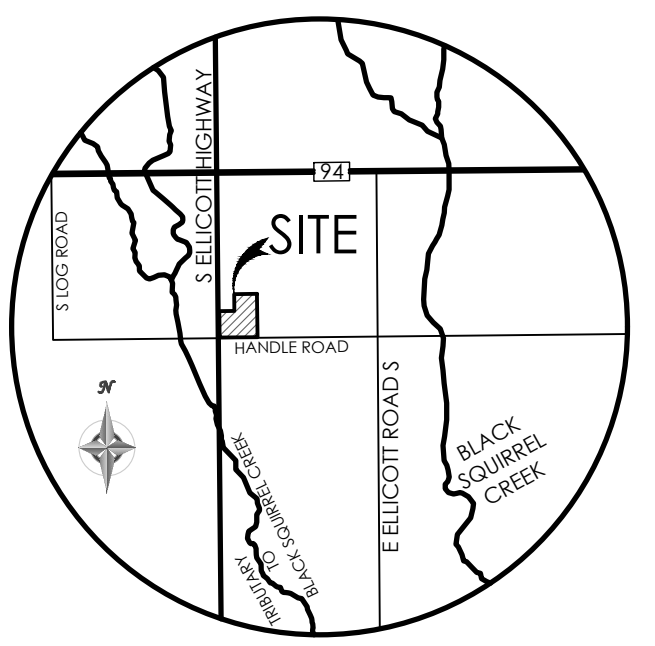


# SITE DEVELOPMENT PLAN

## FOR

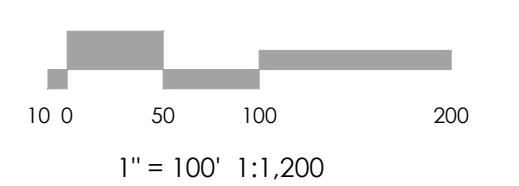
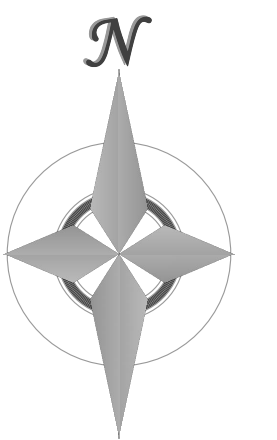
# ELLICOTT SCHOOL ADDITION - 2 BUILDINGS

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 14 SOUTH, RANGE 62 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
EL PASO COUNTY, COLORADO



VICINITY MAP  
NOT TO SCALE

BENCHMARK  
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY AND PROVIDED BY CLARK LAND SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD 88 VERTICAL DATUM.



**MVE, INC.**  
ENGINEERS / SURVEYORS  
1903 Laramie Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

**ELLICOTT SCHOOL  
ADDITION 2 BLDGS**

**SITE DEVELOPMENT  
PLAN  
COVER SHEET**

**DP-1** MVE PROJECT 61183  
MVE DRAWING DEV-CS

**SEPTEMBER 16, 2022  
SHEET 1 OF 3**

### SITE DATA

**OWNER**  
ELLICOTT SCHOOL DISTRICT NO 22  
322 S ELLICOTT HIGHWAY,  
CALHAN, CO 80808  
(719) 683-2700  
INFO@ESD22.ORG

**DEVELOPER**  
ED GREEN CONSTRUCTION  
1180 TRANSIT DR,  
COLORADO SPRINGS, CO 80903  
(719) 475-0922

**CONSULTANT/ENGINEER**  
M.V.E., INC.  
1903 LARAMIE STREET, SUITE 200  
COLORADO SPRINGS, CO 80909  
(719) 635-5736  
MVE@MVEIVIL.COM

**ZONING**  
AGRICULTURAL (A-35)

**BUILDING USE**  
POLITICAL SUBDIVISION/PUBLIC SCHOOL

**CONSTRUCTION SCHEDULE**  
START: FALL 2022  
FINISH: SPRING 2023

**TAX SCHEDULE NO.**  
241800019

**PROPERTY ADDRESS**  
399 S ELLICOTT HIGHWAY,  
CALHAN, CO 80808

**PARCEL SIZE**  
28.51 ACRES

Please include both parcel numbers in associated documents that require them:  
2418000018  
2418000019  
For example:  
-Letter of Intent  
-SDP  
-Landscape Plan  
-Application

