRAINAGE PATTERNS ARE TO THE SOUTHERLY DIRECTION.
3. THIS DEVELOPMENT IS PROPOSED IN ONE PHASE.
4. LANDSCAPE MAINTENANCE OF THE PROPERTY IS THE OWNER'S RESPONSIBILITY.
5. ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.
6. ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS ARE TO BE CONSTRUCTED WITH TYPE 3 CURB AND GUTTER.

APPROXIMATE SCHEDULE OF DEVELOPMENT:

BEGIN SPRING 2022 COMPLETE SUMMER 2022



VICINITY MAP
NTS

SITE/BUILDING DATA:

OWNER/CONTRACTOR: TRIPOD VENTURES, LLC
 6050 STETSON HILLS BLVD #295
 COLORADO SPRINGS, CO 80923
 CONTACT: TIM D. MCCONNELL, P.E.
 (719) 217-7279
 BOULDER • COLORADO SPRINGS • GREELEY

TAX SCHEDULE NUMBER: 5301403001

DEVELOPMENT PLAN/LOT AREA: 0.781 AC +/-
 LOT AREA COVERAGE: 76.5% (0.61 AC.)
 OPEN SPACE: 8.95%
 LANDSCAPING: 14.55%
 IMPERMEABLE SURFACE: 76.5%

ZONING: (EXISTING & PROPOSED) CR

LAND USE: DRIVE-IN/FAST FOOD RESTAURANT

DRAINAGE BASIN: FALCON

BUILDING CONSTRUCTION TYPE: V, SPRINKLED

BUILDING AREA: 3,146 SF

BUILDING HEIGHT:
 ALLOWED: 50'
 PROPOSED: 24'

BUILDING SETBACKS:
 FRONT: EXISTING & PROPOSED 25'
 SIDE: EXISTING & PROPOSED 25'
 REAR: EXISTING & PROPOSED 25'

PARKING:

TOTAL REQUIRED: 1 PER 100 = 31
 FAST FOOD RESTAURANT: 1 PER 25 = 2
 ADA STALLS: 2
 TOTAL PROPOSED: 30

SHEET INDEX

SHT1 CV DEVELOPMENT PLAN COVER SHEET
 SHT2 USP UTILITY & SITE PLAN

PREPARED BY:



CLIENT:

TRIPOD VENTURES

6050 STETSON HILLS BLVD.,
 STE #295
 COLORADO SPRINGS, CO 80923
 (719) 217-7279
 KGERSTNER@TRIPODUSA.com

CONSTRUCTION PLANS FOR:
**LOT 5, FALCON
 MARKETPLACE**
 EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	01/07/2022
LATEST ISSUE	04/13/2022

DESIGNED BY: KGV
 DRAWN BY: SDM
 CHECKED BY: TDM
 FILE NAME: 20988-10-CV

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

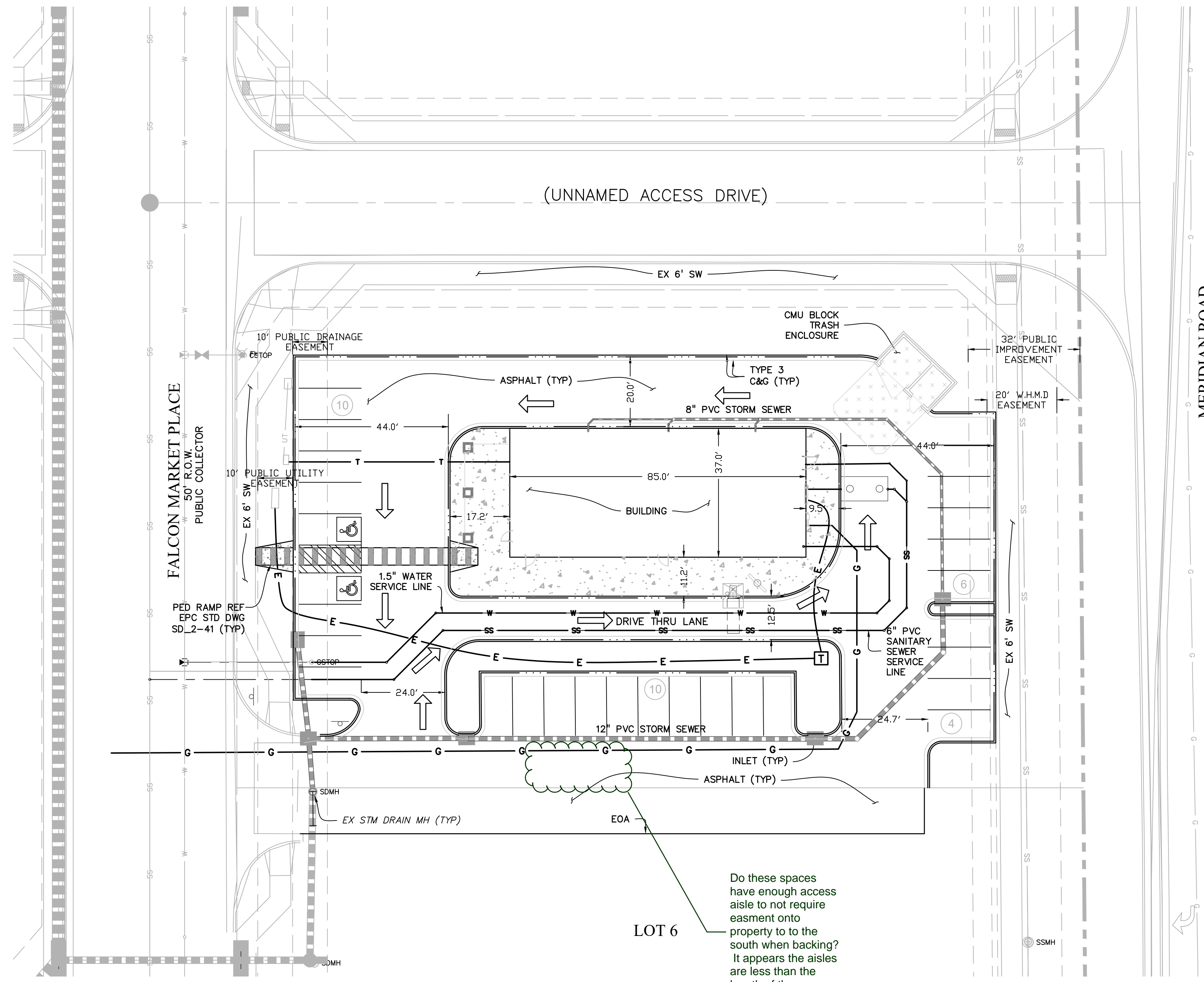
DRAWING SCALE:
 HORIZONTAL: N/A
 VERTICAL: N/A

COVER SHEET

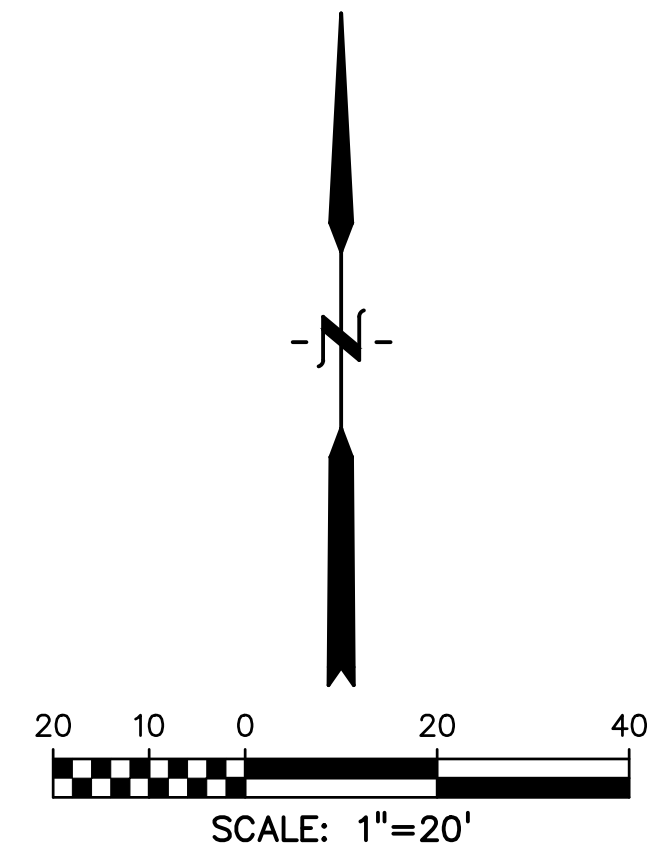
PROJECT NO. 20988-10CSCV
 DRAWING NO.

CV

SHEET: 1 OF 2



Only 30 parking stalls are shown when the cover sheet says 31 parking stalls are required



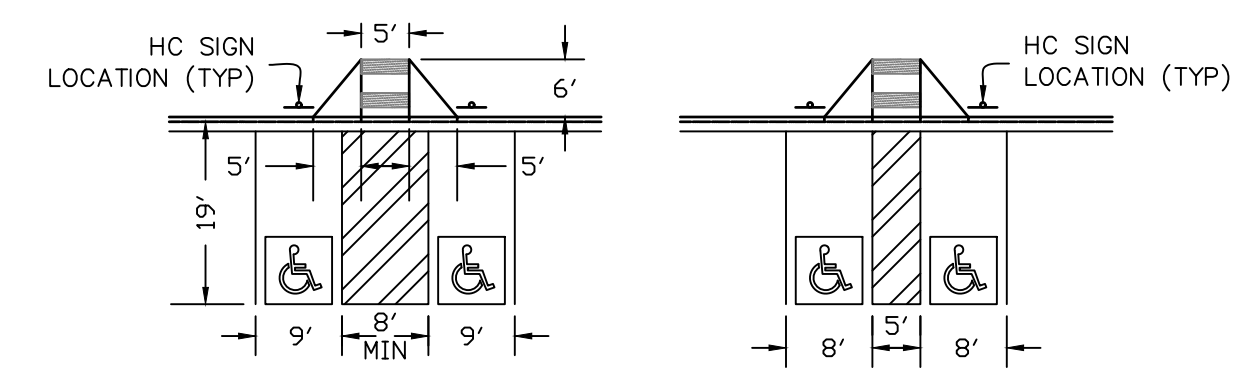
ABBREVIATION

C&G	CURB AND GUTTER
EOA	EDGE OF ASPHALT
EX	EXISTING
MH	MANHOLE
PED	PEDESTRIAN
PP	PROPOSED
STM	STORM
SW	SIDEWALK
TELE	TELEPHONE
TYP	TYPICAL

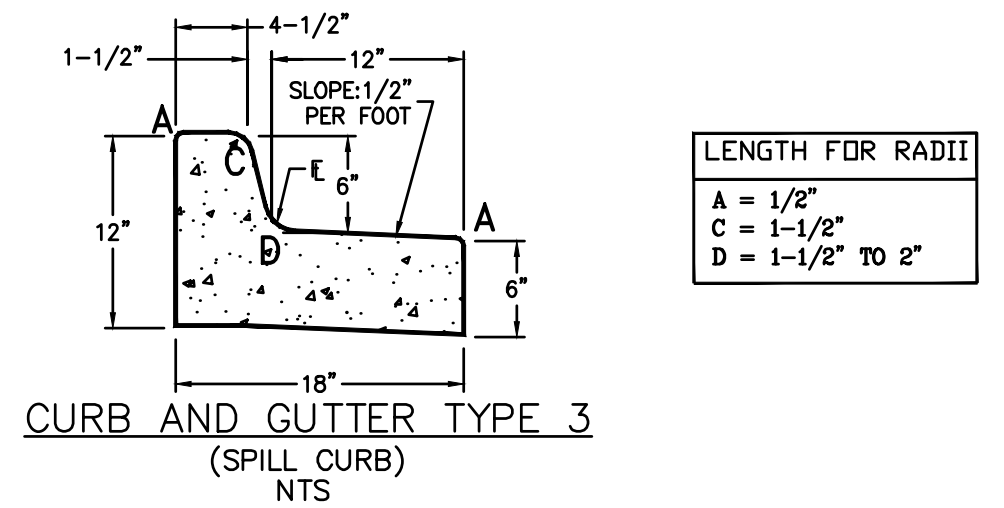
LEGEND

PROPERTY LINE	-----
ROW	-----
EASEMENT	-----
STOP SIGN	-----
SANITARY SERVICE LINE	SS
GAS SERVICE LINE	G
WATER SERVICE LINE	W
ELECTRIC SERVICE LINE	E
TELE SERVICE LINE	E
ADA ACCESSIBLE ROUTE TO PUBLIC ROW	
NUMBER OF PARKING STALLS	2
HANDICAP PARKING	♿

