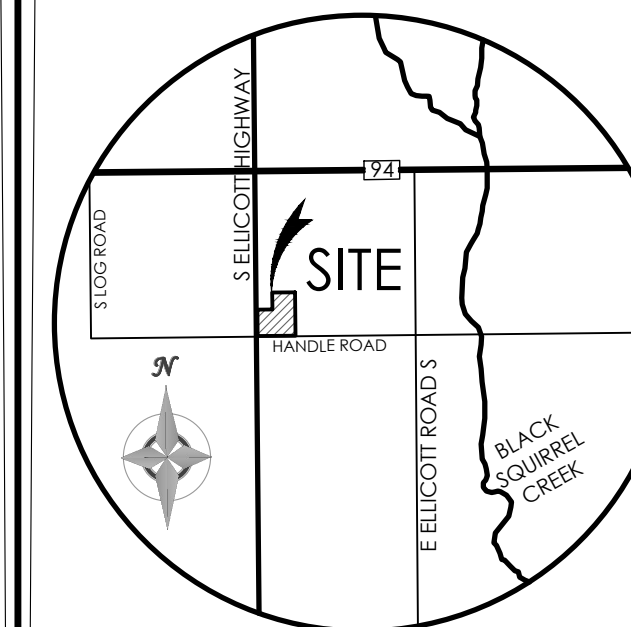


# SITE DEVELOPMENT PLAN

## FOR

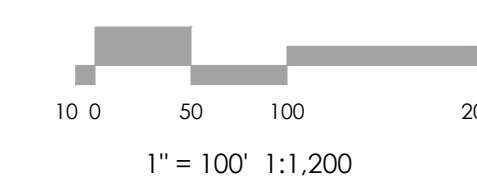
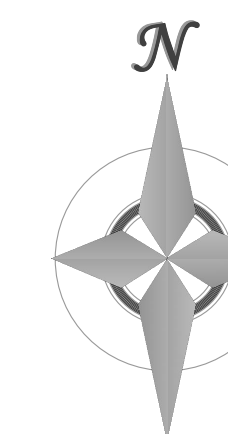
# ELLICOTT SCHOOL ADDITION - 2 BUILDINGS

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 14 SOUTH, RANGE 62 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
EL PASO COUNTY, COLORADO



VICINITY MAP  
NOT TO SCALE

BENCHMARK  
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY AND PROVIDED BY CLARK LAND SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD 88 VERTICAL DATUM.



### LEGEND

-----	PROPERTY LINE	-----	INDEX CONTOUR
-----	EASEMENT LINE	-----	INTERMEDIATE CONTOUR
-----	LOT LINE	-----	CONCRETE AREA
-----	BUILDING SETBACK LINE	-----	GRAVEL AREA
-----	ADJACENT PROPERTY LINE	-----	CURB AND GUTTER
-----	PHASE BOUNDARY LINE	-----	BUILDING/ BUILDING OVERHANG
-----		-----	DECK
-----		-----	RETAINING WALL - SOLID/ ROCK
-----		-----	SIGN
-----		-----	BOLLARD
-----		-----	WOOD FENCE
-----		-----	CHAIN LINK FENCE
-----		-----	BARBED WIRE FENCE
-----		-----	TREE (EVERGREEN/DECIDUOUS)
-----		-----	SHRUB
-----		-----	ROCK

### ABBREVIATION LEGEND

ASPH	ASPHALT
CONC	CONCRETE
C & G	CURB & GUTTER
DET.	DETAIL
ESMT	EASEMENT
ME	MATCH EXISTING
P.B., PG.	PLAT BOOK, PAGE
PVMT	PAVEMENT
RET. WALL	RETAINING WALL
REC. NO.	RECEPTION NUMBER
R.O.W.	RIGHT-OF-WAY
SF	SQUARE FOOT
STBK	SETBACK
SW	SIDEWALK
UTIL	UTILITY
⊙	CATCH CURB
⊙	SPILL CURB

### ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

### FLOODPLAIN STATEMENT

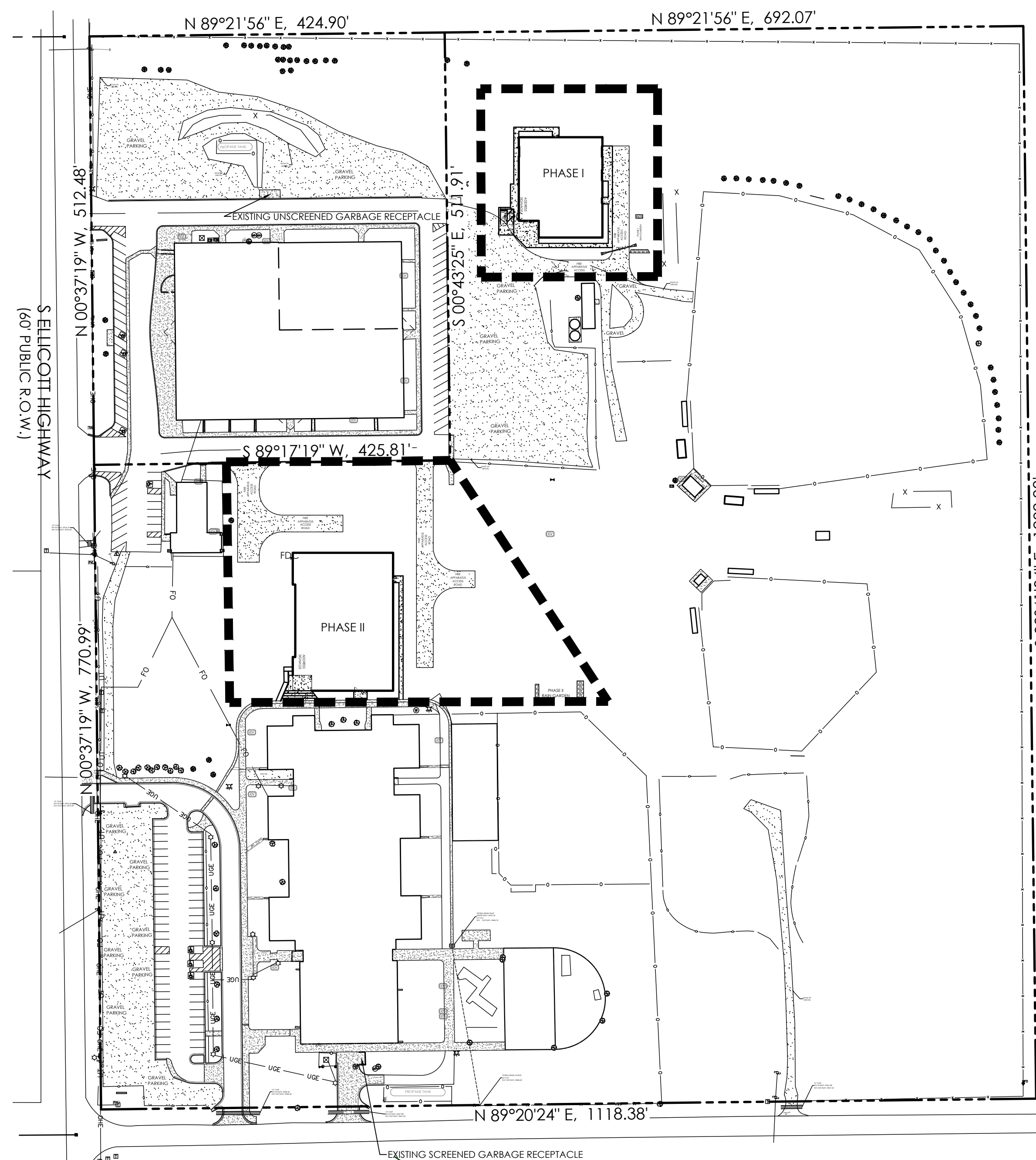
NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0809G, EFFECTIVE DECEMBER 7, 2018.

### MAP NOTES

1. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY CLARK LAND SURVEYING INC.
2. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.

### PROPOSED

-----	INDEX CONTOUR
-----	INTERMEDIATE CONTOUR
-----	CONCRETE AREA
-----	GRAVEL AREA
-----	CURB AND GUTTER
-----	BUILDING/ BUILDING OVERHANG
-----	DECK
-----	RETAINING WALL - SOLID/ ROCK
-----	SIGN
-----	BOLLARD
-----	WOOD FENCE
-----	CHAIN LINK FENCE
-----	BARBED WIRE FENCE
-----	TREE (EVERGREEN/DECIDUOUS)
-----	SHRUB
-----	ROCK



Please include:  
-graphical depiction of screening mechanism

### LEGAL DESCRIPTION

A TRACT OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 14 SOUTH, RANGE 62 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO EXCEPT THAT TRACT DESCRIBED IN THE RECORDS OF EL PASO COUNTY AT RECEPTION NO. 200036673 AND EXCEPT ROADS.

CONTAINING AN AREA OF 28.51 ACRES, MORE OR LESS.

### DEVELOPMENT NOTES

1. WATER SERVICE PROVIDED BY OFFSITE PRIVATE WELLS AND CHEROKEE METROPOLITAN DISTRICT.
2. SANITARY SEWER SYSTEM ON THIS SITE IS PRIVATE. WASTEWATER TREATMENT IS PROVIDED OFFSITE.
3. NATURAL GAS SERVICE PROVIDED BY PRIVATELY OWNED ON-SITE PROPANE TANKS.
4. ELECTRIC SERVICE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION.
5. FIRE SERVICE PROVIDED BY ELLICOTT FIRE PROTECTION DISTRICT.

### WELL NOTE

WATER SERVICE PROVIDED BY OFFSITE PRIVATE WELLS AND CHEROKEE METROPOLITAN DISTRICT. THERE ARE NO ON-SITE WELLS.

### SEPTIC NOTE

THERE ARE NO SEPTIC FACILITIES ON THIS SITE. WASTEWATER IS CONVEYED BY PIPE EAST OF ELLICOTT HIGHWAY AND TREATMENT IS PROVIDED OFFSITE.

### FENCING

NO NEW FENCES ARE PROPOSED FOR THE PHASE I AND PHASE II BUILDING ADDITION AREAS. ALL FENCES SHOWN ON PLAN ARE EXISTING AND DO NOT IMPACT PHASE I AND PHASE II.

