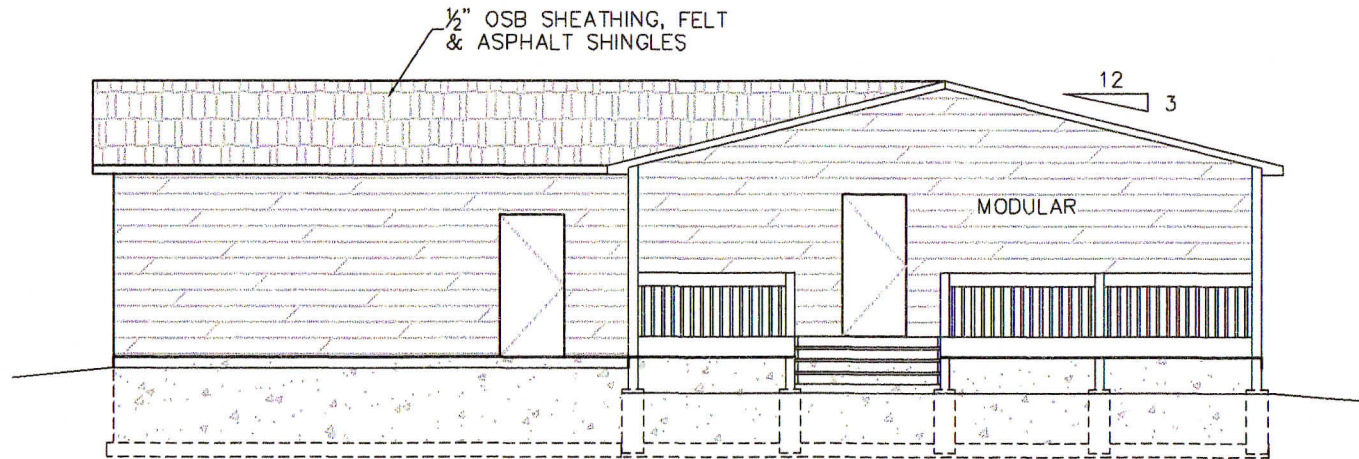
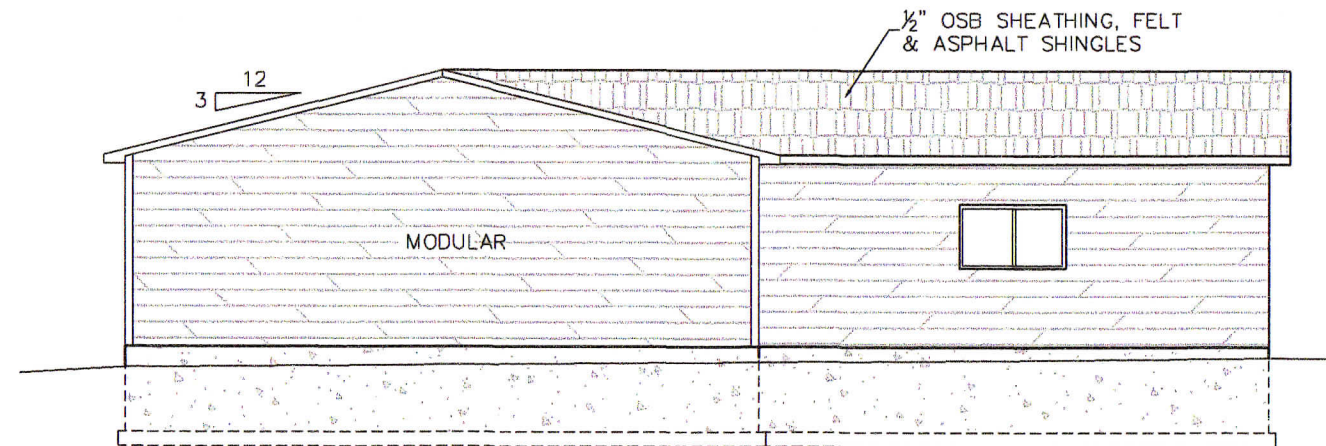


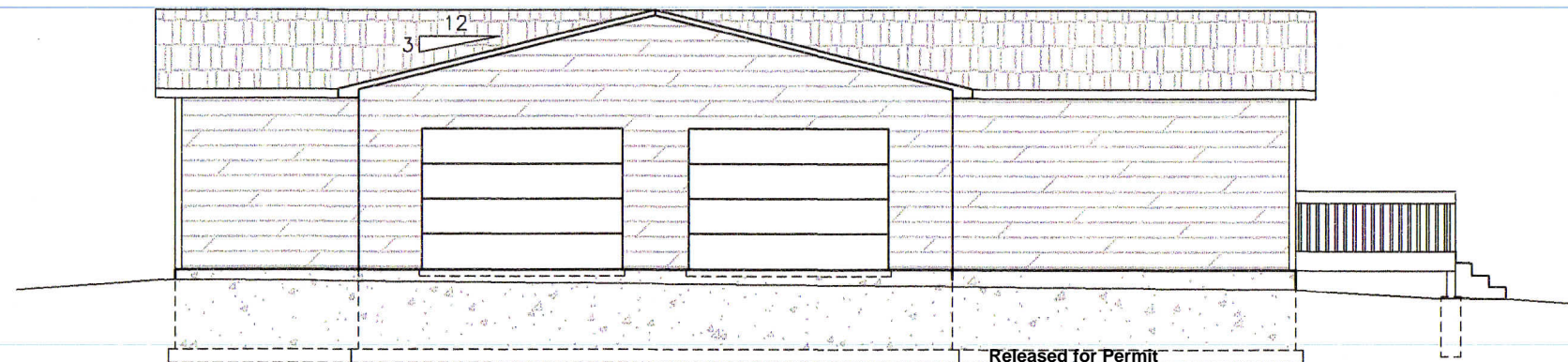
FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