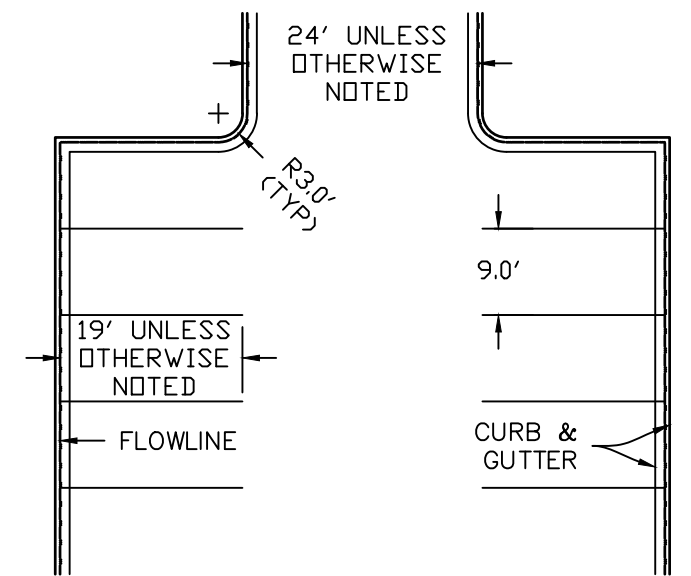
LOT 6
Do these spaces have enough access aisle to not require easment onto property to the south when backing? It appears the aisles are less than the length of the spaces



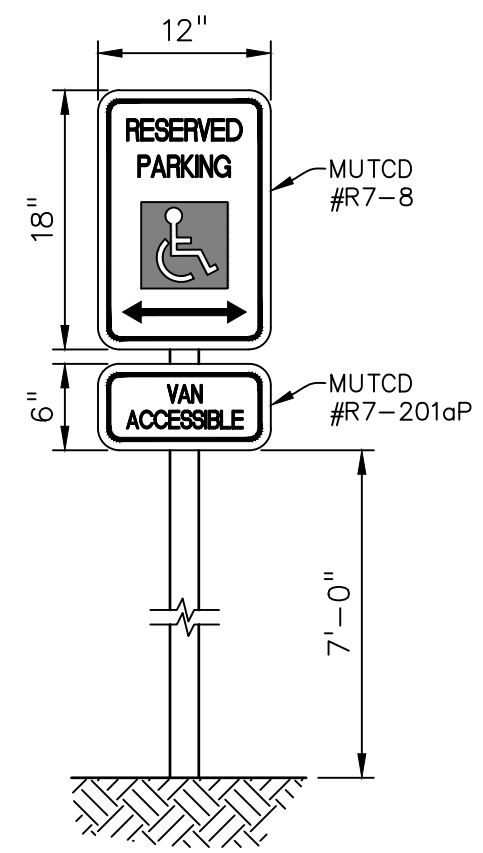
VAN PARKING LAYOUT NTS
REGULAR PARKING LAYOUT NTS
TYPICAL HANDICAP PARKING LAYOUT NTS



CURB AND GUTTER TYPE 3 (SPILL CURB) NTS



TYPICAL PARKING LAYOUT NTS



HC SIGN DETAIL NTS

PREPARED BY:

DREXEL, BARRELL & CO.
Engineers • Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905
CONTACT: TIM D. MCCONNELL, P.E.
(719) 217-0887
BOULDER • COLORADO SPRINGS • GREELEY

CLIENT:
TRIPOD VENTURES
6050 STETSON HILLS BLVD.,
STE #295
COLORADO SPRINGS, CO 80923
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ISSUE	DATE
INITIAL ISSUE	01/07/2022
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DESIGNED BY:	KGV
DRAWN BY:	SDM
CHECKED BY:	TDM
FILE NAME:	20988-10-USP

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.
DRAWING SCALE:
HORIZONTAL: 1"=20'
VERTICAL: N/A

UTILITY & SITE PLAN
PROJECT NO. 20988-10CSCV
DRAWING NO.

USP
SHEET: 2 OF 2



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DAN WINTER, ARCHITECT

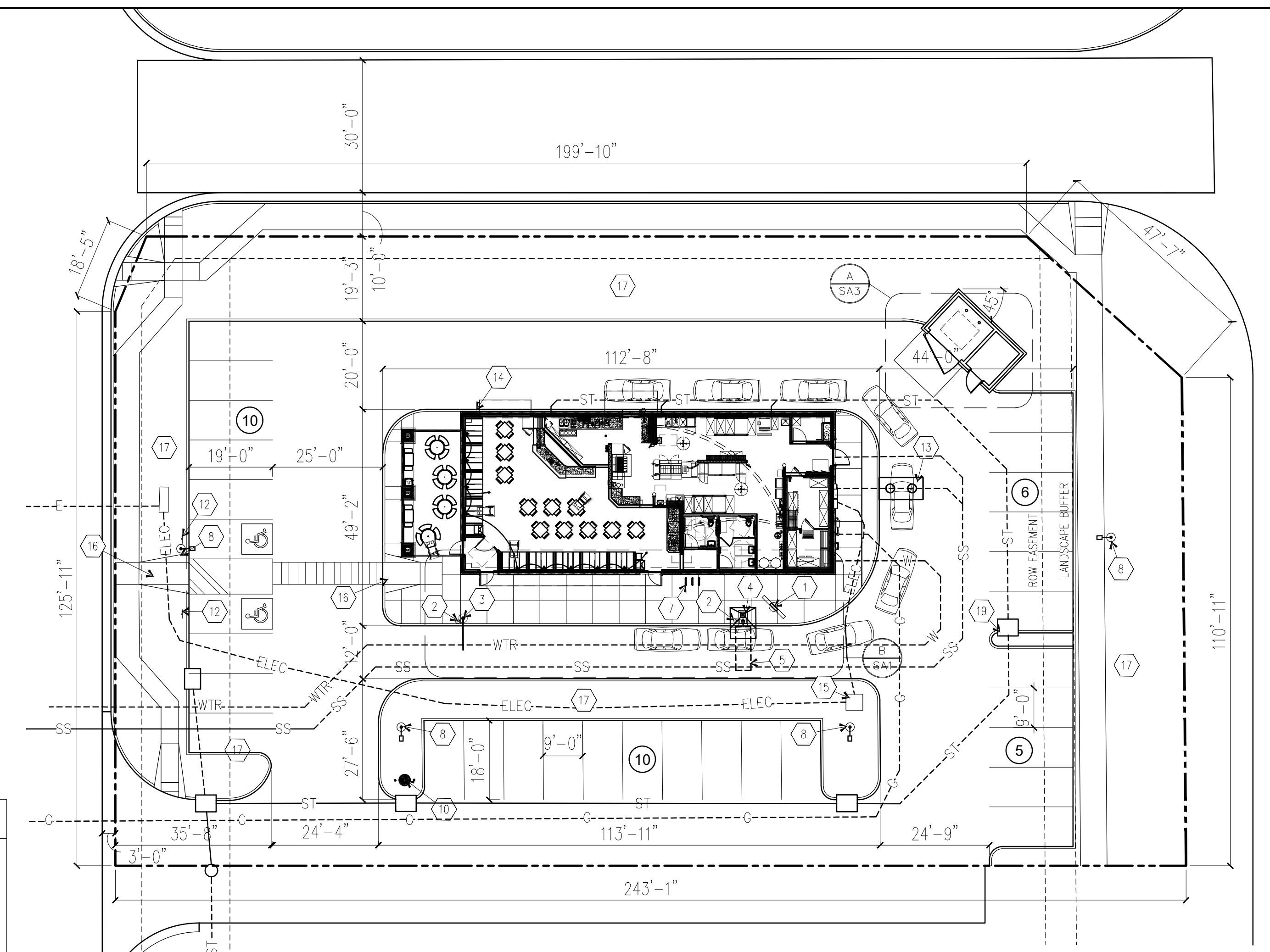
FREDDY'S FROZEN CUSTARD 7575 FALCON MARKETPLACE FALCON, CO.

DAN WINTER ARCHITECT
1024 EAST FIRST STREET
WICHITA, KS. 67214
PH. 316-267-7142

DATE
02/10/2022 BID SET

DRAWN BY:
CHECKED BY:

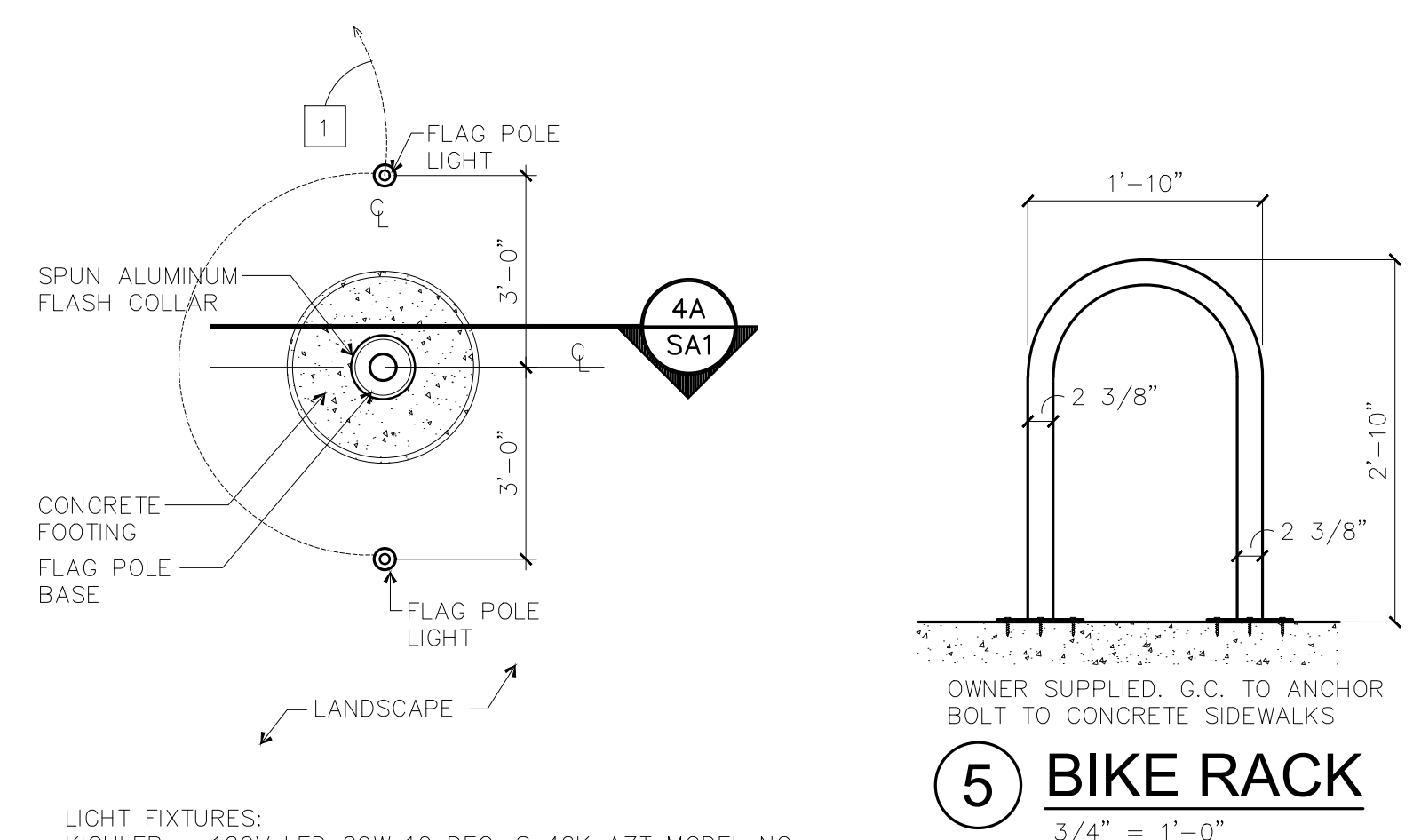
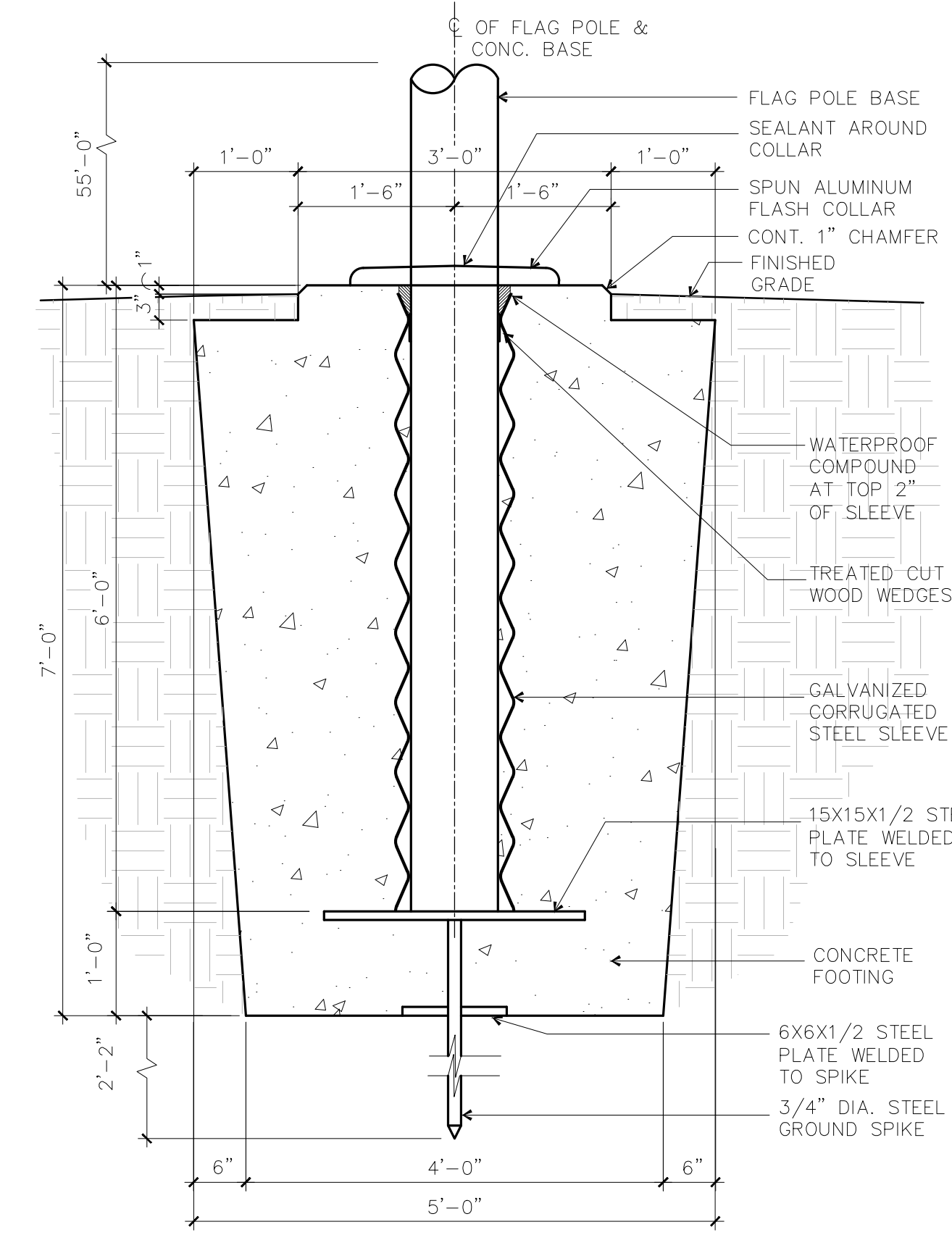
SHEET NO.