**COVERAGE DATA**  
PHASE I  
BUILDING (TWO STORY): 11,499 SF  
PAVEMENT (PARKING/WALK): 3,318 SF  
LANDSCAPING: 1,280 SF

PHASE II  
BUILDING (ONE STORY): 19,123 SF  
PAVEMENT (PARKING/WALK): 1,956 SF  
LANDSCAPING: 2,674 SF

TOTAL AREA:  
= 0.915± ACRES 39,850 SF

**PARKING DATA**  
REQUIRED STANDARD PARKING = 162 SPACES  
HIGH SCHOOL + PHASE I:  
288 STUDENTS @ 1 SPACE PER 4 STUDENTS = 72 SPACES  
ELEMENTARY SCHOOL + PHASE II:  
45 CLASSROOMS @ 2 SPACES PER CLASSROOM = 90 SPACES  
REQUIRED HANDICAP PARKING = 6 SPACES  
151 TO 200 REQUIRED STANDARD SPACES = 6 HANDICAP SPACES

**PROVIDED PARKING:**  
104 STANDARD PARKING SPACES  
134 GRAVEL PARKING SPACES  
7 HANDICAP PARKING SPACES  
TOTAL PARKING = 245 SPACES PROVIDED

**BUILDING TYPE**  
PHASE I  
BUILDING AREA - 11,499 SF  
TWO STORIES - TYPE 5b  
FIRE SPRINKLED / NO FIRE WALLS

PHASE II  
BUILDING AREA - 19,123 SF  
ONE STORY - TYPE 5b  
FIRE SPRINKLED / NO FIRE WALLS

**BUILDING HEIGHT**  
30 FT MAX.  
PHASE I  
25' (TWO STORIES)  
PHASE II  
20' (ONE STORY)  
**SETBACKS**  
25' FRONT  
25' SIDE  
25' REAR

**LIGHTING**  
LIGHTING WILL BE PROVIDED FROM WALL MOUNTED FIXTURES.

### DEVELOPMENT NOTES

1. WATER SERVICE PROVIDED BY PRIVATE WELLS AND CHEROKEE METROPOLITAN DISTRICT.
2. SANITARY SEWER SYSTEM ON THIS SITE IS PRIVATE. WASTEWATER TREATMENT IS PROVIDED OFFSITE.
3. NATURAL GAS SERVICE PROVIDED BY PRIVATELY OWNED ON-SITE PROPANE TANKS.
4. ELECTRIC SERVICE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION.
5. FIRE SERVICE PROVIDED BY ELLICOTT FIRE PROTECTION DISTRICT.

### SHEET INDEX

<b>SITE DEVELOPMENT PLAN</b>	
DP-1	COVER SHEET
DP-2	PHASE I SITE PLAN
DP-3	PHASE II SITE PLAN
<b>GRADING &amp; EROSION CONTROL PLAN</b>	
C1.1	COVER SHEET
C1.2	PHASE I GRADING PLAN
C1.3	PHASE I EROSION CONTROL PLAN
C1.4	PHASE II GRADING PLAN
C1.5	PHASE II EROSION CONTROL PLAN
C1.6	EROSION CONTROL DETAILS
C1.7	EROSION CONTROL DETAILS
<b>UTILITY PLAN</b>	
C2.1	PHASE I UTILITY SERVICE PLAN
C2.2	PHASE II UTILITY SERVICE PLAN
<b>LANDSCAPE PLAN</b>	
LS1.1	PHASE I & II LANDSCAPE PLAN
<b>BUILDING FLOOR PLAN</b>	
A1.1	PHASE I FLOOR PLAN
A1.2	PHASE II FLOOR PLAN
<b>BUILDING ELEVATIONS</b>	
A2.1	PHASE I EXTERIOR ELEVATIONS
A2.2	PHASE II EXTERIOR ELEVATIONS

