

LOT 5, FALCON MARKETPLACE

7575 FALCON MARKETPLACE

EL PASO COUNTY, COLORADO

DEVELOPMENT PLAN

LEGAL DESCRIPTION:

LOT 5, FALCON MARKETPLACE

FLOODPLAIN STATEMENT:

THE EFFECTIVE FLOODPLAIN ZONE A LIMITS ARE DEFINED ON THE FIRM FOR EL PASO COUNTY, COLORADO AND UNINCORPORATED AREAS, MAP NUMBER 08041C0553G, EFFECTIVE DATE DECEMBER 7, 2018.

A LOMR TO MODIFY THE FLOODPLAIN HAS BEEN APPROVED BY FEMA, CASE NO. 21-08-0534P (OCT 7, 2021) WITH AN EFFECTIVE DATE OF FEBRUARY 22, 2022.

ADA DESIGN PROFESSIONAL STANDARDS:

1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARD AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE.
2. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
3. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

NOTES:

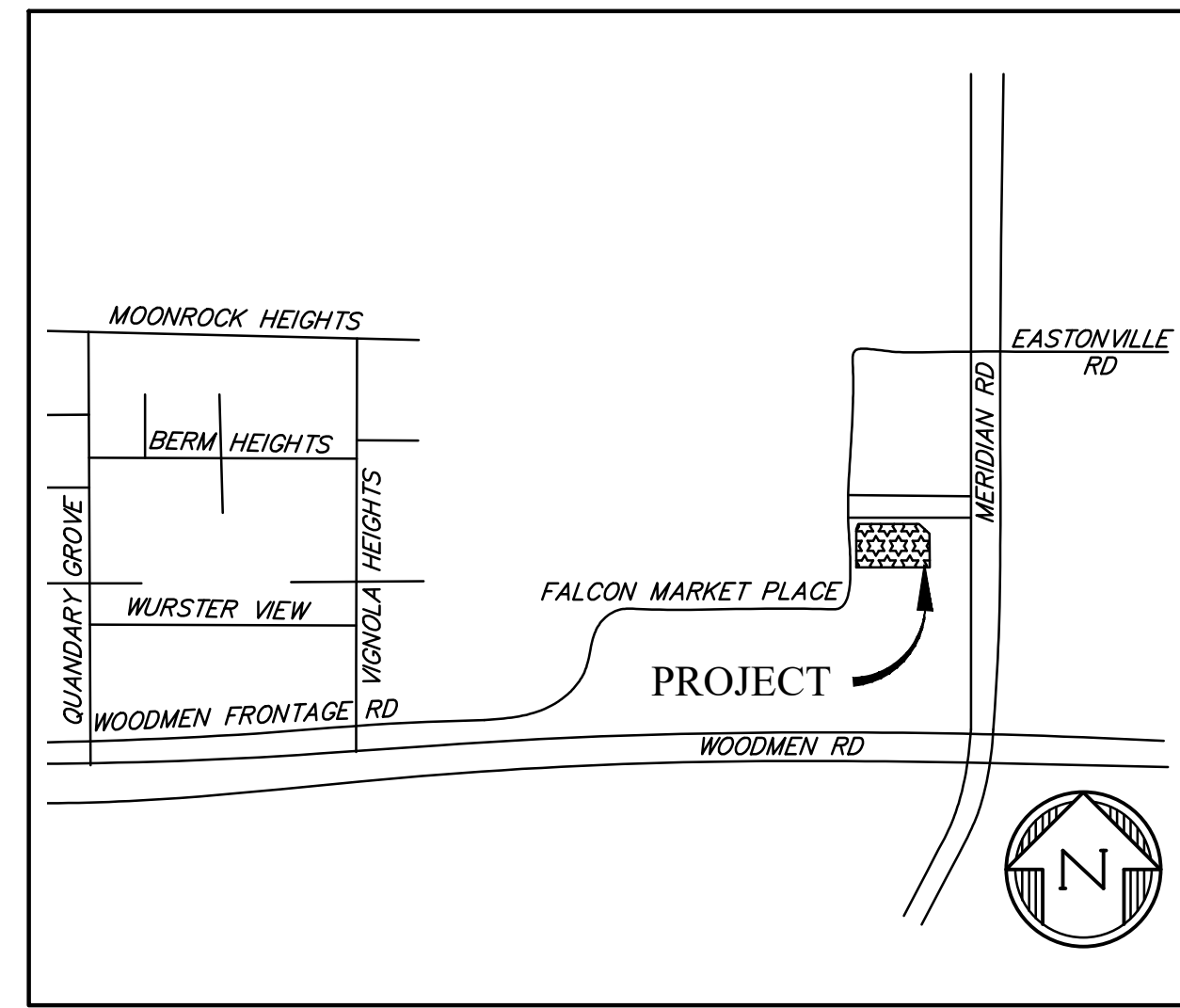
1. A SEPARATE SIGN PERMIT IS REQUIRED.
2. ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS.
3. THE ADA PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50) (2 PERCENT) IN ALL DIRECTIONS.

GENERAL NOTES:

1. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS.
2. THE GENERAL DRAINAGE PATTERNS ARE TO THE SOUTHERLY DIRECTION.
3. THIS DEVELOPMENT IS PROPOSED IN ONE PHASE.
4. LANDSCAPE MAINTENANCE OF THE PROPERTY IS THE OWNER'S RESPONSIBILITY.
5. ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.
6. ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS ARE TO BE CONSTRUCTED WITH TYPE 3 CURB AND GUTTER.

APPROXIMATE SCHEDULE OF DEVELOPMENT:

BEGIN SPRING 2022 COMPLETE SUMMER 2022



VICINITY MAP
NTS

SITE/BUILDING DATA:

OWNER/CONTRACTOR: TRIPOD VENTURES, LLC
 6050 STETSON HILLS BLVD #295
 COLORADO SPRINGS, CO 80923
 CONTACT: TIM D. MCCONNELL, P.E.
 (719) 260-0887
 BOULDER • COLORADO SPRINGS • GREELEY

TAX SCHEDULE NUMBER: 5301403001

DEVELOPMENT PLAN/LOT AREA: 0.781 AC +/-
 LOT AREA COVERAGE: 76.5% (0.61 AC.)
 OPEN SPACE: 8.95%
 LANDSCAPING: 14.55%
 IMPERMEABLE SURFACE: 76.5%

ZONING: (EXISTING & PROPOSED) CR

LAND USE: DRIVE-IN/FAST FOOD RESTAURANT

DRAINAGE BASIN: FALCON

BUILDING CONSTRUCTION TYPE: V, SPRINKLED

BUILDING AREA: 3,146 SF
 OUTDOOR PATIO DINING: 345 SF

BUILDING HEIGHT:
 ALLOWED: 50'
 PROPOSED: 24'

BUILDING SETBACKS:
 FRONT: EXISTING & PROPOSED 25'
 SIDE: EXISTING & PROPOSED 25'
 REAR: EXISTING & PROPOSED 25'

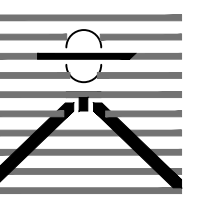
PARKING:

TOTAL REQUIRED	
FAST FOOD RESTAURANT	1 PER 100 = 31
ADA STALLS	1 PER 25 = 2
TOTAL PROVIDED	
STANDARD STALLS	28
ADA STALLS PROVIDED	2
TOTAL PROPOSED	30

SHEET INDEX

SHT1	CV	DEVELOPMENT PLAN COVER SHEET
SHT2	USP	UTILITY & SITE PLAN

PREPARED BY:



DREXEL, BARRELL & CO.
 Engineers • Surveyors
 3 SOUTH 7TH STREET
 COLORADO SPGS, COLORADO 80905
 CONTACT: TIM D. MCCONNELL, P.E.
 (719) 260-0887
 BOULDER • COLORADO SPRINGS • GREELEY

CLIENT:

TRIPOD VENTURES

6050 STETSON HILLS BLVD.,
 STE #295
 COLORADO SPRINGS, CO 80923
 (719) 217-7279
 KGERSTNER@TRIPODUSA.com

CONSTRUCTION PLANS FOR:
LOT 5, FALCON MARKETPLACE
 EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	01/07/2022
LATEST ISSUE	7/6/2022

DESIGNED BY:	KGV
DRAWN BY:	SDM
CHECKED BY:	TDM
FILE NAME:	20988-10-CV

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:
 HORIZONTAL: N/A
 VERTICAL: N/A

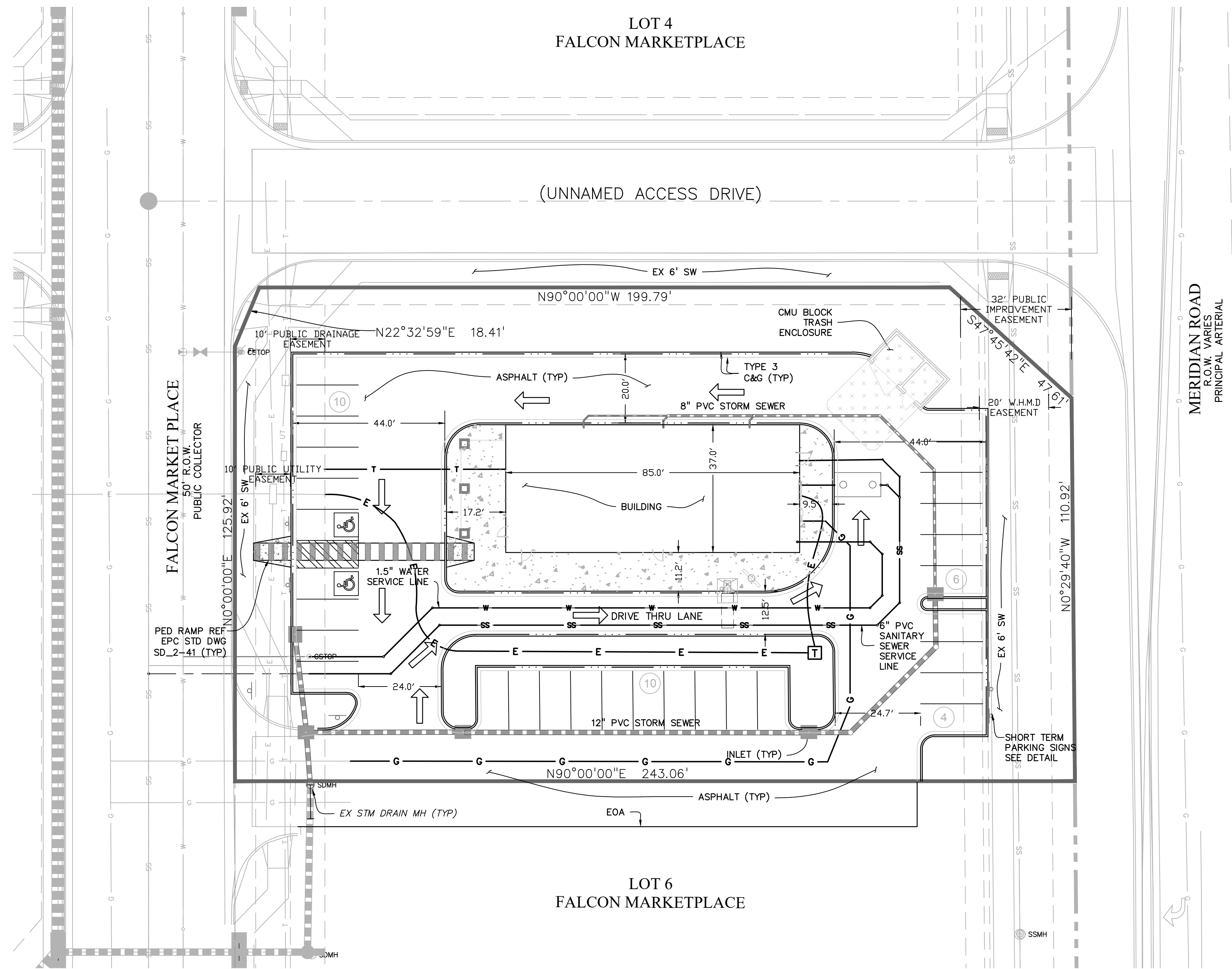
COVER SHEET

PROJECT NO. 20988-10CSCV
 DRAWING NO.

CV

SHEET: 1 OF 2



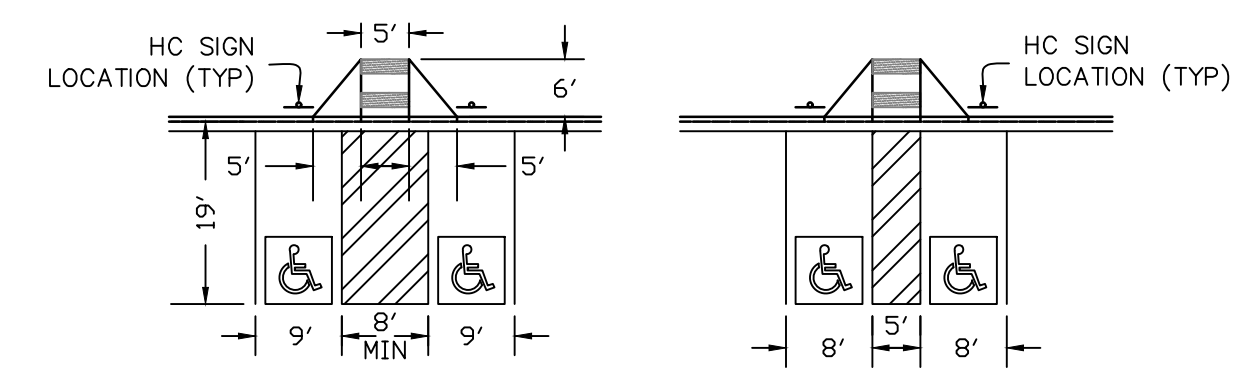
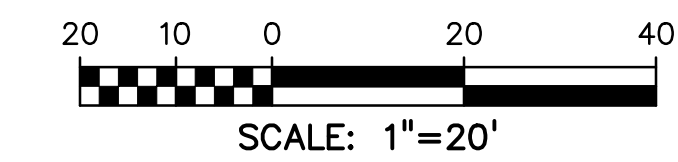
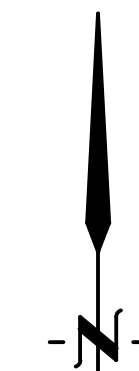


ABBREVIATION

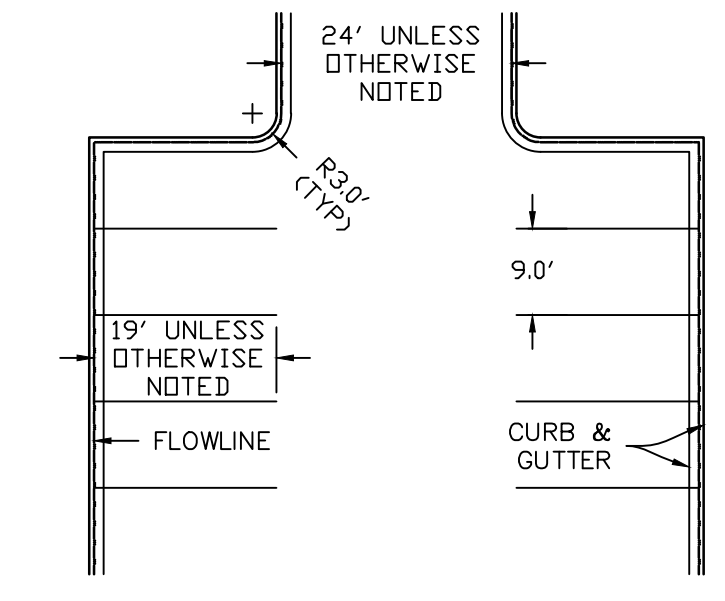
C&G	CURB AND GUTTER
EOA	EDGE OF ASPHALT
EX	EXISTING
MH	MANHOLE
PED	PEDESTRIAN
PP	PROPOSED
STM	STORM
SW	SIDEWALK
TELE	TELEPHONE
TYP	TYPICAL

LEGEND

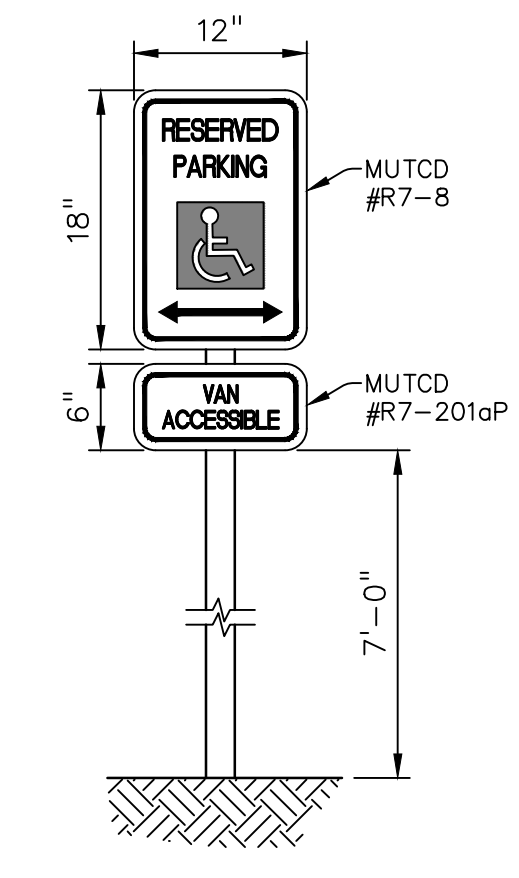
PROPERTY LINE.....	---
ROW.....	---
EASEMENT.....	---
STOP SIGN.....	⊥
SANITARY SERVICE LINE.....	SS
GAS SERVICE LINE.....	G
WATER SERVICE LINE.....	W
ELECTRIC SERVICE LINE.....	E
TELE SERVICE LINE.....	E
ADA ACCESSIBLE ROUTE TO PUBLIC ROW.....	
NUMBER OF PARKING STALLS.....	2
HANDICAP PARKING.....	♿



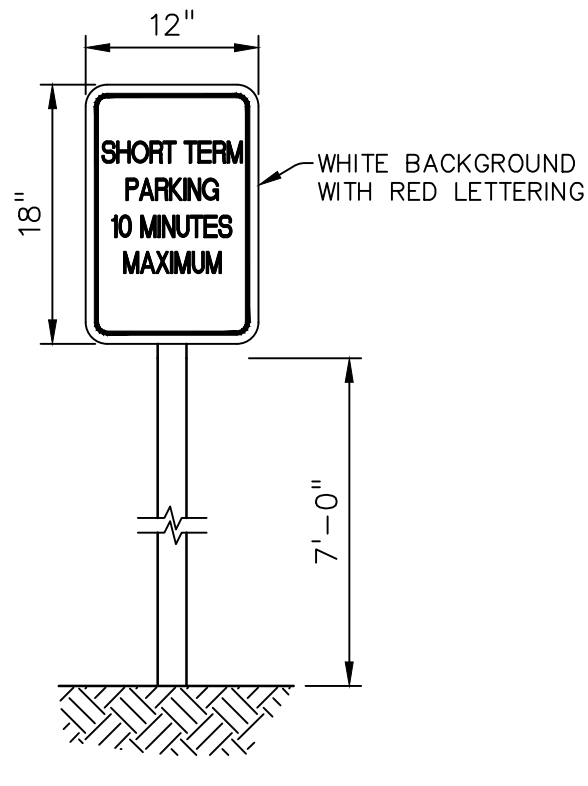
VAN PARKING LAYOUT NTS
REGULAR PARKING LAYOUT NTS
TYPICAL HANDICAP PARKING LAYOUT NTS



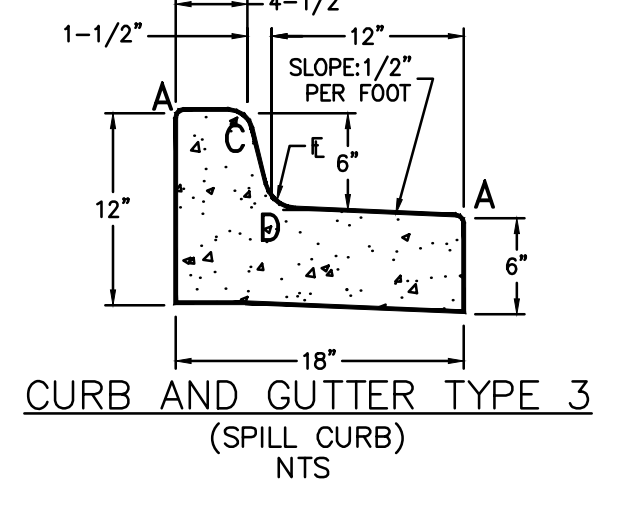
TYPICAL PARKING LAYOUT NTS



HC SIGN DETAIL NTS



SIGN DETAIL NTS



CURB AND GUTTER TYPE 3 (SPILL CURB) NTS

LENGTH FOR RADII

A	= 1/2"
C	= 1-1/2"
D	= 1-1/2" TO 2"

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Engineers & Surveyors
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DRAWN BY:	SDM
CHECKED BY:	TDM
FILE NAME:	20988-10-USP

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:
HORIZONTAL: 1"=20'
VERTICAL: N/A

UTILITY & SITE PLAN

PROJECT NO. 20988-10CSCV
DRAWING NO.