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PLAN SET CONTENTS:

- A1 - Elevations
- S1 - Foundation Plan
- S2 - Foundation Details
- S3 - Garage Framing

REVISIONS:

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719-491-0016
a.werre.eng@hotmail.com

AWE

ELEVATIONS
For: Seeger Homes
Parcel #3300000597
El Paso County, Colorado
McManus Residence

SCALE: NTS

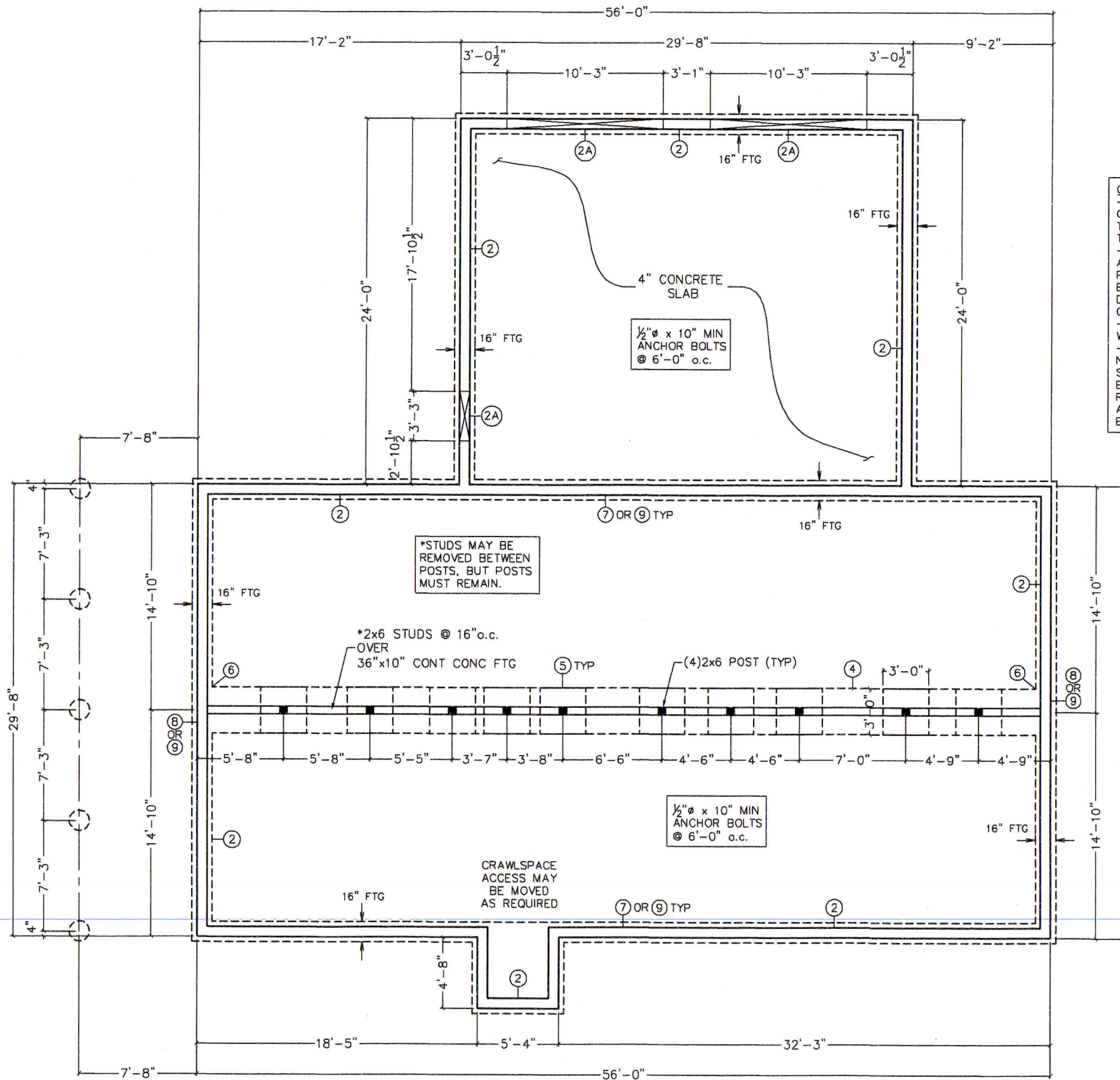
JOB# 440-06-20

DATE 06/06/2020

A1

FOUNDATION NOTES:

- USE DIMENSIONS FROM THE ARCHITECTURAL PLANS, EXCEPT FOR FOUNDATION COMPONENTS.
- ALL MISCELLANEOUS DETAILS SHALL BE IN ACCORDANCE WITH INSTRUCTIONS FROM THE MANUFACTURER OR DESIGNER.
- REINFORCING SHOULD BE CONTINUOUS AROUND THE BUILDING, AS SHOWN. MINIMUM LAP OF REBAR SHOULD BE 30 BAR DIAMETERS.
- ALL FOUNDATION PADS MUST BE FORMED TO THE PROPER DIMENSION.
- FLOOR SLABS MUST BE SEPARATED FROM ALL STRUCTURAL PORTIONS OF BUILDING WITH A MINIMUM 1/2" EXPANSION JOINT. ALL NONBEARING PARTITIONS ABOVE FLOOR SLABS MUST BE CONSTRUCTED WITH A MINIMUM 1/4" GAP AT THE BOTTOM TO PERMIT VERTICAL MOVEMENT OF SLABS.
- WHERE FLOOR SLABS OR GARAGE SLABS SPAN AREAS OF DEEP, UNCOMPACTED BACKFILL, THEY MAY BE CONNECTED TO THE FOUNDATION WALL IMMEDIATELY ABOVE THE BACKFILL AREA BY MEANS OF EITHER A FORMED SHEAR KEY A MINIMUM 1 1/2" X 1/2" DIMENSION, OR STEEL DOWELS CONSISTING OF #4 BARS AT 18" O.C.
- STAIRWAYS SHOULD NOT BE CONSTRUCTED AS RIGID CONNECTIONS BETWEEN FLOORS, BUT SHOULD ALLOW FLOOR SLABS TO MOVE VERTICALLY.
- DOOR JAMBS SHOULD NOT BE BUILT TIGHT TO SLABS ON GRADE
- MECHANICALLY COMPACT ALL INTERIOR BACKFILL TO 90% MAXIMUM PROCTOR DENSITY, ASTM D-1557. ALL EXTERIOR BACKFILL SHOULD BE MECHANICALLY COMPACTED TO 90% MAXIMUM PROCTOR DENSITY ASTM D-1557.
- WALLS HAVING BACKFILL ON BOTH THE INTERIOR AND EXTERIOR FACES SHOULD HAVE THE BACKFILL ON EITHER SIDE BROUGHT UP APPROXIMATELY TOGETHER. OTHERWISE, WHERE POSSIBLE, NO EXTERIOR BACKFILL SHOULD BE PLACED UNTIL THE FLOOR SLAB AND FLOOR JOISTS ARE IN PLACE OR THE WALL IS OTHERWISE PROPERLY BRACED.
- MINIMUM RECOMMENDED DESIGN STRENGTH OF FOUNDATION CONCRETE SHOULD BE 3000 PSI.
- FOUNDATION FORMS SHOULD REMAIN IN PLACE A MINIMUM OF THREE (3) DAYS.
- A GRAVEL PAD BENEATH FLOOR SLABS IS NOT RECOMMENDED
- PLANTERS, IF ANY, SHOULD BE WELL SEALED AND DRAINED.
- SLOPE BACKFILL AWAY FROM THE BUILDING A MINIMUM OF 5% FOR THE FIRST TEN (10) FEET. CARRY ROOF DRAINS ACROSS THE BACKFILLED AREAS. DO NOT ALLOW WATER TO STAND OR POND NEAR THE BUILDING. DO NOT FLOOD THE BACKFILL.
- THIS DESIGN HAS BEEN COMPLETED IN ACCORDANCE WITH PERTINENT STANDARDS, RECOMMENDED DESIGN SOIL PARAMETERS, AND ACCEPTED ENGINEERING DESIGN PROCEDURES, AND IS BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF COMPLETION. THE DESIGN IS INTENDED TO MINIMIZE DIFFERENTIAL MOVEMENT RESULTING FROM THE HEAVING OF EXPANSIVE SOIL INDUCED BY SEASONAL MOISTURE CHANGES. IT MUST BE RECOGNIZED THAT FOUNDATION COMPONENTS, AND IN PARTICULAR, FLOOR SLABS AND OTHER FLAT WORK, WILL UNDERGO MOVEMENT. ADHERENCE TO THOSE DETAILS ISOLATING FLOOR SLABS FROM COLUMNS, WALLS, PARTITIONS, OR OTHER STRUCTURAL COMPONENTS IS EXTREMELY IMPORTANT IF DAMAGE TO THE SUPERSTRUCTURE IS TO BE MINIMIZED. ANY SUBSEQUENT OWNERS SHOULD BE APPRISED OF THE EXPANSIVE SOIL CONDITIONS, IF ANY, AND ADVISED TO MAINTAIN GOOD PRACTICES IN THE FUTURE WITH REGARD TO SURFACE AND SUBSURFACE DRAINAGE, FRAMING OF PARTITIONS ABOVE FLOOR SLABS, DRYWALL AND FINISH WORK ABOVE FLOOR SLABS, ETC.
- ALL REINFORCING BARS ARE TO CONSIST OF #4, GRADE 60 STEEL UNLESS OTHERWISE NOTED.
- #5, GRADE 40 REINFORCING BARS MAY BE USED IN PLACE OF #4 GRADE 60 BARS IF DESIRED.
- REINFORCING MUST REMAIN CONTINUOUS ABOVE ALL WINDOWS AND DOORS, BUNDLE BARS AS NECESSARY.
- VERIFY TOP OF FOUNDATION ELEVATIONS AND TOP OF WALL STEPS WITH BUILDER PRIOR TO POURING CONCRETE.
- VERIFY FOUNDATION DIMENSIONS AND PAD LOCATIONS WITH ARCHITECTURAL PLANS PRIOR TO SETTING FORMS OR POURING CONCRETE.
- VERIFY MUDSILL LOCATIONS WITH ARCHITECTURAL PLANS PRIOR TO SETTING FORMS OR POURING CONCRETE.