Please include current file number

PCD FILE # PPR2250

### LEGEND

-----	PROPERTY LINE	Please include dimensions of property lines
-----	EASEMENT LINE	
-----	LOT LINE	
-----	BUILDING SETBACK LINE	
-----	ADJACENT PROPERTY LINE	
<b>EXISTING</b>		
---	INDEX CONTOUR	
---	INTERMEDIATE CONTOUR	
[Pattern]	CONCRETE AREA	
[Pattern]	ASPHALT AREA	
[Pattern]	CURB AND GUTTER	
[Pattern]	BUILDING/ BUILDING OVERHANG	
[Pattern]	DECK	
[Pattern]	RETAINING WALL - SOLID/ ROCK	
[Symbol]	SIGN	
[Symbol]	BOLLARD	
[Symbol]	WOOD FENCE	
[Symbol]	CHAIN LINK FENCE	
[Symbol]	BARBED WIRE FENCE	
[Symbol]	TREE (EVERGREEN/DECIDUOUS)	
[Symbol]	SHRUB	
[Symbol]	ROCK	
<b>PROPOSED</b>		
---	INDEX CONTOUR	
---	INTERMEDIATE CONTOUR	
[Pattern]	CONCRETE AREA	Show gravel in legend
[Pattern]	ASPHALT AREA	
[Pattern]	CURB AND GUTTER	
[Pattern]	BUILDING/ BUILDING OVERHANG	
[Pattern]	DECK	
[Pattern]	RETAINING WALL - SOLID ROCK	
[Symbol]	SIGN	
[Symbol]	BOLLARD	
[Symbol]	WOOD FENCE	
[Symbol]	CHAIN LINK FENCE	
[Symbol]	BARBED WIRE FENCE	
[Symbol]	TREE (EVERGREEN/DECIDUOUS)	
[Symbol]	SHRUB	
[Symbol]	ROCK	

Please include:  
- well and septic locations  
- locations of garbage receptacles with screening

Please include height of all fencing

Please include:  
-percentages for each of these

Please include dimensions of parking spaces

Call out and denote all parking areas and show surface type using legend

Show on site plan by area and by number of spots allocated to each area. This number does not match LOI

### ABBREVIATION LEGEND

ASPH	ASPHALT
CONC	CONCRETE
C & G	CURB & GUTTER
DET.	DETAIL
ESMT	EASEMENT
ME	MATCH EXISTING
P.B., PG.	PLAT BOOK, PAGE
PVMT	PAVEMENT
RET. WALL	RETAINING WALL
REC. NO.	RECEPTION NUMBER
R.O.W.	RIGHT-OF-WAY
SF	SQUARE FOOT
STBK	SETBACK
SW	SIDEWALK
UTIL	UTILITY
⊙	CATCH CURB
⊙	SPILL CURB

### ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

### FLOODPLAIN STATEMENT

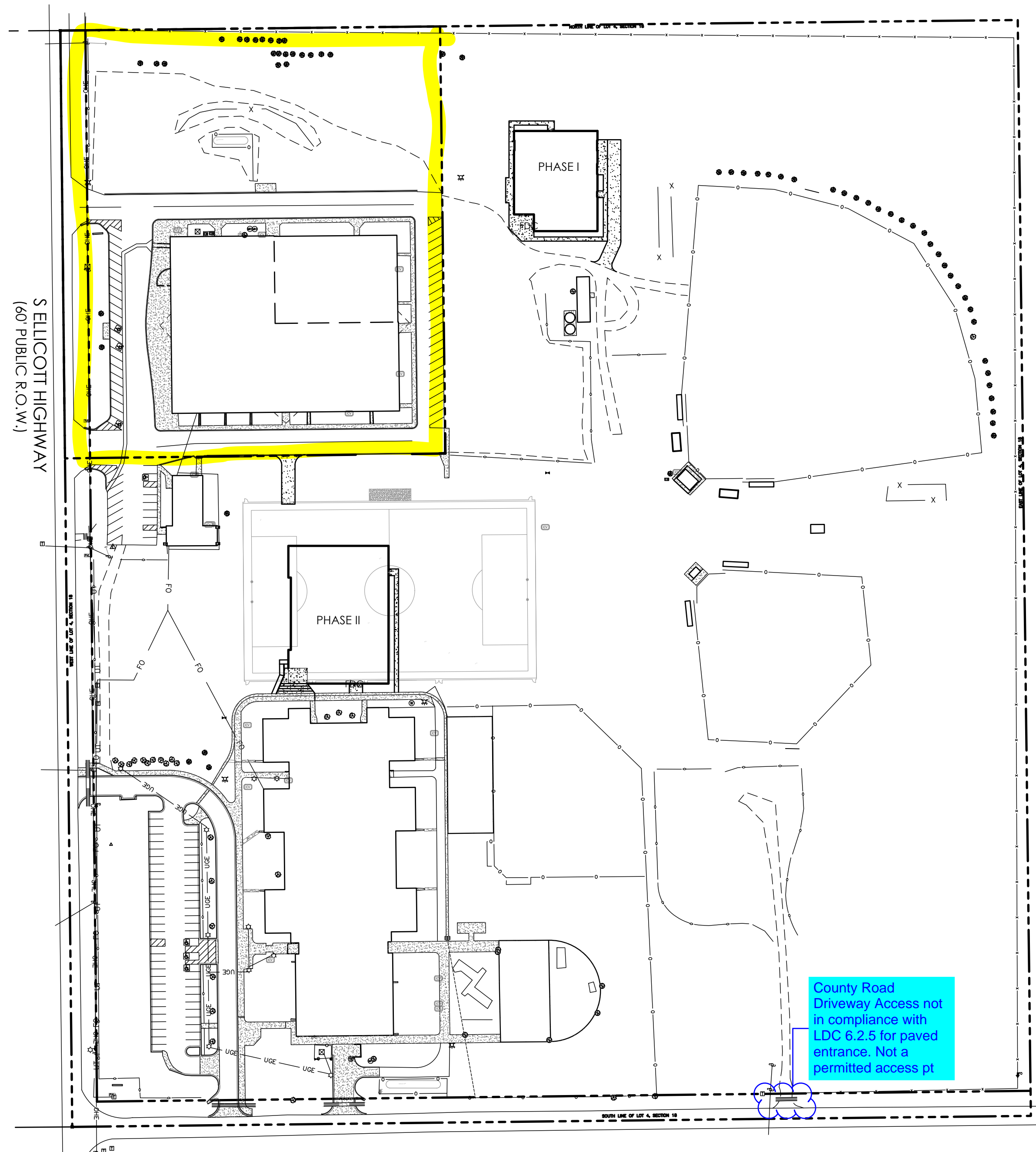
NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0809G, EFFECTIVE DECEMBER 7, 2018.