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DAN WINTER, ARCHITECT

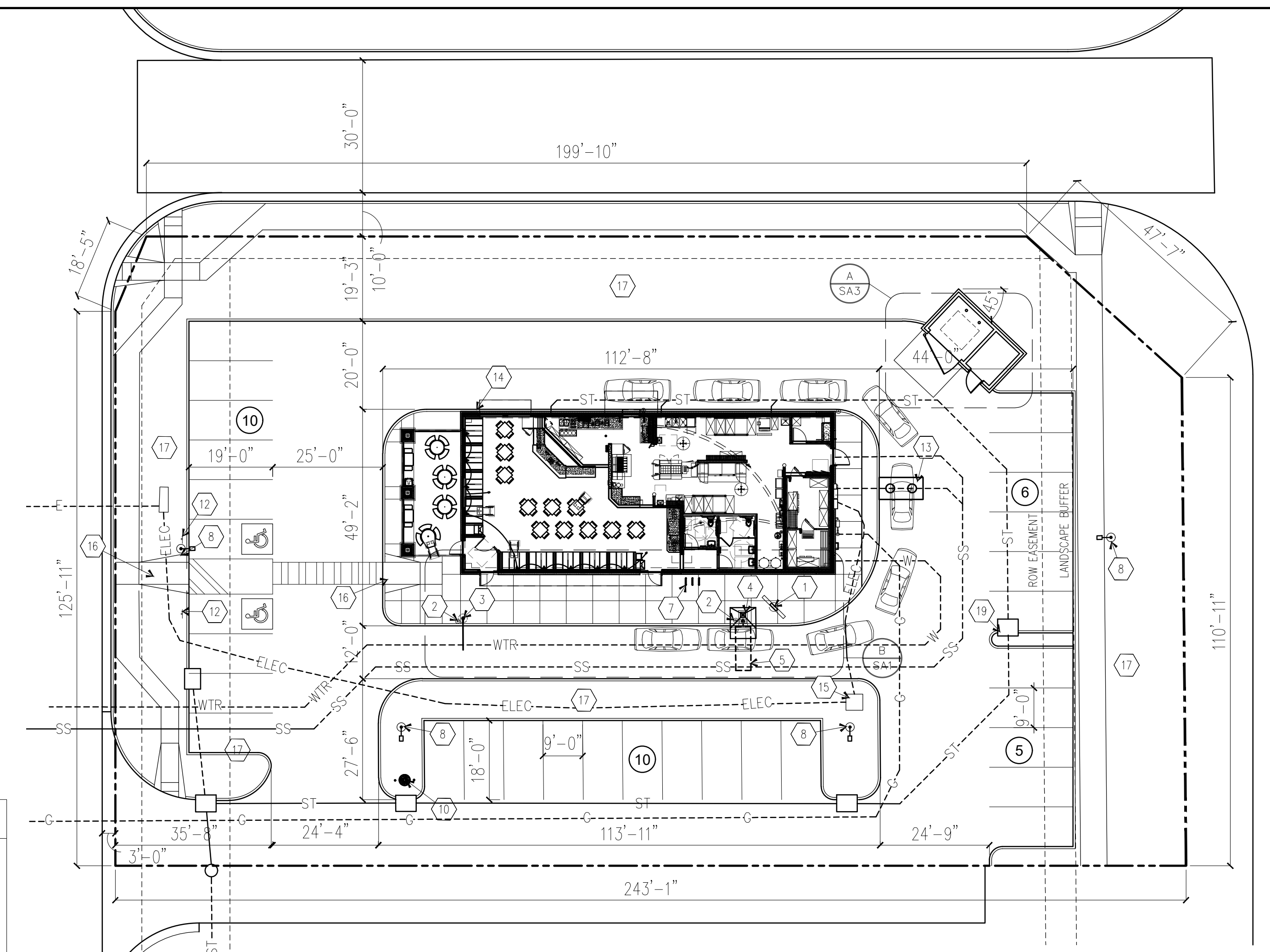
FREDDY'S FROZEN CUSTARD 7575 FALCON MARKETPLACE FALCON, CO.

DAN WINTER ARCHITECT
1024 EAST FIRST STREET
WICHITA, KS. 67214
PH. 316-267-7142

DATE
02/10/2022 BID SET

DRAWN BY:
CHECKED BY:

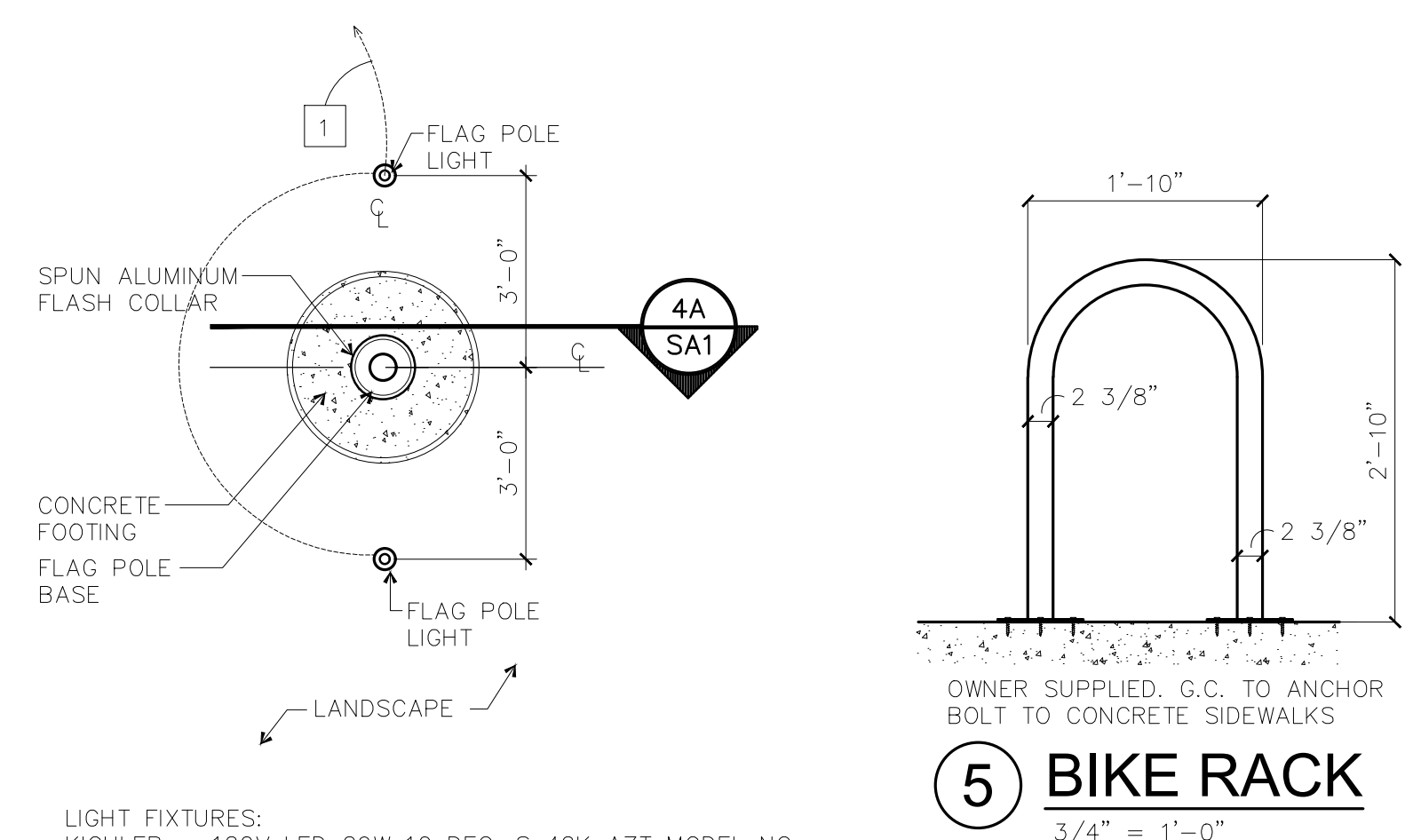
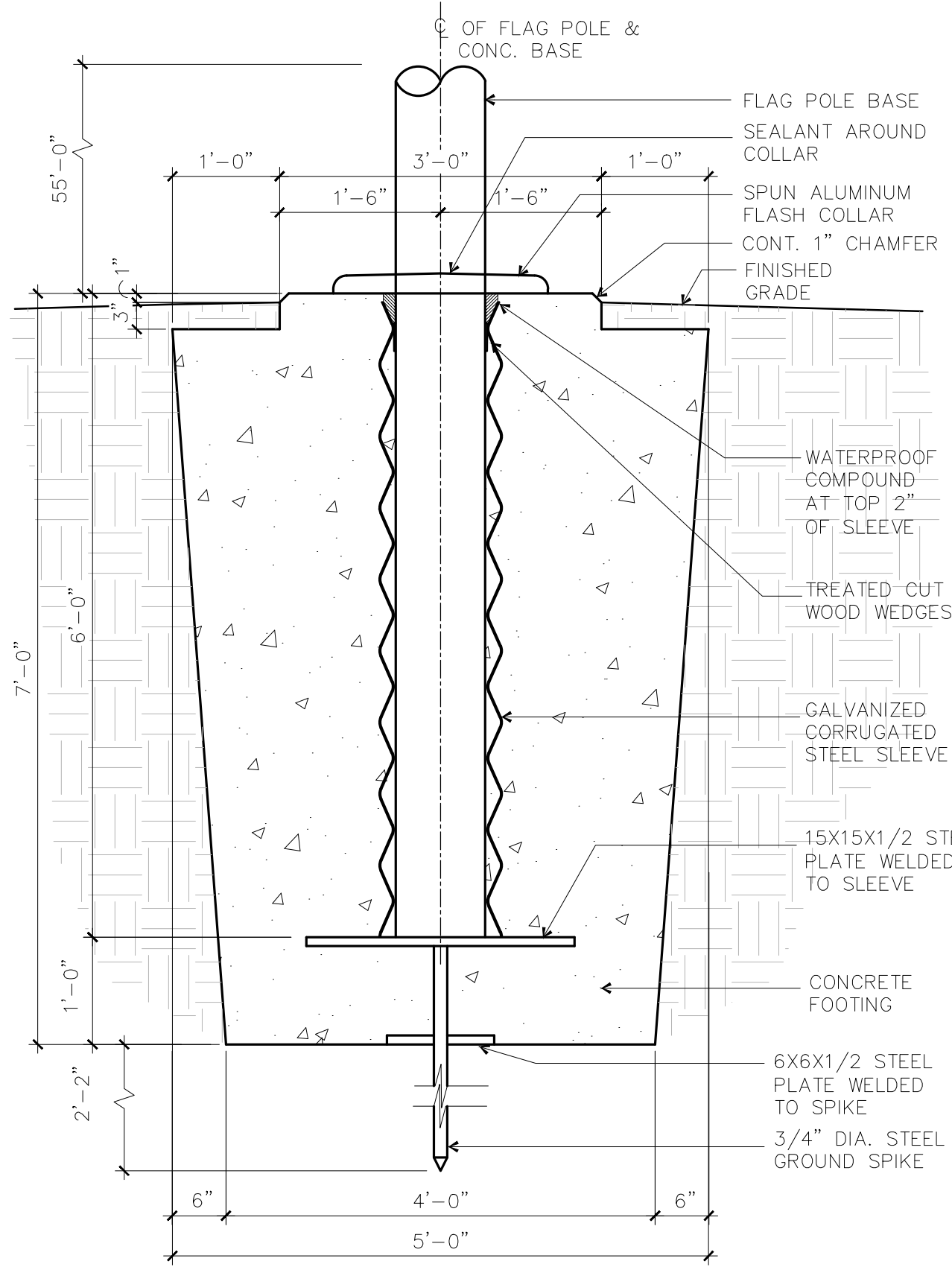
SHEET NO.



A ARCHITECTURAL SITE PLAN
1"=20'-0"
NORTH

CONCORD INDUSTRIES FLAG POLE SPECIFICATIONS

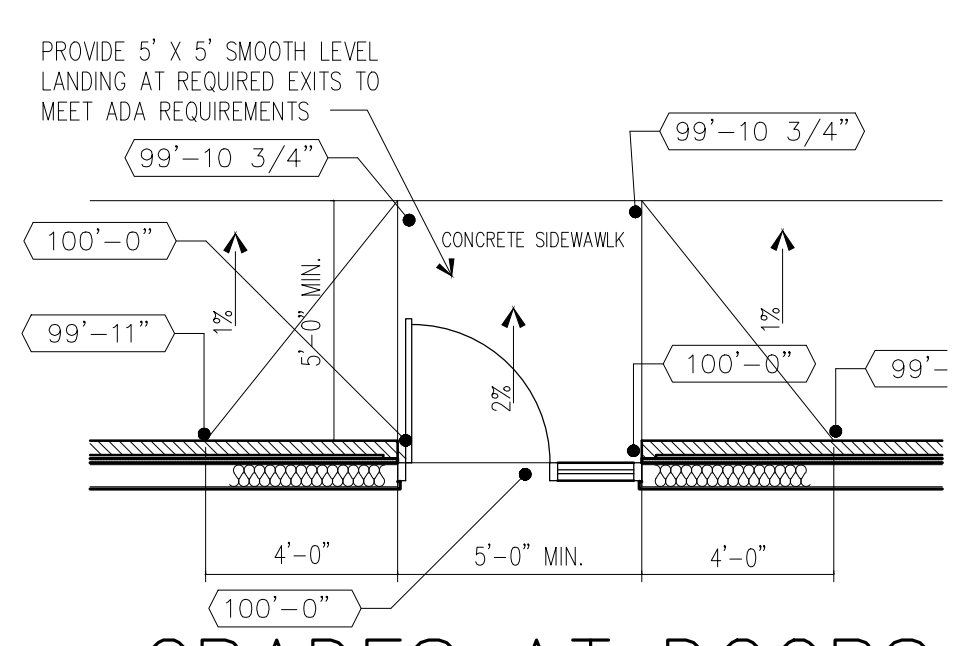
EXPOSED HEIGHT (feet)	SHAFT DIAMETER (inch)	MAXIMUM WALL THICKNESS (inch)	MAXIMUM UNFLAGGED WINDSPEED (mph)	RECOMMENDED FLAG SIZE (feet)	FLAGGED WINDSPEED (mph)	CONCORD CONTINENTAL CATALOG PART NUMBER
35'-0"	7	.156	165	6X10	110	ESR35C75-ACL



4 FLAG POLE PLAN VIEW
3/8" = 1'-0"

LIGHT FIXTURES:
KICHLER - 120V LED 29W 10 DEG. S 42K AZT MODEL NO. 16204AZT42 (TEXTURED ARCHITECTURAL BRONZE)
LIGHT FIXTURES STAKE:
KICHLER - ACCESSORY STAKE 120V - MODEL NO. 15276BK (BLACK (PAINTED))

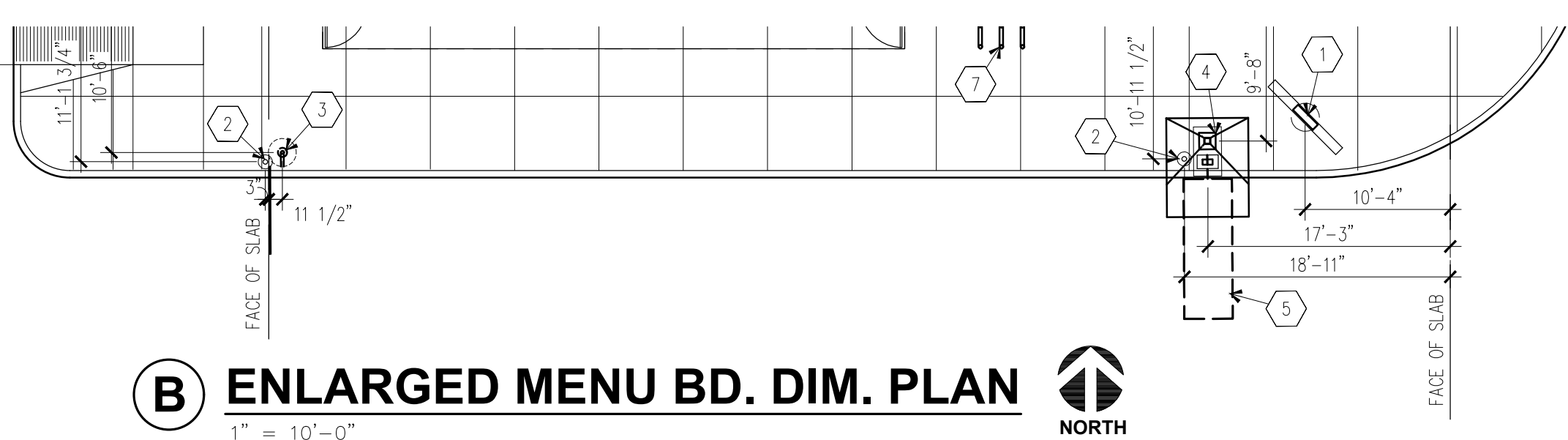
1 ROUTE CIRCUIT TO PANEL INDICATED VIA 120V PHOTOCELL. LOCATE PHOTOCELL ON ROOF OF BUILDING FACING NORTH.



- ADA SIDEWALK AND RAMP NOTES**
- THE CROSS SLOPE OF A SIDEWALK SHALL BE 2% (1/4" / PER 12") MAX. AND 1% (1/8" / PER 12") MIN. THE SLOPE CAN BE TOWARD THE PAVEMENT OR AWAY FROM THE PAVEMENT AS LONG AS POSITIVE DRAINAGE IS MAINTAINED.
 - CURB RAMPS SHALL HAVE A MIN. WIDTH OF 48 INCHES. THE CURB RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF (1" / PER 12")
 - A LANDING THE WIDTH (W) OF THE CURB RAMP AND FIVE FEET IN LENGTH SHALL BE CONSTRUCTED AT THE TOP OF CURB RAMPS. THE SLOPE OF THE LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION.
 - CARE SHALL BE TAKEN TO ENSURE A UNIFORM GRADE ON RAMPS, FREE OF SAGS AND SHORT GRADE CHANGES.
 - THE NORMAL GUTTER LINE PROFILE SHALL BE MAINTAINED THROUGH THE AREAS OF RAMPS.
 - SIDEWALKS THAT ARE PART OF AN ADA ACCESSIBLE ROUTE AND ALL CURB AND ADA RAMPS SHALL BE CONSTRUCTED TO MEET ALL ADA REQUIREMENTS AND TOLERANCES.
 - SIDEWALKS ABUTTING ASPHALT SHALL HAVE A THICKENED EDGE.
 - PROVIDE CONTROL JOINTS AT INTERVALS EQUAL TO CONCRETE SIDEWALK WIDTH, BUT IN NO CASE GREATER THAN 10'-0".
 - CONTROL JOINTS MAY BE MADE WITH A GROOVING TOOL AT THE TIME OF FINISHING OR WITH A CONCRETE SAW AFTER CONCRETE HAS SUFFICIENTLY CURED.
 - CONTROL JOINTS SHALL BE 1" DEEP AND 1/4" WIDE.
 - PROVIDE EXPANSION JOINTS AT MAXIMUM OF 32'-0" INTERVALS AND AT EXISTING STRUCTURES OR CONCRETE.