MODIFICATIONS TO THIS DESIGN MAY BE REQUIRED AND WILL BE DETERMINED AT THE TIME OF THE EXCAVATION OBSERVATION.

VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLANS PRIOR TO SETTING FORMS OR POURING CONCRETE.

GENERAL NOTES:

- THE FOUNDATION EXCAVATION SHOULD BE OBSERVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACING FORMS OR CONCRETE TO VERIFY THAT THE DESIGN IS APPROPRIATE FOR THE SITE.
- THE FOUNDATION WAS DESIGNED IN ACCORDANCE WITH THE BUILDING PLANS PROVIDED BY SEEGER HOMES AND GEOTECHNICAL EVALUATION REPORT BY AMERICAN GEOSERVICES DATED OCTOBER 22, 2018, PROJECT NO: 0389-CS18.
- THE ENTIRE FOUNDATION SHALL BEAR ON SOILS WITH A SIMILAR BEARING CAPACITY.
- THIS DESIGN ASSUMES BEARING ON NONEXPANSIVE SOILS. IF EXPANSIVE OR LOOSE SOILS OR BEDROCK ARE ENCOUNTERED IN THE EXCAVATION, THEY SHOULD BE REMOVED AND REPLACED WITH STRUCTURAL FILL AND ADEQUATELY COMPACTED TO PROVIDE A MINIMUM BEARING CAPACITY OF 1,000psf.

LEGEND

	FOUNDATION WALL W/ FOOTING
	BEAM
	CONTINUOUS FOOTING
	DETAIL
	PIER

DESIGN LOADS:

1. WIND: 130 mph; EXPOSURE C
2. SNOW: 30psf, 20psf DRIFTING
3. SEISMIC: SITE CLASS "B"
4. FROST DEPTH: 30"
5. SOIL BEARING CAPACITY: 1,000psf

THIS FOUNDATION IS DESIGNED IN ACCORDANCE WITH EL PASO COUNTY BUILDING REGULATIONS, INCLUDING THE 2015 INTERNATIONAL BUILDING CODE, 2015 INTERNATIONAL RESIDENTIAL CODE AND 2017 PIKES PEAK REGIONAL BUILDING CODE AND FHA AND VA MINIMUM PROPERTY REQUIREMENTS.



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FOUNDATION PLAN
 For: Seeger Homes
 Parcel #330000597
 El Paso County, Colorado
 McManus Residence

SCALE 1/4" = 1'-0"
JOB# 440-06-20
DATE 06/06/2020
S1

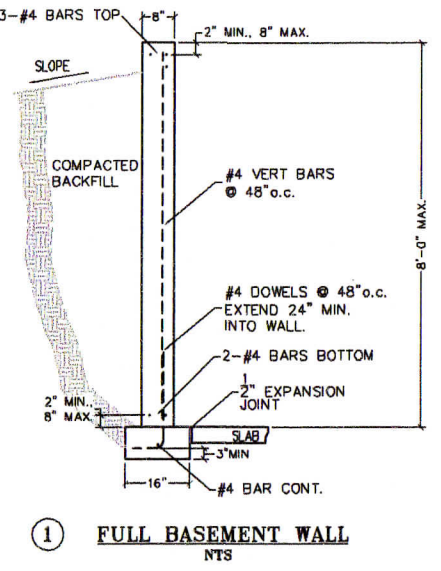
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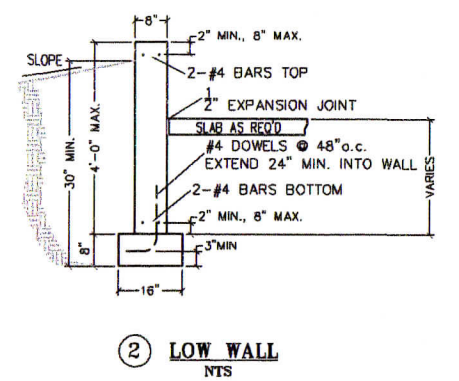
PLAN SET CONTENTS:

- A1 - Elevations
- S1 - Foundation Plan
- S2 - Foundation Details
- S3 - Garage Framing

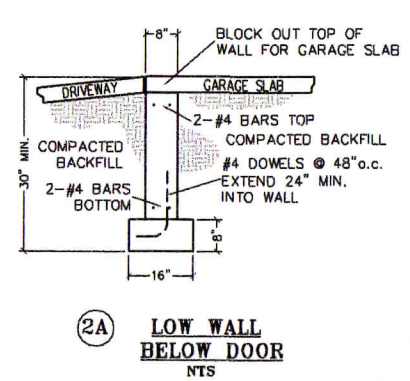
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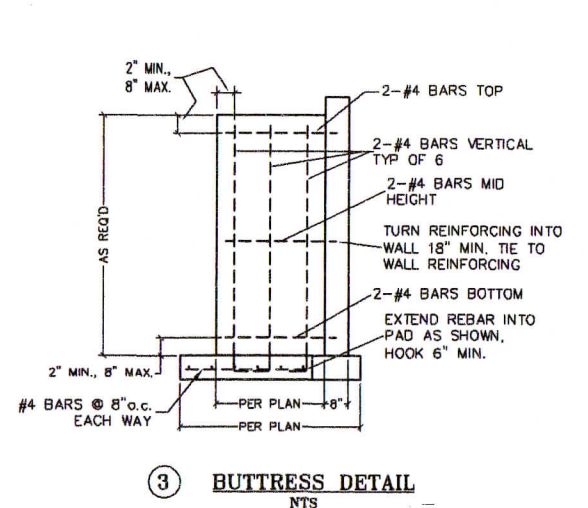
1 FULL BASEMENT WALL
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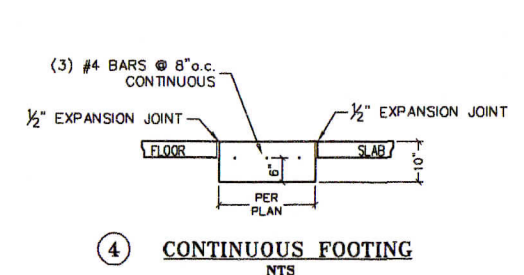
2 LOW WALL
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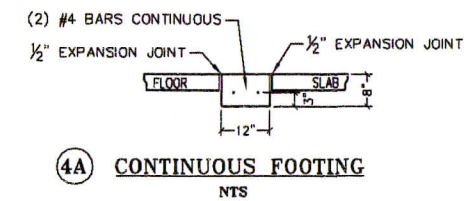
2A LOW WALL
BELOW DOOR
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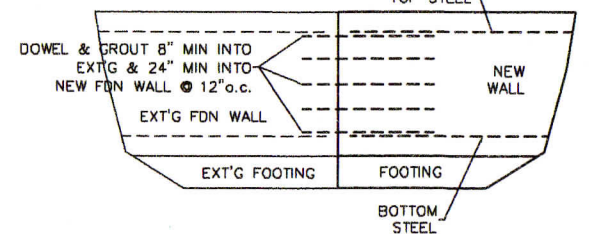
3 BUTTRESS DETAIL
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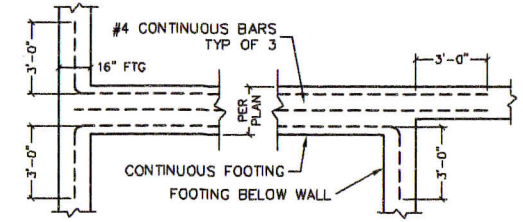
4 CONTINUOUS FOOTING
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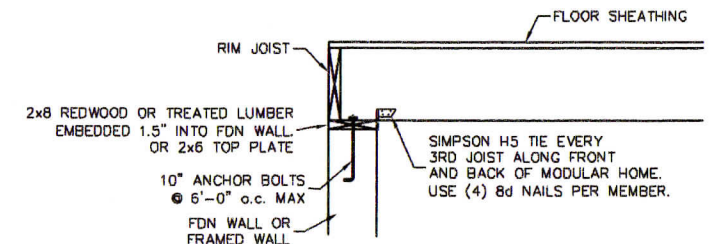
4A CONTINUOUS FOOTING
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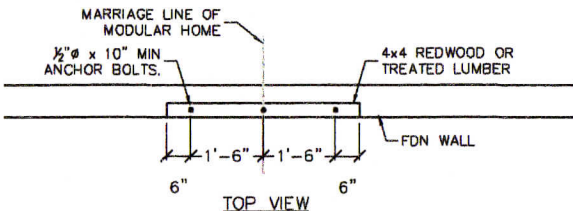
COLD JOINT DETAIL
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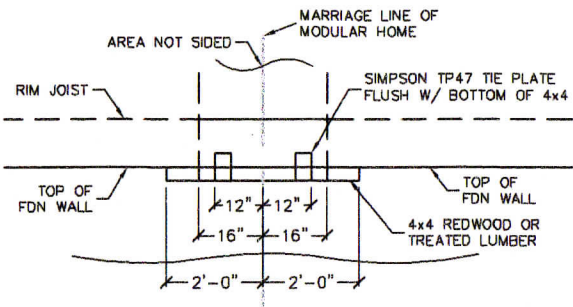
6 CONTINUOUS FTG
TO WALL FTG
NTS