### MAP NOTES

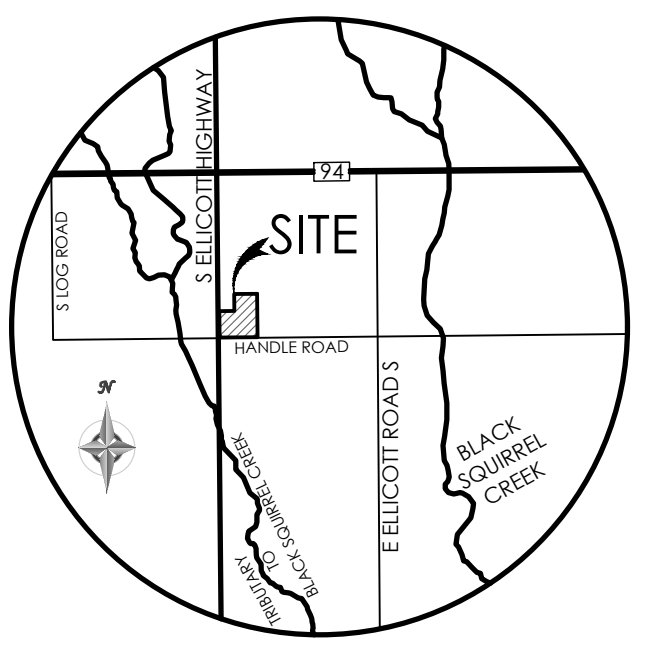
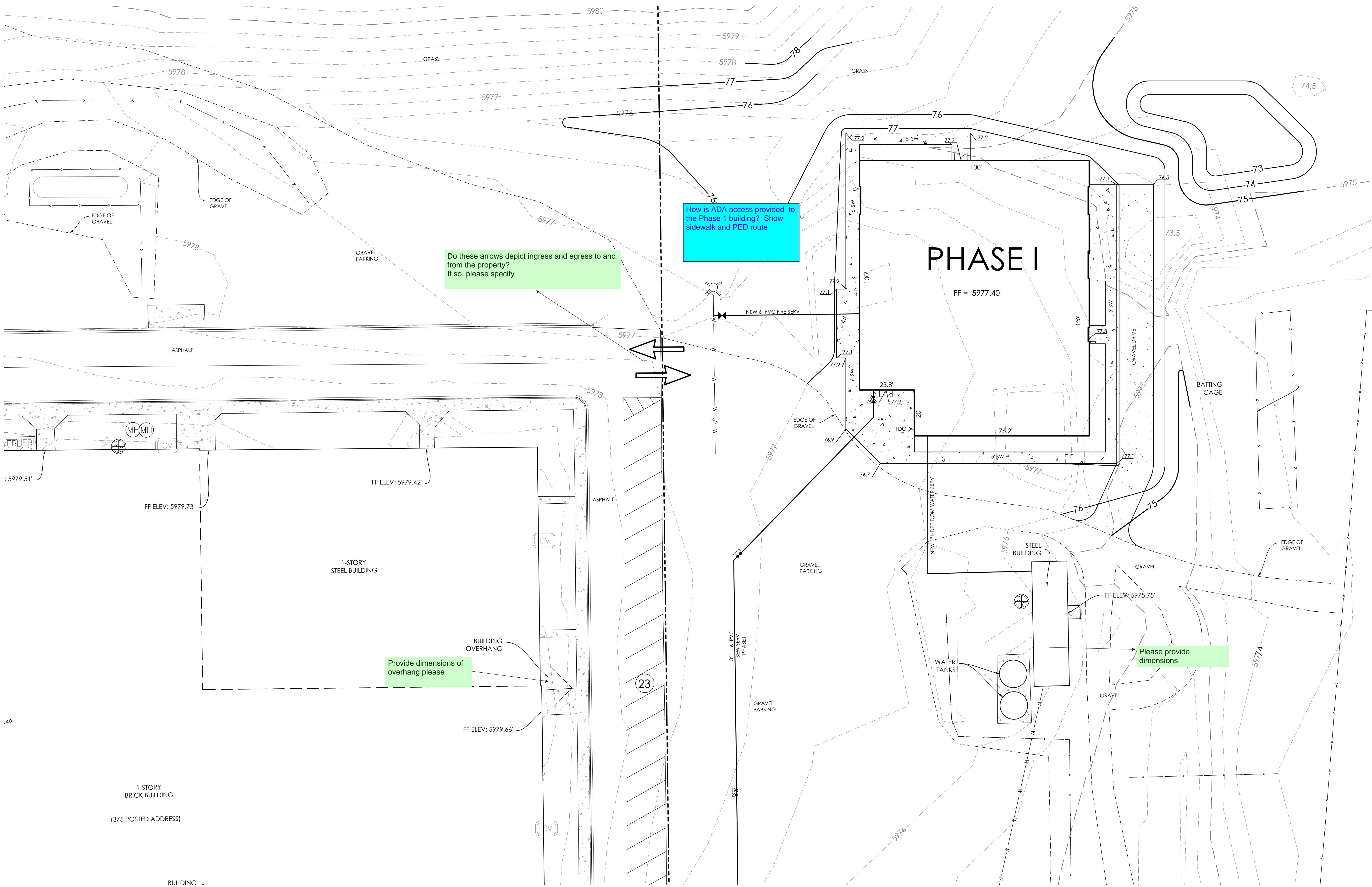
1. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY CLARK LAND SURVEYING INC.
2. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.

### LEGAL DESCRIPTION

A TRACT OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 14 SOUTH, RANGE 62 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO EXCEPT THAT TRACT DESCRIBED IN THE RECORDS OF EL PASO COUNTY AT RECEPTION NO. 200056673 AND EXCEPT ROADS.  
CONTAINING AN AREA OF 28.51 ACRES, MORE OR LESS.