A ARCHITECTURAL SITE PLAN
1"=20'-0"
NORTH

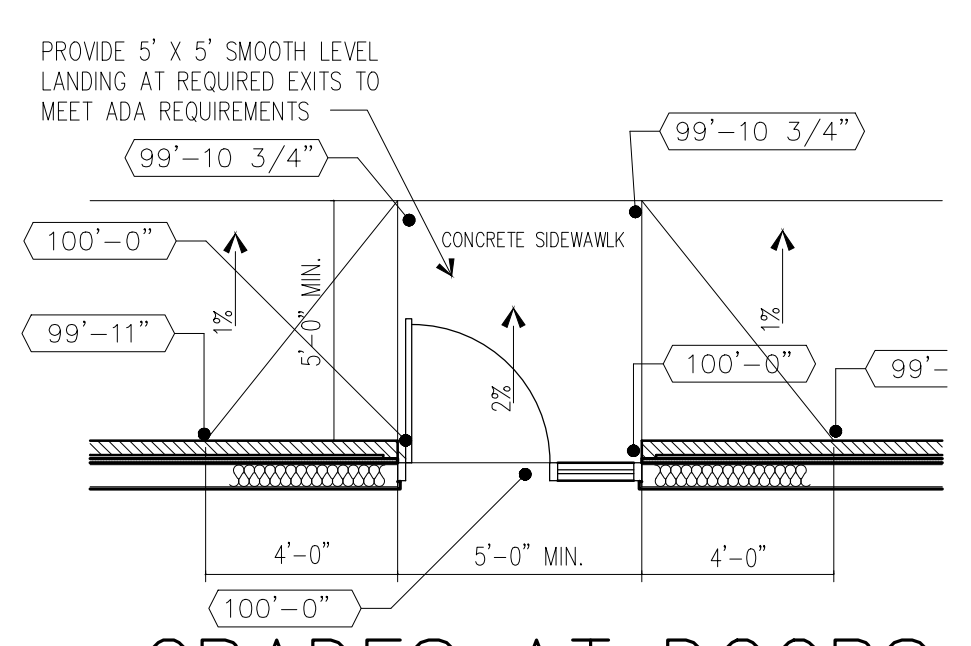
CONCORD INDUSTRIES FLAG POLE SPECIFICATIONS

EXPOSED HEIGHT (feet)	SHAFT DIAMETER (inch)	MAXIMUM WALL THICKNESS (inch)	MAXIMUM UNFLAGGED WINDSPEED (mph)	RECOMMENDED FLAG SIZE (feet)	FLAGGED WINDSPEED (mph)	CONCORD CONTINENTAL CATALOG PART NUMBER
35'-0"	7	.156	165	6X10	110	ESR35C75-ACL



4 FLAG POLE PLAN VIEW
3/8" = 1'-0"

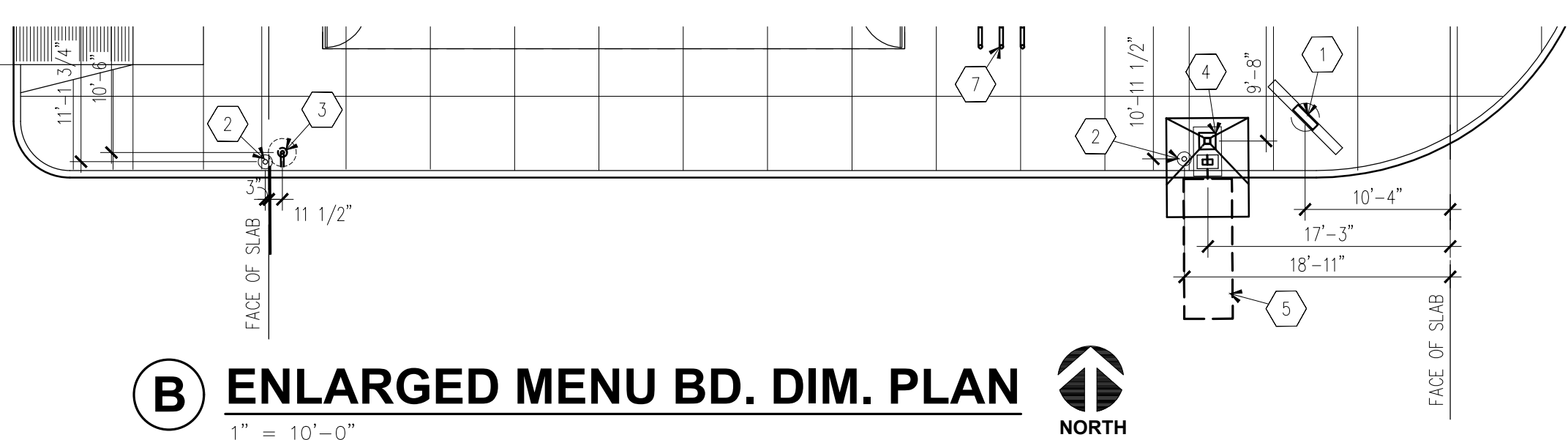
1 ROUTE CIRCUIT TO PANEL INDICATED VIA 120V PHOTOCELL. LOCATE PHOTOCELL ON ROOF OF BUILDING FACING NORTH.



- ADA SIDEWALK AND RAMP NOTES**
- THE CROSS SLOPE OF A SIDEWALK SHALL BE 2% (1/4" PER 12') MAX. AND 1% (1/8" PER 12') MIN. THE SLOPE CAN BE TOWARD THE PAVEMENT OR AWAY FROM THE PAVEMENT AS LONG AS POSITIVE DRAINAGE IS MAINTAINED.
 - CURB RAMPS SHALL HAVE A MIN. WIDTH OF 48 INCHES. THE CURB RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF (1" PER 12')
 - A LANDING THE WIDTH (W) OF THE CURB RAMP AND FIVE FEET IN LENGTH SHALL BE CONSTRUCTED AT THE TOP OF CURB RAMPS. THE SLOPE OF THE LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION.
 - CARE SHALL BE TAKEN TO ENSURE A UNIFORM GRADE ON RAMPS, FREE OF SAGS AND SHORT GRADE CHANGES.
 - THE NORMAL GUTTER LINE PROFILE SHALL BE MAINTAINED THROUGH THE AREAS OF RAMPS.
 - SIDEWALKS THAT ARE PART OF AN ADA ACCESSIBLE ROUTE AND ALL CURB AND ADA RAMPS SHALL BE CONSTRUCTED TO MEET ALL ADA REQUIREMENTS AND TOLERANCES.
 - SIDEWALKS ABUTTING ASPHALT SHALL HAVE A THICKENED EDGE.
 - PROVIDE CONTROL JOINTS AT INTERVALS EQUAL TO CONCRETE SIDEWALK WIDTH, BUT IN NO CASE GREATER THAN 10'-0".
 - CONTROL JOINTS MAY BE MADE WITH A GROOVING TOOL AT THE TIME OF FINISHING OR WITH A CONCRETE SAW AFTER CONCRETE HAS SUFFICIENTLY CURED.
 - CONTROL JOINTS SHALL BE 1" DEEP AND 1/4" WIDE.
 - PROVIDE EXPANSION JOINTS AT MAXIMUM OF 32'-0" INTERVALS AND AT EXISTING STRUCTURES OR CONCRETE.

SITE PLAN KEY NOTES

- NEW MENU BOARD. REF. 2/SA2 FOR FOUNDATION DETAIL'S
- NEW BOLLARD REF. 2/SA1
- NEW CLEARANCE BAR 5/SA2
- NEW ORDER CANOPY 4/SA2
- NEW DETECTOR LOOP
- NEW BOLLARD REF. 2/SA1
- BIKE RACK REF. 5/SA1
- LIGHT POLE REF. CIVIL DWGS.
- STOP SIGN. REF. CIVIL DWGS.
- FLAG POLE REF. 4/SA1 & 4A/SA1 FOR DETAILS
- NOT USED
- ADA SIGN REF. CIVIL DRAWINGS FOR DETAILS
- GREASE INTERCEPTOR REF. PLUMBING PLANS FOR DETAILS
- FREDDY'S PEDESTRIAN SIGN REF. 1A/SA1
- ELECTRICAL TRANSFORMER
- ACCESSIBLE RAMP REF. CIVIL FOR DETAIL
- LANDSCAPE AREA REF. CIVIL DWGS.
- CONCRETE WHEEL STOP. REF. CIVIL DWGS.
- STORM WATER STRUCTURE. REF. CIVIL DWGS.
- SANITARY SEWER STRUCTURE. REF. CIVIL DWGS.
- WATER METER. REF. CIVIL DWGS.
- FIRE HYDRANT - REF. CIVIL DWGS.