### SITE DATA

**OWNER**  
ELLICOTT SCHOOL DISTRICT NO 22  
322 S ELLICOTT HIGHWAY,  
CALHAN, CO 80808  
(719) 683-2700  
INFO@ESD22.ORG

**DEVELOPER**  
ED GREEN CONSTRUCTION  
1180 TRANSIT DR,  
COLORADO SPRINGS, CO 80903  
(719) 475-0922

**CONSULTANT/ENGINEER**  
M.V.E., INC.  
1903 LELARAY STREET, SUITE 200  
COLORADO SPRINGS, CO 80909  
(719) 635-5736  
MVE@MVEINC.COM

**ZONING**  
AGRICULTURAL (A-35)

**BUILDING USE**  
POLITICAL SUBDIVISION/PUBLIC SCHOOL

**CONSTRUCTION SCHEDULE**  
START: FALL 2022  
FINISH: SPRING 2023

**TAX SCHEDULE NO.**  
241800019  
241800018

**PROPERTY ADDRESS**  
399 S ELLICOTT HIGHWAY,  
CALHAN, CO 80808

375 S ELLICOTT HIGHWAY,  
CALHAN, CO 80808

**PARCEL SIZE**  
32.93 ACRES

COVERAGE DATA	AREA	PERCENTAGE OF TOTAL
PHASE I IMPROVEMENTS	11,499 SF	0.80%
BUILDING (TWO STORY):	4,820 SF	0.34%
GRAVEL DRIVE:	3,323 SF	0.23%
SIDEWALK:	1,280 SF	0.09%
LANDSCAPING:		

PHASE II IMPROVEMENTS	AREA	PERCENTAGE OF TOTAL
BUILDING (ONE STORY):	19,123 SF	1.33%
GRAVEL DRIVE:	12,140 SF	0.85%
SIDEWALK:	2,231 SF	0.16%
LANDSCAPING:	2,674 SF	0.19%

TOTAL IMPROVEMENTS	AREA	PERCENTAGE OF TOTAL
EXISTING BUILDINGS	36,366 SF	2.54%
EXISTING SIDEWALK	119,100 SF	8.30%
EXISTING GRAVEL AREA	113,932 SF	7.94%

### PARKING DATA

**REQUIRED STANDARD PARKING = 162 SPACES**

HIGH SCHOOL + PHASE I: = 72 SPACES  
288 STUDENTS @ 1 SPACE PER 4 STUDENTS

ELEMENTARY SCHOOL + PHASE II: = 90 SPACES  
45 CLASSROOMS @ 2 SPACES PER CLASSROOM

**REQUIRED DISABLED PARKING = 6 SPACES**

151 TO 200 REQUIRED STANDARD SPACES = 6 HANDICAP SPACES

**PROVIDED PARKING:**

104 STANDARD PARKING SPACES  
134 GRAVEL PARKING SPACES  
8 DISABLED PARKING SPACES

**\*ALL STANDARD PARKING SPACES ARE A MINIMUM OF 9 FEET WIDE**  
**\*\*ALL DISABLED PARKING SPACES ARE DIMENSIONALLY ADA COMPLIANT**

**TOTAL PARKING = 246 SPACES PROVIDED**

### BUILDING TYPE

**PHASE I**  
BUILDING AREA - 11,499 SF  
TWO STORIES - TYPE 5b  
FIRE SPRINKLED / NO FIRE WALLS

**PHASE II**  
BUILDING AREA - 19,123 SF  
ONE STORY - TYPE 5b  
FIRE SPRINKLED / NO FIRE WALLS

### BUILDING HEIGHT

30 FT MAX.

### PHASE I

25' (TWO STORIES)

### PHASE II

20' (ONE STORY)

### SETBACKS

25' FRONT

25' SIDE

25' REAR

### LIGHTING

LIGHTING WILL BE PROVIDED FROM WALL MOUNTED FIXTURES.

### SHEET INDEX

#### SITE DEVELOPMENT PLAN

DP-1	COVER SHEET
DP-2	PHASE I SITE PLAN
DP-3	PHASE II SITE PLAN

#### GRADING & EROSION CONTROL PLAN

C1.1	COVER SHEET
C1.2	PHASE I GRADING PLAN
C1.3	PHASE I EROSION CONTROL PLAN
C1.4	PHASE II GRADING PLAN
C1.5	PHASE II EROSION CONTROL PLAN
C1.6	EROSION CONTROL DETAILS
C1.7	EROSION CONTROL DETAILS

#### UTILITY PLAN

C2.1	PHASE I UTILITY SERVICE PLAN
C2.2	PHASE II UTILITY SERVICE PLAN

#### LANDSCAPE PLAN

LS1.1	COVER SHEET
LS1.2	PLAN SHEET

#### BUILDING FLOOR PLAN

A1.1	PHASE I FLOOR PLAN
A1.2	PHASE II FLOOR PLAN

#### BUILDING ELEVATIONS

A2.1	PHASE I EXTERIOR ELEVATIONS
A2.2	PHASE II EXTERIOR ELEVATIONS

REVISIONS  
1 Fire apparatus access road updated pursuant to Fire Department comments

