

MEADOWBROOK CROSSING PRELIMINARY PLAN

The West One-quarter corner of Section 8, Township 14 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado.

PROJECT DESCRIPTION:

MEADOWBROOK CROSSING IS A SINGLE-FAMILY RESIDENTIAL DEVELOPMENT WITH 104 LOTS ON 32.273 ACRES.

RESIDENTIAL SITE DATA:

SITE LOCATION:	VACANT LAND, NEAR THE INTERSECTION OF HWY 94 AND US-24
TAX SCHEDULE NUMBER:	5408000055
SITE ACREAGE:	32.273 AC
PROPOSED ZONING:	RS-5000
EXISTING LAND USE:	VACANT
PROPOSED LAND USE:	SINGLE-FAMILY DETACHED RESIDENTIAL
NUMBER OF UNITS:	114
DENSITY: (104 DU/ 32.273 AC)	3.53 DU/AC.
SCHEDULE FOR CONSTRUCTION:	2017 - 2018
ON STREET PARKING	ALLOWED EXCEPT WHERE MARKED AS "NO PARKING FIRE LANE"

RS-5000 DEVELOPMENT STANDARDS:

Minimum Lot Size: 5,000 SF
Maximum Building Height: Thirty Feet (30')
Maximum Lot Coverage: 40% for lots with multi-story homes
45% for lots with a 1-story ranch style home

*Lot Coverage flexibility is being provided for single level homes compared to two-story (above-grade) homes; the intent is to allow additional lot coverage for single level homes while providing a variable architectural mix on similar sized lots.

Minimum Width at Front setback line: Fifty Feet (50')
Minimum Street Frontage: Thirty Feet (30'), Except at Flag Lots

Front Yard Setbacks:
a. Front of House: Twenty Five Feet (25')
b. Garage Setback: Twenty Feet (20') from Back of Sidewalk

Side Yard Setbacks: Five Feet (5')

Rear Yard Setbacks: Twenty Five Feet (25')

Corner Yard Setbacks (Non-Garage Side): Ten Feet (10')

GENERAL NOTES:

- All common landscape and streetscape plantings in the Right-of-Way within this development shall be owned and maintained by Meadowbrook Crossing Metropolitan District.
- Fees in lieu of land will be provided for schools and parks.
- Pedestrian ramp locations and design will be finalized at plan and profile.
- Public improvement and utilities to be provided with this project include new roadways, water lines and connections, wastewater services, storm water drainage, and landscaping. Pedestrian ramps will conform to the ramp details in the El Paso County Engineering Criteria Manual Appendix F.
- All water system elements and sanitary sewerage conveyance conduits and their associated appurtenances shall be dedicated to the Cherokee Metropolitan Water & Sanitation District.
- All Electric Service shall be provided by Colorado Springs Utilities. All tracts will be given utility easements as required.
- See Grading Plan for proposed site grading.
- Site lighting will meet the requirements set forth in Section 6.2.3 of the El Paso County Land Development Code.
- Curb and gutter to be per the Civil Drawings.
- The Tract F Open space will allow for recreational uses. A potential pedestrian bridge and dog park as future amenities may be provided pending future funding. These amenities will be owned and maintained by the Meadowbrook Crossing Metropolitan District.
- The developer shall comply with federal and state laws, regulations, ordinances, review and permit requirements, and other agency requirements, if any, of applicable agencies including, but not limited to, the Colorado Division of Wildlife, Colorado Department of Transportation, U.S. Army Corps of Engineers, and the U.S. Fish and Wildlife Service regarding the Endangered Species Act, particularly as it relates to any listed species.
- Notice of potential aircraft overflight and noise impact associated with airport: This serves as notice of potential aircraft overflight and noise impacts on this property due to its close proximity to an airport, which is being disclosed to all prospective purchasers considering the use of this property for residential and other purposes. This property is subject to the overflight and associated noise of arriving and departing aircraft during the course of normal airport operations.
- An aviation easement has been recorded with El Paso County on March 17, 2017 with Reception No. #217030936.
- The property is within the Service Area of the Central Marksheffel Metropolitan District and, as such, is subject to an assessment for the construction of Marksheffel Road.
- Water and wastewater services for this subdivision are provided by the Cherokee Metropolitan District (Cherokee) subject to the District's rules, regulations, and specifications.
- There shall be no direct lot access to Meadowbrook Parkway or Highway 24.