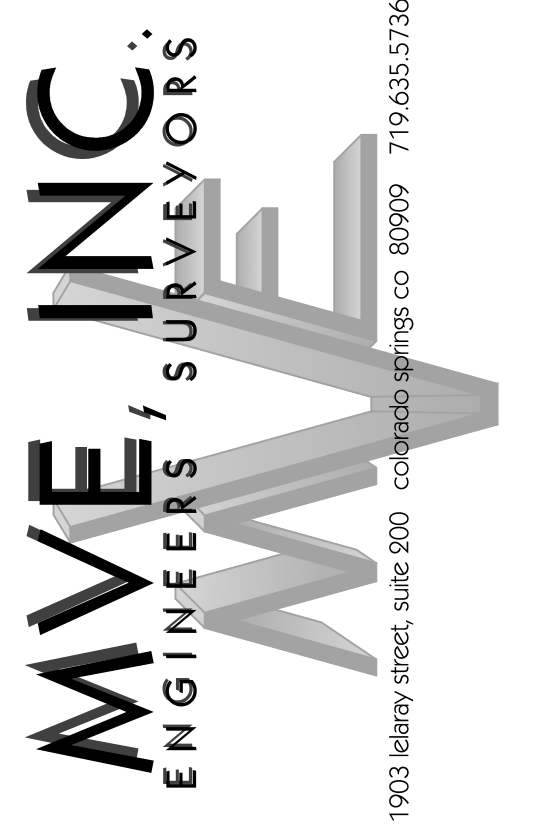
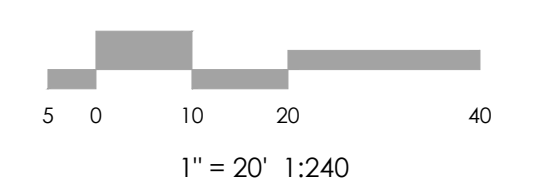
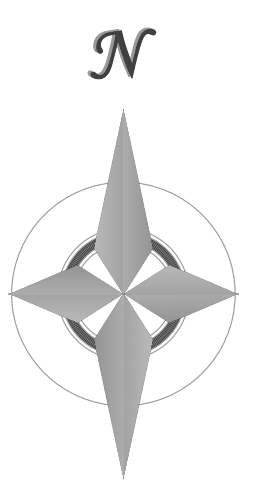






VICINITY MAP  
NOT TO SCALE

BENCHMARK  
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REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILT BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

ELLICOTT SCHOOL  
ADDITION 2 BLDGS

SITE DEVELOPMENT  
PLAN  
PHASE I SITE PLAN

DP-2 MVE PROJECT 61183  
MVE DRAWING DEV-SP-I

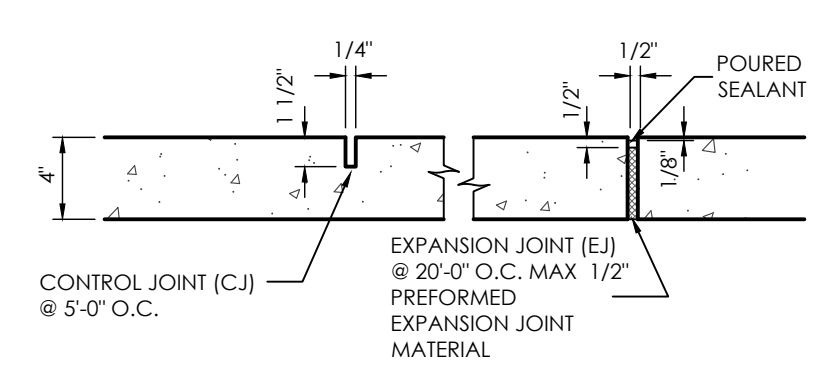
SEPTEMBER 16, 2022  
SHEET 2 OF 3

Do these arrows depict ingress and egress to and from the property? If so, please specify