SITE PLAN KEY NOTES

- NEW MENU BOARD. REF. 2/SA2 FOR FOUNDATION DETAIL'S
- NEW BOLLARD REF. 2/SA1
- NEW CLEARANCE BAR 5/SA2
- NEW ORDER CANOPY 4/SA2
- NEW DETECTOR LOOP
- NEW BOLLARD REF. 2/SA1
- BIKE RACK REF. 5/SA1
- LIGHT POLE REF. CIVIL DWGS.
- STOP SIGN. REF. CIVIL DWGS.
- FLAG POLE REF. 4/SA1 & 4A/SA1 FOR DETAILS
- NOT USED
- ADA SIGN REF. CIVIL DRAWINGS FOR DETAILS
- GREASE INTERCEPTOR REF. PLUMBING PLANS FOR DETAILS
- FREDDY'S PEDESTRIAN SIGN REF. 1A/SA1
- ELECTRICAL TRANSFORMER
- ACCESSIBLE RAMP REF. CIVIL FOR DETAIL
- LANDSCAPE AREA REF. CIVIL DWGS.
- CONCRETE WHEEL STOP. REF. CIVIL DWGS.
- STORM WATER STRUCTURE. REF. CIVIL DWGS.
- SANITARY SEWER STRUCTURE. REF. CIVIL DWGS.
- WATER METER. REF. CIVIL DWGS.
- FIRE HYDRANT - REF. CIVIL DWGS.

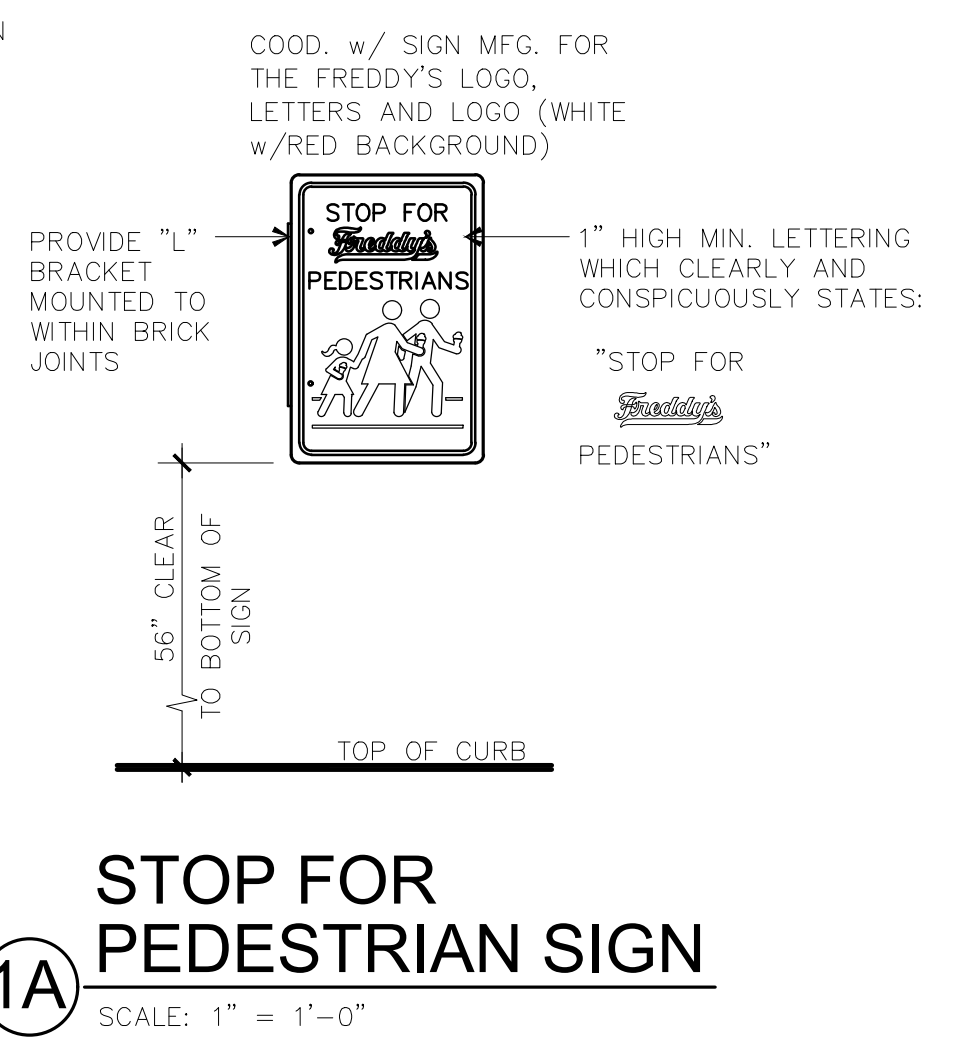
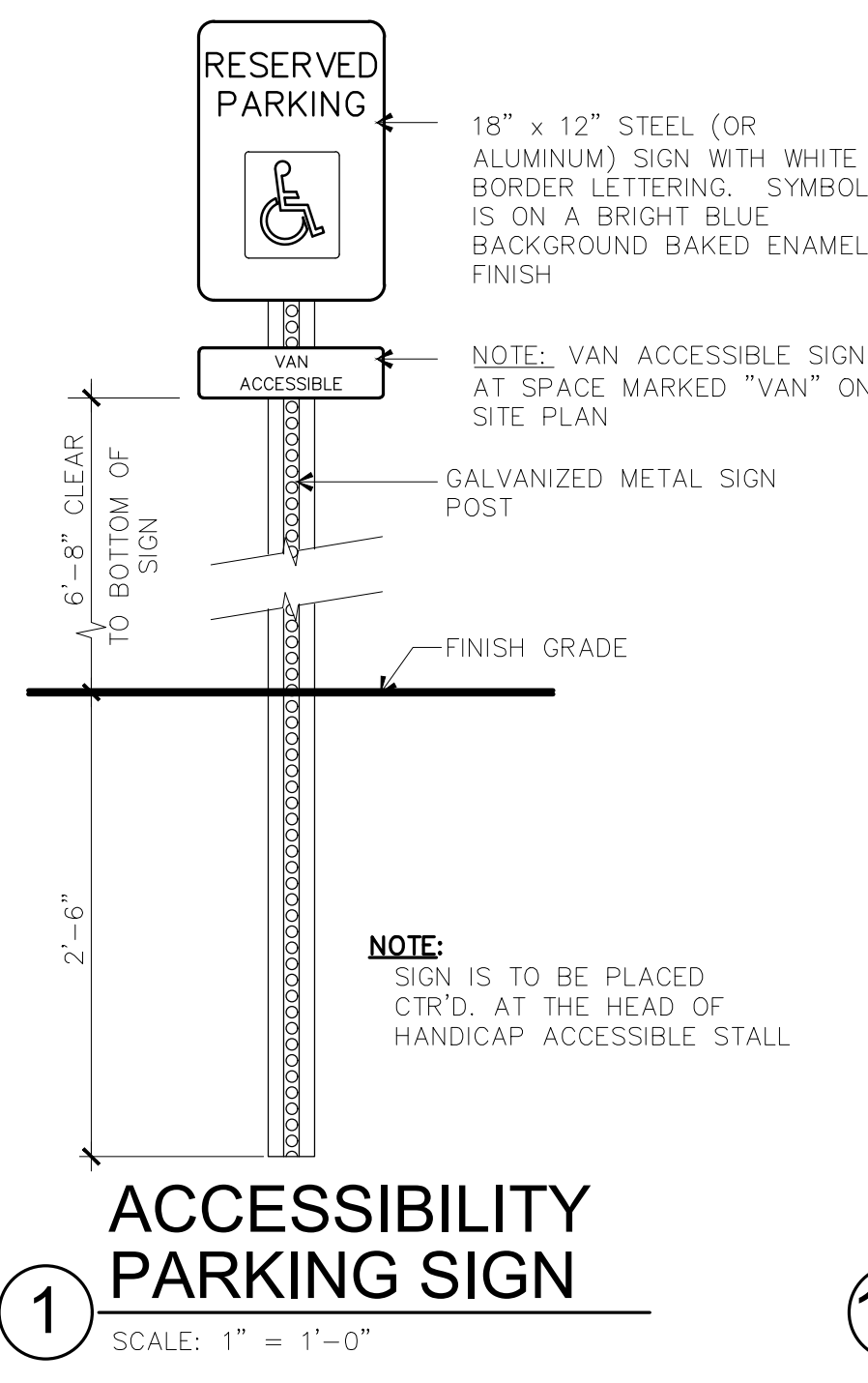
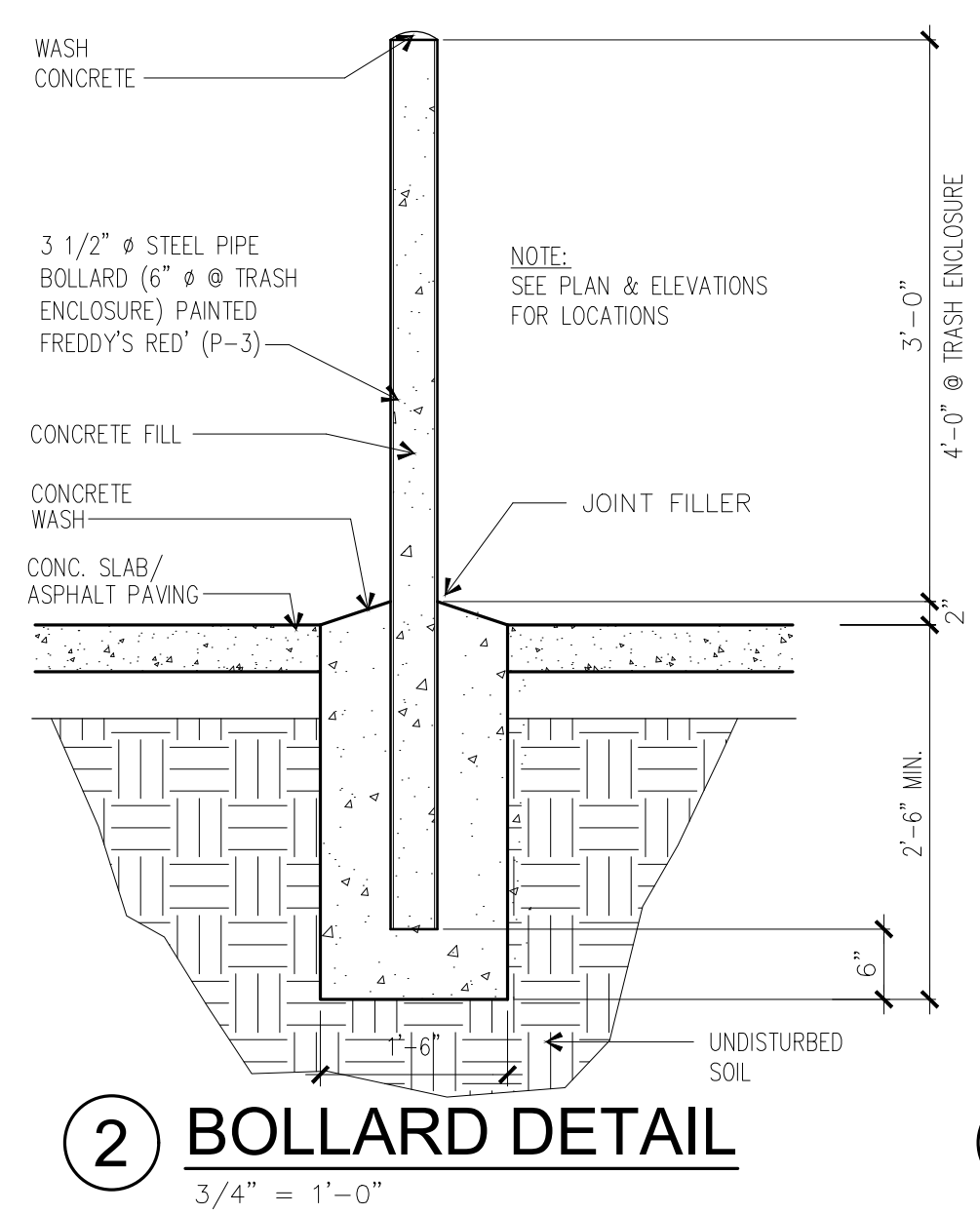


SITE PLAN GENERAL NOTES

- REFERENCE DETAILS SHEET SA2 FOR MAINSTREET MENU BOARD, MAINSTREET PRE-SELL BOARD & CLEARANCE BAR FOUNDATIONS. REFERENCE DETAIL "4" SHEET SA2 FOR ORDER CONFIRMATION BOARD & DRIVE THRU CANOPY FOUNDATION.
- REFERENCE MAINSTREET DOCUMENTS FOR MENU BOARD, PRE-SELL BOARD & CLEARANCE BAR INSTALLATION DETAILS.
- REFERENCE SHEET E1 & E5 FOR ELECTRICAL CONNECTIONS TO MAINSTREET MENU BOARD, MAINSTREET PRE-SELL BOARD, ORDER CONFIRMATION SYSTEM, LOOP DETECTOR, DRIVE THRU CANOPY AND DT TIMING SYSTEM LOOP DETECTOR.
- REFERENCE MENU BOARD MANUFACTURERS' DOCUMENTS FOR INSTALLATION REQUIREMENTS. REFERENCE ELECTRICAL DRAWINGS FOR POWER AND COMM. SYSTEM REQUIREMENTS.
- SEE DETAILS SH. SA2 FOR MENU BOARD, CANOPY AND ORDER CONFIRMATION BOARD.
- ALL DIMENSIONS ARE FROM FACE OF FOUNDATION OR FACE OF CURB COORDINATE ACTUAL LOCATIONS WITH NEW CURBS

NOTE: ALL DIMENSIONS ARE FROM FACE OF BUILDING SLAB TO CENTERLINE OF SUPPORTS UNLESS NOTED ON PLAN. COORDINATE ACTUAL LOCATIONS WITH CURBS.

NOTE: COORDINATE CONC. FDN. LOCATIONS & UNDERGROUND UTILITY SERVICES PRIOR TO BEGINNING CONSTRUCTION.

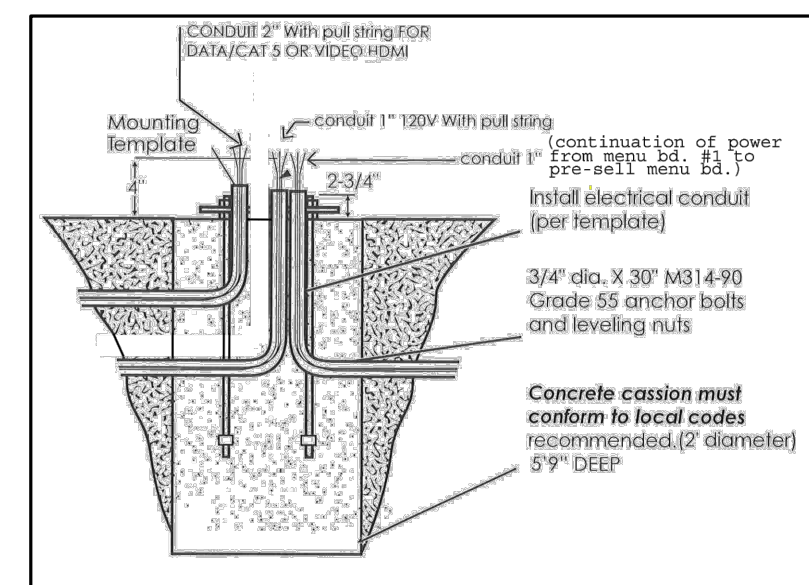




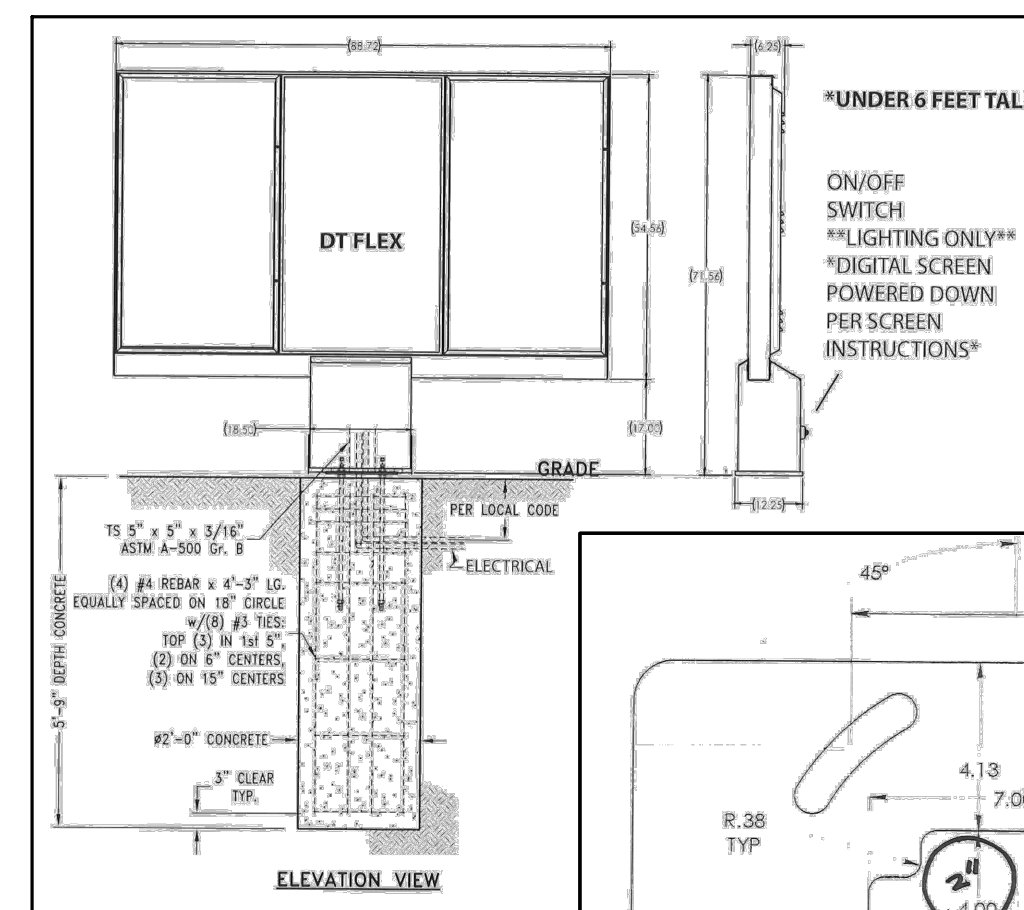
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DAN WINTER, ARCHITECT

FREDDY'S FROZEN CUSTARD
7575 FALCON MARKETPLACE
FALCON, CO.

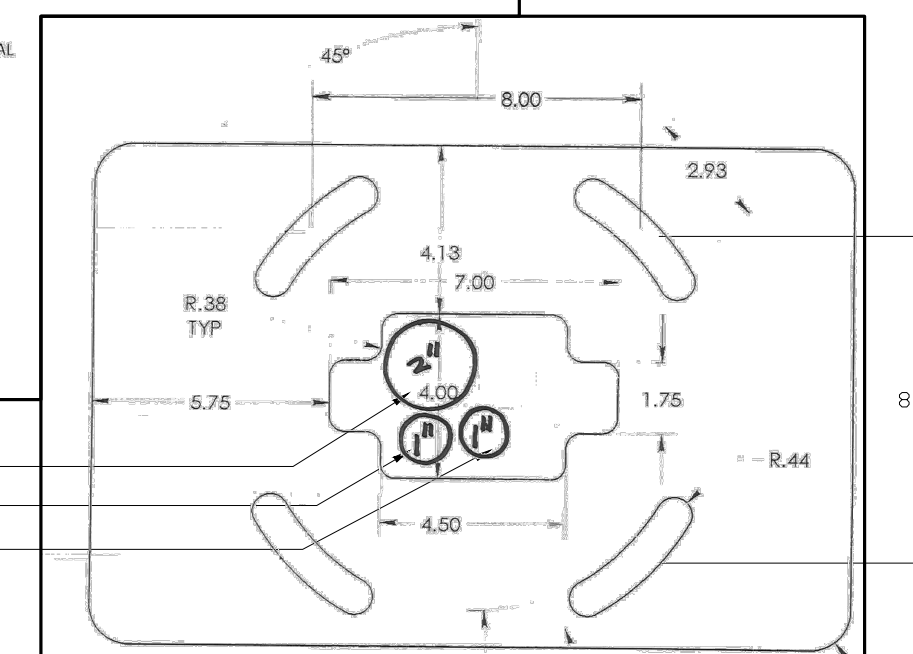


CONDUIT AT MENU BOARD



FOUNDATION DTL.

