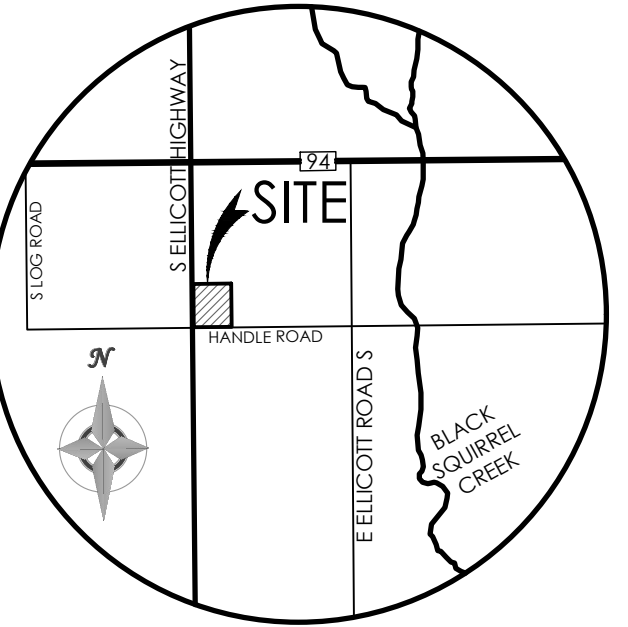


SITE DEVELOPMENT PLAN

FOR

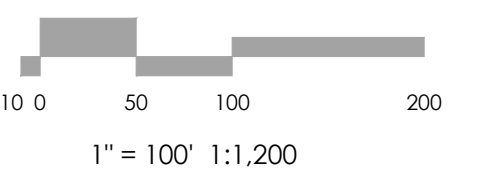
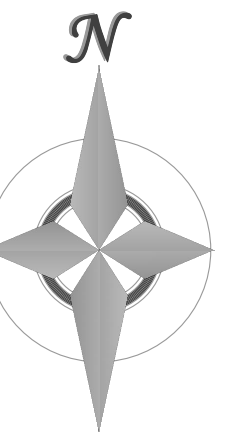
ELLICOTT SCHOOL ADDITION - 2 BUILDINGS

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 14 SOUTH, RANGE 62 WEST OF THE 6TH PRINCIPAL MERIDIAN,
EL PASO COUNTY, COLORADO



VICINITY MAP
NOT TO SCALE

BENCHMARK
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY AND PROVIDED BY CLARK LAND SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD 88 VERTICAL DATUM.



LEGEND

-----	PROPERTY LINE	-----	INDEX CONTOUR	-----	INDEX CONTOUR
-----	EASEMENT LINE	-----	INTERMEDIATE CONTOUR	-----	INTERMEDIATE CONTOUR
-----	LOT LINE	-----	CONCRETE AREA	-----	CONCRETE AREA
-----	BUILDING SETBACK LINE	-----	GRAVEL AREA	-----	GRAVEL AREA
-----	ADJACENT PROPERTY LINE	-----	CURB AND GUTTER	-----	CURB AND GUTTER
-----	PHASE BOUNDARY LINE	-----	BUILDING/ BUILDING OVERHANG	-----	BUILDING/ BUILDING OVERHANG
-----		-----	DECK	-----	DECK
-----		-----	RETAINING WALL - SOLID/ ROCK	-----	RETAINING WALL - SOLID/ ROCK
-----		-----	SIGN	-----	SIGN
-----		-----	BOLLARD	-----	BOLLARD
-----		-----	WOOD FENCE	-----	WOOD FENCE
-----		-----	CHAIN LINK FENCE	-----	CHAIN LINK FENCE
-----		-----	BARBED WIRE FENCE	-----	BARBED WIRE FENCE
-----		-----	TREE (EVERGREEN/DECIDUOUS)	-----	TREE (EVERGREEN/DECIDUOUS)
-----		-----	SHRUB	-----	SHRUB
-----		-----	ROCK	-----	ROCK

ABBREVIATION LEGEND

ASPH	ASPHALT
CONC	CONCRETE
C & G	CURB & GUTTER
DET.	DETAIL
ESMT	EASEMENT
ME	MATCH EXISTING
P.B., PG.	PLAT BOOK, PAGE
PVMT	PAVEMENT
RET. WALL	RETAINING WALL
REC. NO.	RECEPTION NUMBER
R.O.W.	RIGHT-OF-WAY
SF	SQUARE FOOT
STBK	SETBACK
SW	SIDEWALK
UTIL	UTILITY
⊙	CATCH CURB
⊙	SPILL CURB