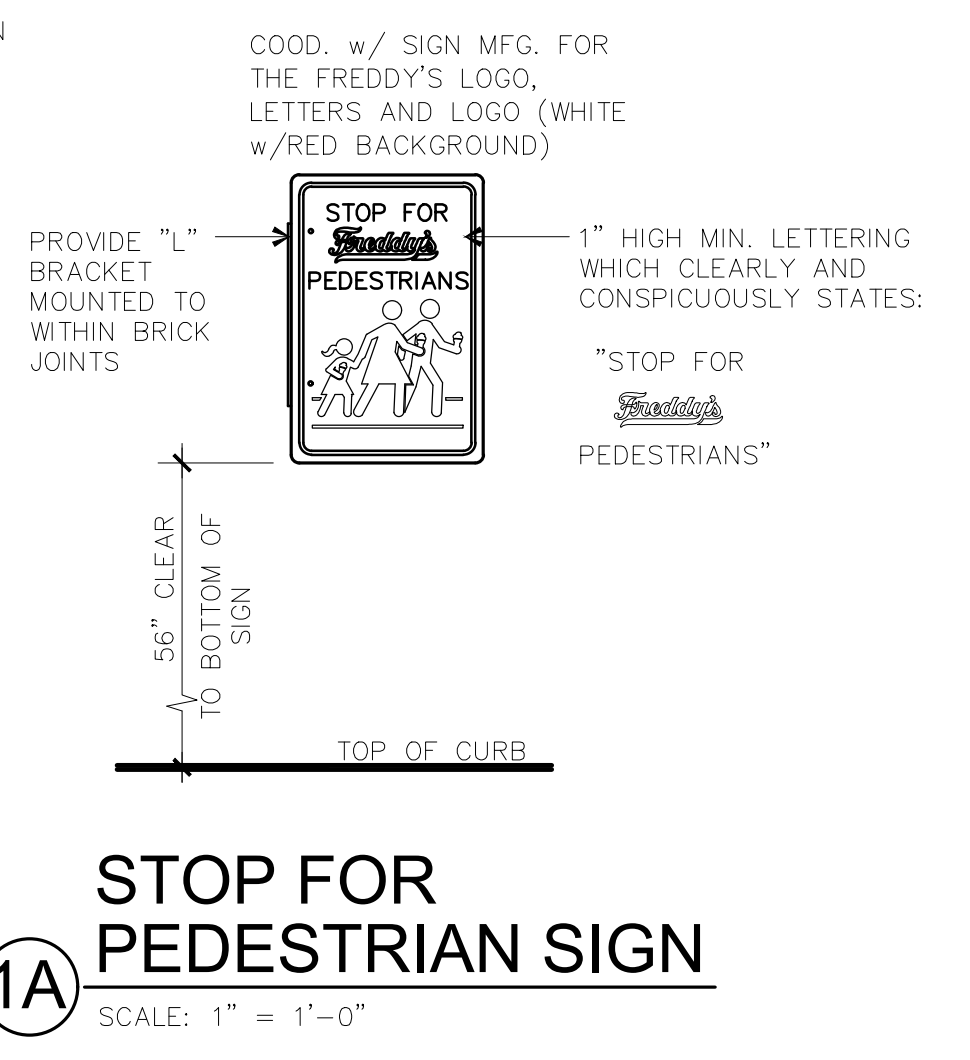
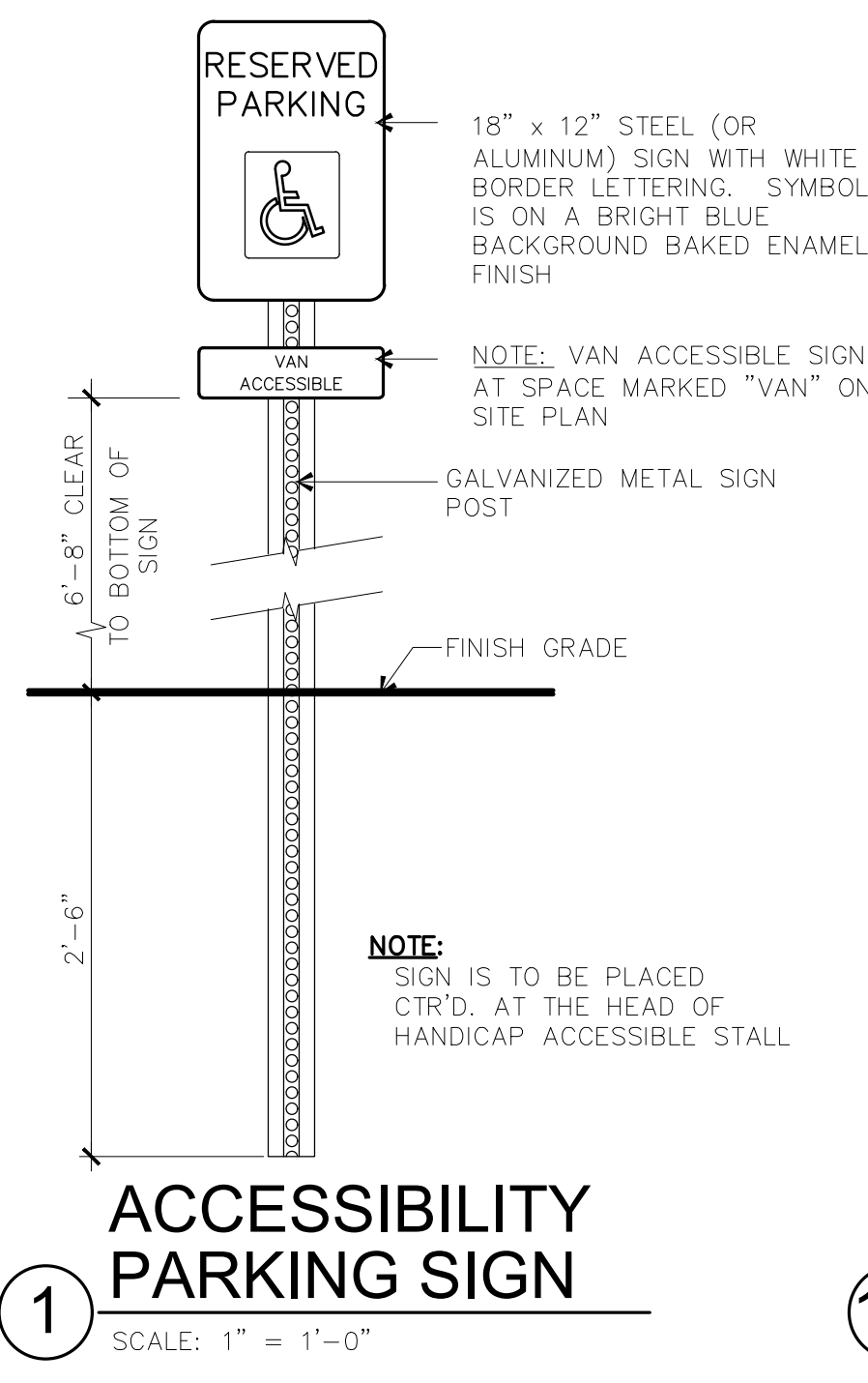
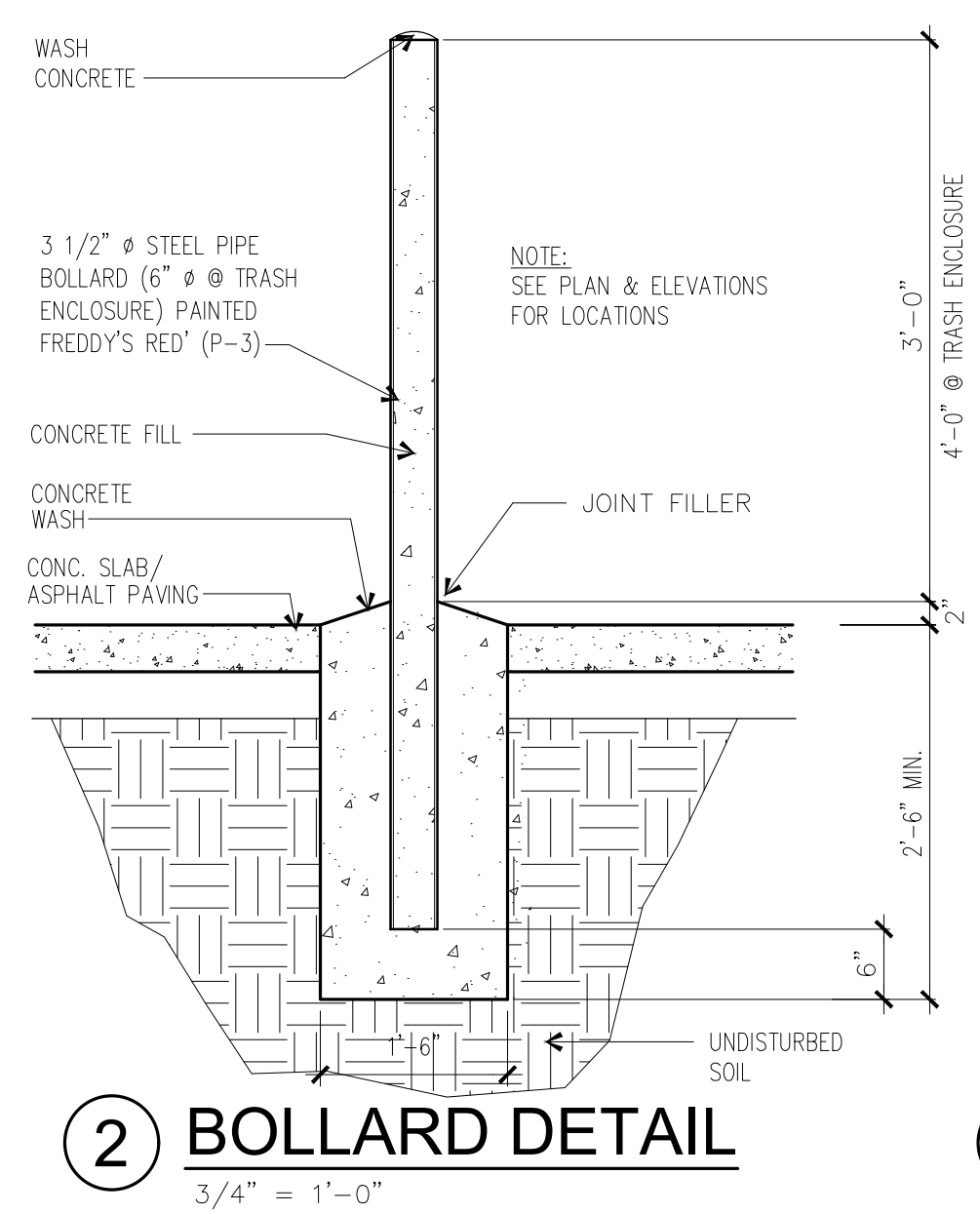


SITE PLAN GENERAL NOTES

- REFERENCE DETAILS SHEET SA2 FOR MAINSTREET MENU BOARD, MAINSTREET PRE-SELL BOARD & CLEARANCE BAR FOUNDATIONS. REFERENCE DETAIL "4" SHEET SA2 FOR ORDER CONFIRMATION BOARD & DRIVE THRU CANOPY FOUNDATION.
- REFERENCE MAINSTREET DOCUMENTS FOR MENU BOARD, PRE-SELL BOARD & CLEARANCE BAR INSTALLATION DETAILS.
- REFERENCE SHEET E1 & E5 FOR ELECTRICAL CONNECTIONS TO MAINSTREET MENU BOARD, MAINSTREET PRE-SELL BOARD, ORDER CONFIRMATION SYSTEM, LOOP DETECTOR, DRIVE THRU CANOPY AND DT TIMING SYSTEM LOOP DETECTOR.
- REFERENCE MENU BOARD MANUFACTURER'S DOCUMENTS FOR INSTALLATION REQUIREMENTS. REFERENCE ELECTRICAL DRAWINGS FOR POWER AND COMM. SYSTEM REQUIREMENTS.
- SEE DETAILS SH. SA2 FOR MENU BOARD, CANOPY AND ORDER CONFIRMATION BOARD.
- ALL DIMENSIONS ARE FROM FACE OF FOUNDATION OR FACE OF CURB COORDINATE ACTUAL LOCATIONS WITH NEW CURBS

NOTE: ALL DIMENSIONS ARE FROM FACE OF BUILDING SLAB TO CENTERLINE OF SUPPORTS UNLESS NOTED ON PLAN. COORDINATE ACTUAL LOCATIONS WITH CURBS.

NOTE: COORDINATE CONC. FDN. LOCATIONS & UNDERGROUND UTILITY SERVICES PRIOR TO BEGINNING CONSTRUCTION.