DESIGNED BY  
DRAWN BY  
CHECKED BY  
AS-BUILTS BY  
CHECKED BY

ELLICOTT SCHOOL  
ADDITION 2 BLDGS

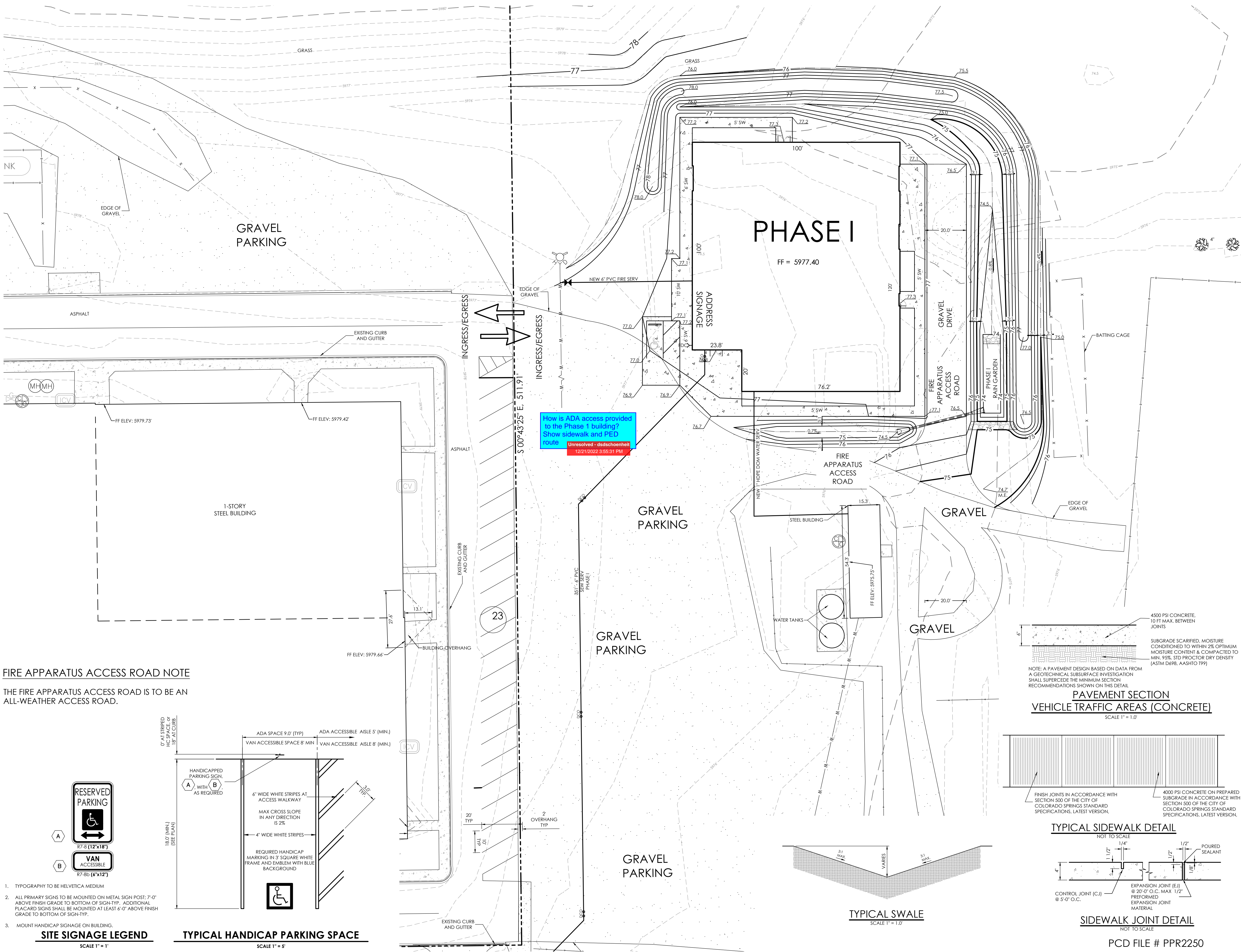
SITE DEVELOPMENT  
PLAN  
COVER SHEET

DP-1 MVE PROJECT 61183  
MVE DRAWING DEV-CS

NOVEMBER 28, 2022  
SHEET 1 OF 3

PCD FILE # PPR2250



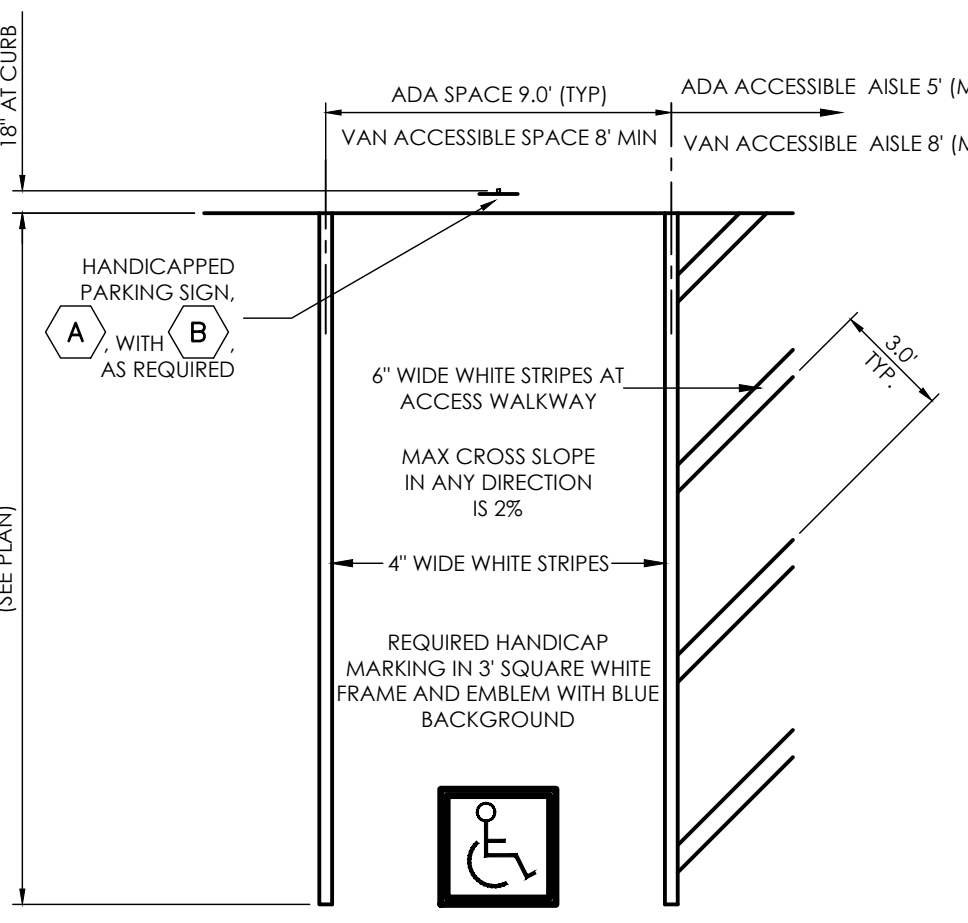


How is ADA access provided to the Phase 1 building? Show sidewalk and PED route  
 Unresolved - dsdschoenholt  
 12/21/2022 3:55:31 PM