ADA NOTE

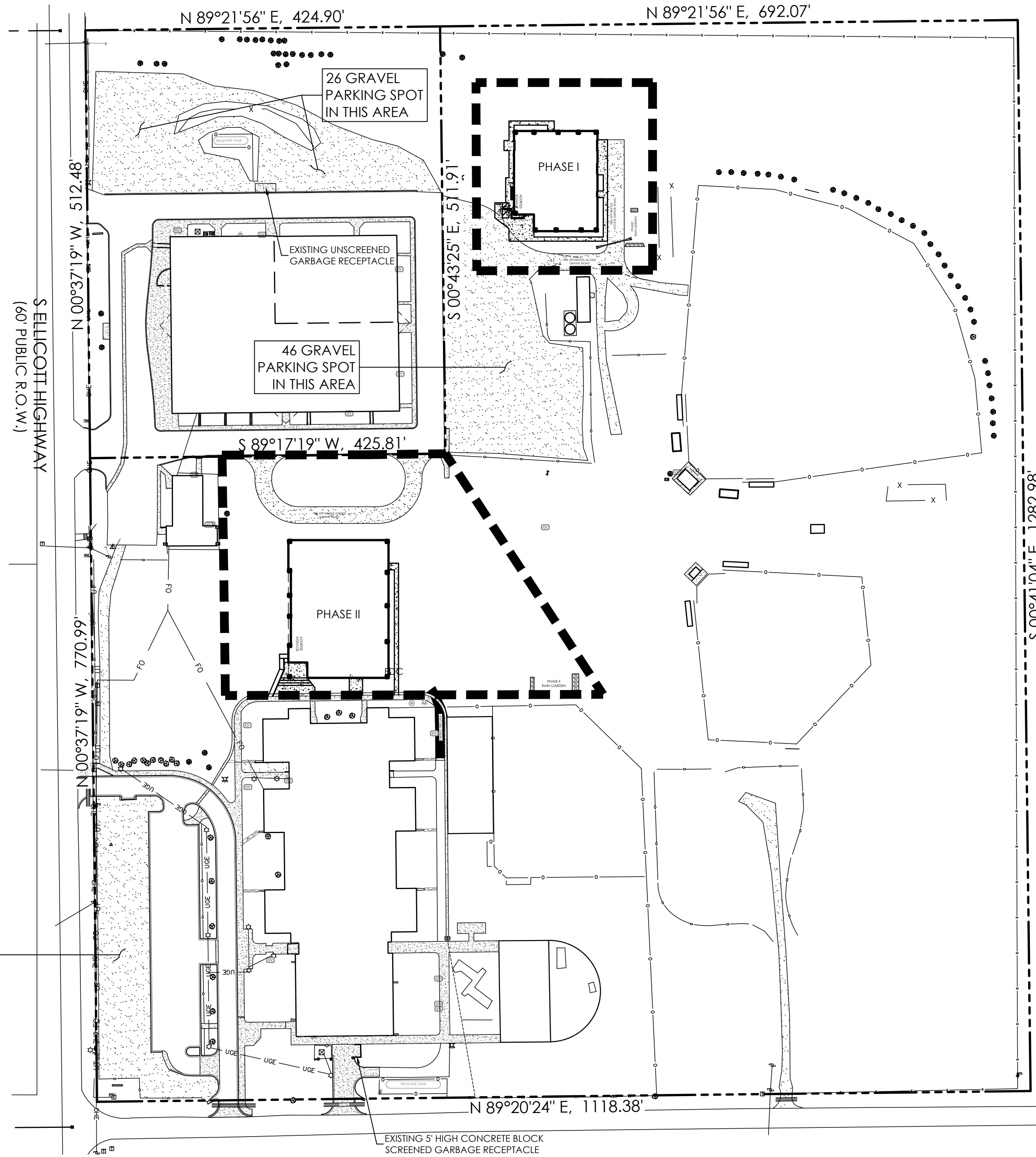
THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

FLOODPLAIN STATEMENT

NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C089G, EFFECTIVE DECEMBER 7, 2018.

MAP NOTES

- THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY CLARK LAND SURVEYING INC.
- ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.



SITE DATA

OWNER
ELLICOTT SCHOOL DISTRICT NO 22
322 S ELLICOTT HIGHWAY,
CALHAN, CO 80808
(719) 683-2700
INFO@ESD22.ORG

DEVELOPER
ED GREEN CONSTRUCTION
1180 TRANSIT DR,
COLORADO SPRINGS, CO 80903
(719) 475-0922

CONSULTANT/ENGINEER
M.V.E., INC.
1903 LELARY STREET, SUITE 200
COLORADO SPRINGS, CO 80909
(719) 635-5736
MVE@MVEENGINEERS.COM

ZONING
AGRICULTURAL (A-35)

BUILDING USE
POLITICAL SUBDIVISION/PUBLIC SCHOOL

CONSTRUCTION SCHEDULE
START: FALL 2022
FINISH: SPRING 2023

TAX SCHEDULE NO.
241800019
241800018

PROPERTY ADDRESS
399 S ELLICOTT HIGHWAY,
CALHAN, CO 80808

375 S ELLICOTT HIGHWAY,
CALHAN, CO 80808

PARCEL SIZE
32.93 ACRES

PHASE I IMPROVEMENTS	AREA	PERCENTAGE OF TOTAL
BUILDING (TWO STORY):	11,499 SF	0.80%
GRAVEL DRIVE:	4,820 SF	0.34%
SIDEWALK:	3,323 SF	0.23%
LANDSCAPING:	1,280 SF	0.09%

PHASE II IMPROVEMENTS	AREA	PERCENTAGE OF TOTAL
BUILDING (ONE STORY):	19,123 SF	1.33%
GRAVEL DRIVE:	12,140 SF	0.85%
SIDEWALK:	2,231 SF	0.16%
LANDSCAPING:	2,674 SF	0.19%
TOTAL IMPROVEMENTS	57,090 SF	3.98%