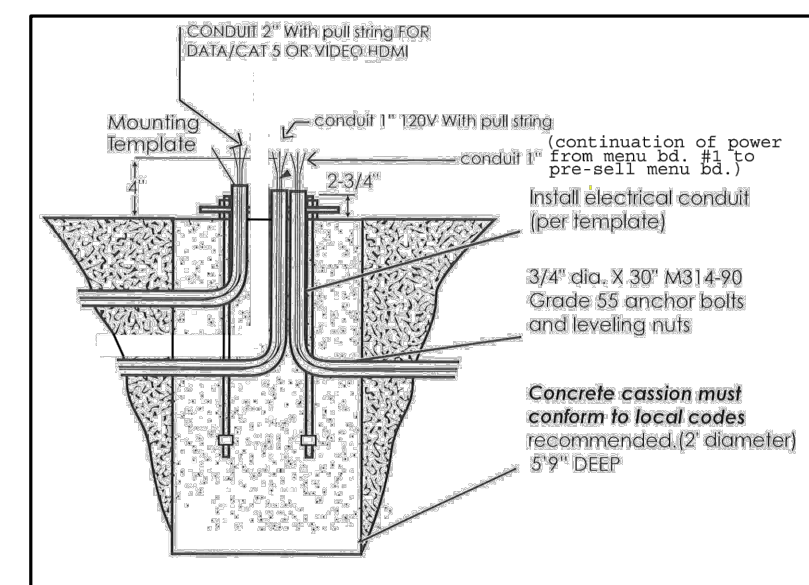




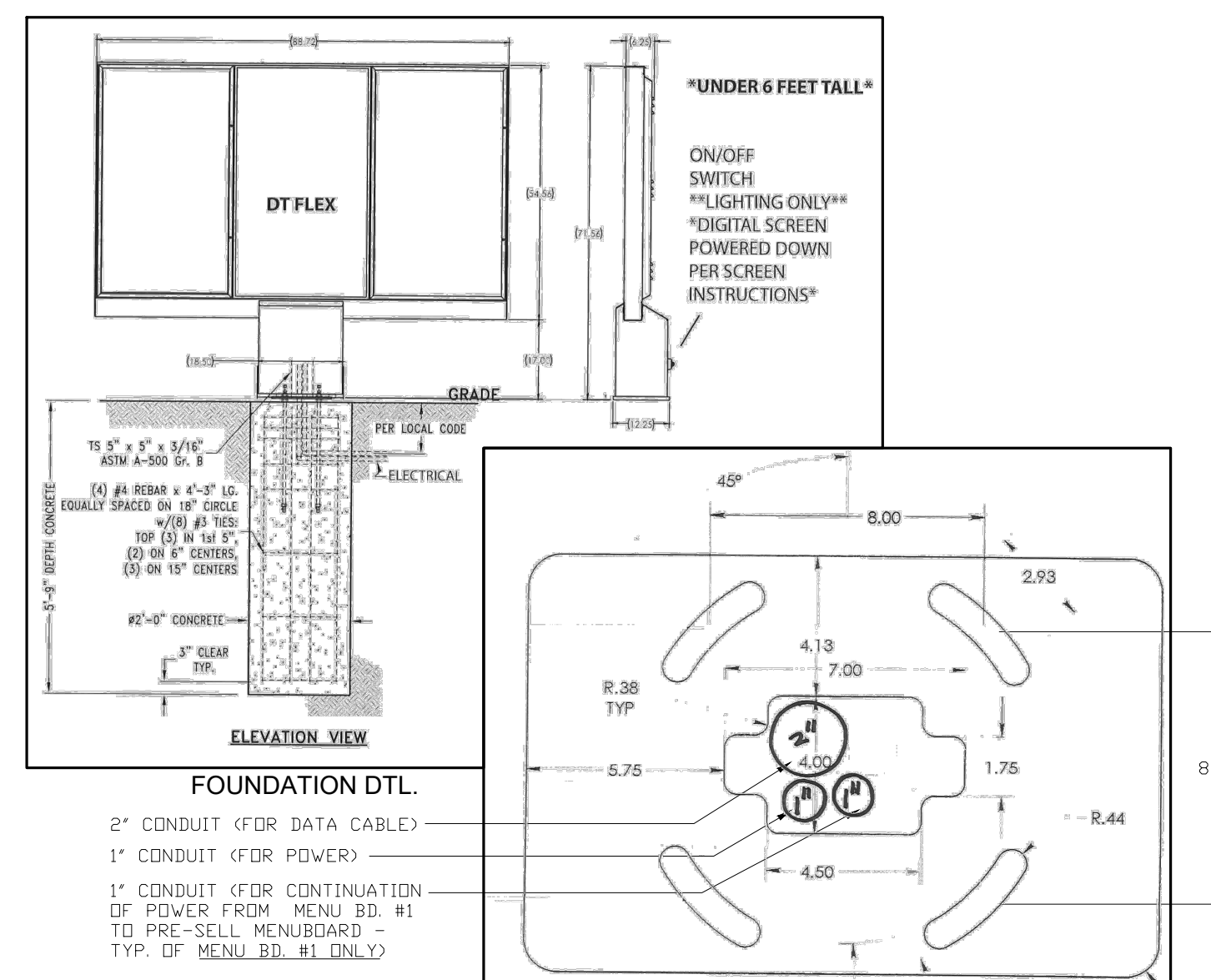
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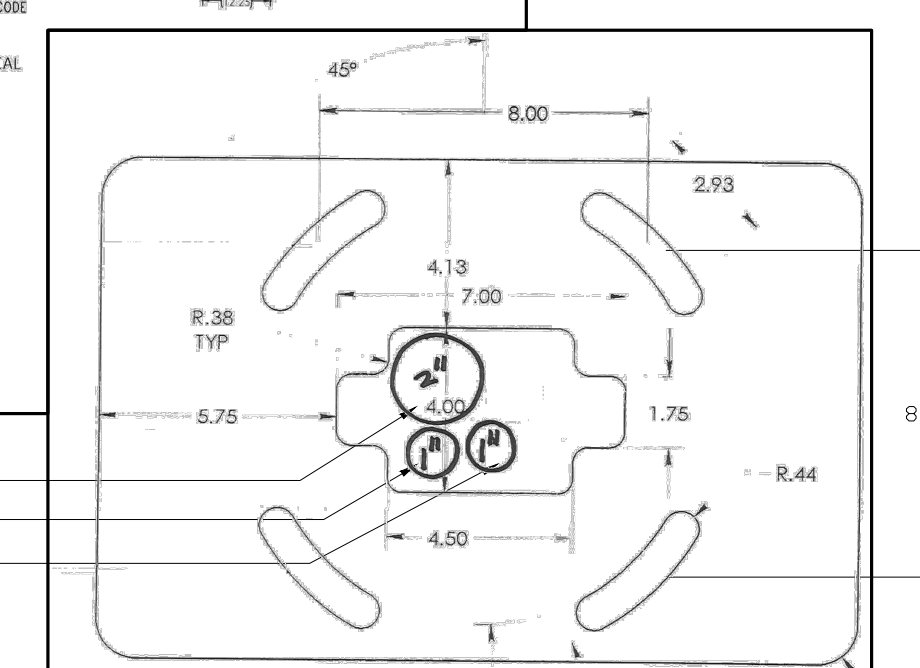
FREDDY'S FROZEN CUSTARD
7575 FALCON MARKETPLACE
FALCON, CO.



CONDUIT AT MENU BOARD



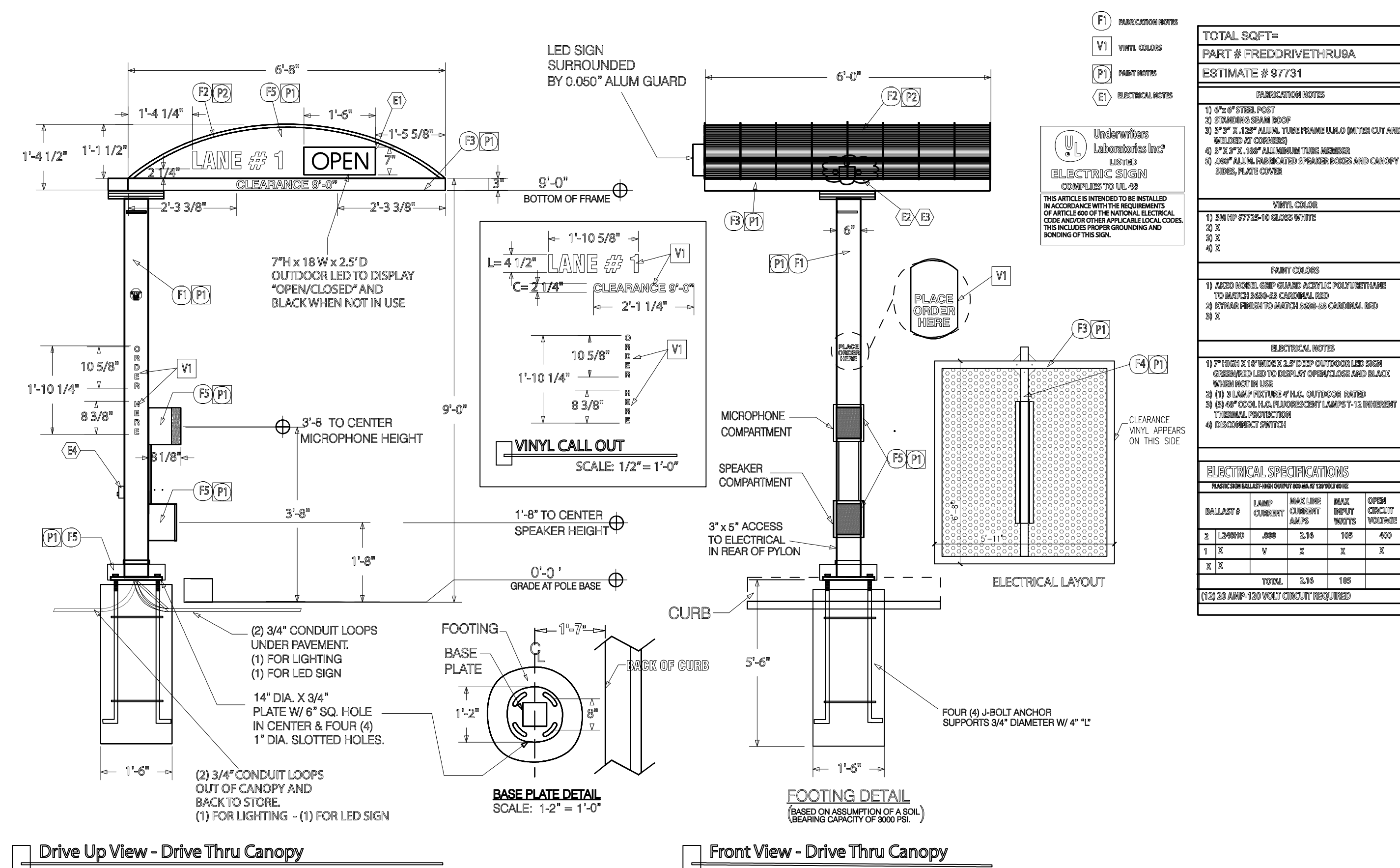
2 MENU BOARD DETAILS
SCALE: NO SCALE



BASE PLATE (PLAN VIEW)

1 NOT USED

3 NOT USED



4 DRIVE-UP CANOPY DRAWINGS
SCALE: 1/2" = 1'-0"

TOTAL SQFT=
PART # FREDDRIVETHRUBA
ESTIMATE # 97731

MANUFACTURER NOTES

- 3/4" STAINLESS POST
- 25 SCREWDRIVE SCREW BUSH
- 2" x 1/2" x 1/2" ALUM. TUBING FRAME (ALSO METER OUT AND WELDED AT CORNERS)
- 2" x 1/2" x 1/2" ALUM. TUBING FRAME MEMBER
- 2" x 1/2" x 1/2" ALUM. FABRICATED SPEAKER BUSH AND CANOPY JOINT PLATE COVER

VINYL COLORS

- 3M 107 9773-19 (GLOSS WHITE)
- 3X
- 3X
- 4X

PAINT COLORS

- 11 ACCO HONEY, HRP (RAL 6005 ACYCLIC POLYURETHANE)
- 10 MARCO 360-43 (CASUAL RED)
- 29 KYMAR (PANTONE 1975C) (SUN-SS CASUAL RED)
- 3X