LEGAL DESCRIPTION: MEADOWBROOK CROSSING

PARCEL A:

COMMENCING at the West One-quarter corner of Section 8, Township 14 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado; thence N89°43'13"E along the North line of the South half of said Section 8, a distance of 1249.12 feet; thence leaving said section line S03°55'24"W, a distance of 8.43 feet to the POINT OF BEGINNING, said point also being a point on the south line of Cimarron Hills Filing No. 4, recorded at Reception No. 703847 in the offices of the El Paso County Clerk & Recorder, State of Colorado; thence along said south line along the following two (2) courses:
1. S89°54'06"E, a distance of 1056.49 feet;
2. N44°24'06"E, a distance of 21.62 feet to a point on the North line of the South half of said Section 8; thence continuing along said North line N89°43'13"E, a distance of 890.44 feet to a point on the northwesterly right-of-way line of Meadowbrook Parkway, as shown on the Plat of Claremont Business Park Filing No. 2, recorded at Reception No. 207712506 in the offices of the El Paso County Clerk & Recorder, State of Colorado; thence along said northwesterly right-of-way line along the following three (3) courses:
1. Along a curve of an arc to the right, said curve having a radius of 525.00 feet, an arc length of 329.56 feet and a delta angle of 35°58'01";
2. S51°18'59"W, a distance of 695.64 feet;
3. S41°14'35"E, a distance of 80.05 feet to a point on the southerly line of a tract of land described in Book 2190 at Page 226 of the records of said El Paso County; thence leaving said northwesterly right-of-way line and continuing along said southerly line of Book 2190 at Page 226 S51°18'30"W, a distance of 198.78 feet; thence S89°43'09"W, a distance of 1198.83 feet to a point being the southeast corner of said tract of land described in Book 2190 at Page 226 and also being a point of the east line of Softball West Subdivision No. 2, recorded under Book T-3 at Page 112 of the records of said El Paso County; thence along the West line of said tract of land described in Book 2190 at Page 226 N03°55'24"E, a distance of 880.26 feet to the POINT OF BEGINNING.

Said tract of land contains 32.273 acres, more or less.

FLOODPLAIN NOTES:

- Portions of this property are located within a designated FEMA Floodplain as determined by the flood insurance rate map, community map number '08041C0752F' effective date March 17, 1997. A LOMR will be reviewed and approved by FEMA as part of the development process prior to recordation of the final plat.
- Portions of the channel and floodplain to the northeast of this site have been mitigated per an existing LOMR, Case No 06-08-B137p, effective December 13, 2006.
- No structures or solid fences are permitted within the designated Floodplain area.

GEOLOGIC CONDITIONS:

- No on-site geographic hazards were identified that would preclude development of the site for construction of residential structures. There were a few conditions identified that can be mitigated with engineering design and construction methods commonly used in this area, these conditions include: hydro-compactive soils, shallow groundwater, erosion, and regional seismicity.
- The following lots have been found to be impacted by geologic hazards: Lots 25-31 and 46-52 have been found to potentially be impacted by shallow groundwater. Mitigation measures and a map of the hazard area can be found in the Geological Hazards Evaluation and Preliminary Geotechnical Investigation by CTL Thompson, Inc., Project No. CS18620-105; report dated December 9, 2016, in file number SP-17-002 available at the El Paso County Planning and Community Development Department.
- Due to the potential for shallow groundwater in the vicinity of Lots 25-31 and 46-52, basements for these lots should not be considered feasible unless site grades are raised sufficiently to provide a minimum 3 ft. separation distance between lowest floor elevation and the shallowest anticipated seasonal groundwater level.
- Habitable, below-grade areas within the proposed residences will likely require the installation of a subsurface, perimeter foundation drain. Site specific, final soils testing and analysis for foundation design should be performed for each individual lot, following the completion of site grading.
- Subsequent to overlot grading and the installation of wet utilities, additional geotechnical investigations should be performed as required to further characterize the subsurface soil conditions and develop recommendations for on-site pavement alternatives.