EXISTING BUILDINGS	36,366 SF	2.54%
EXISTING SIDEWALK	119,100 SF	8.30%
EXISTING GRAVEL AREA	113,932 SF	7.94%

PARKING DATA

REQUIRED STANDARD PARKING = 162 SPACES	
HIGH SCHOOL + PHASE I:	= 72 SPACES
288 STUDENTS @ 1 SPACE PER 4 STUDENTS	
ELEMENTARY SCHOOL + PHASE II:	= 90 SPACES
45 CLASSROOMS @ 2 SPACES PER CLASSROOM	
REQUIRED DISABLED PARKING = 6 SPACES	
151 TO 200 REQUIRED STANDARD SPACES	= 6 HANDICAP SPACES

PROVIDED PARKING:
104 STANDARD PARKING SPACES*
134 GRAVEL PARKING SPACES
- 62 GRAVEL SPOTS WEST OF ELEMENTARY SCHOOL
- 26 GRAVEL SPOTS NORTH OF HIGH SCHOOL
- 46 GRAVEL SPOTS EAST OF HIGH SCHOOL
8 DISABLED PARKING SPACES**
****ALL STANDARD PARKING SPACES ARE A MINIMUM OF 9 FEET WIDE**
****ALL DISABLED PARKING SPACES ARE DIMENSIONALLY ADA COMPLIANT**

TOTAL PARKING = 246 SPACES PROVIDED

BUILDING TYPE

PHASE I
BUILDING AREA - 11,499 SF
TWO STORIES - TYPE 5b
FIRE SPRINKLED / NO FIRE WALLS

PHASE II
BUILDING AREA - 19,123 SF
ONE STORY - TYPE 5b
FIRE SPRINKLED / NO FIRE WALLS

BUILDING HEIGHT

30 FT MAX.
PHASE I
25' (TWO STORIES)
PHASE II
20' (ONE STORY)

SETBACKS

25' FRONT
25' SIDE
25' REAR

LIGHTING

LIGHTING WILL BE PROVIDED FROM WALL MOUNTED FIXTURES.

SHEET INDEX

SITE DEVELOPMENT PLAN	
DP-1	COVER SHEET
DP-2	PHASE I SITE PLAN
DP-3	PHASE II SITE PLAN
GRADING & EROSION CONTROL PLAN	
C1.1	COVER SHEET
C1.2	PHASE I GRADING PLAN
C1.3	PHASE I EROSION CONTROL PLAN
C1.4	PHASE II GRADING PLAN
C1.5	PHASE II EROSION CONTROL PLAN
C1.6	EROSION CONTROL DETAILS
C1.7	EROSION CONTROL DETAILS
UTILITY PLAN	
C2.1	PHASE I UTILITY SERVICE PLAN
C2.2	PHASE II UTILITY SERVICE PLAN
LANDSCAPE PLAN	
LS1.1	COVER SHEET
LS1.2	PLAN SHEET
BUILDING FLOOR PLAN	
A1.1	PHASE I FLOOR PLAN
A1.2	PHASE II FLOOR PLAN
BUILDING ELEVATIONS	
A2.1	PHASE I EXTERIOR ELEVATIONS
A2.2	PHASE II EXTERIOR ELEVATIONS

REVISIONS
1 Fire apparatus access road updated pursuant to Fire Department comments

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILT BY _____
CHECKED BY _____

ELLICOTT SCHOOL ADDITION 2 BLDGS

SITE DEVELOPMENT PLAN COVER SHEET

DP-1 MVE PROJECT 61183
MVE DRAWING DEV-CS

NOVEMBER 28, 2022 SHEET 1 OF 3

PCD FILE # PPR2250

LEGAL DESCRIPTION

A TRACT OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 14 SOUTH, RANGE 62 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO EXCEPT THAT TRACT DESCRIBED IN THE RECORDS OF EL PASO COUNTY AT RECEPTION NO. 200036673 AND EXCEPT ROADS.

CONTAINING AN AREA OF 28.51 ACRES, MORE OR LESS.

DEVELOPMENT NOTES

- WATER SERVICE PROVIDED BY OFFSITE PRIVATE WELLS AND CHEROKEE METROPOLITAN DISTRICT.
- SANITARY SEWER SYSTEM ON THIS SITE IS PRIVATE. WASTEWATER TREATMENT IS PROVIDED OFFSITE.
- NATURAL GAS SERVICE PROVIDED BY PRIVATELY OWNED ON-SITE PROPANE TANKS.
- ELECTRIC SERVICE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION.
- FIRE SERVICE PROVIDED BY ELLICOTT FIRE PROTECTION DISTRICT.