ELECTRICAL NOTES

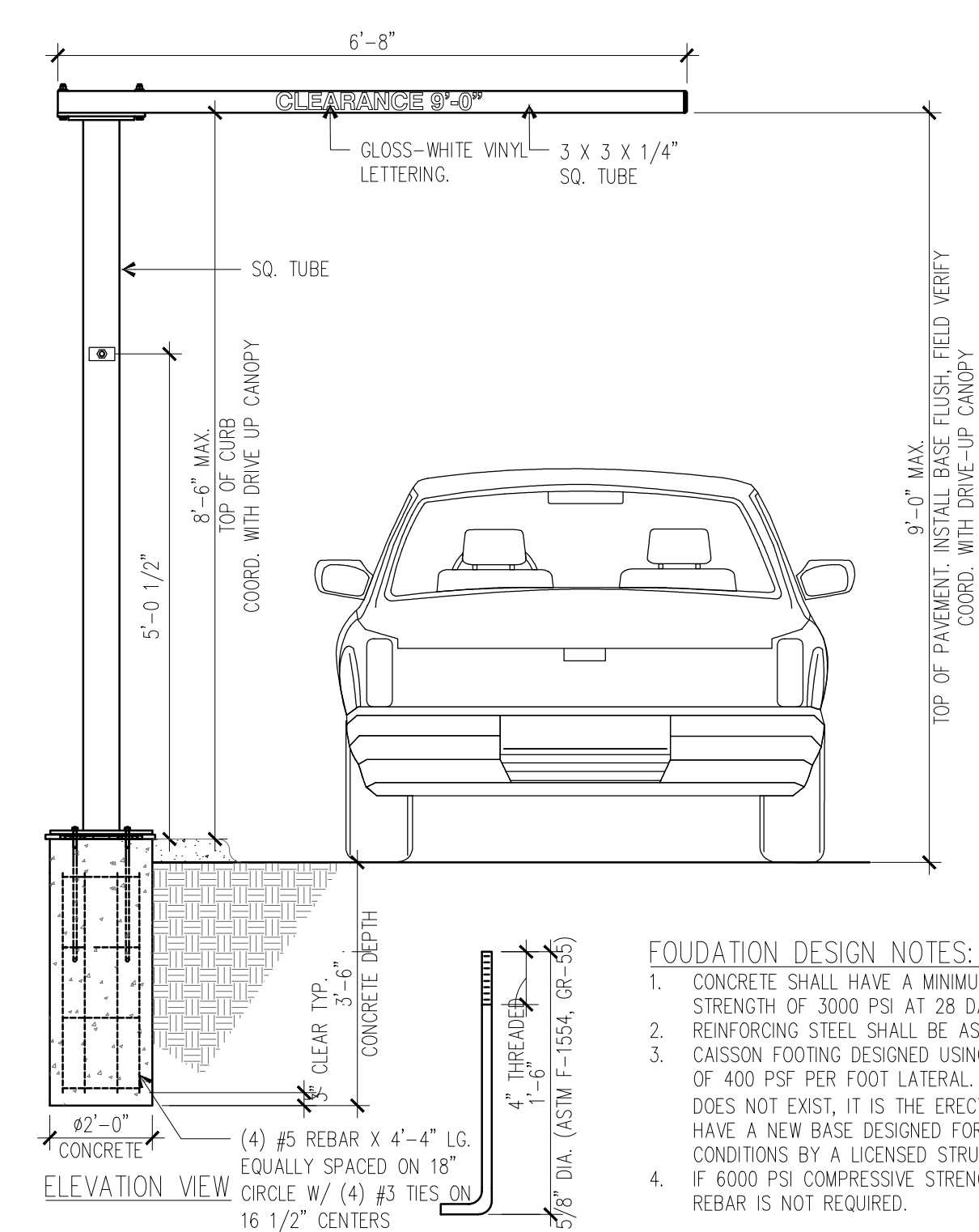
- 1" FIBERGLASS 1/2" W/INS & 2" DEEP OUTDOOR LED BRN GRABBAR LED TO DISPLAY OPERATIONAL AND BLACK WHEN NOT IN USE
- 3" (3) 3 LAMP PICTURE STYLE, OUTDOOR RATED
- 3" (3) 3 LAMP COOL BLUE FLUORESCENT LAMP 5-12 W/REBERT THERMAL PROTECTION
- DISCONNECT SWITCH

ELECTRICAL SPECIFICATIONS

BALLAST #	LAMP CURRENT	MAX. LINE VOLTAGE	MAX. INFLY WATTAGE	OPEN CIRCUIT VOLTAGE
3	1.500	2.16	150	400
1	X	X	X	X
X	X	X	X	X

VOLTS: 2.16 765

(1) 30 AMP 120 VOLT CIRCUIT REQUIRED



5 SINGLE ARM CLEARANCE BAR DETAILS
N.T.S.

DAN WINTER ARCHITECT
1024 EAST FIRST STREET
WICHITA, KS.
67214
PH. 316-267-7142

SITE PLAN DETAILS

DATE
12/30/2021

DRAWN BY:
TDF
CHECKED BY:
DW

SHEET NO.
SA2



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FREDDY'S FROZEN CUSTARD
7575 FALCON MARKETPLACE
FALCON, CO.