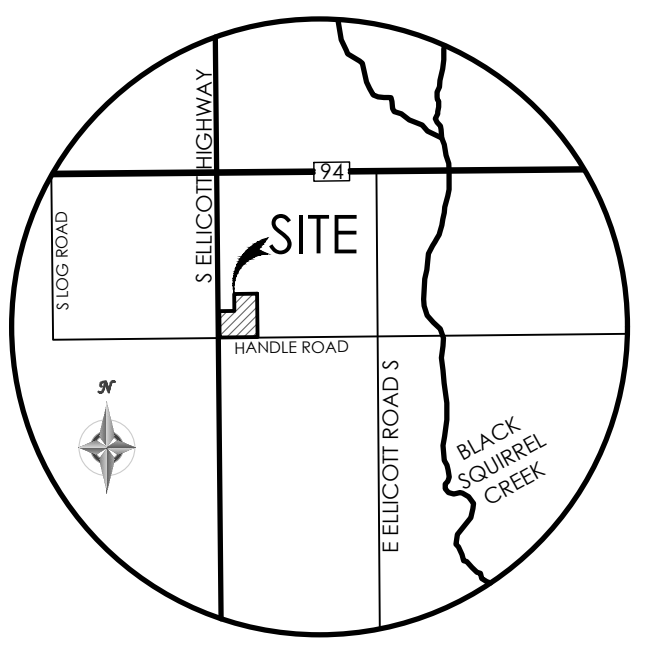
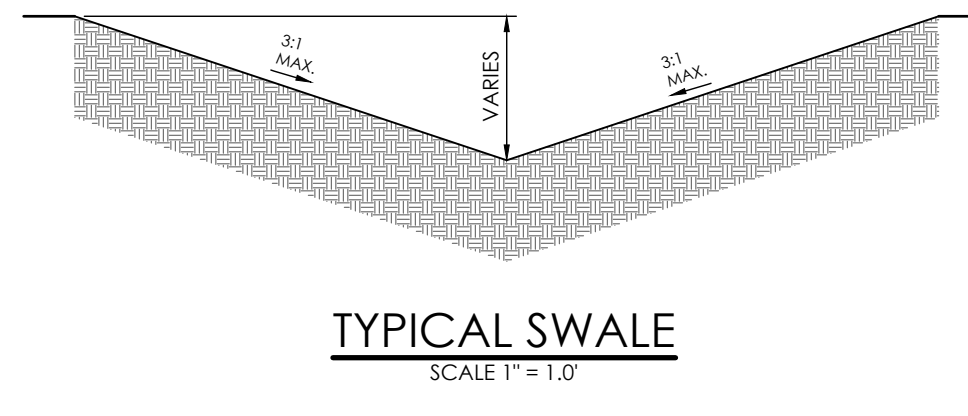
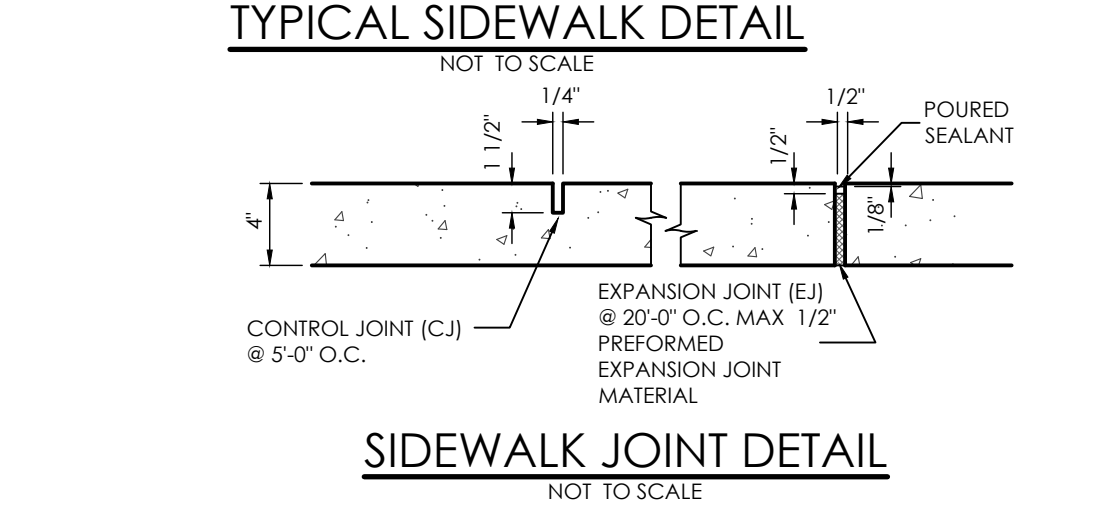
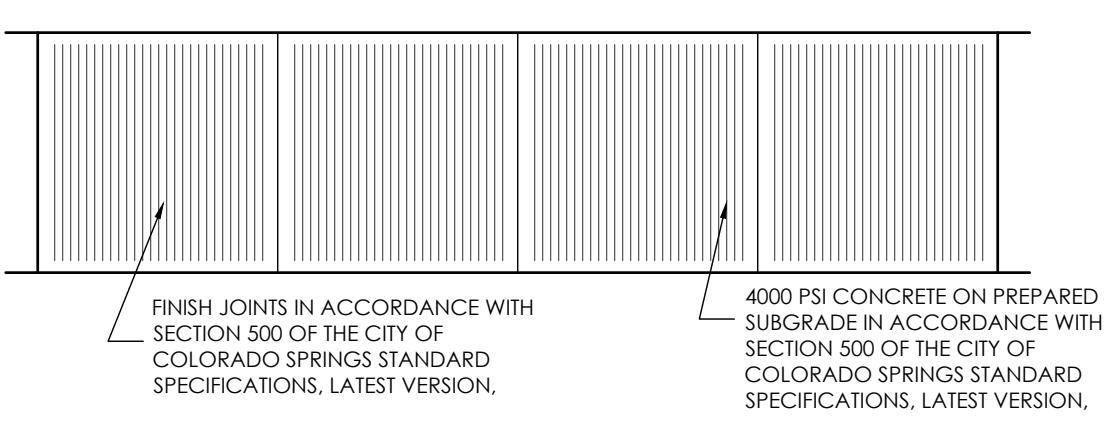
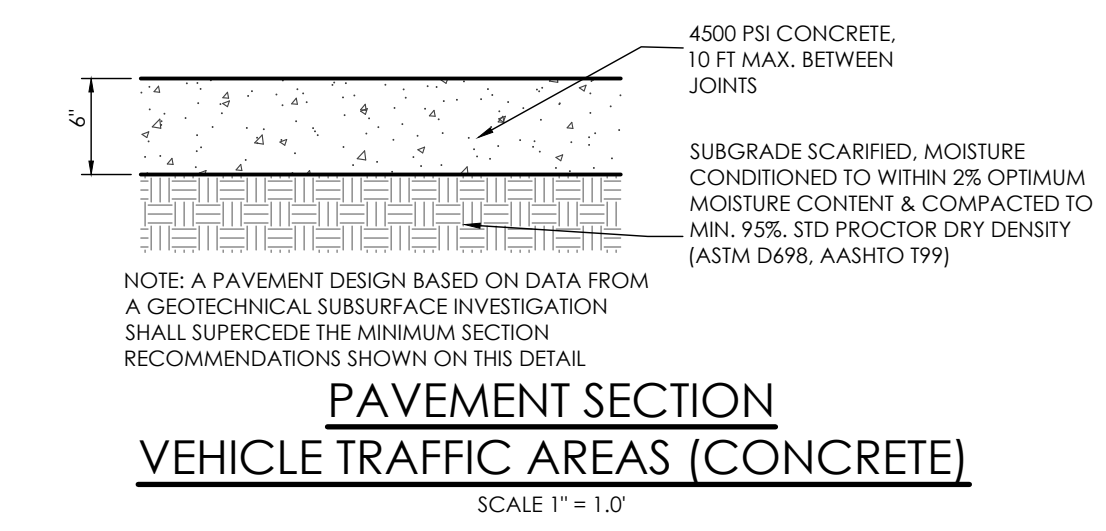
**FIRE APPARATUS ACCESS ROAD NOTE**  
 THE FIRE APPARATUS ACCESS ROAD IS TO BE AN ALL-WEATHER ACCESS ROAD.



1. TYPOGRAPHY TO BE HELVETICA MEDIUM  
 2. ALL PRIMARY SIGNS TO BE MOUNTED ON METAL SIGN POST; 7'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN-TYP. ADDITIONAL PLACARD SIGNS SHALL BE MOUNTED AT LEAST 6'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN-TYP.  
 3. MOUNT HANDICAP SIGNAGE ON BUILDING.