WELL NOTE

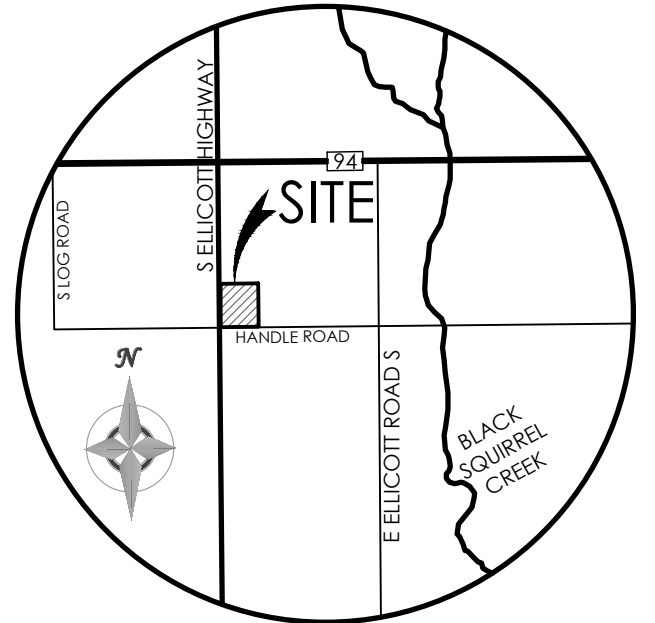
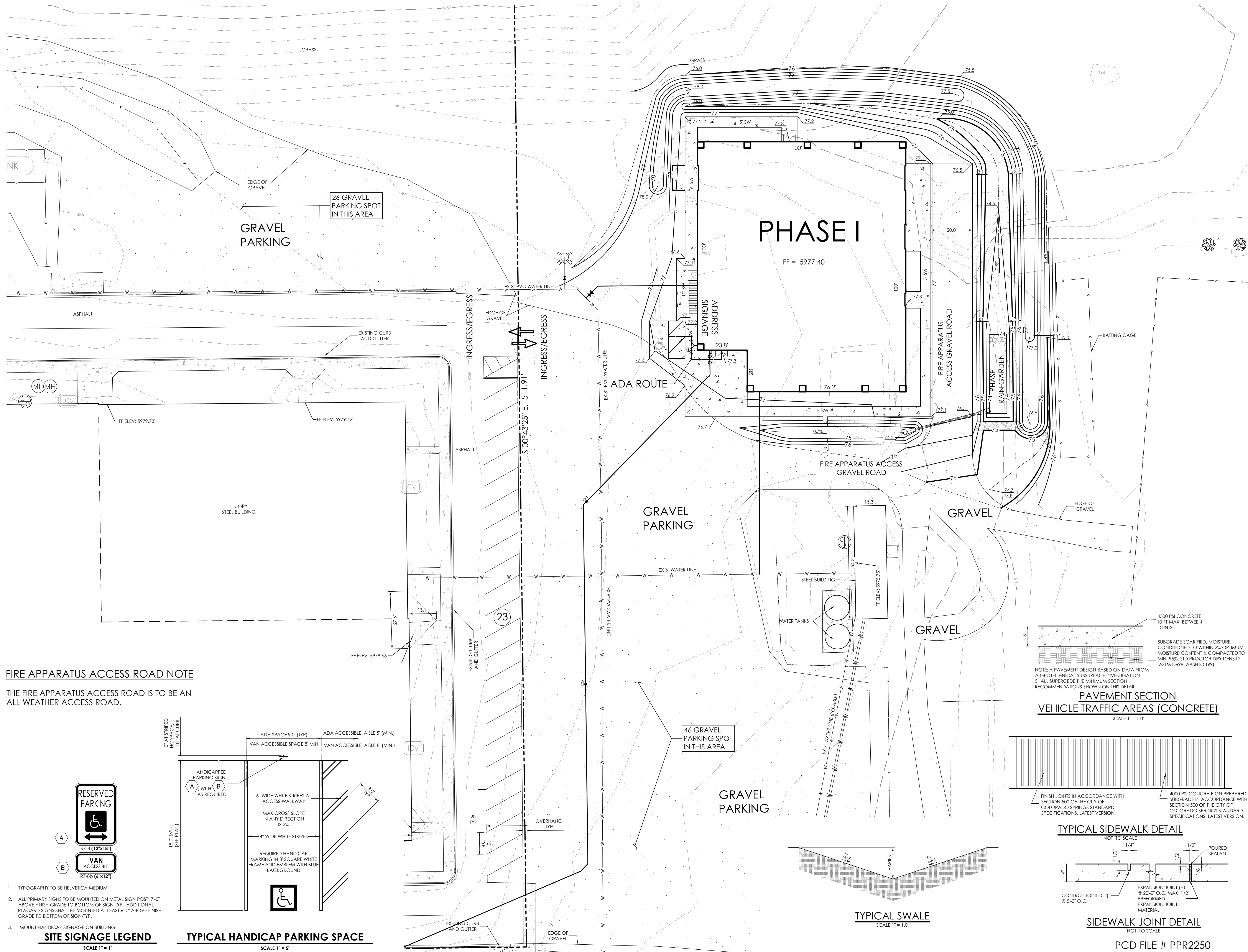
WATER SERVICE PROVIDED BY OFFSITE PRIVATE WELLS AND CHEROKEE METROPOLITAN DISTRICT. THERE ARE NO ON-SITE WELLS.

SEPTIC NOTE

THERE ARE NO SEPTIC FACILITIES ON THIS SITE. WASTEWATER IS CONVEYED BY PIPE EAST OF ELLICOTT HIGHWAY AND TREATMENT IS PROVIDED OFFSITE.