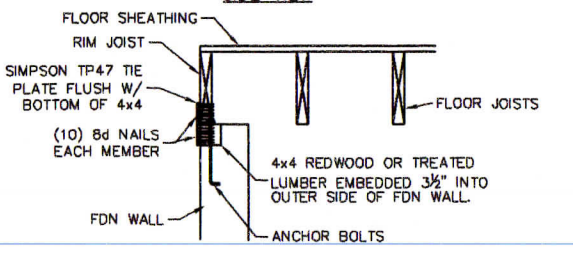
7 REAR TIE DOWN
NTS



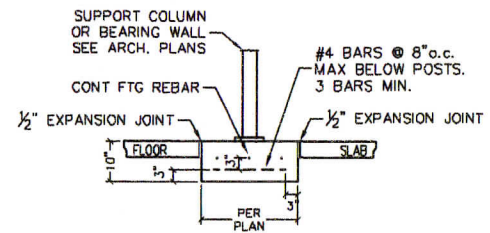
TOP VIEW



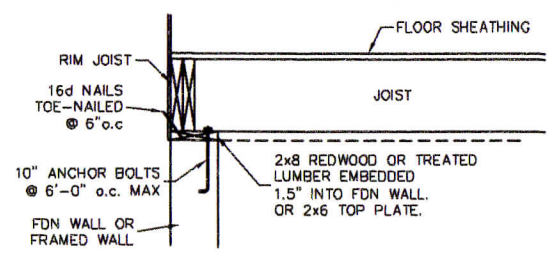
SIDE VIEW



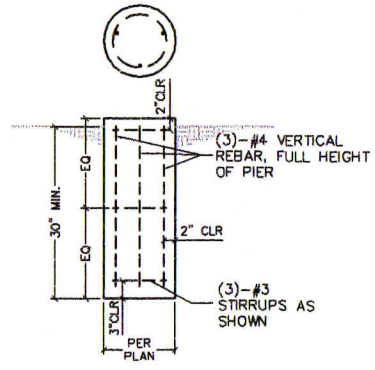
8 SIDE TIE DOWN
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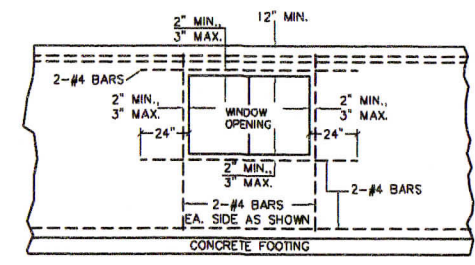
5 FOOTING BELOW POSTS
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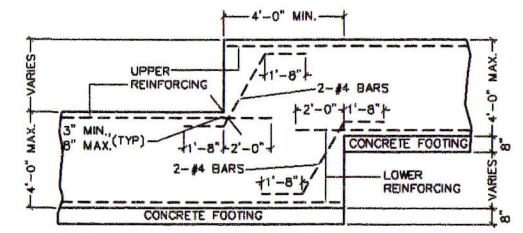
9 OPTIONAL PERIMETER
TIE DOWN (TOE-NAILING)
NTS



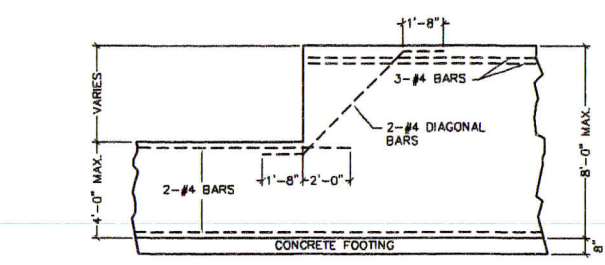
10 PIER DETAIL
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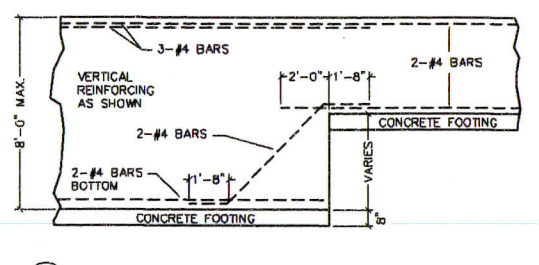
11 REINFORCING DETAIL
AT WINDOW OPENING
NTS



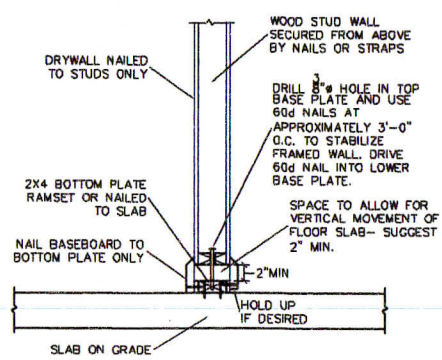
12 FOUNDATION STEP AT
TOP AND BOTTOM
NTS