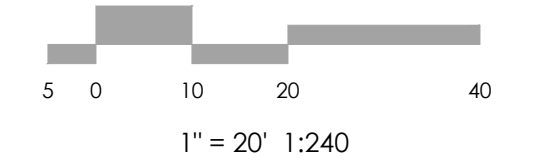
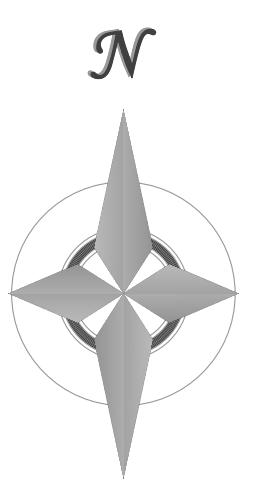


**TYPICAL HANDICAP PARKING SPACE**  
 SCALE 1" = 5'



**VICINITY MAP**  
 NOT TO SCALE

BENCHMARK  
 THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY AND PROVIDED BY CLARK LAND SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD 88 VERTICAL DATUM.



**MVE, INC.**  
 ENGINEERS & SURVEYORS

1903 Library Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

REVISIONS  
 1 Fire apparatus access road updated pursuant to Fire Department comments

DESIGNED BY \_\_\_\_\_  
 DRAWN BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_  
 AS-BUILTS BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_

**ELLICOTT SCHOOL**  
 ADDITION 2 BLDGS

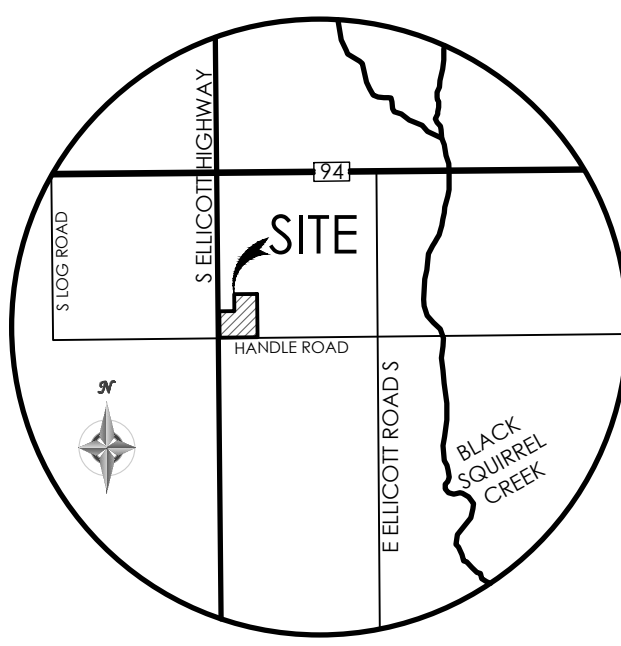
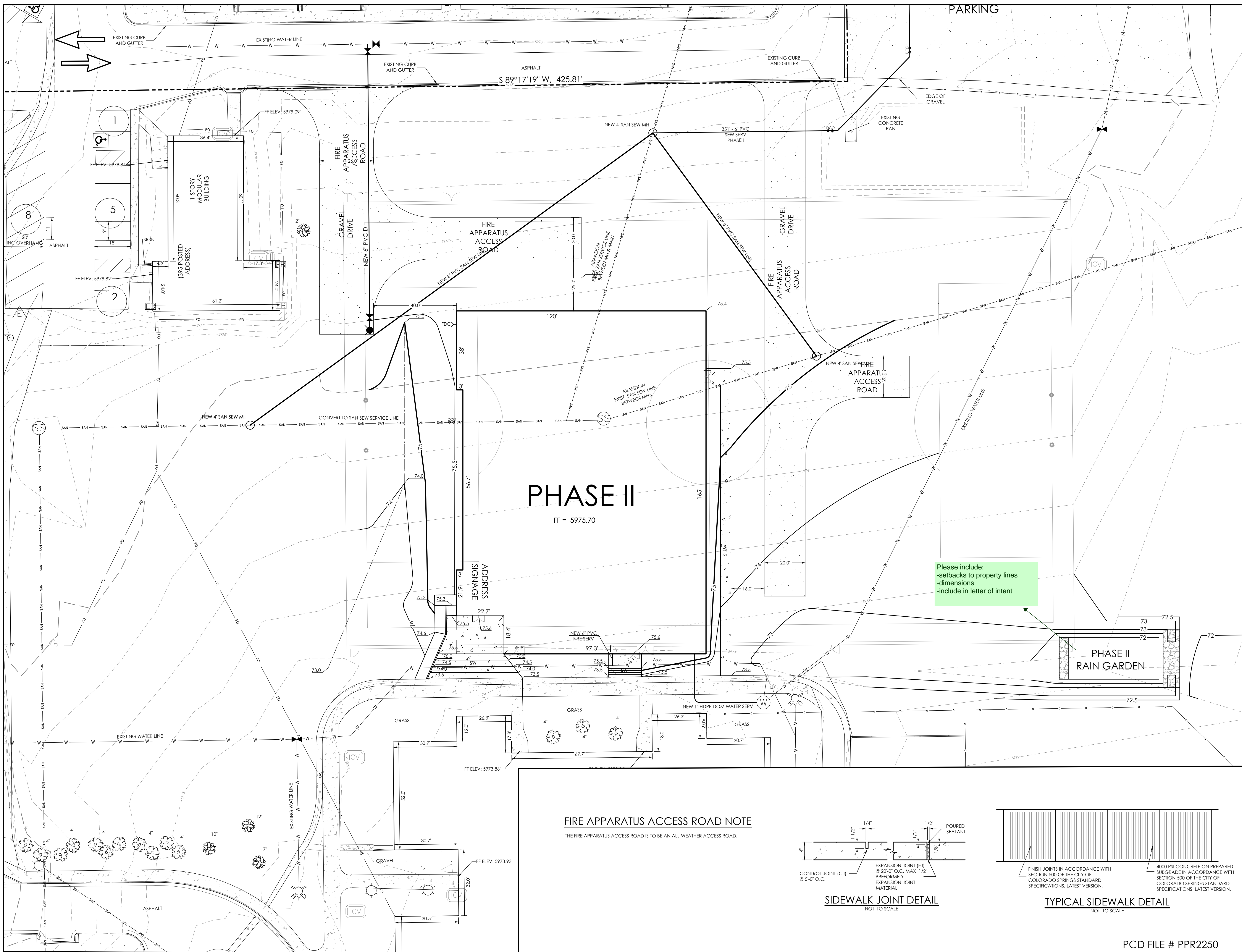
**SITE DEVELOPMENT PLAN**  
**PHASE I SITE PLAN**