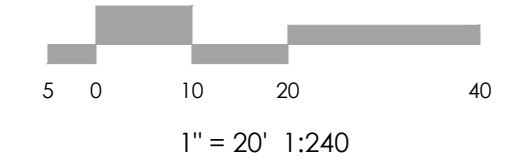
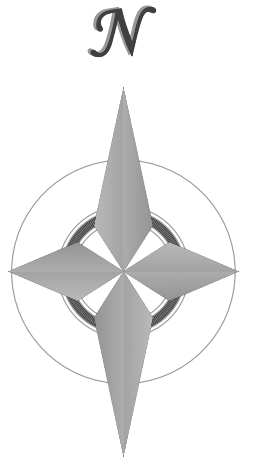
FENCING

NO NEW FENCES ARE PROPOSED FOR THE PHASE I AND PHASE II BUILDING ADDITION AREAS. ALL FENCES SHOWN ON PLAN ARE EXISTING AND DO NOT IMPACT PHASE I AND PHASE II.



VICINITY MAP
NOT TO SCALE

BENCHMARK
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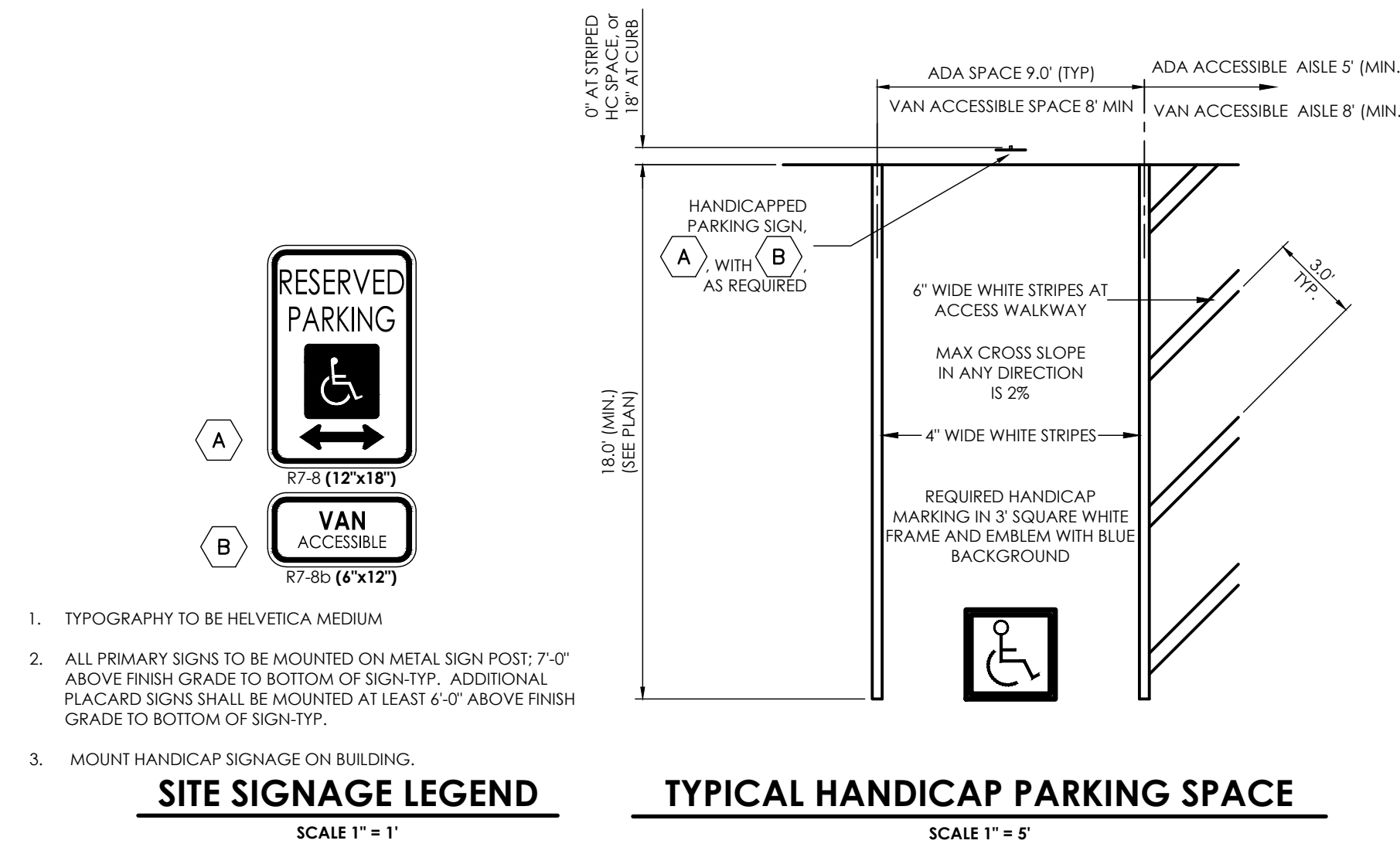