2\"/>



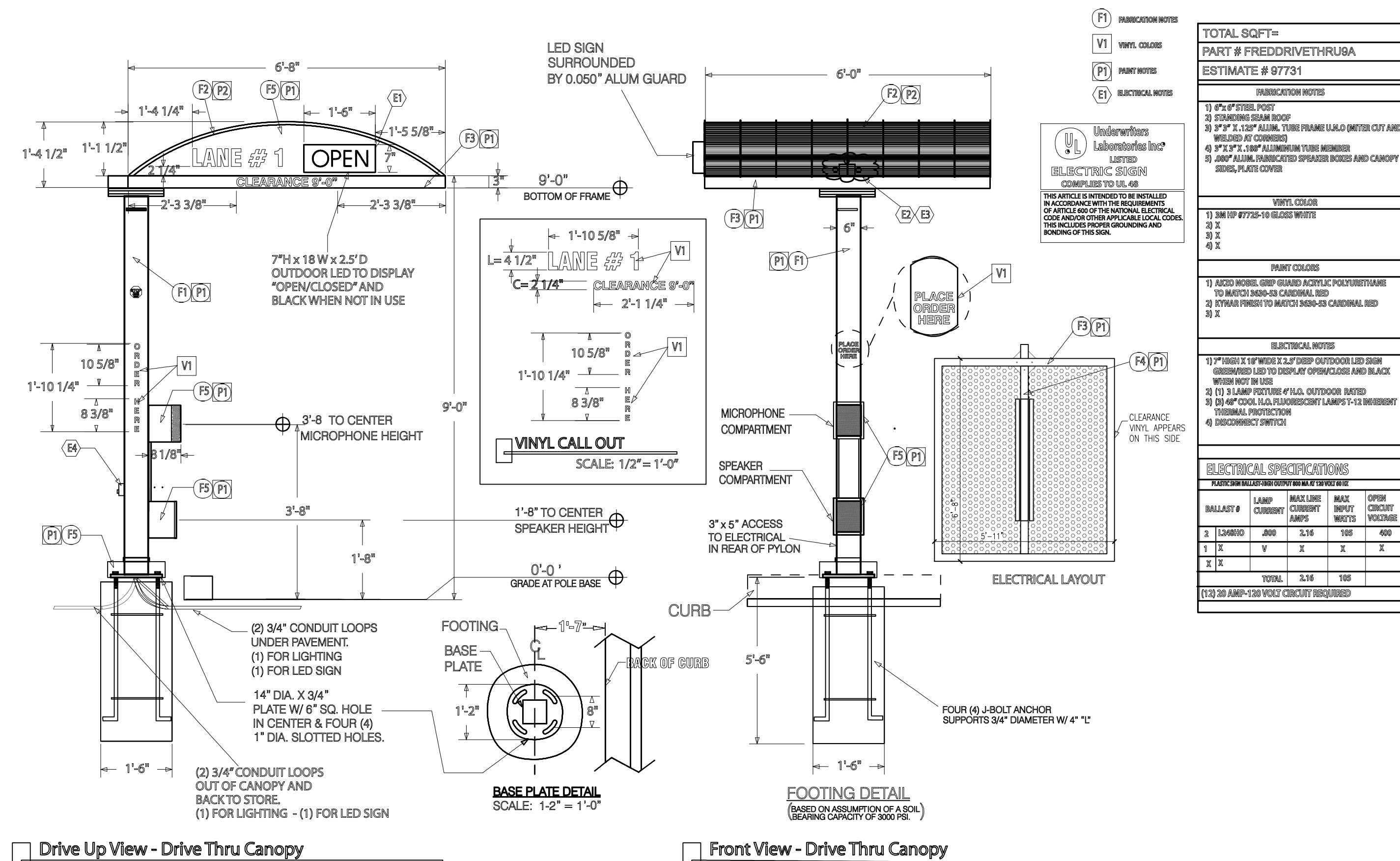
BASE PLATE (PLAN VIEW)

① NOT USED

② MENU BOARD DETAILS

SCALE: NO SCALE

③ NOT USED



Drive Up View - Drive Thru Canopy

Scale: 1/2\"/>

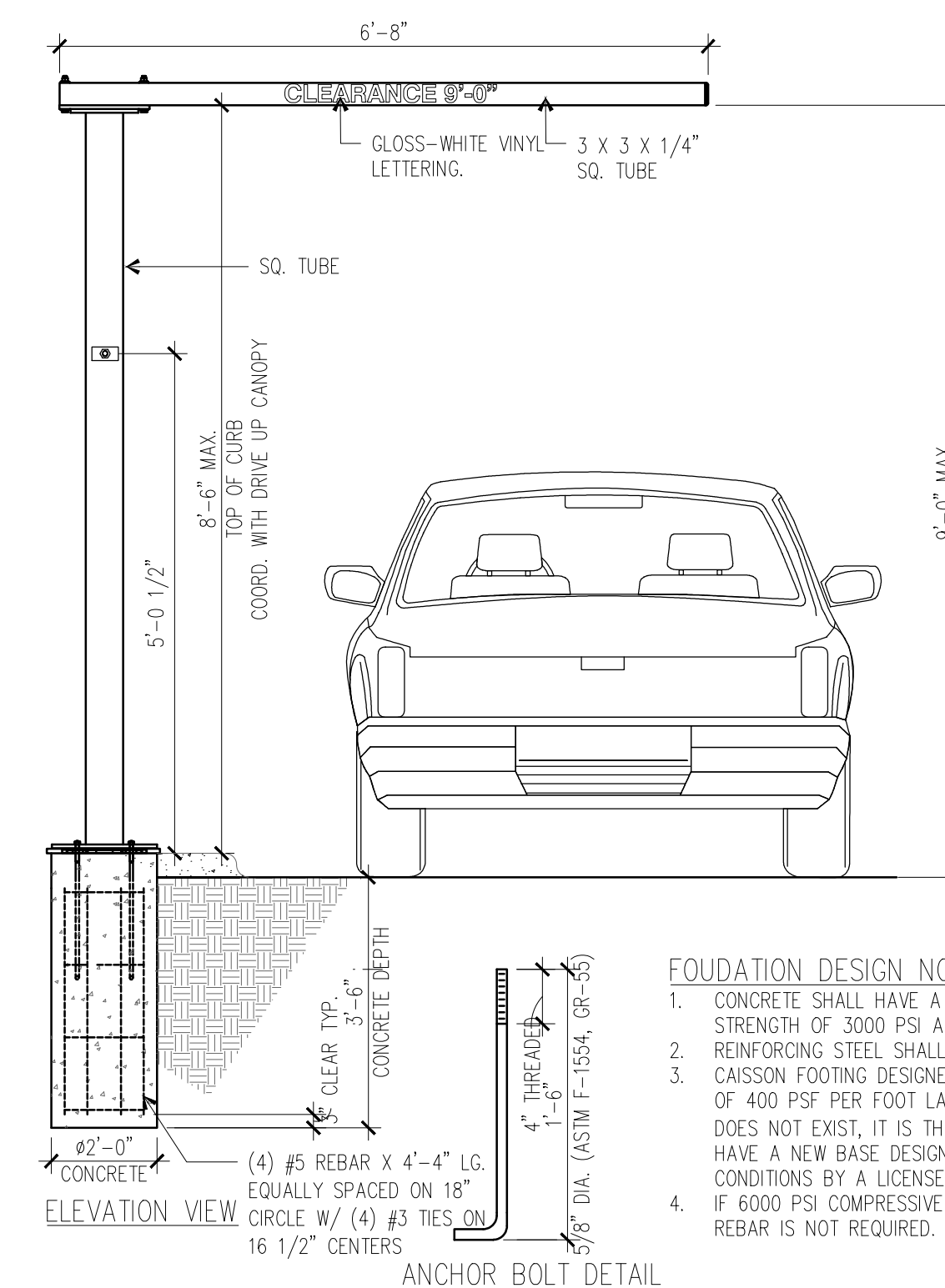
Front View - Drive Thru Canopy

Scale: 1/2\"/>

④ DRIVE-UP CANOPY DRAWINGS

SCALE: 1/2\"/>

FRAMING NOTES	
(F1)	FRAMING NOTES
(V1)	VINYL COLORS
(P1)	PART NOTES
(E)	ELECTRICAL NOTES
<p>Underwriters Laboratories Inc. LISTED ELECTRICAL SYSTEMS CONFORMS TO UL 66</p> <p>THIS ARTICLE IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THIS SIGN.</p>	
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⑤ SINGLE ARM CLEARANCE BAR DETAILS

N.T.S.

DAN WINTER ARCHITECT
1024 EAST FIRST STREET
WICHITA, KS.
67214
PH. 316-267-7142

SITE PLAN DETAILS

DATE
12/30/2021

DRAWN BY:
TDF
CHECKED BY:
DW

SHEET NO.
SA2



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FALCON, CO.