**DP-2** MVE PROJECT 61183  
 MVE DRAWING DEV-SP-1

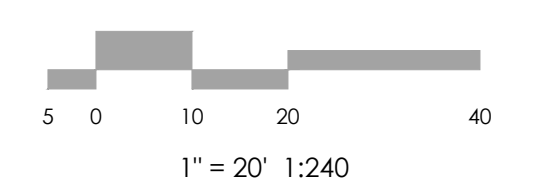
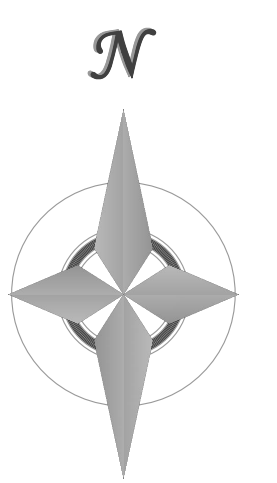
**NOVEMBER 28, 2022**  
**SHEET 2 OF 3**

PCD FILE # PPR2250





**BENCHMARK**  
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY AND PROVIDED BY CLARK LAND SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD 88 VERTICAL DATUM.



**MVE, INC.**  
ENGINEERS / SURVEYORS

1903 Leary Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

**REVISIONS**  
1 Fire apparatus access road updated pursuant to Fire Department comments

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

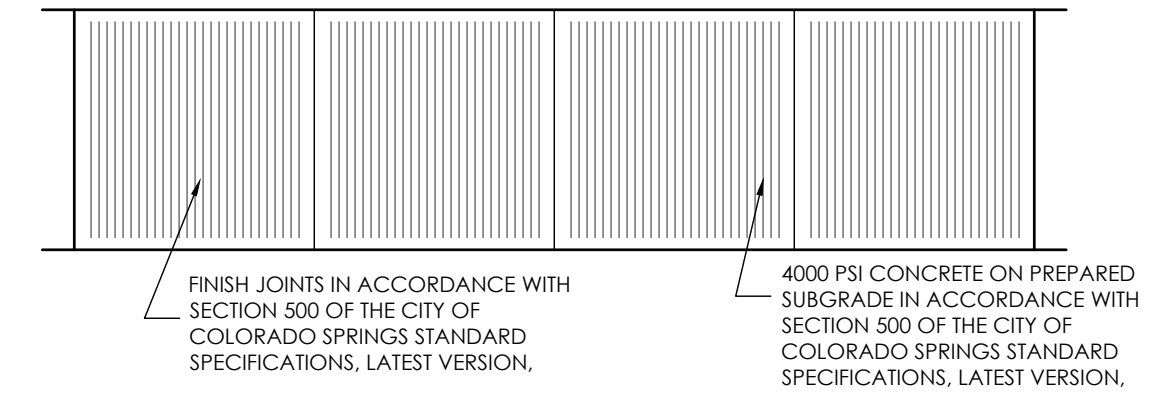
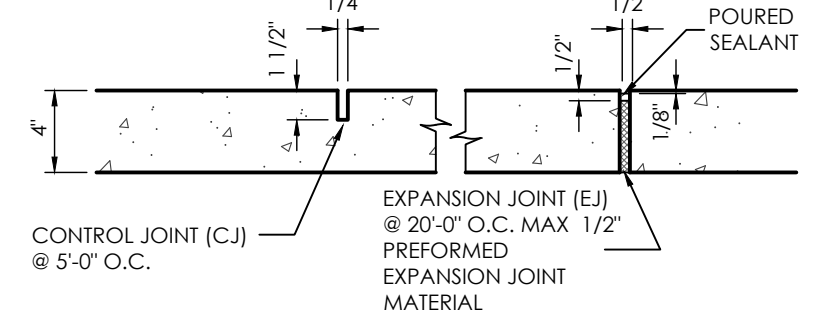
**ELLICOTT SCHOOL**  
ADDITION 2 BLDGS

**SITE DEVELOPMENT**  
PLAN  
PHASE II SITE PLAN

**DP-3** MVE PROJECT 61183  
MVE DRAWING DEV-SP-II

**NOVEMBER 28, 2022**  
SHEET 3 OF 3

**FIRE APPARATUS ACCESS ROAD NOTE**  
THE FIRE APPARATUS ACCESS ROAD IS TO BE AN ALL-WEATHER ACCESS ROAD.



PCD FILE # PPR2250