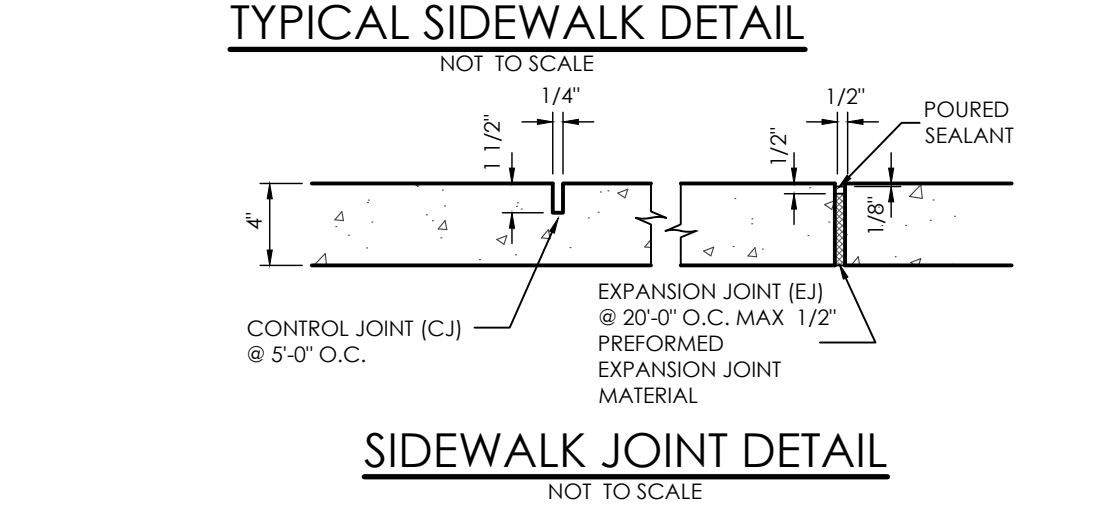
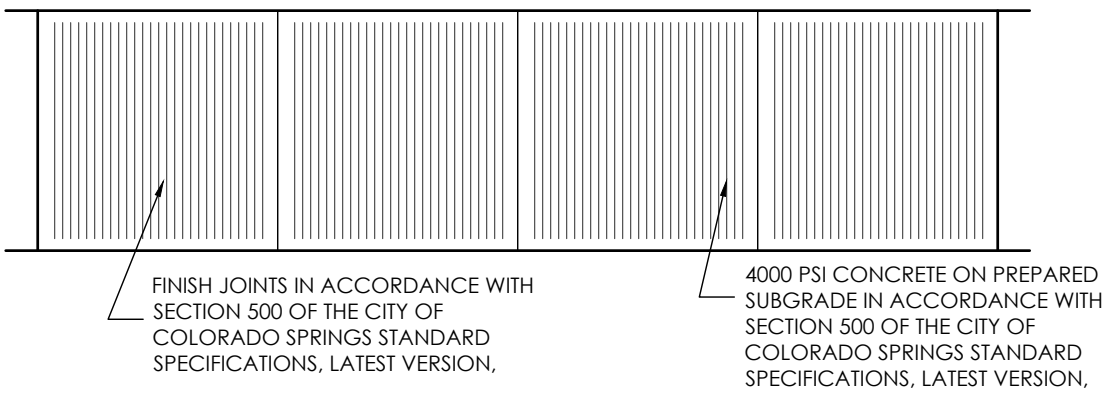
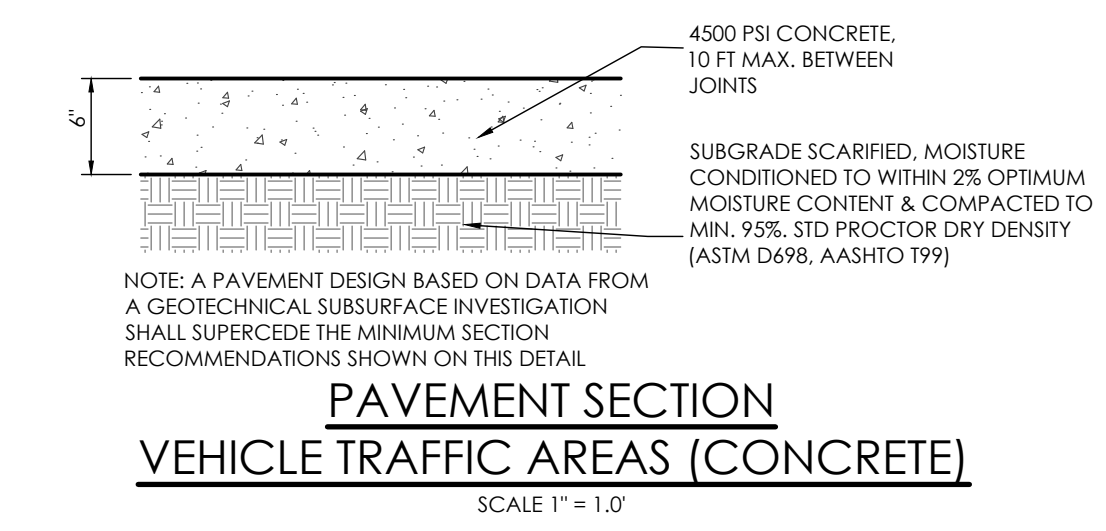


MVE, INC.
ENGINEERS / SURVEYORS

1903 Library Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

REVISIONS
1 Fire apparatus access road updated pursuant to Fire Department comments

FIRE APPARATUS ACCESS ROAD NOTE
THE FIRE APPARATUS ACCESS ROAD IS TO BE AN ALL-WEATHER ACCESS ROAD.