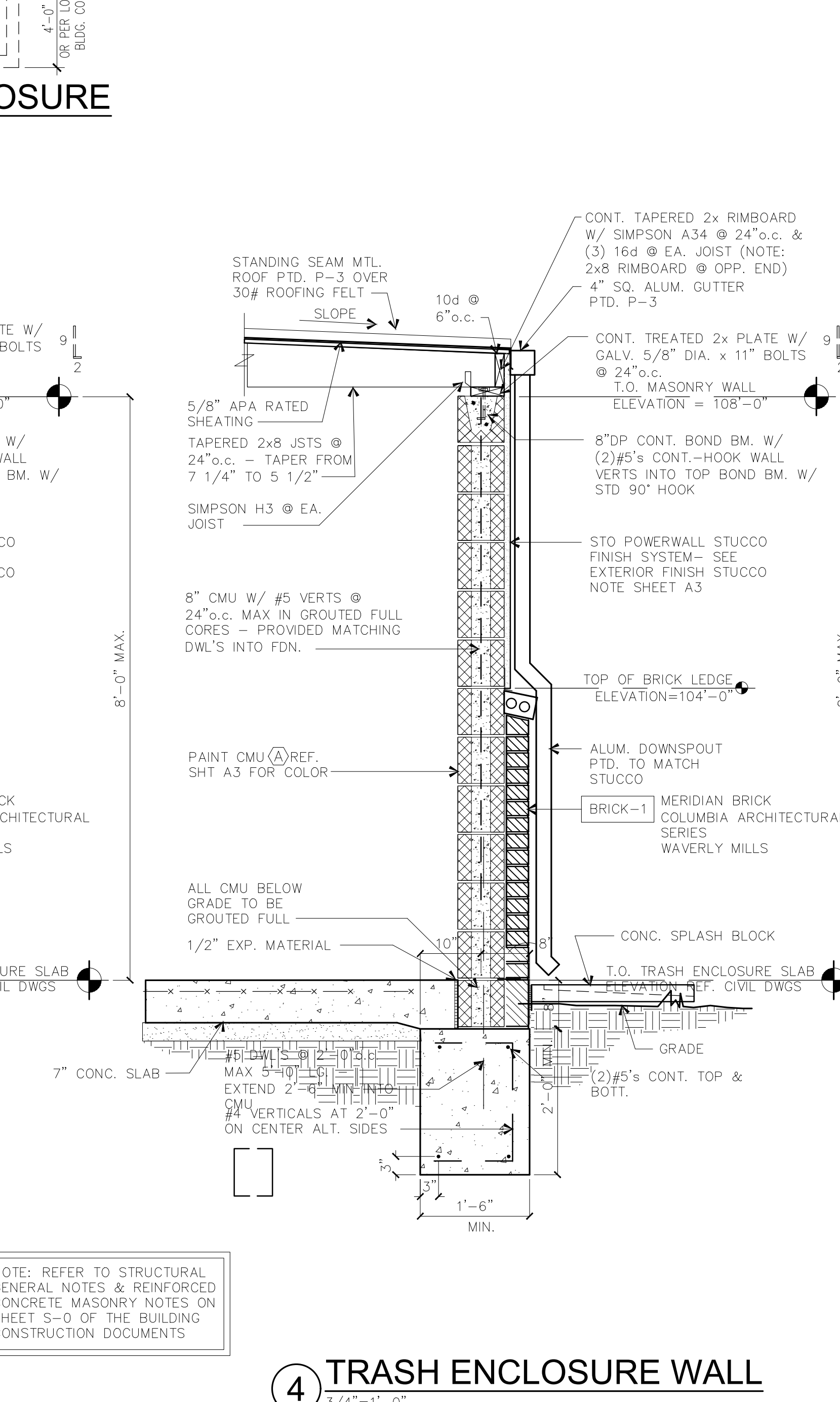
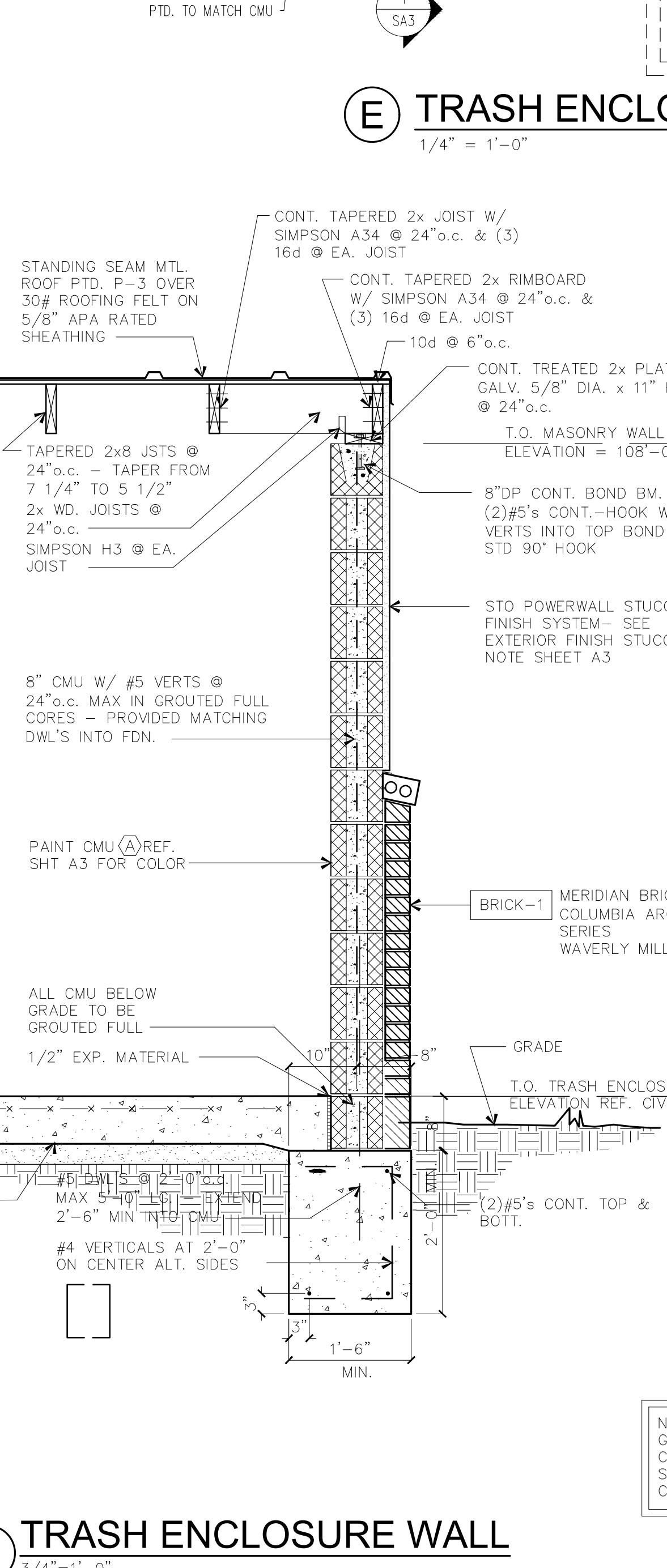
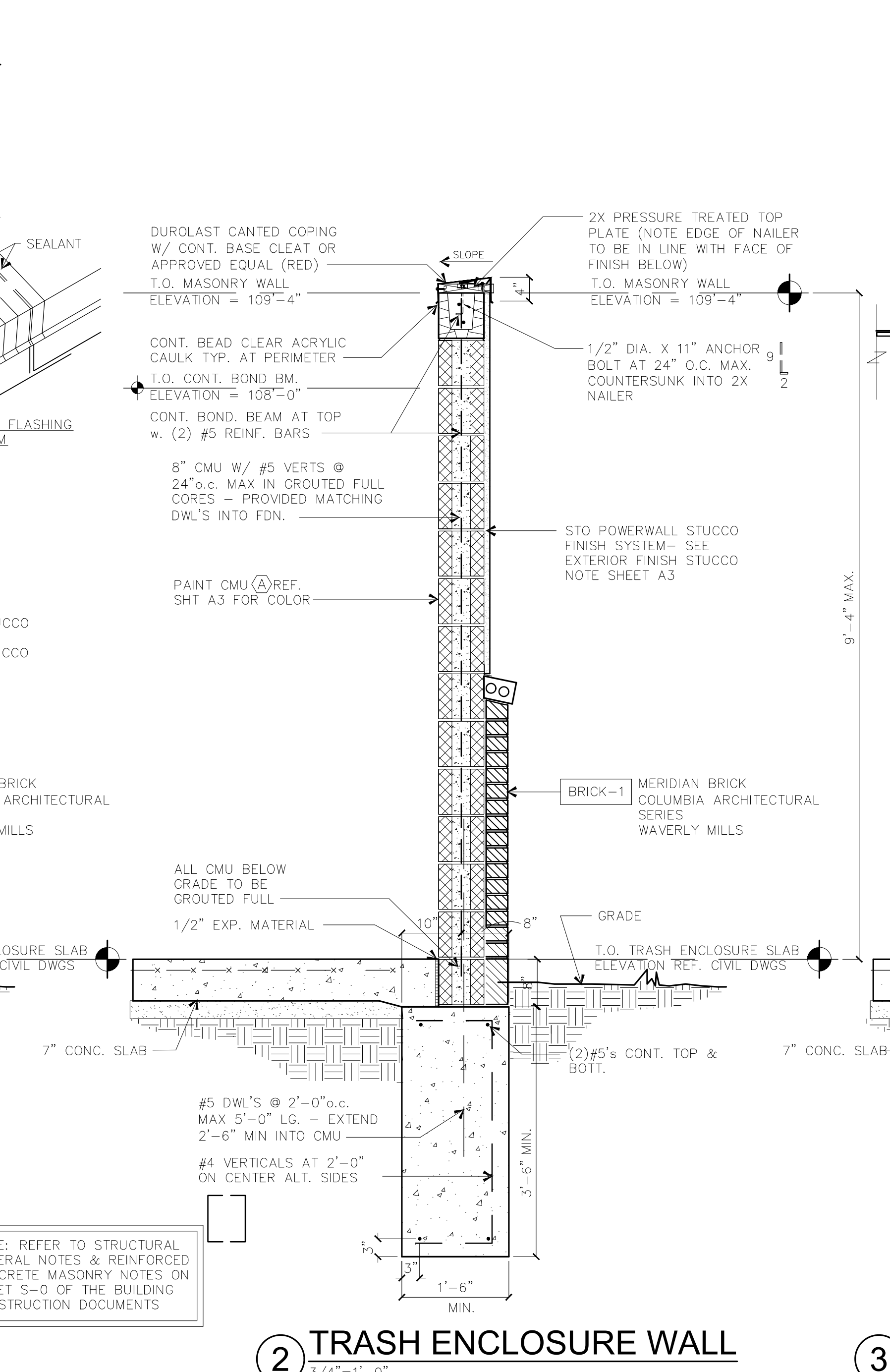
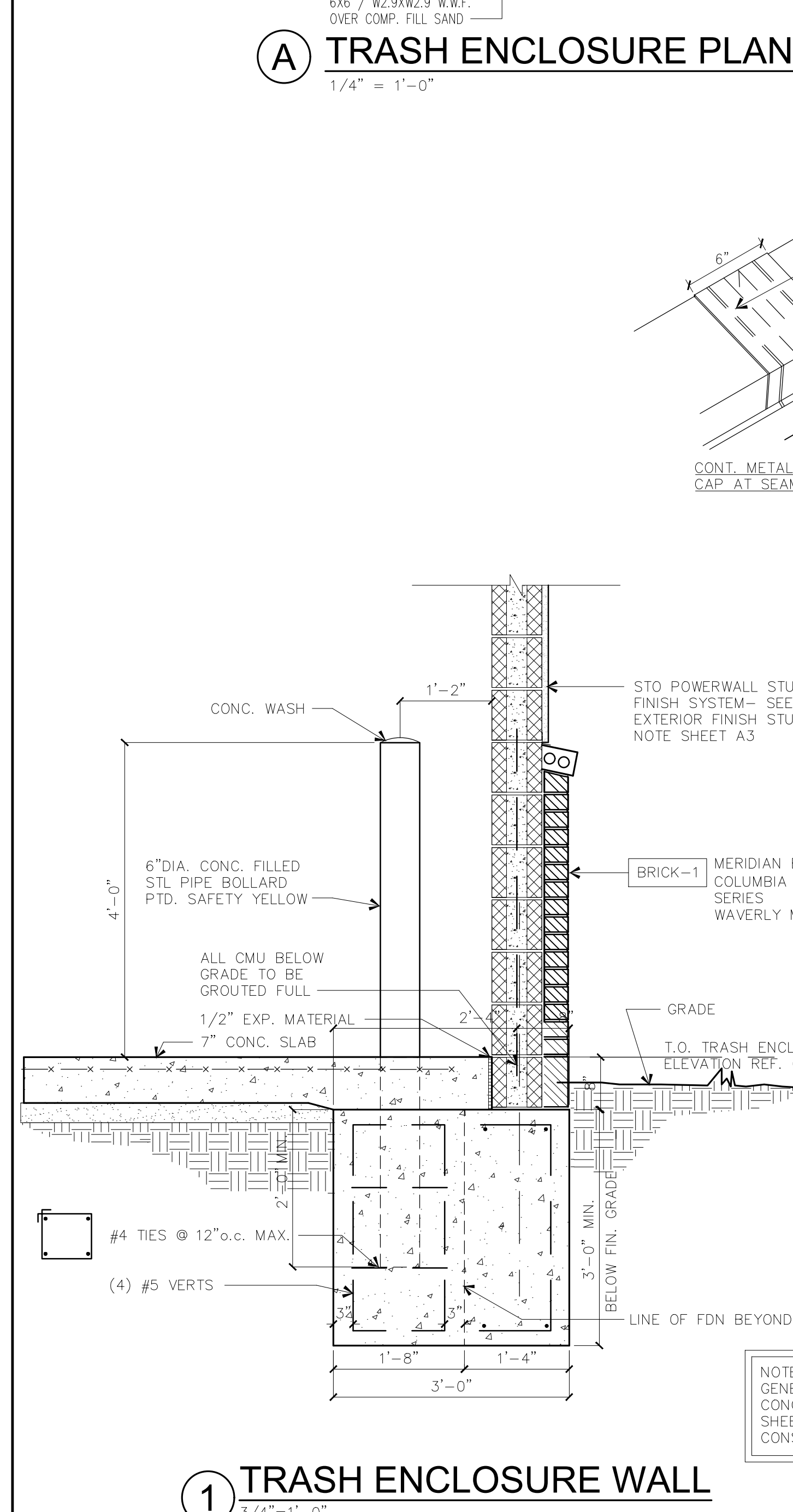
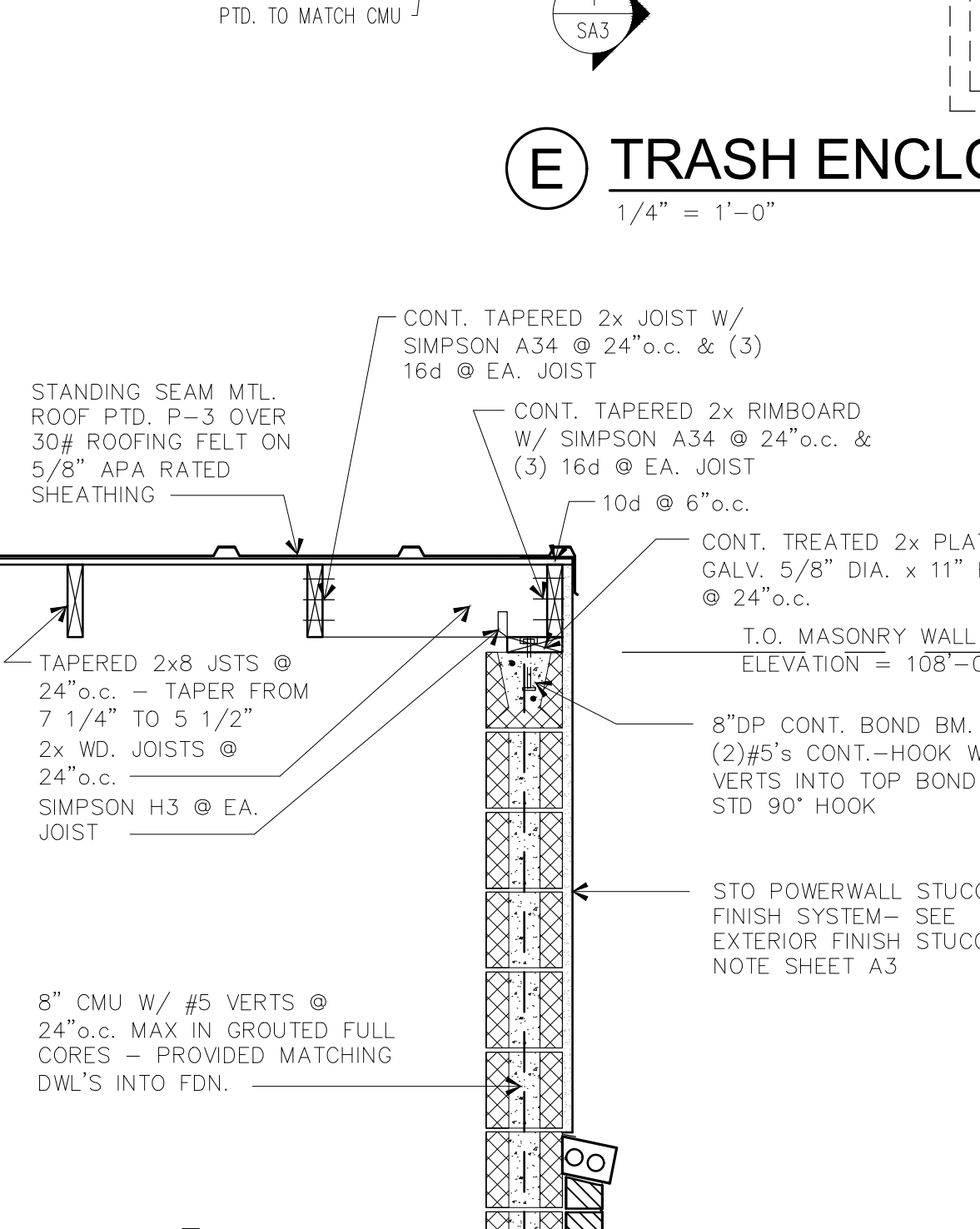
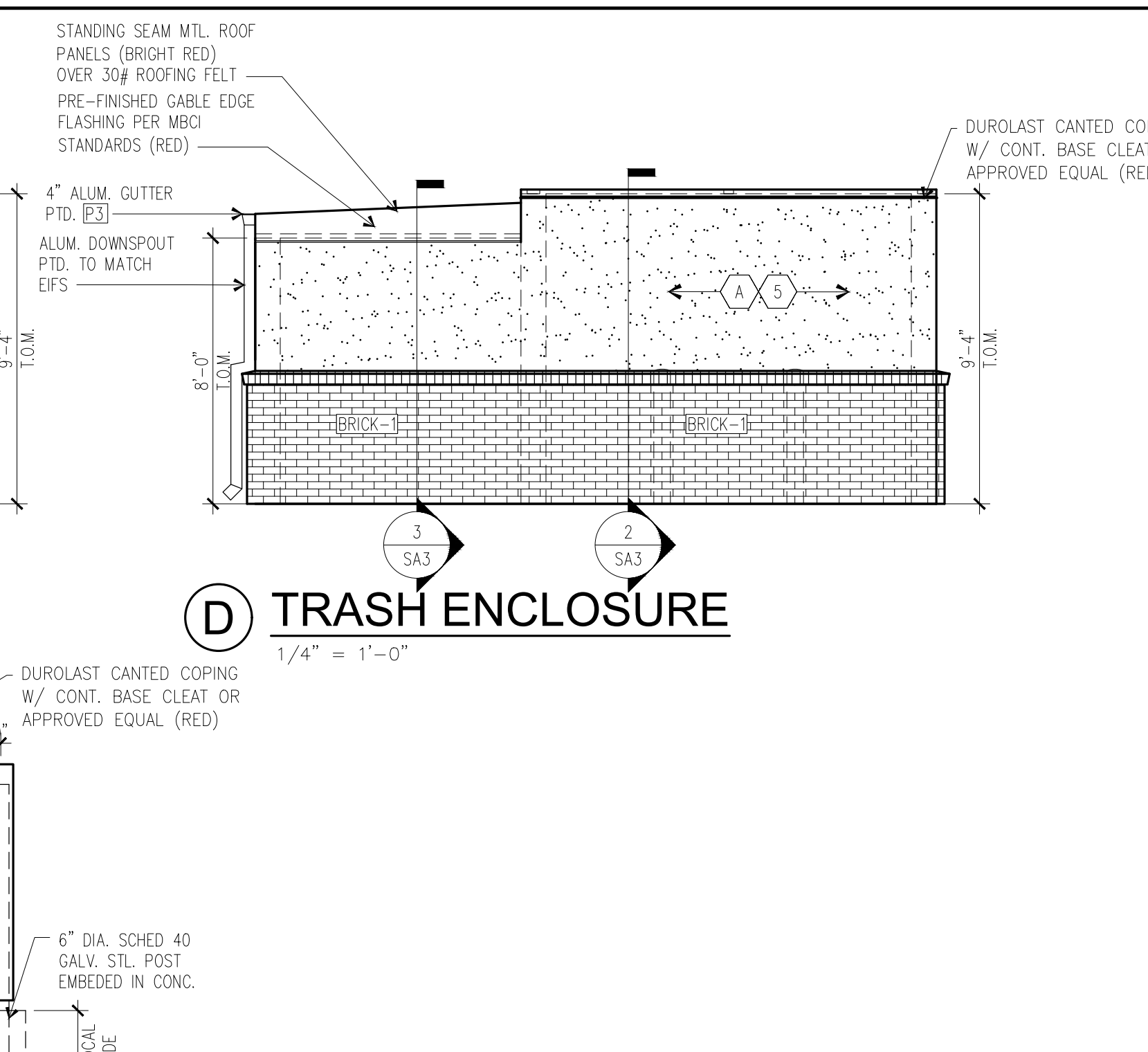
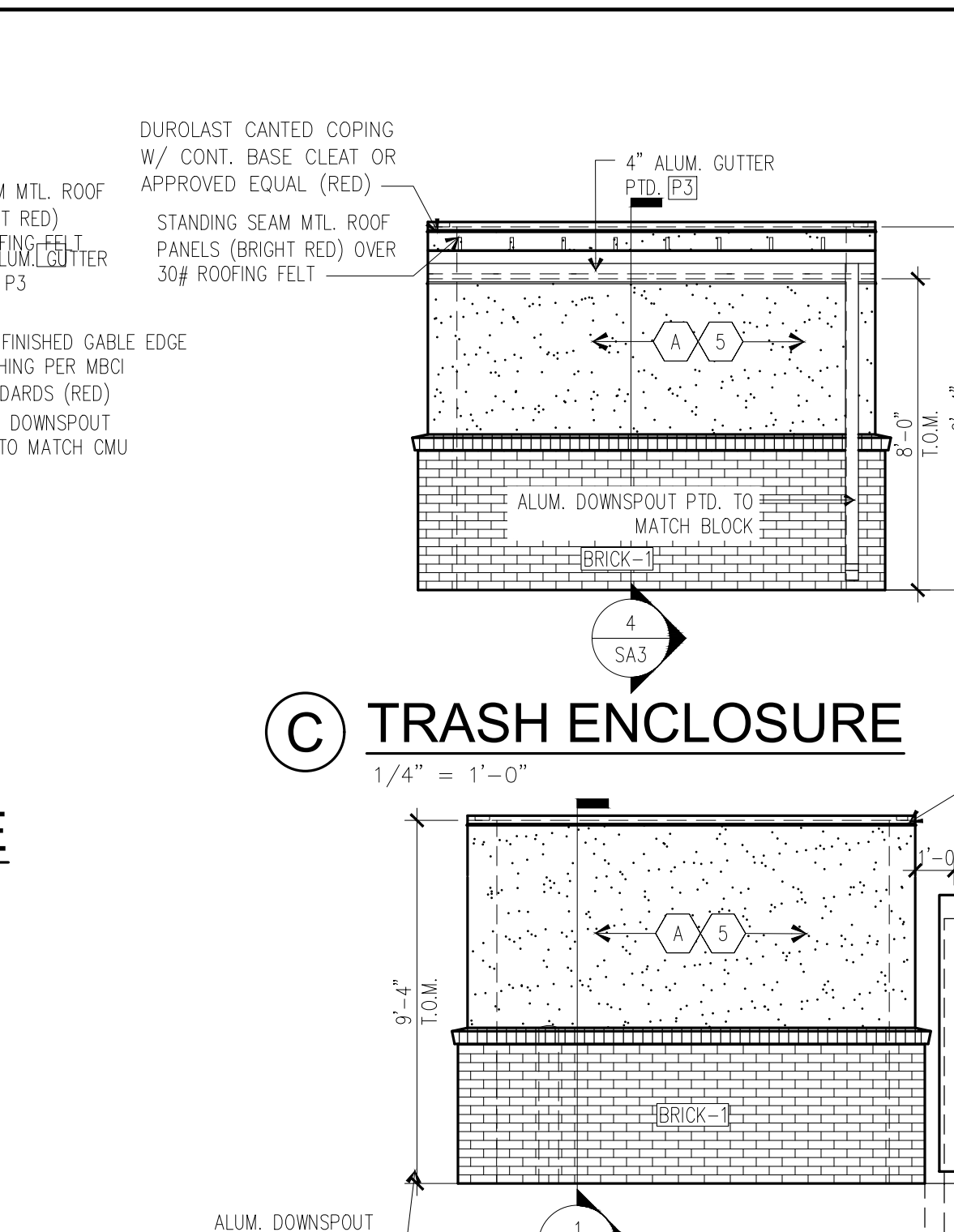
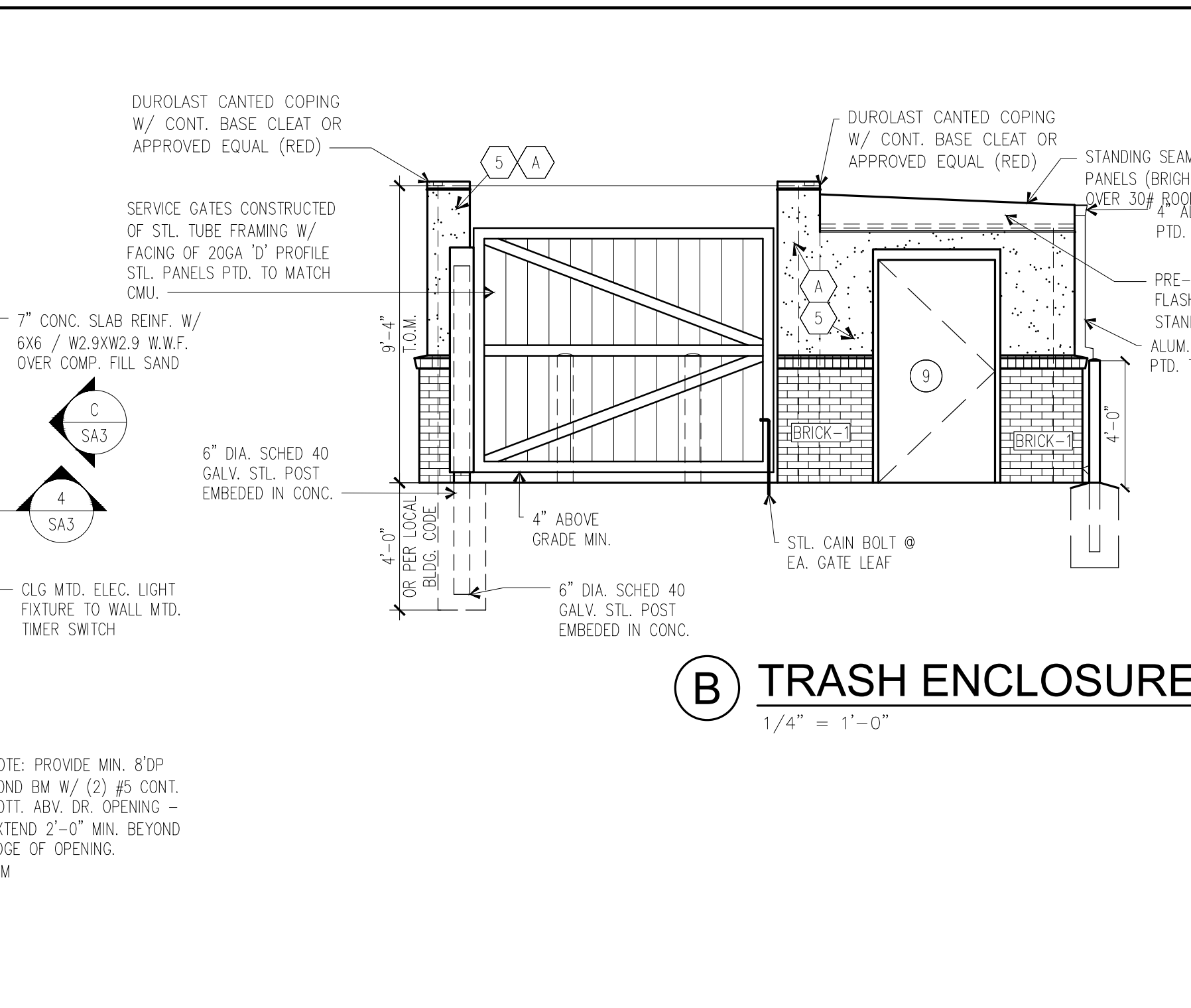
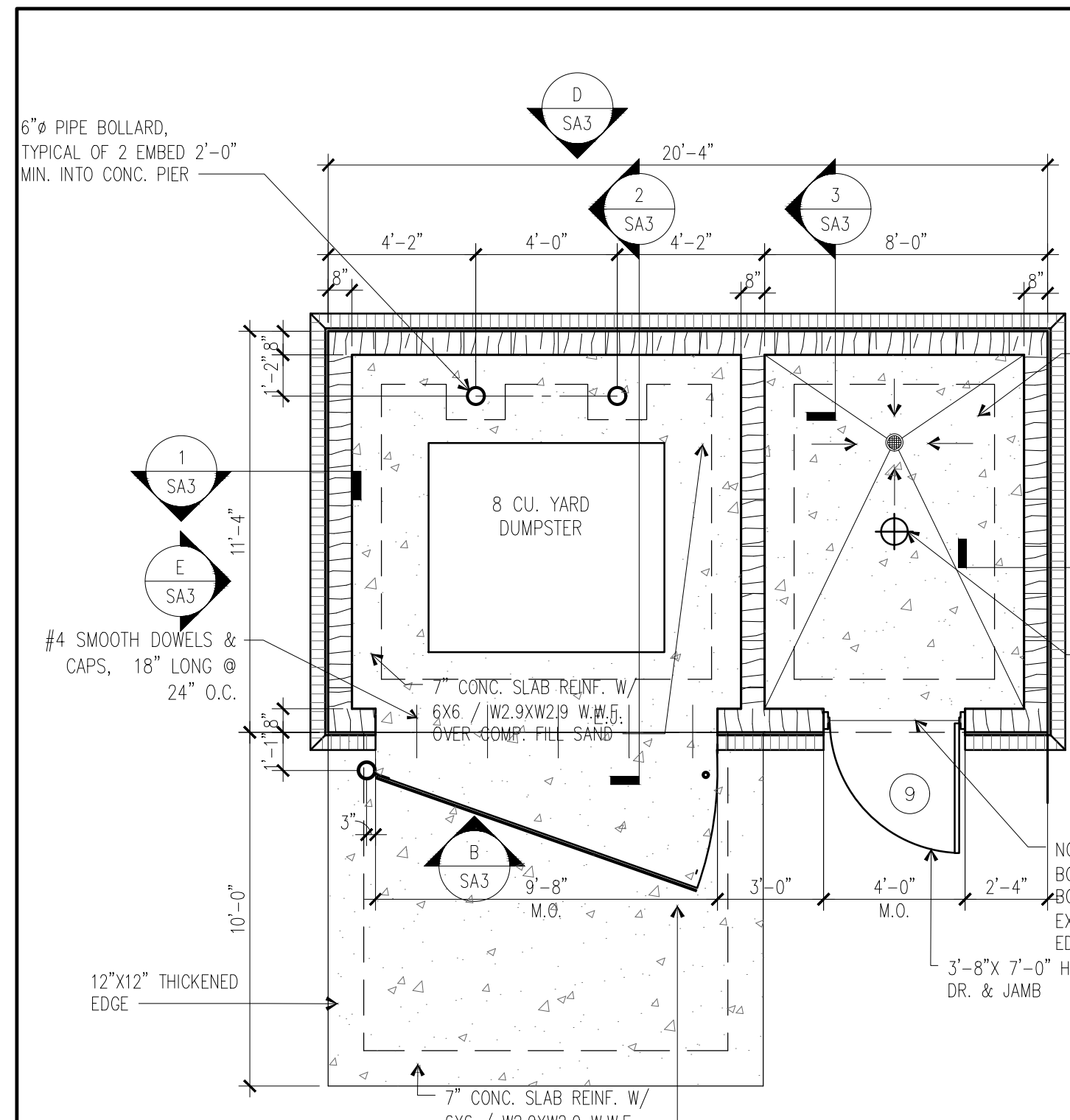
DAN WINTER ARCHITECT
1024 EAST FIRST STREET
WICHITA, KS. 67214
PH. 316-267-7142