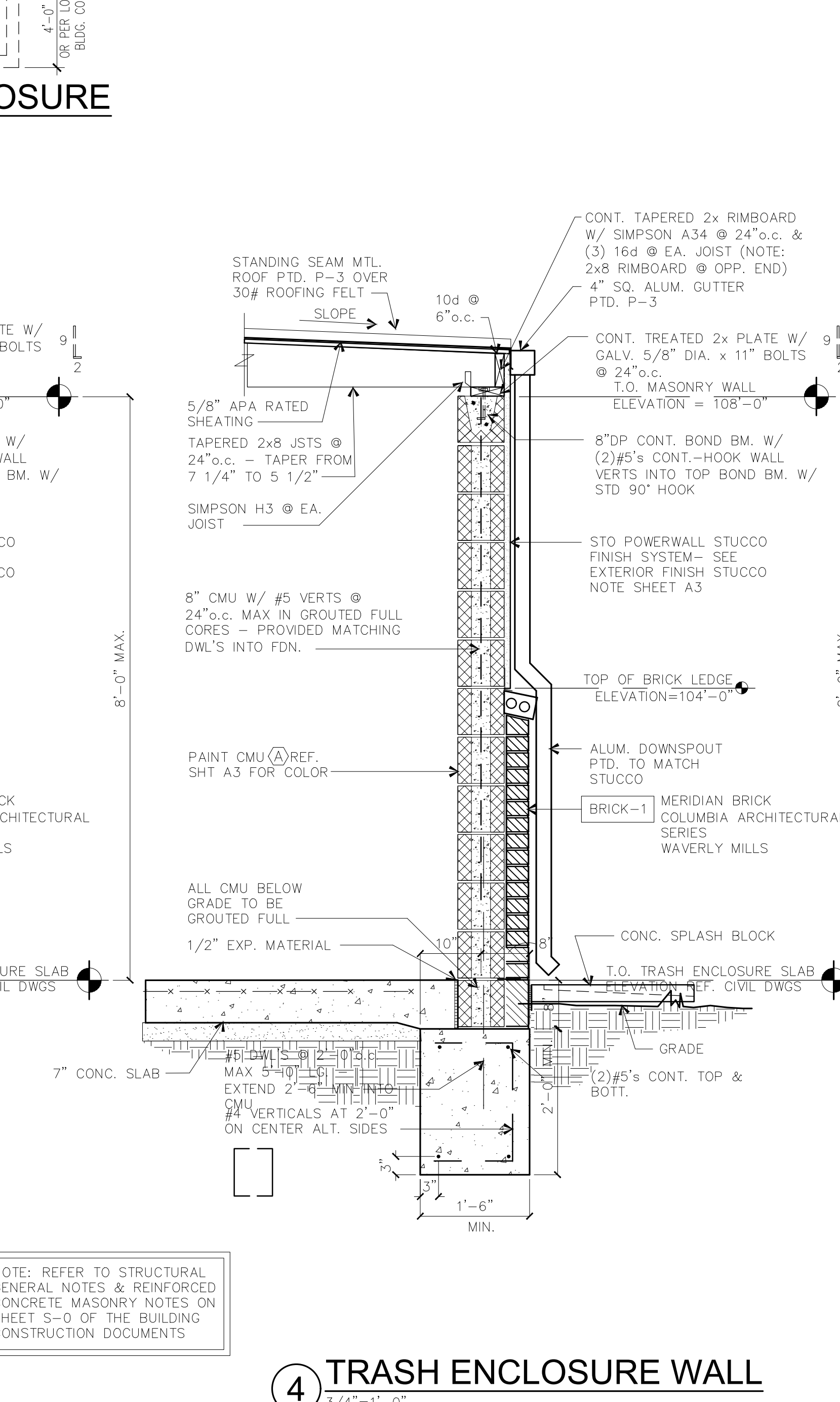
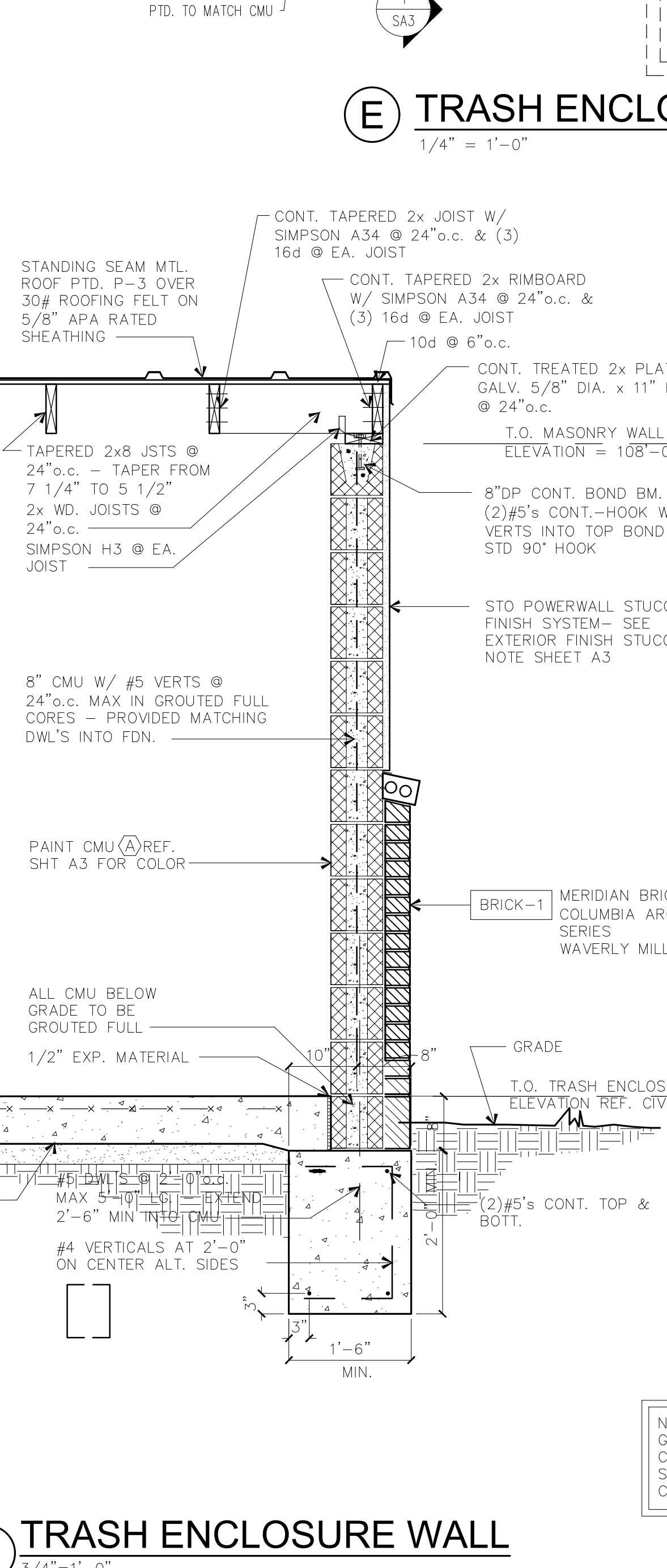
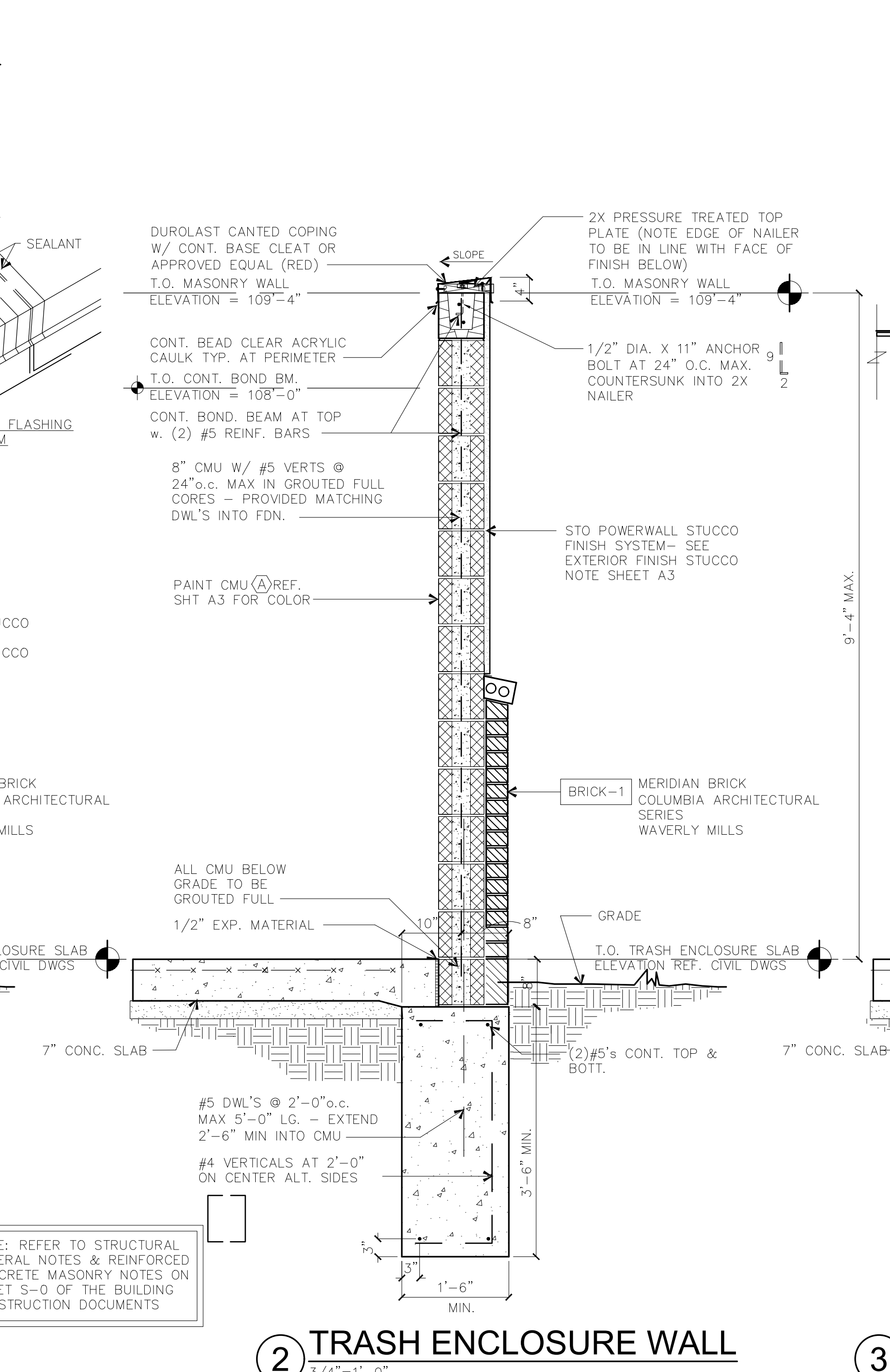
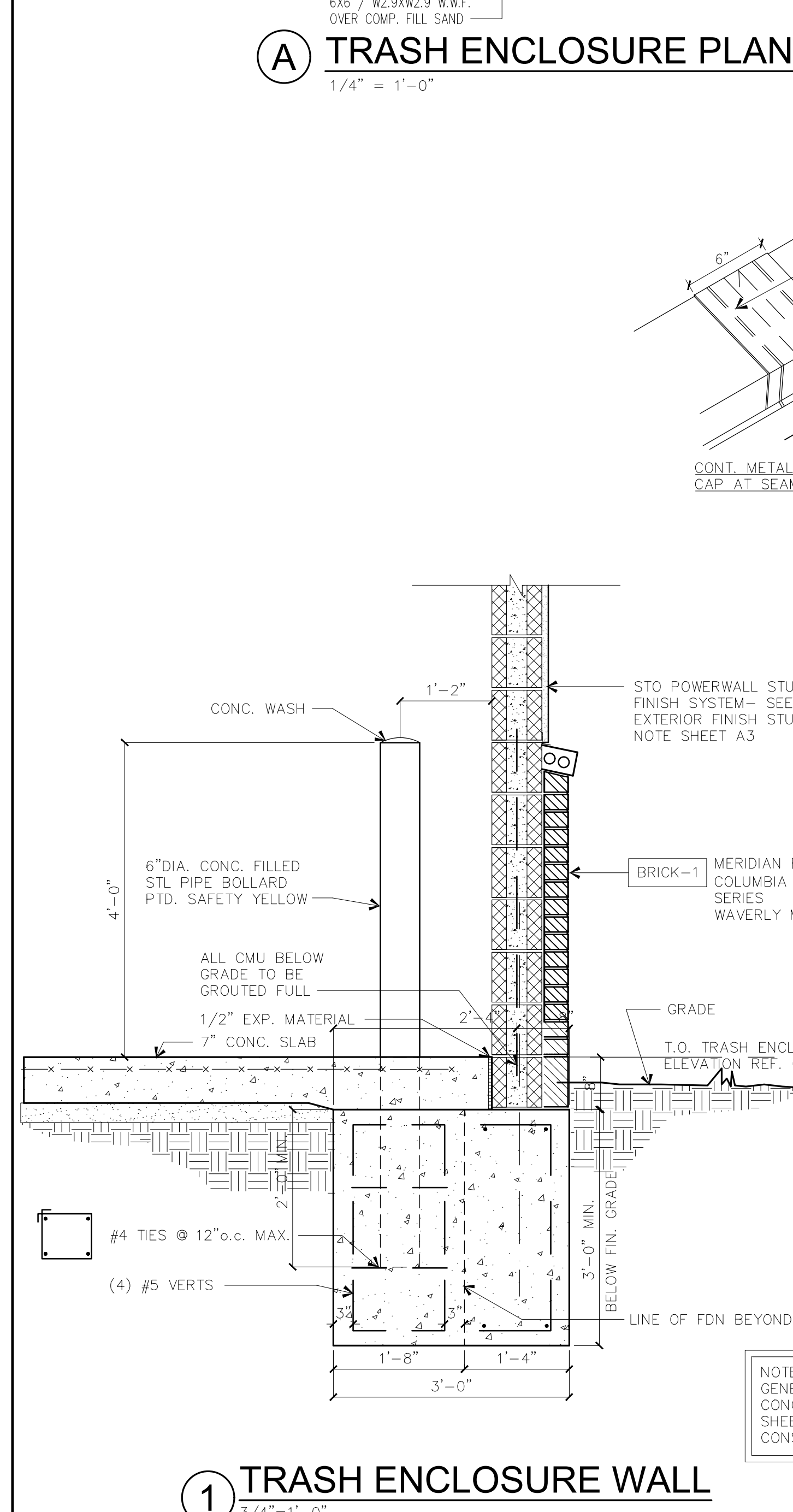
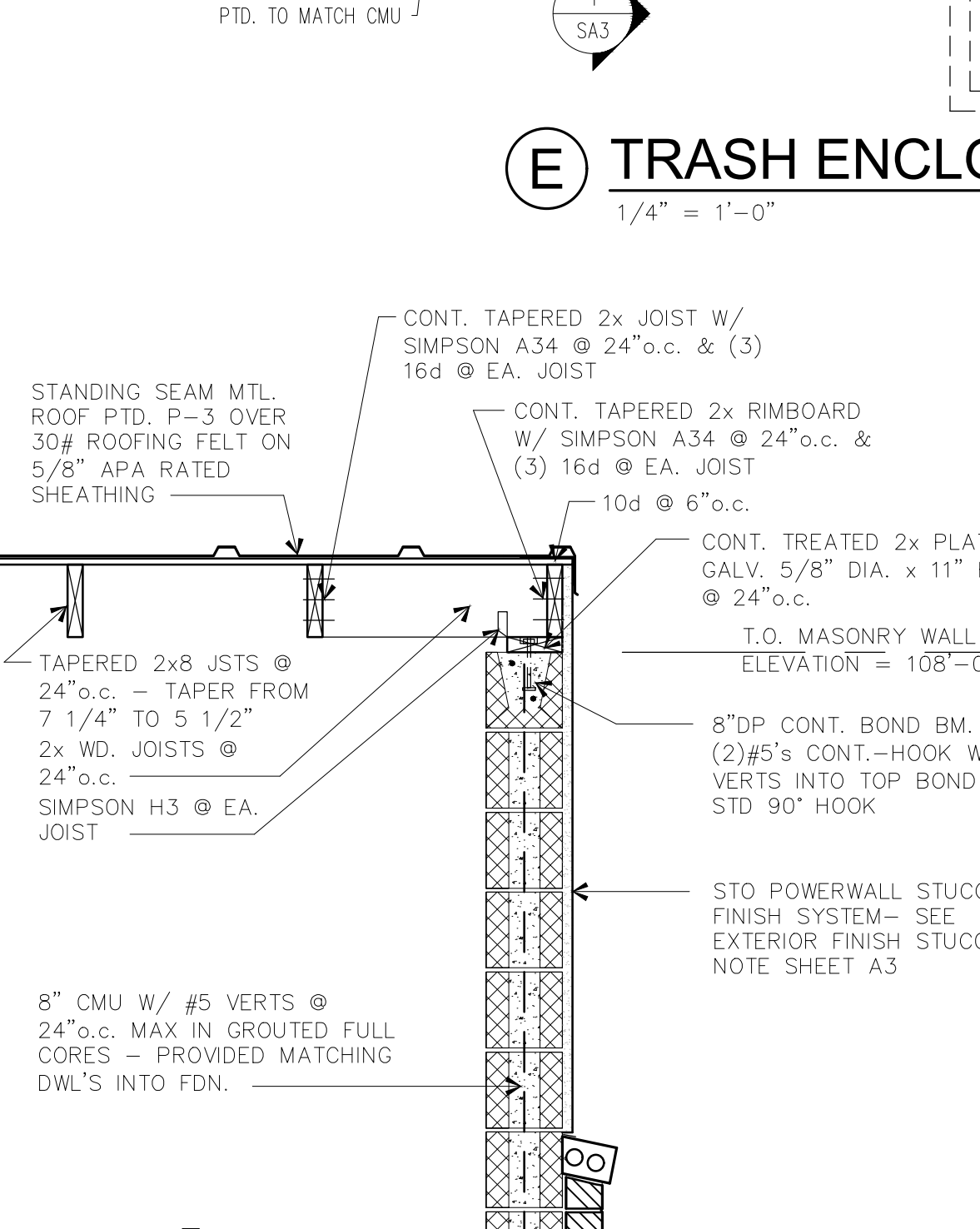
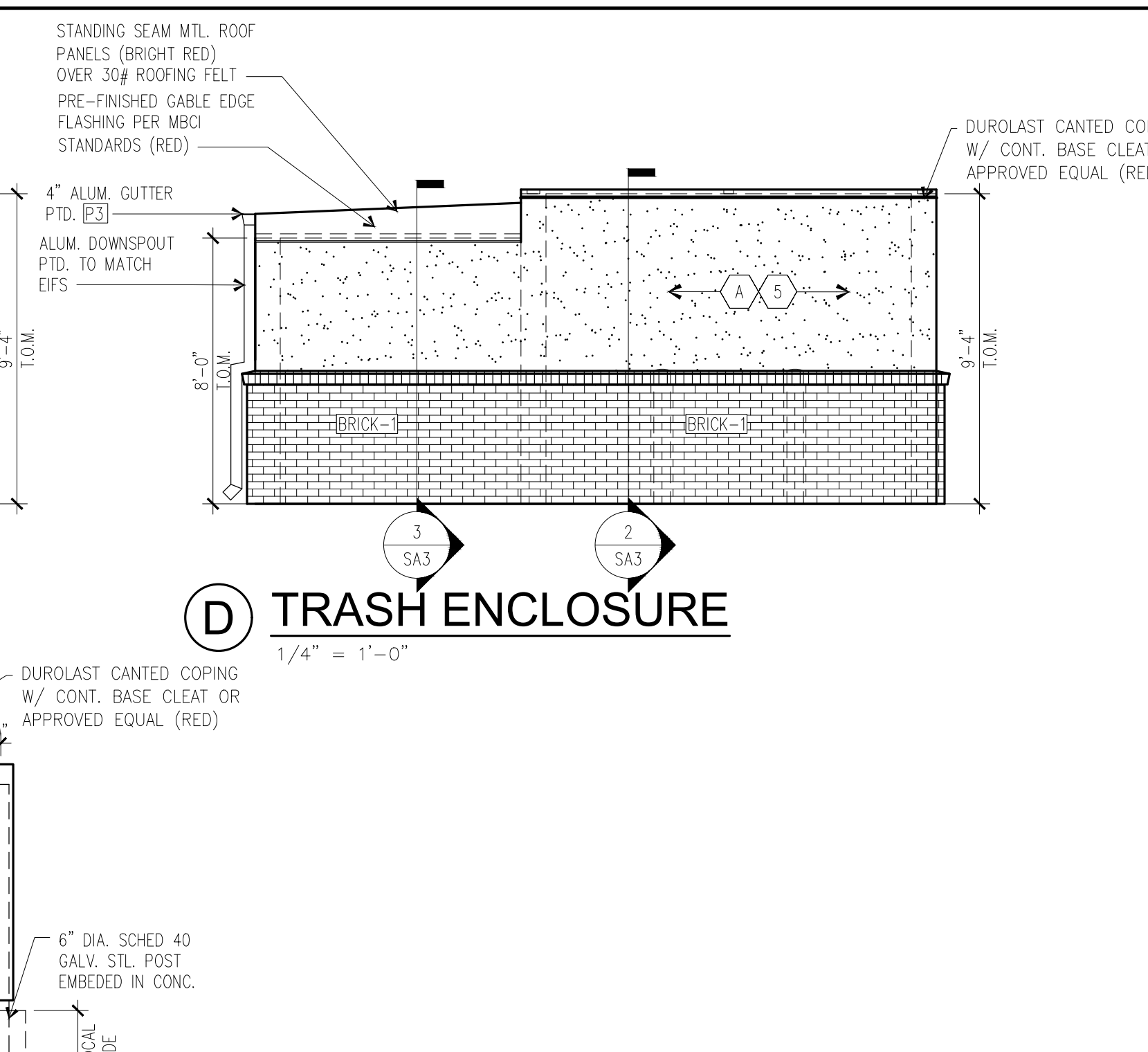
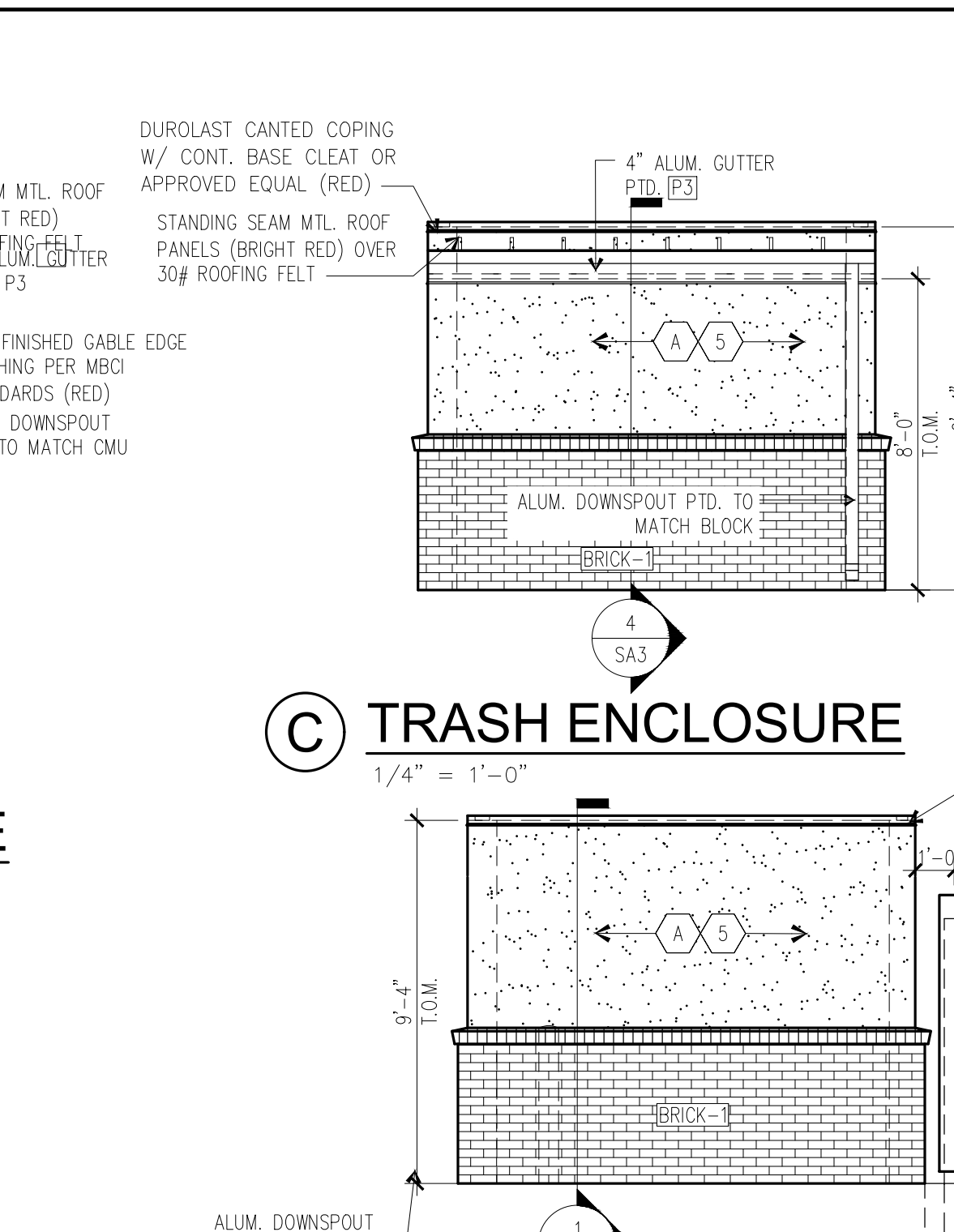
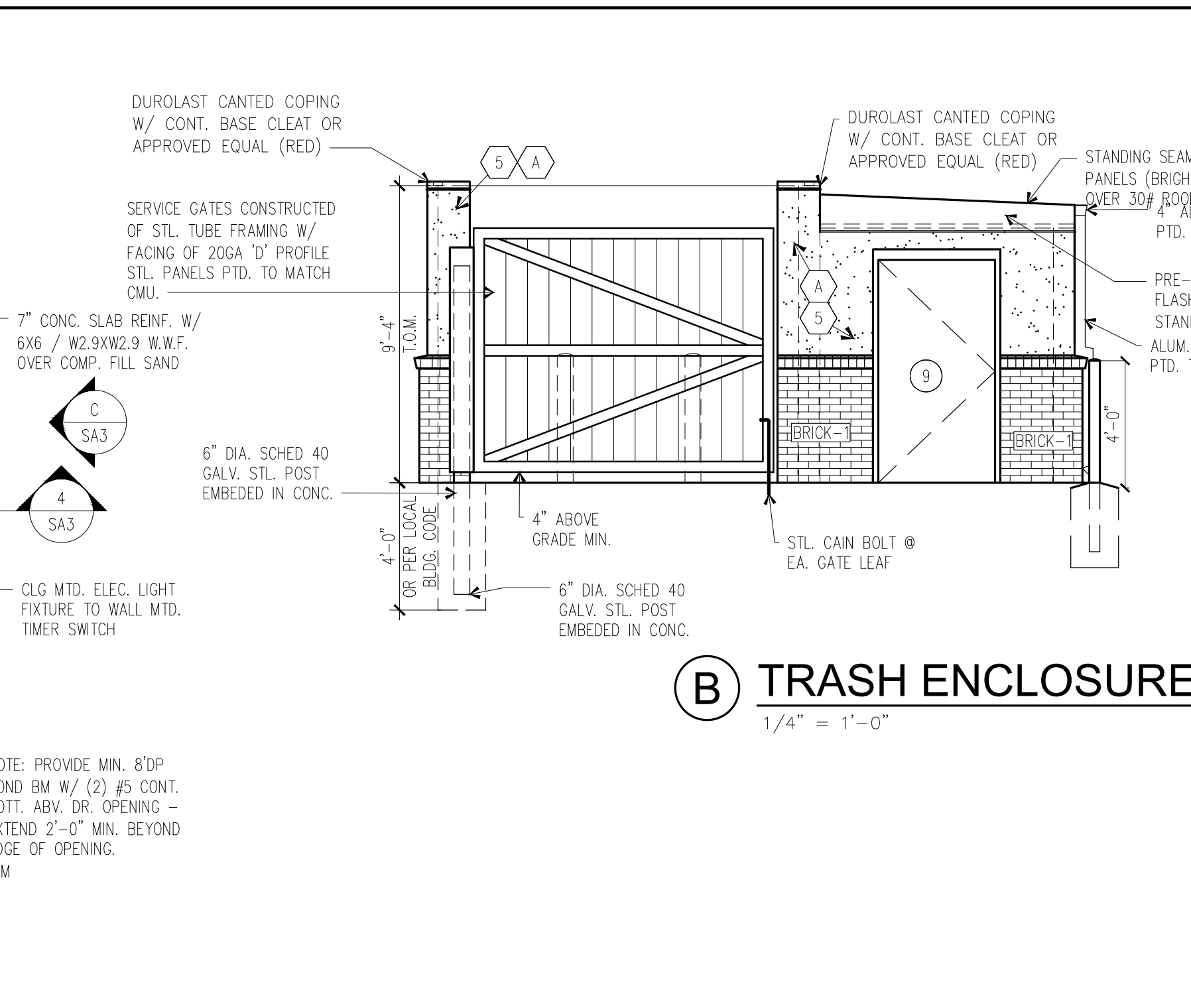
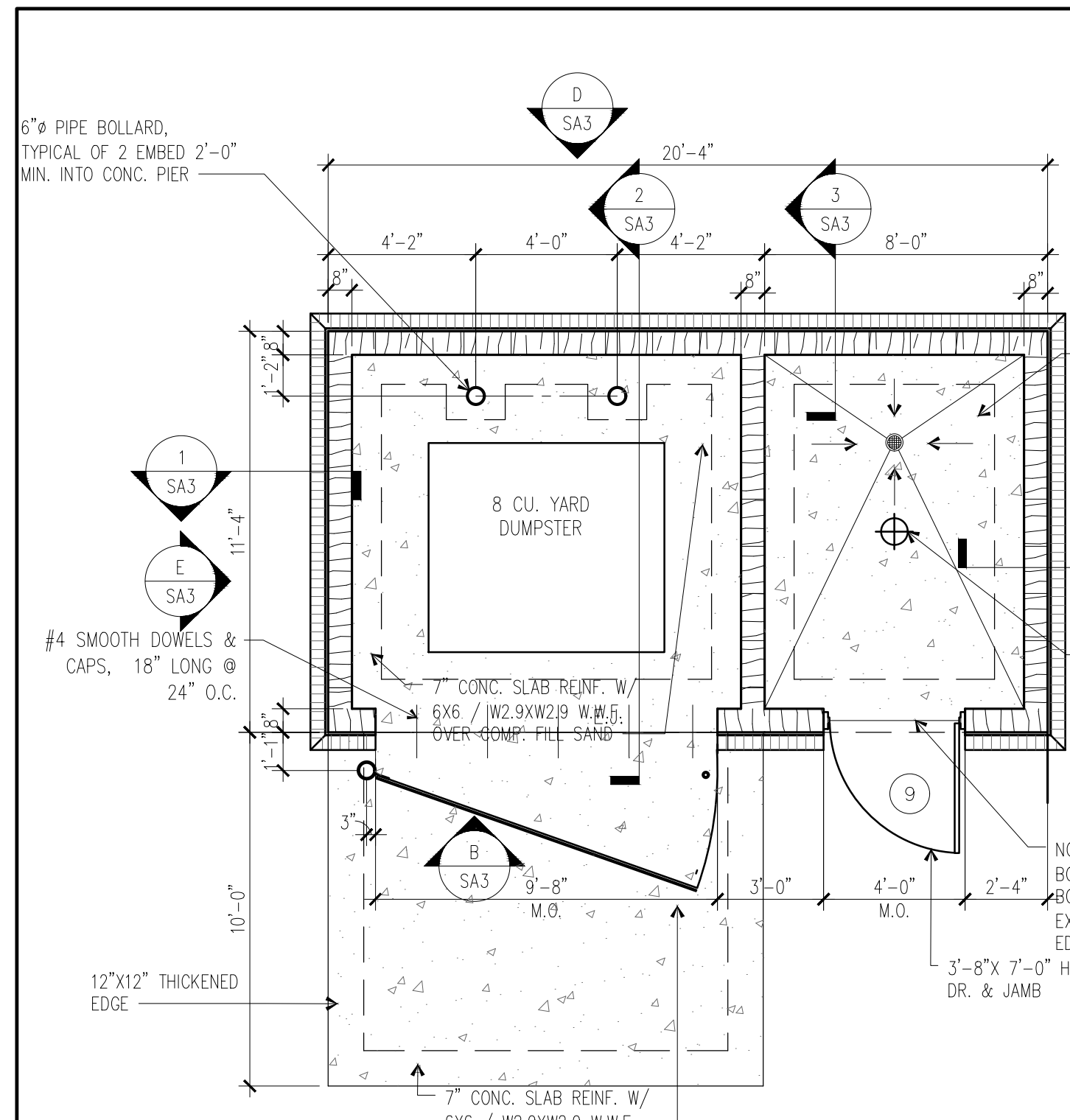
DAN WINTER ARCHITECT
1024 EAST FIRST STREET
WICHITA, KS. 67214
PH. 316-267-7142

TRASH ENCLOSURE PLAN & DETAILS

DATE
12/30/2021

DRAWN BY:
RB
CHECKED BY:
DW

SHEET NO.
SA3



NOTE: REFER TO STRUCTURAL GENERAL NOTES & REINFORCED CONCRETE MASONRY NOTES ON SHEET S-0 OF THE BUILDING CONSTRUCTION DOCUMENTS

NOTE: REFER TO STRUCTURAL GENERAL NOTES & REINFORCED CONCRETE MASONRY NOTES ON SHEET S-0 OF THE BUILDING CONSTRUCTION DOCUMENTS