- TOPOGRAPHY TO BE HELVETICA MEDIUM
- ALL PRIMARY SIGNS TO BE MOUNTED ON METAL SIGN POST; 7'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN-TYP. ADDITIONAL PLACARD SIGNS SHALL BE MOUNTED AT LEAST 6'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN-TYP.
- MOUNT HANDICAP SIGNAGE ON BUILDING.

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILT BY _____
CHECKED BY _____

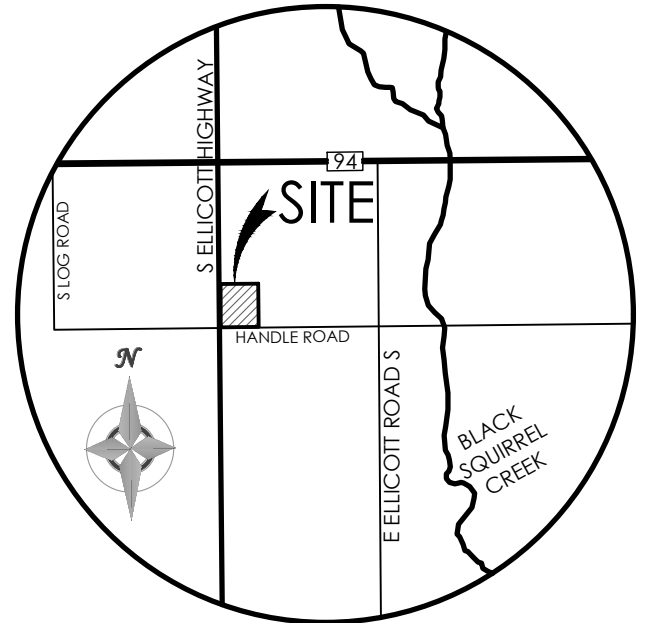
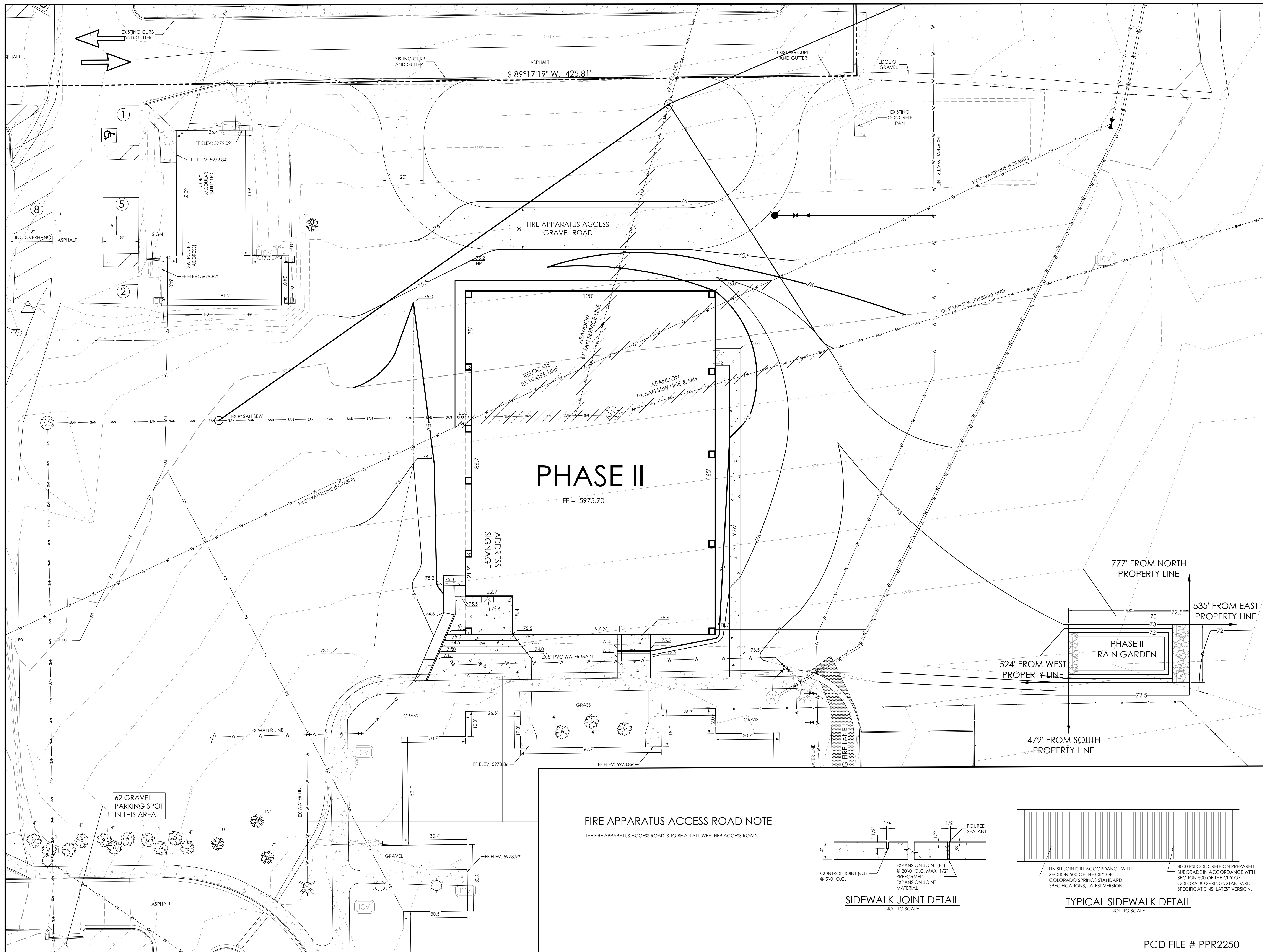
ELLICOTT SCHOOL
ADDITION 2 BLDGS