TRASH ENCLOSURE PLAN & DETAILS

DATE
12/30/2021

DRAWN BY:
RB
CHECKED BY:
DW

SHEET NO.
SA3



NOTE: REFER TO STRUCTURAL GENERAL NOTES & REINFORCED CONCRETE MASONRY NOTES ON SHEET S-0 OF THE BUILDING CONSTRUCTION DOCUMENTS

NOTE: REFER TO STRUCTURAL GENERAL NOTES & REINFORCED CONCRETE MASONRY NOTES ON SHEET S-0 OF THE BUILDING CONSTRUCTION DOCUMENTS



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DAN WINTER, ARCHITECT

FREDDY'S FROZEN CUSTARD

7575 FALCON MARKETPLACE

FALCON, CO.

DAN WINTER ARCHITECT
 1024 EAST FIRST STREET
 WICHITA, KS. 67214
 PH. 316-267-7142

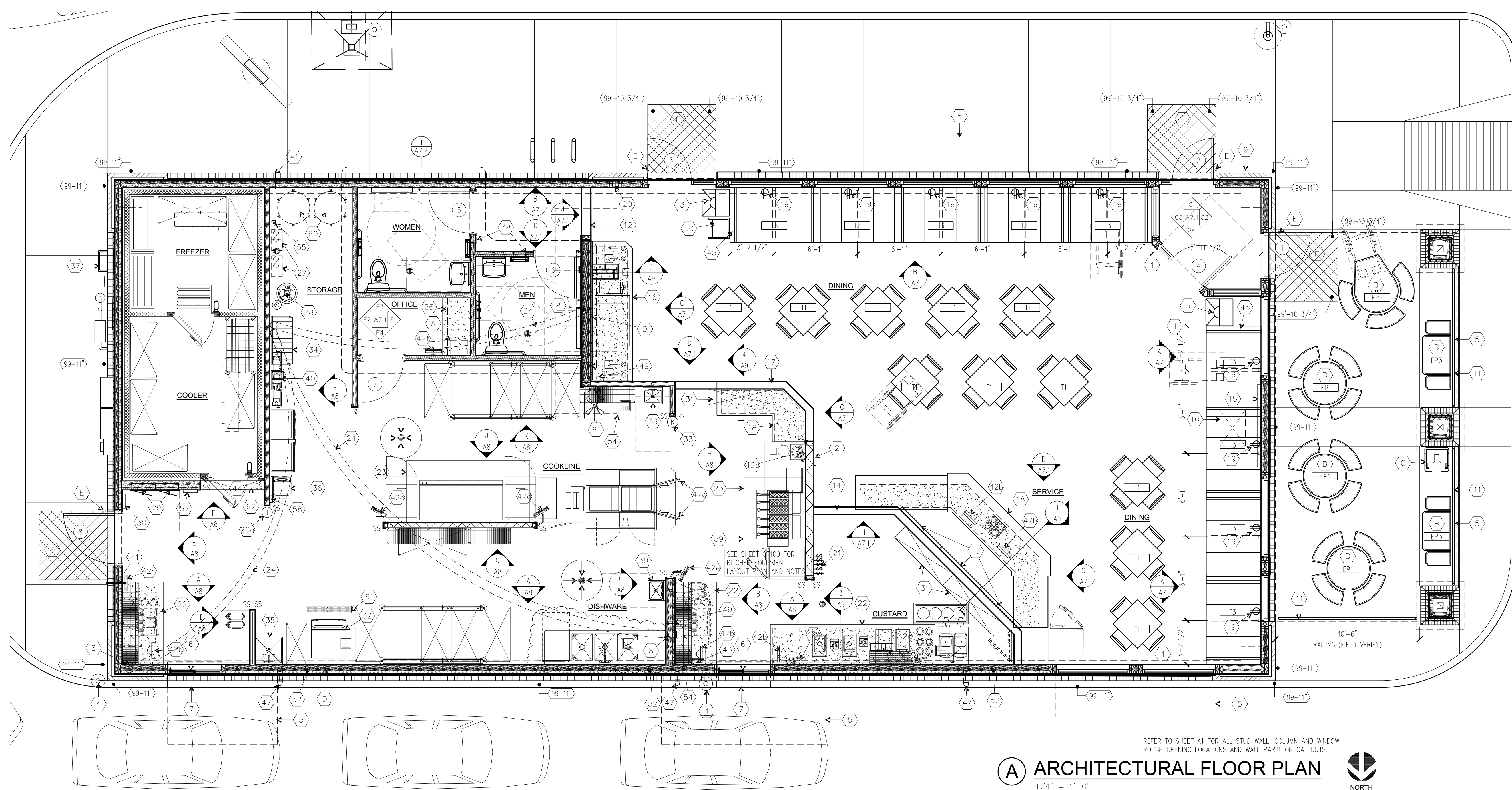
ARCH FLOOR PLAN

DATE
12/30/2021

DRAWN BY:
HM
 CHECKED BY:
DW, RB

SHEET NO.
A1.1

- PLAN KEYNOTES:**
- 1 DIMENSIONS ARE FROM OUTSIDE FACE OF GYPSUM BOARD UNLESS OTHERWISE NOTED
 - 2 CLOCK MTD. AT 8'-6" A.F.F.
 - 3 TRASH RECEPTACLE
 - 4 CONC. FILLED PIPE BOLLARD, REF. DTL. 2/SA1
 - 5 BACKLIT AWNING ABOVE
 - 6 READY ACCESS MODEL 275/ SINGLE PANEL SLIDER, 48"W x 60" H R.O. (INCL. AIR CURTAIN ABOVE), MANUAL OPEN/ ELECTRONIC RELEASE, MOD. 275-R/L, OPENS ON SIDE THE CAR APPROACHES
 - 7 READY ACCESS MODEL AA300 - 275 PASS-THRU AIR CURTAIN SYSTEM
 - 8 6" PVC SYRUP LINE CHASE TO 6" ABOVE CLG. - NOTE: G.C. TO COORDINATE LOCATION IN WALL WITH KITCHEN EQUIP. CABINET SHOP DRAWINGS TO AVOID CONFLICT(S) WITH CABINET BRACING AND SUPPORTS
 - 9 RECESSED KNOX BOX OR @ LOC. DESIGNATED BY FIRE MARSHAL
 - 10 ACCESS HATCH (ABOVE)
 - 11 REF. TO DETAILS 5/A3 FOR GUARD RAIL DTLs.
 - 12 SOFFIT ABOVE SEE 2/A2.1
 - 13 DIGITAL MENU BOARD ABOVE
 - 14 MENU BD. SOFFIT ABOVE SEE BULKHEAD FRAMING A1.0 FOR DIMENSIONS; REF. 1/A2.1 FOR DETAILS
 - 15 FREDDY'S SIGN (ABOVE) BY OWNER INSTALLED BY SIGN MANUFACTURER
 - 16 SS DRINK COUNTER PROVIDED BY EQUIP. SUPPLIER REF. OF SHEETS
 - 17 PICKUP COUNTER SOFFIT ABOVE SEE BULKHEAD FRAMING A1.0 FOR DIM'S; REF. 4/A2.1 FOR DTLs.
 - 18 SEE SHT. A10 FOR COUNTER DETAILS AND DIMENSIONS
 - 19 OUTLET/USB ABOVE BOOTH AT 36" A.F.F. REF. A7.0
 - 20 2A10BC FIRE EXTINGUISHER (IN RECESSED WALL CABINET)
 - 21 2A10BC FIRE EXTINGUISHER (WALL MTD. w/ BRACKET)
 - 22 SWITCH BANK
 - 23 CUSTARD AND DRIVE THRU COUNTERS BY EQUIPMENT SUPPLIER REF. OF SHEETS
 - 24 EXHAUST HOOD ABOVE
 - 25 SYRUP LINES ABOVE CLG.
 - 26 NOT USED
 - 27 PLASTIC LAMINATE COUNTERTOP
 - 28 HOT WATER HEATER (TANKLESS)
 - 29 CO2 TANK & RESERVE BACK UP TANK
 - 30 20" WIDE ELECTRICAL PANEL BOXES
 - 31 IRRIGATION CONTROL BOX
 - 32 UPPER SHELVES BEHIND MENU BOARD AND ABOVE PICKUP COUNTER
 - 33 ICE MACHINE
 - 34 TYPE "K" FIRE EXTINGUISHER (WALL MTD. w/ BRACKET)
 - 35 BAG N BOX
 - 36 MOP SINK
 - 37 FREDUCATION STATION & CHAIR
 - 38 ROOF LADDER
 - 39 ADA TACTILE RR SIGN
 - 40 HAND SINK
 - 41 WATER FILTER - FIELD VERIFY EXACT LOCATION, REF. KITCHEN ELEVATION, SHT. A8
 - 42 3/4" PVC FOR VIDEO CAMERA. VERIFY EXACT LOC.
 - 42a WALL MOUNTED POS SCREEN
 - 42b DESK MOUNTED POS SCREEN
 - 42c POLE MOUNTED MENU SCREEN
 - 42d WALL MOUNTED MENU SCREEN
 - 42e WALL MOUNTED DRINK SCREEN
 - 42f WALL MOUNTED OFFICE SCREEN
 - 42g WALL MOUNTED DRIVE THRU CAMERA SCREEN
 - 42h WALL MOUNTED SECURITY SCREEN
 - 43 WALL MOUNTED HEADSET STATION @ 96"
 - 44 SS FILLER PANEL BY G.C. REF. DETAIL 5/A7
 - 45 FINISH [] BACK OF BOOTH. REF. FINISH SCHEDULE SHEET A1.2
 - 46 NOT USED
 - 47 ROOF DRAIN OVERFLOW W/LAMBS TONGUE
 - 48 GREASE INTERCEPTOR - F. VERIFY LOCATION, REF. PLUMB. AND CIVIL PLANS
 - 49 3" PVC THRU-WALL FOR SODA DRAIN LINE
 - 50 CHILD HIGH CHAIRS. PROVIDE BY OWNER
 - 51 NOT USED
 - 52 ROOF DRAIN LEADER
 - 53 NOT USED
 - 54 PREP. SINK
 - 55 1 1/2" WATER SUPPLY
 - 56 NOT USED
 - 57 LIGHTING CONTROLS
 - 58 DOOR CHIME
 - 59 FIELD VERIFY & COORDINATE LOCATION OF EXHAUST HOOD WITH KITCHEN EQUIP. SUPPLIER TO AVOID CONFLICT OF HOOD PANEL w/ KITCHEN EQUIP. BELOW
 - 60 OIL RECOVERY TANKS
 - 61 TRENCH DRAIN
 - 62 SOFFIT ABOVE REF. DETAIL 3 & 7/A2.1



A ARCHITECTURAL FLOOR PLAN
 1/4" = 1'-0"

REFER TO SHEET A1 FOR ALL STUD WALL, COLUMN AND WINDOW ROUGH OPENING LOCATIONS AND WALL PARTITION CALLOUTS.



AREA CALCULATIONS (NET)

VESTIBULE	48 SQ. FT.
DINING	1099 SQ. FT.
CUSTARD	230 SQ. FT.
COOKLINE	375 SQ. FT.
DISHWARE/STORAGE	287 SQ. FT.
STORAGE	70 SQ. FT.
MECHANICAL	96 SQ. FT.
OFFICE	42 SQ. FT.
RESTROOMS	234 SQ. FT.
HALL	37 SQ. FT.
COOLER/FREEZER	220 SQ. FT.
T&I DRIVE THRU WINDOW	123 SQ. FT.
FREDDY'S AREA (NET)	2,714 SQ. FT.
FREDDY'S AREA (GROSS)	3,027 SQ. FT.

SEATING CALCULATIONS

IN STORE	
3 4 SEAT BOOTHS	36
11 4 SEAT TABLES	44
TOTAL IN STORE DINING	80
PATIO	
4 4 SEAT TABLES	16
2 2 SEAT TABLES	4
TOTAL PATIO SEATING	20
TOTAL SEATING	100

FRAMING LEGEND:

- = 2x WOOD STUDS @ 16" o.c. SEE STUD LAYOUT PLAN A1.0 & WALL PARTITIONS A11 FOR WALL WIDTHS AND NOTES
- = NEW METAL STUDS SEE WALL PARTITIONS SHT. A11 FOR WALL WIDTHS AND NOTES
- = 2x WOOD STUDS @ 16" o.c. W/FULL BATT INSUL. SEE WALL PARTITIONS SHT. A11 FOR WALL WIDTHS AND NOTES
- = NEW COOLER WALLS
- = BRICK - SEE EXTERIOR FINISH SCHEDULE SHEET A3.0

GENERAL PLAN NOTES:

- A SAFE BY OWNER INSTALLED TO FLOOR BY G.C. (VERIFY)
- B WAUSAU TILE CEMENT TABLE (BY OWNER)
- C WAUSAU TILE CEMENT RECEPTACLE (BY OWNER)
- D 3" PVC ELBOW WHERE LIQUID REFRIG. LINES COME THRU WALL - REFER TO DETAIL BY KITCHEN EQUIP. SUPPLIER SHEET 2Q00
- E HEAVY DUTY FLOOR DOOR STOP
- F PROVIDE 5' X 5' SMOOTH LEVEL CONCRETE LANDING AT REQUIRED EXITS TO MEET ADA REQUIREMENTS
- FE NEW MIN. TYPE 2A 10BC WALL MOUNT FIRE EXTINGUISHER PROVIDED BY VENDOR AND INSTALLED BY G.C. I.O. 60" A.F.F. MAX. PROTRUSION INTO PATH OF CIRCULATION 4" MAX. G.C. TO PROVIDE MIN. OF (2) FIRE EXTINGUISHERS. G.C. TO VERIFY & COORDINATE LOCATIONS AND QUANTITIES WITH LOCAL FIRE MARSHAL.
- K NEW TYPE K WALL MOUNT FIRE EXTINGUISHER PROVIDED BY VENDOR AND INSTALLED BY G.C. I.O. 60" A.F.F. MAX. PROTRUSION INTO PATH OF CIRCULATION 4" MAX.
- SS STAINLESS STEEL CORNER GUARDS REFER TO SHEET A7.0 FOR CORNER EDGE DETAILS.



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DAN WINTER, ARCHITECT

FREDDY'S FROZEN CUSTARD
7575 FALCON MARKETPLACE
FALCON, CO.