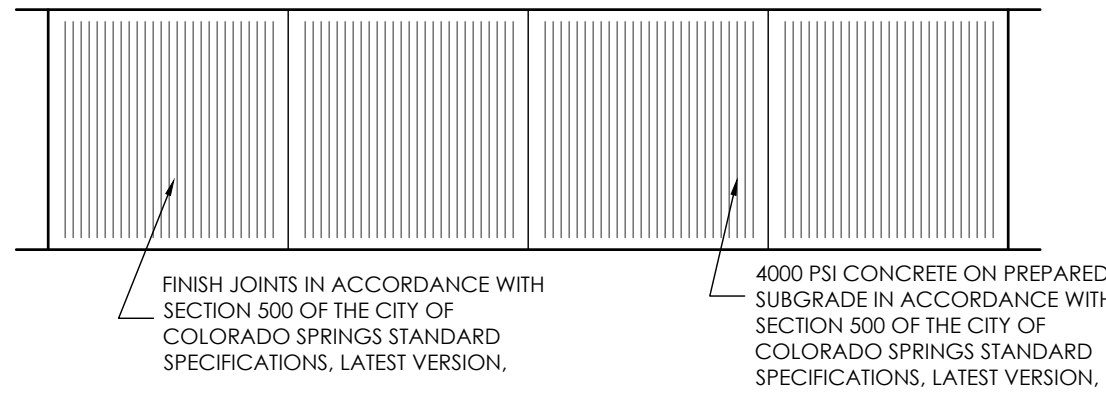
How is ADA access provided to the Phase 1 building? Show sidewalk and PED route

Provide dimensions of overhang please

Please provide dimensions



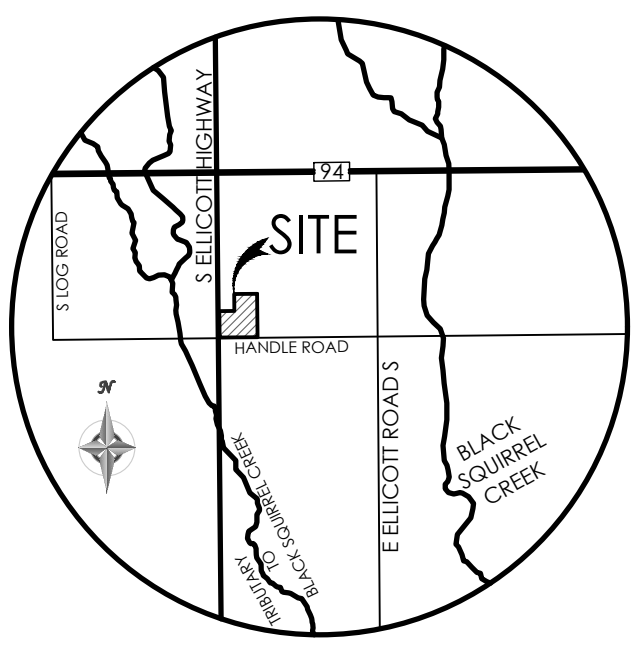
SIDEWALK JOINT DETAIL  
NOT TO SCALE



TYPICAL SIDEWALK DETAIL  
NOT TO SCALE

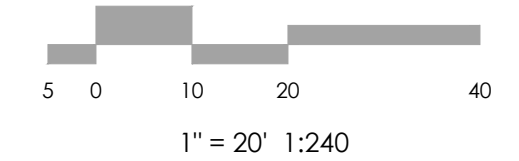
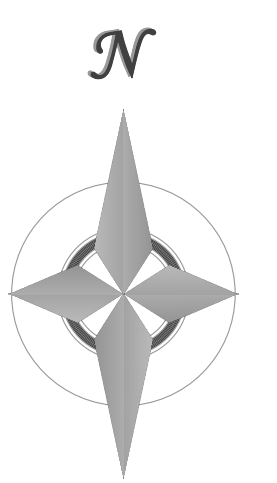
PCD FILE #





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ENGINEERS / SURVEYORS

1903 Leary Street, Suite 200 Colorado Springs CO 80909 719.635.5736

REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

ELLICOTT SCHOOL  
ADDITION 2 BLDGS

SITE DEVELOPMENT  
PLAN  
PHASE II SITE PLAN

DP-3 MVE PROJECT 61183  
MVE DRAWING DEV-SP-II

SEPTEMBER 16, 2022  
SHEET 3 OF 3