SITE DEVELOPMENT
PLAN
PHASE I SITE PLAN

DP-2 MVE PROJECT 61183
MVE DRAWING DEV-SP-I

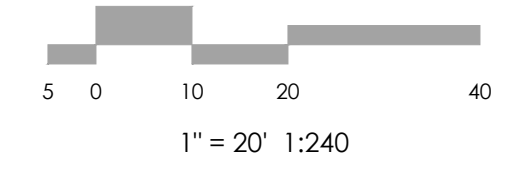
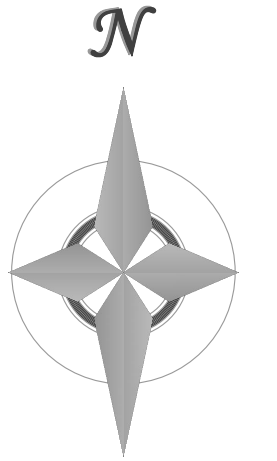
NOVEMBER 28, 2022
SHEET 2 OF 3

PCD FILE # PPR2250



VICINITY MAP
NOT TO SCALE

BENCHMARK
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY AND PROVIDED BY CLARK LAND SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD 88 VERTICAL DATUM.



1" = 20' 1:240



REVISIONS
1 Fire apparatus access road updated pursuant to Fire Department comments

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

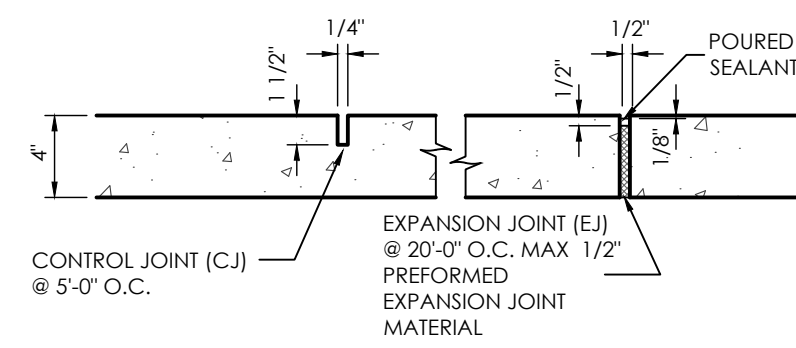
ELLICOTT SCHOOL
ADDITION 2 BLDGS

SITE DEVELOPMENT
PLAN
PHASE II SITE PLAN

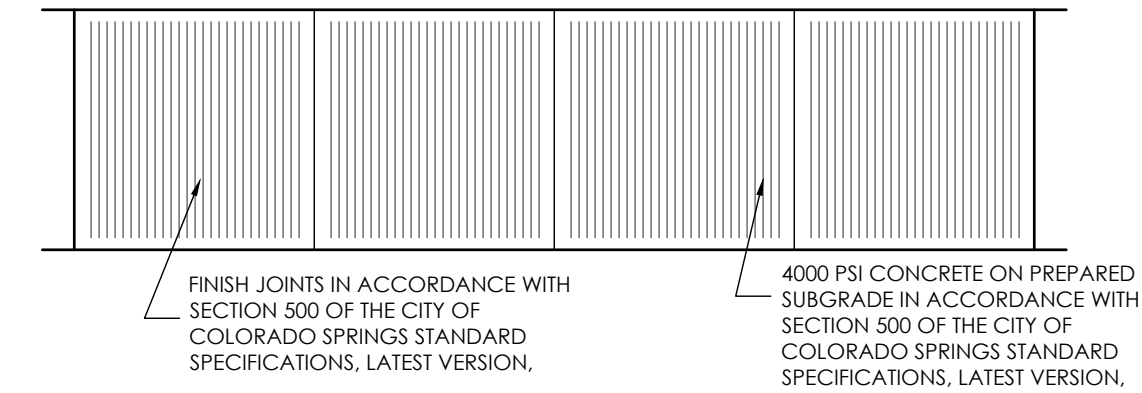
DP-3 MVE PROJECT 61183
MVE DRAWING DEV-SP-II

NOVEMBER 28, 2022
SHEET 3 OF 3

FIRE APPARATUS ACCESS ROAD NOTE
THE FIRE APPARATUS ACCESS ROAD IS TO BE AN ALL-WEATHER ACCESS ROAD.



SIDEWALK JOINT DETAIL
NOT TO SCALE



TYPICAL SIDEWALK DETAIL
NOT TO SCALE

PCD FILE # PPR2250