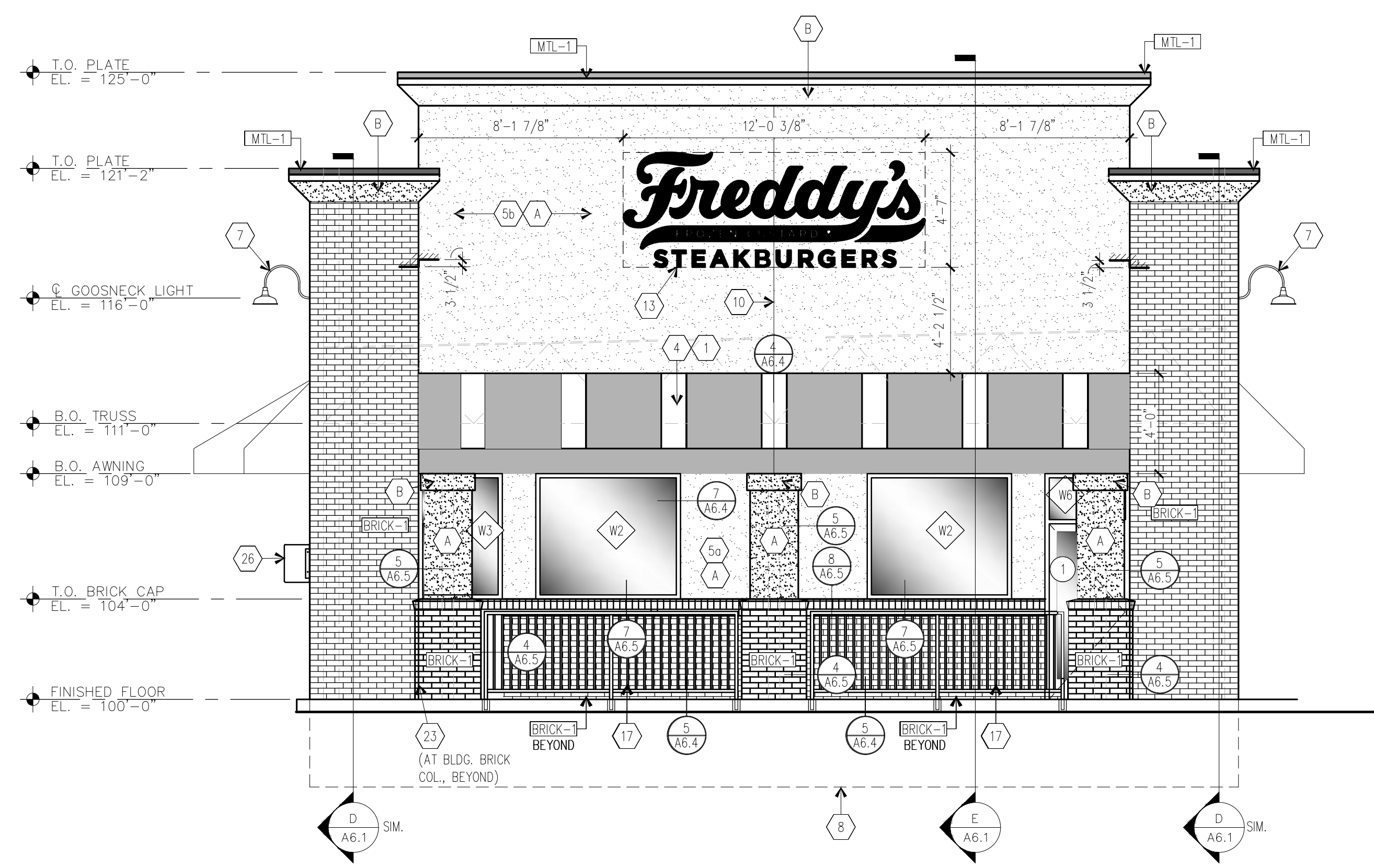
DAN WINTER ARCHITECT
1024 EAST FIRST STREET
WICHITA, KS. 67214
PH. 316-267-7142

EXTERIOR ELEVATIONS

DATE
12/30/2021

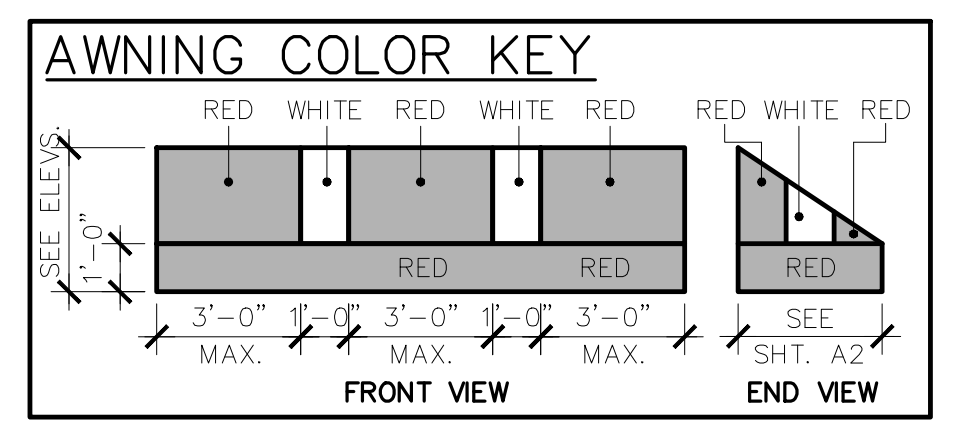
DRAWN BY:
RB
CHECKED BY:
DW

SHEET NO.
A3



(A) EAST ELEVATION
1/4" = 1'-0"

SIGNAGE AREA: EAST ELEVATION
FREDDY'S = 55 SQ.FT.
TOTAL = 55 SQ.FT.
EL PASO COUNTY, CO.
GENERAL DEVELOPMENT STANDARDS CHAPTER
6.2.10(E)(g)



NOTE TO AWNING MANUFACTURER AND AWNING INSTALLER, AWNING FRAME TO BE ENGINEERED FOR APPROVAL BY LOCAL CODE AND DESIGNED TO MISS ALL BUILDING PROTRUSIONS NOT SHOWN ON PLANS.

CAULKING COLOR NOTE:
- AT EIFS / BRICK - MATCH EIFS
- AT BRICK / BRICK - MATCH BRICK
- AT EIFS / EIFS - MATCH EIFS
- AT EIFS / STOREFRONT - MATCH DARK BRONZE FRAME

EXTERIOR FINISH SCHEDULE						
SHERWIN WILLIAMS - PARENT NUMBER: BE37 FREDDY'S FROZEN CUSTARD						
EXTERIOR PAINT	DESCRIPTION	FINISH NO.	MFGR.	MFGR. NO.	COLOR	REMARKS
BUILDING WALLS	PAINT *	(A)	SHERWIN WILLIAMS	#7533	KHAKI SHADE	PAINT WITH TWO COATS ACRYLIC LATEX (SATIN)
BUILDING TRIM	PAINT *	(B)	SHERWIN WILLIAMS	#6126	FREDDY'S PEARL	PAINT WITH TWO COATS ACRYLIC LATEX (SATIN)
CONE	PAINT *	(C)	SHERWIN WILLIAMS	#17-143	BISCUIT FREDDY'S CONE	PAINT WITH TWO COATS ACRYLIC LATEX (SATIN)
CUSTARD	PAINT *	(D)	SHERWIN WILLIAMS	#17-313	FREDDY'S ICE WHITE	PAINT WITH TWO COATS ACRYLIC LATEX (SATIN)
BOLLARD	PAINT	(P3)	SHERWIN WILLIAMS	#17-572	FREDDY'S RED	PAINT WITH TWO COATS HIGH PERFORMANCE ACRYLIC (GLOSS)
GUARD RAIL	PAINT	(P4)	SHERWIN WILLIAMS	#B66B300	FREDDY'S JET BLACK	PAINT WITH TWO COATS HIGH PERFORMANCE ACRYLIC (GLOSS)
* NOTE: ALL EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.) IS PRE-MIXED WITH SHERWIN-WILLIAMS COLORS AS SPEC'D. ABOVE. NO PAINTING OF BUILDING E.I.F.S. (INCL. CONE) IS REQUIRED.						
EXTERIOR BRICK	DESCRIPTION	FINISH NO.	MFGR.		COLOR & TEXTURE	REMARKS
BUILDING BRICK (OPT. #1)	BRICK MODULAR (OPT. #1)	(BRICK-1)	MERIDIAN BRICK	COLUMBIA ARCHITECTURAL SERIES	WAVERLY MILLS	GROUT COLOR - GRAY
BUILDING BRICK (OPT. #2)	BRICK MODULAR (OPT. #2)	(BRICK-2)	THE LAKEWOOD BRICK COMPANY	ACME BRICK CO. P.316-941-3994	WELLSHIRE	GROUT COLOR - GRAY MODULAR & TIN - MADE RUMBLER
METAL COPING	DESCRIPTION	FINISH NO.			COLOR	REMARKS
BUILDING COPING	COPING	(MTL-1)	DUROLAST		BRITE RED	2 PC COMPRESSION COPING CAP. SLOPE TOWARDS ROOF.

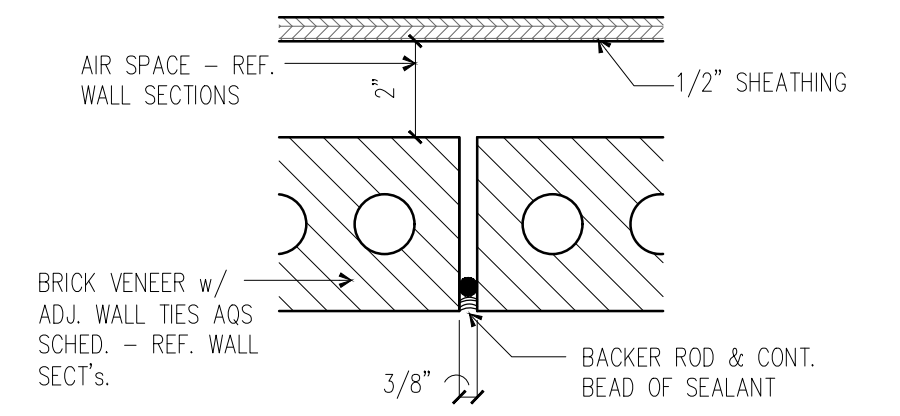
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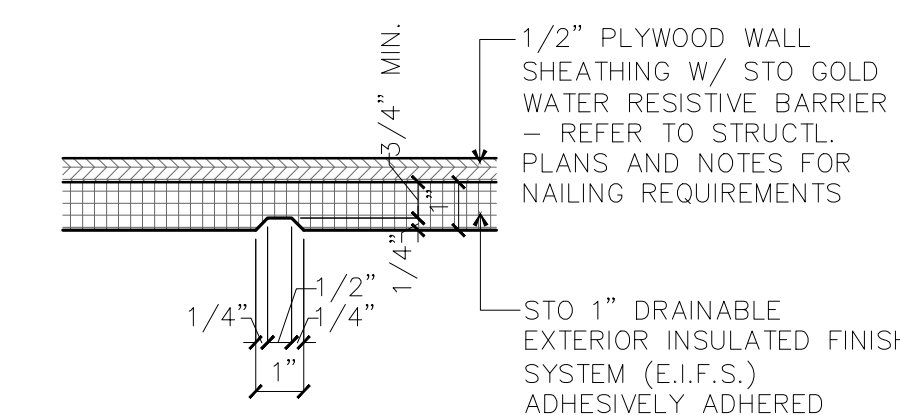
NOTE TO AWNING MANUFACTURER AND AWNING INSTALLER, AWNING FRAME TO BE ENGINEERED FOR APPROVAL BY LOCAL CODE AND DESIGNED TO MISS ALL BUILDING PROTRUSIONS NOT SHOWN ON PLANS.

ELEVATION KEY NOTES:

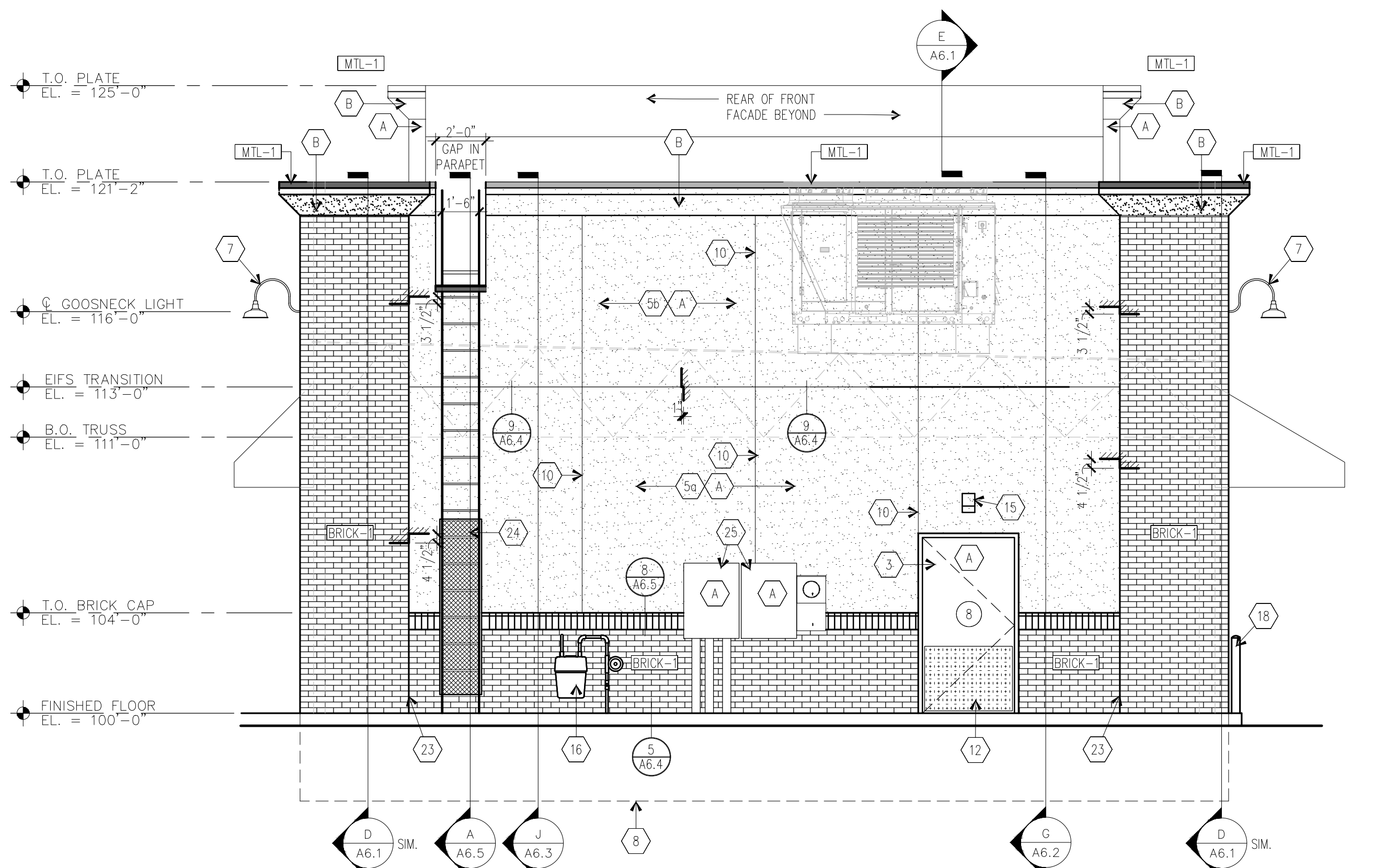
- 1 (2)-TUBE, STRIP LED FIXTURES WITH CLEAR LENS COVERS TO BACK LIGHT AWNINGS, TYP. SUPPLIED BY OWNER, WREED & INSTALLED BY ELEC. CONTR.
- 2 OVERFLOW DRAIN WITH LAMBS TONGUE
- 3 HOLLOW METAL EXIT DR. REF. DOOR SCHED.
- 4 EXTERIOR VINYL AWNING & ALUM FRAME BY OWNER AND AWNING MANUF. TYP. REF. AWNING COLOR KEY SHT'S A3 & A4
- 5A STO 1 1/2" DRAINABLE EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.) ADHESIVELY ADHERED "SAND PEBBLE FIN."
- 5B STO 2 1/2" DRAINABLE EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.) ADHESIVELY ADHERED "SAND PEBBLE FIN."
- 6 NOT USED
- 7 GOOSENECK LIGHT FIXTURE 'RED'
- 8 CONCRETE FOUNDATION REFER TO STRUCTL. PLANS FOR SIZE AND DETAILS
- 9 NOT USED
- 10 EIFS CONTROL JOINT REF. DETAIL 4/A3
- 11 NOT USED
- 12 42"x 30" DIAMOND TREAD PLATE
- 13 SIGNAGE BY OWNER - INSTALLATION BY SIGNAGE MANUF., ELEC. CONNECTIONS BY G.C.
- 14 NOT USED
- 15 WALL PACK LIGHT FIXTURE. ABOVE REAR DOOR - REF. ELEC. PLANS
- 16 GAS METER PTD. VERIFY LOC.
- 17 REFER TO DETAIL 5/A3 FOR GUARD RAIL DETAILS. (IF REQUIRED, NOT SHOWN ON PROTOTYPE)
- 18 4" CONC. FILLED PIPE BOLLARD, FREDDY'S RED
- 19 NOT USED
- 20 READY ACCESS MODEL AA300 CURTAIN - 275 PASS-THRU AIR CURTAIN SYSTEM W/ STATUARY BRONZE FIN. ELECTRICAL CONTRACTOR TO VERIFY ELECTRICAL REQ'TS. SEE MANUFACTURER FOR APPROPRIATE AIR CURTAIN CONFIGURATION BASED ON GEOGRAPHY.
- 21 READY ACCESS MODEL 275 WINDOW/ MANUAL SINGLE PANEL SLIDER, 48"W x 60" H. R.O. (INCL. AIR CURTAIN ABOVE). MANUAL OPEN/ ELECTRONIC RELEASE - OPENS ON SIDE THE CAR APPROACHES. BRONZE FINISH - PROVIDED BY & INSTALLED BY G.C.
- 22 RECESSED KNOX BOX
- 23 BRICK EXPANSION JOINT REF. DETAIL 3/A3
- 24 STEEL MESH HINGED GATE (W/LOCK) TO ENCLOSE BOTTOM OF ACCESS LADDER. (PAINT TO MATCH EIFS).
- 25 ELECTRICAL CT CABINET & DISCONNECT - PTD., VERIFY LOCATION
- 26 FREDDY'S PEDESTRIAN CROSSING SIGN. BOTTOM OF SIGN @ 56" A.F.F.
- 27 NOT USED



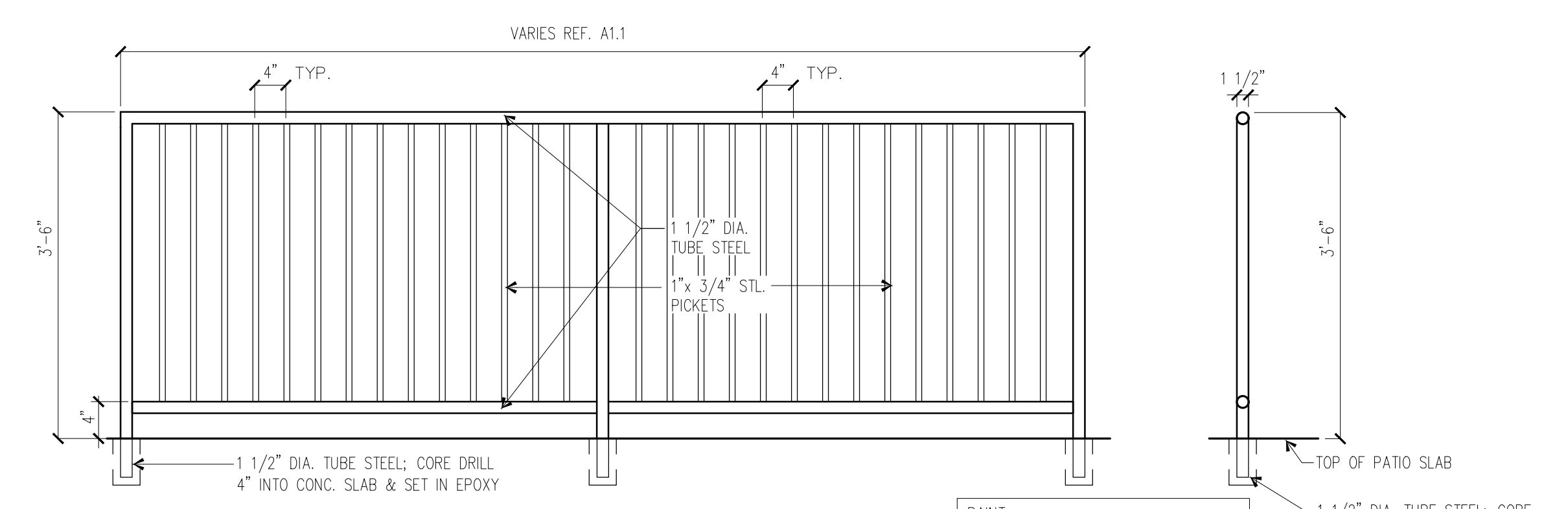
(3) BRICK CONTROL JOINT
3" = 1'-0" MARKED CJ ON EXTERIOR ELEVATIONS SHEETS A3 & A4



(4) EIFS CONTROL JOINT
3" = 1'-0" MARKED CJ ON EXTERIOR ELEVATIONS SHEETS A3 & A4



(B) WEST ELEVATION
1/4" = 1'-0"



(5) PATIO GUARD RAIL SECTION
3/4" = 1'-0"