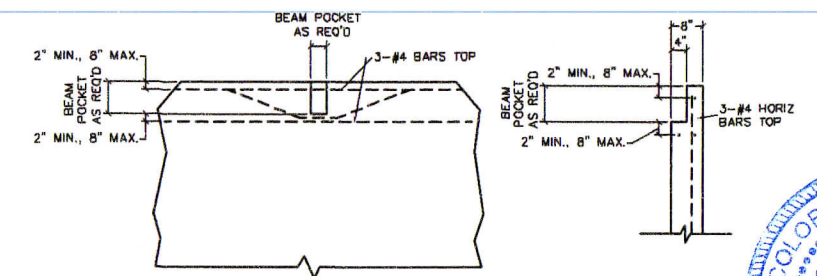
13 FOUNDATION STEP AT TOP
NTS



14 FOUNDATION STEP AT BOTTOM
NTS



15 NONBEARING PARTITION
VOID DETAIL
NTS



NOTE:
 1. ALL BEAM POCKETS TO BE 4 INCHES DEEP.
 2. HEIGHT OF BEAM POCKET = HEIGHT OF BEAM + 1/2" FOR SILL INSET + 1 ADDITIONAL PLATE.
 3. HEIGHT OF BEAM POCKET = HEIGHT OF BEAM - 1" FOR SILL ON TOP OF STEM WALL PLUS 1 ADDITIONAL PLATE.
 4. WIDTH OF BEAM POCKET = WIDTH OF BEAM + 1"

16 BEAM POCKET DETAIL
NTS

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FOUNDATION DETAILS
 For: Seeger Homes
 Parcel #3300000597
 El Paso County, Colorado
 McManus Residence



SCALE: NTS
 JOB# 440-06-20
 DATE 06/06/2020
 S2

Released for Permit
 07/01/2020 5:39:04 AM
 Pikes Peak REGIONAL Building Department
 bphillips
 CONSTRUCTION

STATE OF COLORADO P.E. 38196

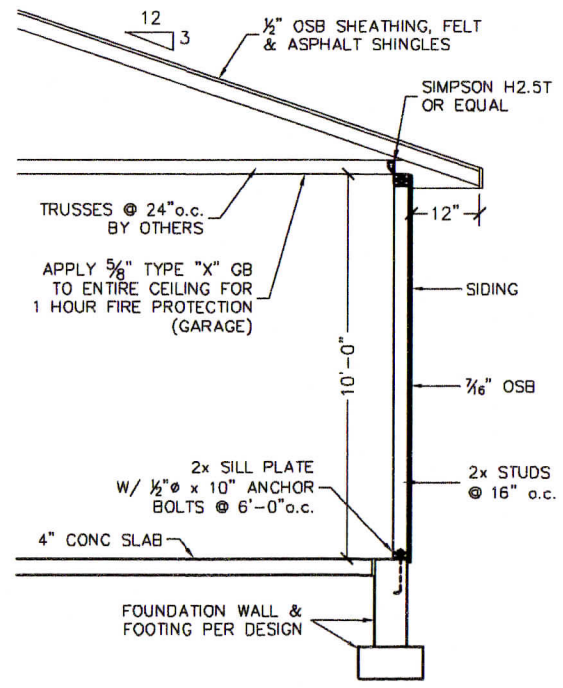
REVISIONS:

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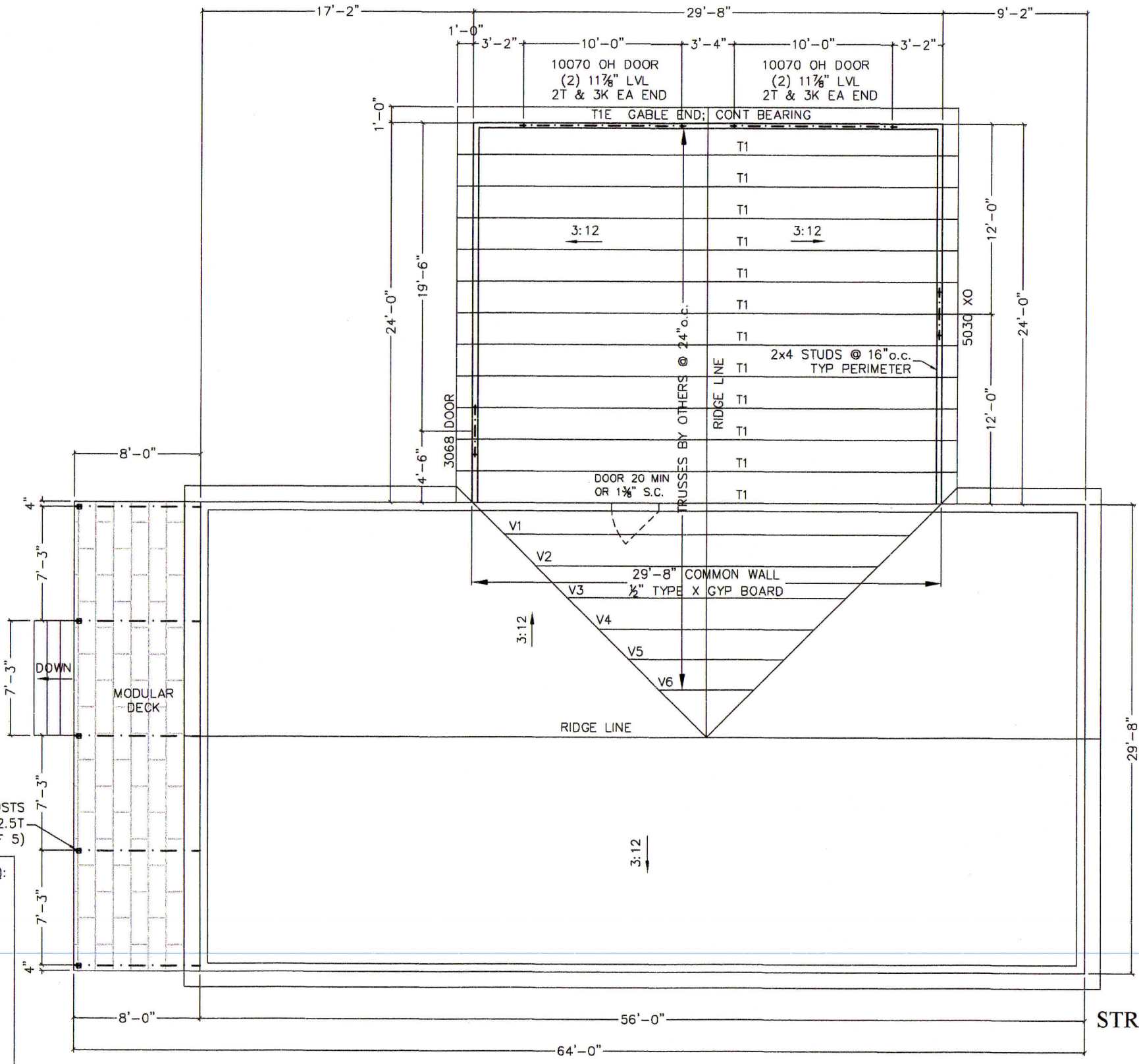
AWE

GARAGE FRAMING
For: Seeger Homes
Parcel #3300000597
El Paso County, Colorado
McManus Residence

SCALE 1/4" = 1'-0"
JOB# 440-06-20
DATE 06/06/2020
S3



GARAGE SECTION VIEW
NTS

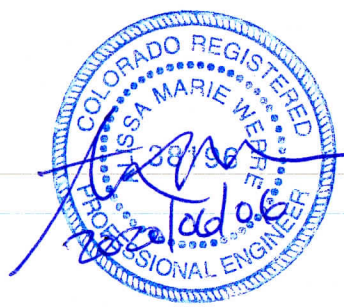


- BASEMENT, GARAGE, PORCH & DECK FRAMING NOTES (AS APPLICABLE):**
1. ALL LUMBER SHALL BE HEM-FIR #2 OR BETTER UNLESS OTHERWISE NOTED.
 2. BASEMENT MARRIAGE WALL POSTS SHALL BE (4) 2x6 UNLESS OTHERWISE NOTED
 3. NON-BEARING BASEMENT WALLS SHALL BE "FLOATING" 2x STUDS @ 24"o.c.
 4. INTERIOR BEARING WALLS ARE SHOWN AS: ~~XXXXXXXX~~
 5. BASEMENT HEADERS (UNLESS OTHERWISE NOTED):
1'-0" TO 4'-0" => (3) 2x10 HF#2 OR BETTER, 1 TRIMMER, 1 KING
4'-1" TO 8'-0" => (3) 2x12 HF#2 OR BETTER, 2 TRIMMERS, 2 KINGS
 6. GARAGE HEADERS (UNLESS OTHERWISE NOTED):
1'-0" TO 4'-0" => (2) 2x10 HF#2 OR BETTER, 1 TRIMMER, 1 KING
4'-1" TO 8'-0" => (2) 2x12 HF#2 OR BETTER, 2 TRIMMERS, 2 KINGS
 7. ALL EXPOSED LUMBER SHALL BE PRESSURE TREATED (P.T.) OR REDWOOD
 8. ALL DECK & PORCH ROOF POSTS SHALL BE 6x6 UNO.
 9. ALL REFERENCED HANGERS, TIE DOWNS, CAPS & BASES SHALL BE SIMPSON STRONGTIE OR EQUAL.
 10. INSTALL (1) H2.5T HURRICANE TIE PER TRUSS OR RAFTER BEARING POINT UNO. INSTALL PER MANUFACTURER'S SPECS.

STRUCTURAL ONLY

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07/01/2020 5:38:58 AM
Pikes Peak REGIONAL Building Department
bphillips
CONSTRUCTION

DESIGN LOADS:
1. WIND: 130 mph; EXPOSURE C
2. SNOW: 30psf, 20psf DRIFTING
3. SEIZMIC: SITE CLASS "B"
4. FROST DEPTH: 30"
5. SOIL BEARING CAPACITY: 1,000psf



STATE OF COLORADO P.E. 38196