PAINT: ALL METAL RAILINGS TO BE PAINTED BLACK (P4 - DIRECT TO METAL PAINT) PER FINISH SCHED. ARCH. SHEET A1.2



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DAN WINTER, ARCHITECT

FREDDY'S FROZEN CUSTARD
7575 FALCON MARKETPLACE
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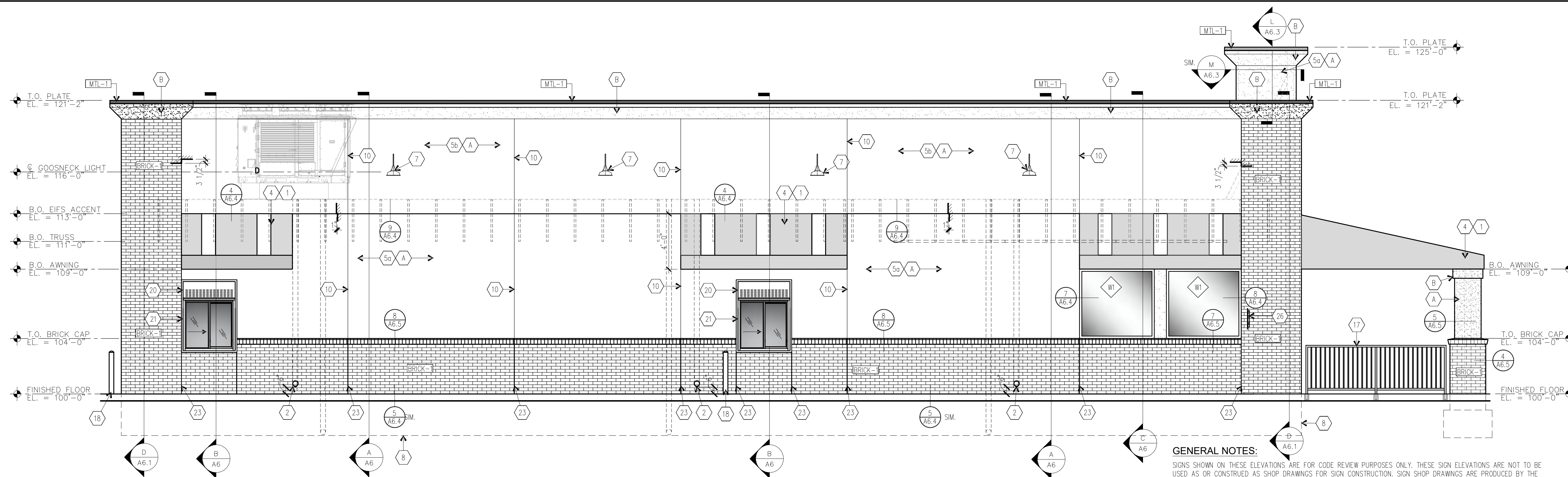
DAN WINTER ARCHITECT
1024 EAST FIRST STREET
WICHITA, KS.
67214
PH. 316-267-7142

EXTERIOR ELEVATIONS

DATE
12/30/2021

DRAWN BY:
RB
CHECKED BY:
DW

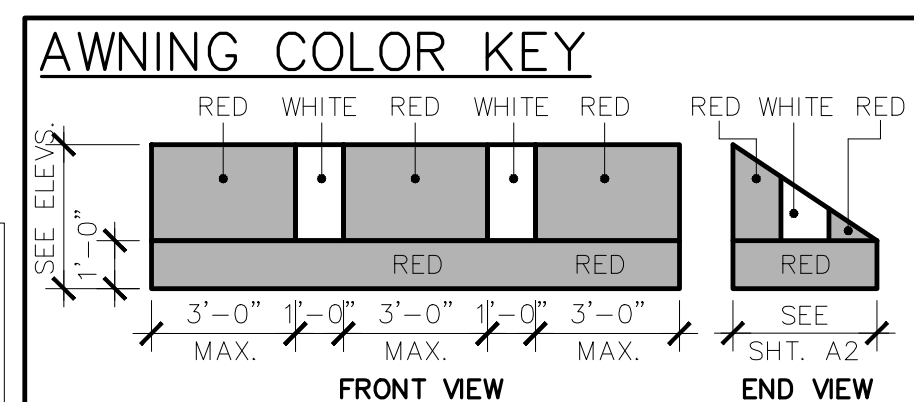
SHEET NO.
A4



(A) SOUTH ELEVATION
1/4" = 1'-0"

NOTE TO AWNING MANUFACTURER AND AWNING INSTALLER: AWNING FRAME TO BE ENGINEERED FOR APPROVAL BY LOCAL CODE AND DESIGNED TO MISS ALL BUILDING PROTRUSIONS NOT SHOWN ON PLANS.

CAULKING COLOR NOTE:
- AT EIFS / BRICK - MATCH EIFS
- AT BRICK / BRICK - MATCH BRICK
- AT EIFS / EIFS - MATCH EIFS
- AT EIFS / STOREFRONT - MATCH DARK BRONZE FRAME



EXTERIOR FINISH SCHEDULE						
SHERWIN WILLIAMS - PARENT NUMBER: BE37 FREDDY'S FROZEN CUSTARD						
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CONE	PAINT *	(C)	SHERWIN WILLIAMS	#17-143	BISCUIT FREDDY'S CONE	PAINT WITH TWO COATS ACRYLIC LATEX (SATIN)
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BUILDING BRICK (OPT. #2)	BRICK MODULAR (OPT. #2)	(BRICK-2)	THE LAKEWOOD BRICK COMPANY	ACME BRICK CO. P.316-941-3594	WELLSHIRE	GROUT COLOR - GRAY MODULAR & TIN - MADE RUMBLD
METAL COPING	DESCRIPTION	FINISH NO.	COLOR	REMARKS		
BUILDING COPING	COPING	(MTL-1)	DUROLAST	BRITE RED	2 PC COMPRESSION COPING CAP. SLOPE TOWARDS ROOF.	

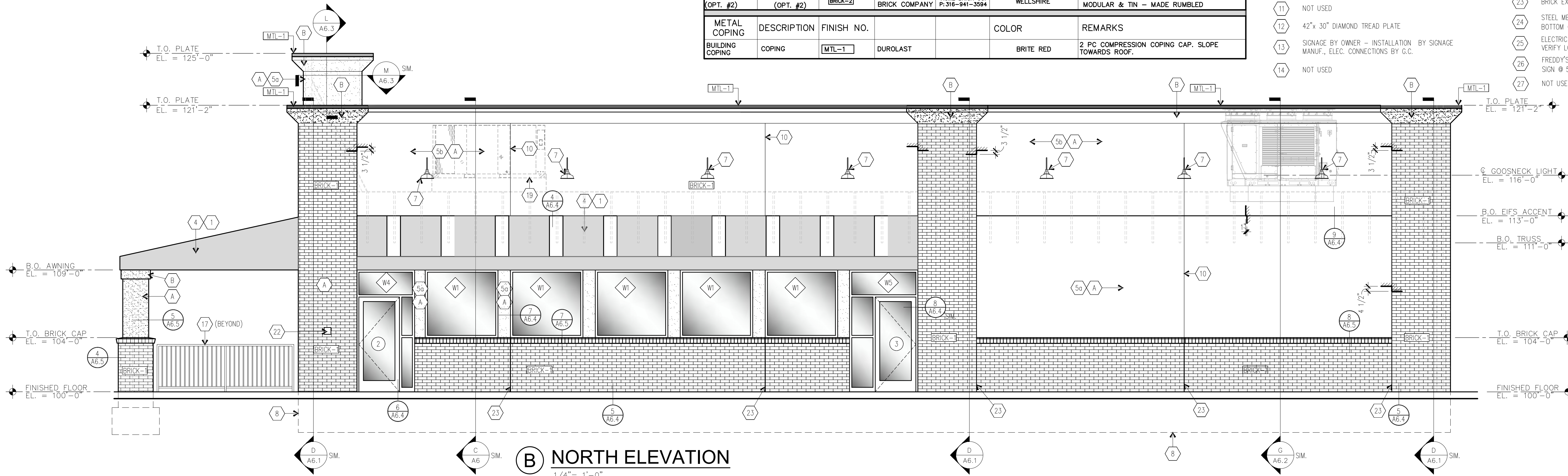
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NOTE TO AWNING MANUFACTURER AND AWNING INSTALLER: AWNING FRAME TO BE ENGINEERED FOR APPROVAL BY LOCAL CODE AND DESIGNED TO MISS ALL BUILDING PROTRUSIONS NOT SHOWN ON PLANS.

ELEVATION KEY NOTES:

- 1 (2)-TUBE, STRIP LED FIXTURES WITH CLEAR LENS COVERS TO BACK LIGHT AWNINGS. TYP. SUPPLIED BY OWNER. WIRED & INSTALLED BY ELEC. CONTR.
- 2 OVERFLOW DRAIN WITH LAMBS TONGUE
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- 7 GOOSENECK LIGHT FIXTURE 'RED'
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- 11 NOT USED
- 12 42"x 30" DIAMOND TREAD PLATE
- 13 SIGNAGE BY OWNER - INSTALLATION BY SIGNAGE MANUF., ELEC. CONNECTIONS BY G.C.
- 14 NOT USED
- 15 WALL PACK LIGHT FIXTURE. ABOVE REAR DOOR - REF. ELEC. PLANS
- 16 GAS METER PTD. VERIFY LOC.
- 17 REFER TO DETAIL 5/A3 FOR GUARD RAIL DETAILS. (IF REQUIRED, NOT SHOWN ON PROTOTYPE)
- 18 4" CONC. FILLED PIPE BOLLARD. FREDDY'S RED
- 19 NOT USED
- 20 READY ACCESS MODEL AA300 CURTAIN - 275 PASS-THRU AIR CURTAIN SYSTEM W/ STATUARY BRONZE FIN. ELECTRICAL CONTRACTOR TO VERIFY ELECTRICAL REQ'MTS. SEE MANUFACTURER FOR APPROPRIATE AIR CURTAIN CONFIGURATION BASED ON GEOGRAPHY.
- 21 READY ACCESS MODEL 275 WINDOW/ MANUAL SINGLE PANEL SLIDER, 48"W x 60" H. R.O. (INCL. AIR CURTAIN ABOVE). MANUAL OPEN/ ELECTRONIC RELEASE - OPENS ON SIDE THE CAR APPROACHES. BRONZE FINISH - PROVIDED BY & INSTALLED BY G.C.
- 22 RECESSED KNIX BOX
- 23 BRICK EXPANSION JOINT REF. DETAIL 3/A3
- 24 STEEL MESH HINGED GATE (W/LOCK) TO ENCLOSE BOTTOM OF ACCESS LADDER. (PAINT TO MATCH EIFS.)
- 25 ELECTRICAL CT CABINET & DISCONNECT - PTD., VERIFY LOCATION
- 26 FREDDY'S PEDESTRIAN CROSSING SIGN. BOTTOM OF SIGN @ 56" A.F.F.
- 27 NOT USED

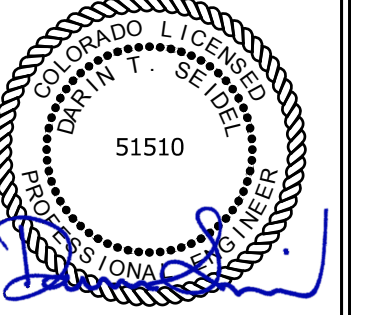


(B) NORTH ELEVATION
1/4" = 1'-0"



FREDDY'S FROZEN CUSTARD
7575 FALCON MARKETPLACE
FALCON, CO.

2/21/2022



DAN WINTER
ARCHITECT
1024 EAST
FIRST STREET
WICHITA, KS.
67214
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ELECTRICAL
 SITE PLAN

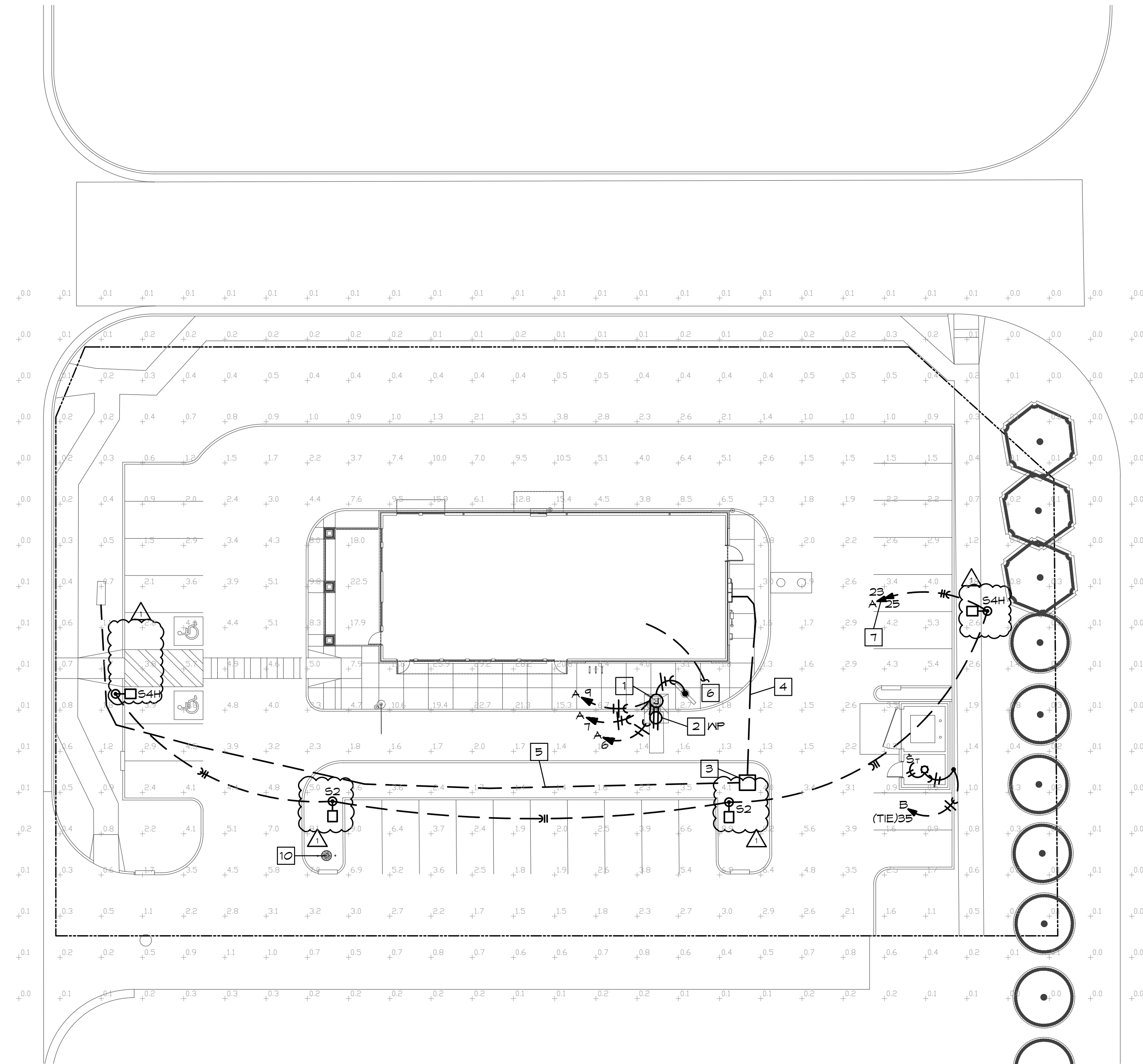
DATE
01/27/2022
 REV 1 - 02/17/22

DRAWN BY:
SM/MS
 CHECKED BY:
DS/EK

SHEET NO.
E-5

SITE ELECTRICAL PLAN NOTES

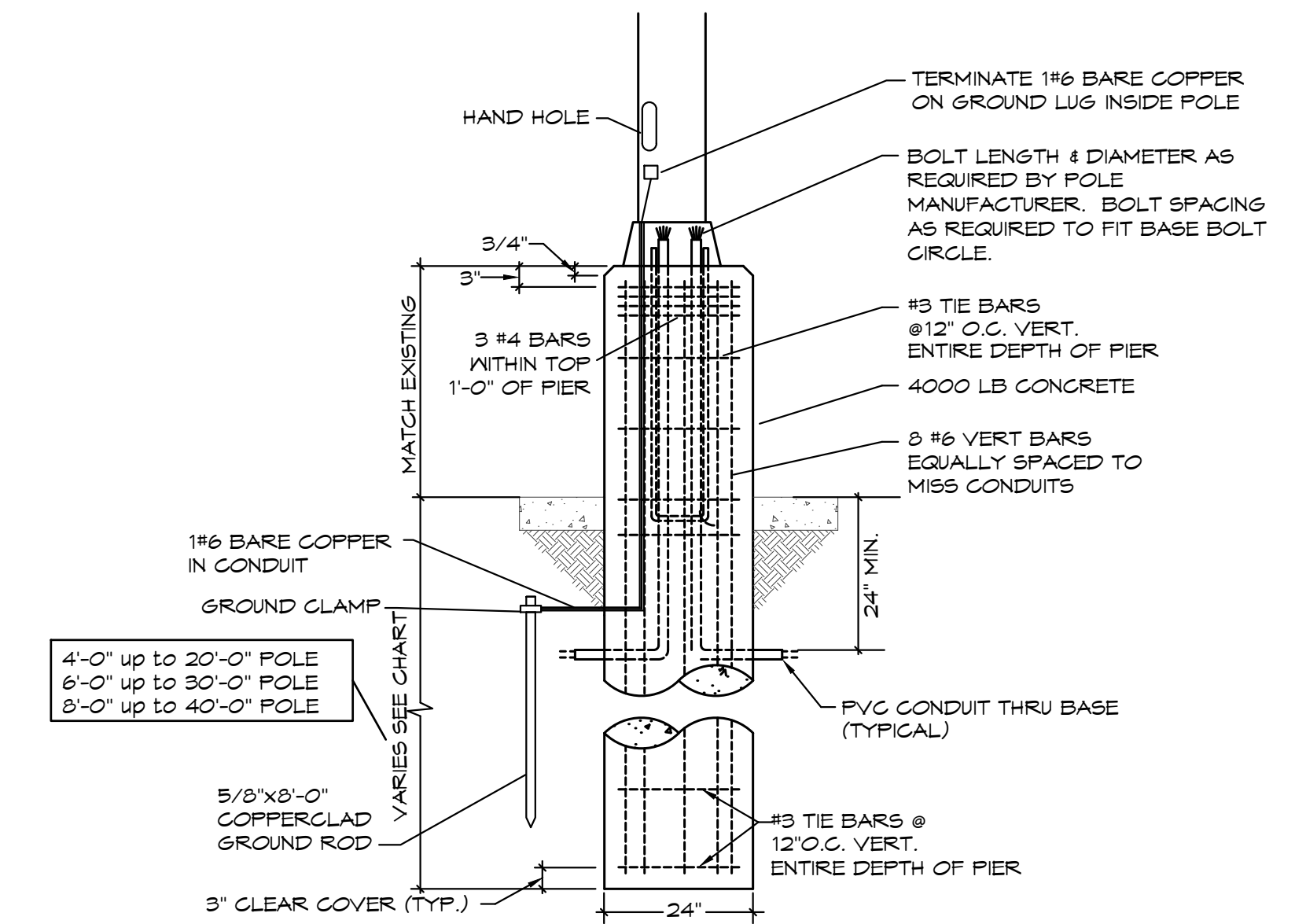
- 1 CONNECT TO MENU BOARD AND PRE-SELL BOARD PER MANUFACTURER'S INSTRUCTIONS. ONE CIRCUIT THRU TIMECLOCK AND ONE CIRCUIT UNSWITCHED FOR SPEAKER POST. REFER TO KEYNOTE 29 ON SHEET E1.
- 2 RECEPTACLE FOR OCB. MOUNT WEATHERPROOF DUPLEX INSIDE POST AT +24". CONDUIT TO BE RUN INSIDE POST.
- 3 PROPOSED PAD-MOUNTED TRANSFORMER - SEE ELECTRICAL RISER DIAGRAM ON SHEET E4. COORDINATE EXACT LOCATION WITH LOCAL UTILITY COMPANY.
- 4 SECONDARY CONDUCTORS FROM TRANSFORMER. SEE RISER DIAGRAM ON SHEET E4.
- 5 4" C FOR PRIMARY CABLES BY UTILITY COMPANY. COORDINATE ROUTING & TERMINATION POINT WITH LOCAL SERVICE PROVIDER.
- 6 1/2" C TO PROPERTY FOR TELEPHONE SERVICE. TERMINATE AT LOCATION DIRECTED BY LOCAL SERVICE PROVIDER.
- 7 ROUTE CIRCUIT TO PANEL INDICATED VIA EXTERIOR LIGHTING CONTROLS. SEE DETAIL ON SHEET E2.
- 8 NOT USED.
- 9 NOT USED.
- 10 LOCATION OF FLAG POLE AND IN-GROUND LIGHTING. REFER TO SHEET E2 FOR LIGHTING CIRCUITING AND CONTROLS.



ELECTRICAL SITE PLAN
 SCALE: 1"=20'
 NORTH

STATISTICAL AREA SUMMARY

AREA	AVG FC	MAX FC	MIN FC	MAX/MIN	AVG/MIN
PARKING	4.0	10.2	0.4	25.5:1	10.0:1



POLE FOUNDATION DETAIL
 SCALE: NONE

BC PROJECT #: 21959

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