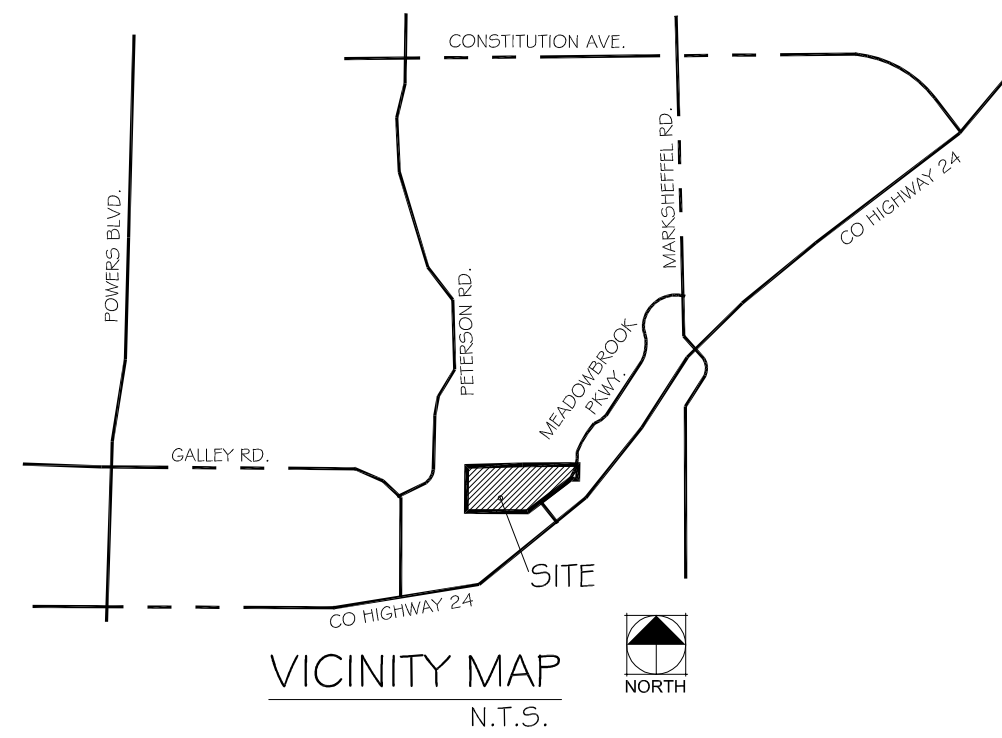
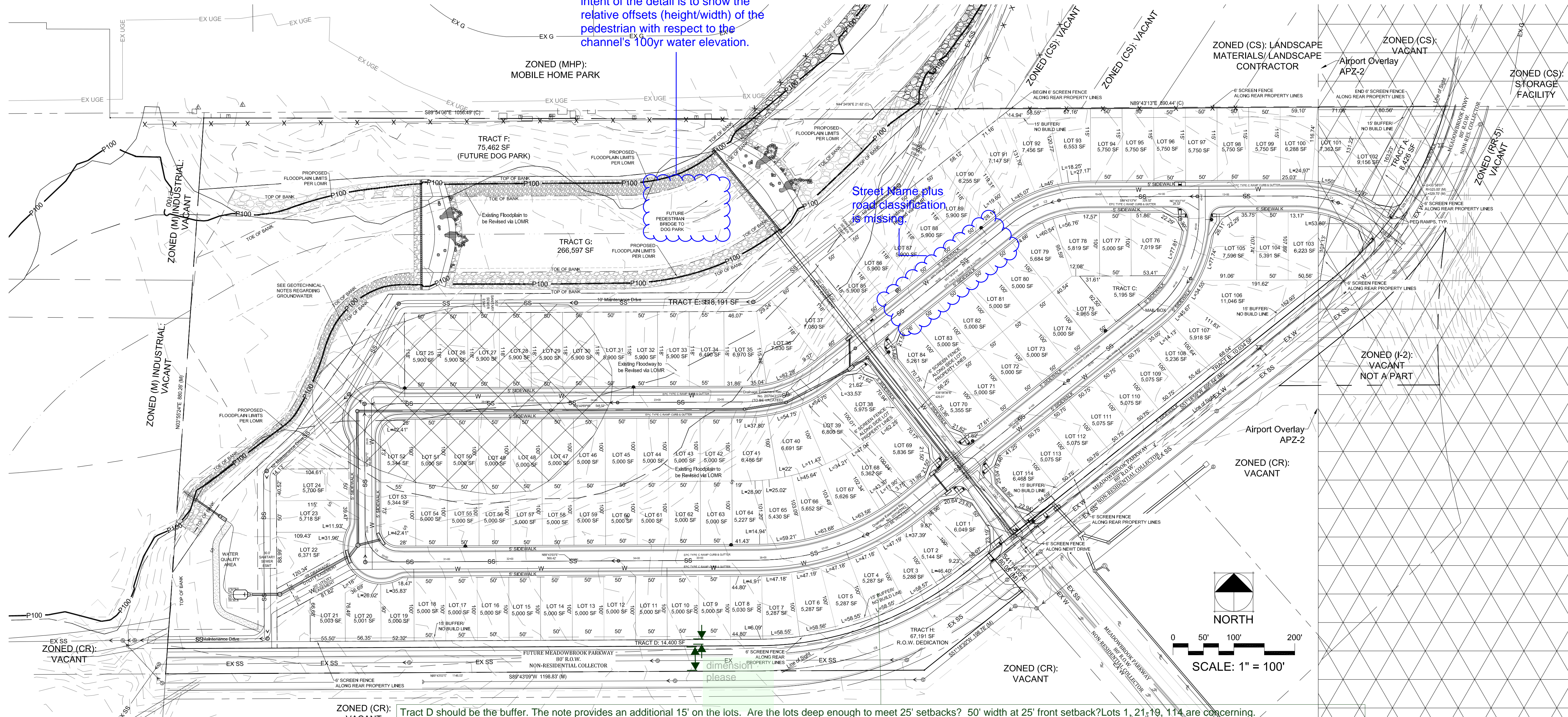
PHASING PLAN:

The Meadowbrook Crossing Preliminary Plan will be developed in one phase.

TRACT TABLE

TRACT	SIZE	TYPE	OWNERSHIP & MAINTENANCE
TRACT A	8,426 SF	LANDSCAPE/OPEN SPACE/ LINE OF SIGHT	MEADOWBROOK CROSSING METRO DISTRICT
TRACT B	10,034 SF	LANDSCAPE/OPEN SPACE/ LINE OF SIGHT	MEADOWBROOK CROSSING METRO DISTRICT
TRACT C	5,195 SF	LANDSCAPE/OPEN SPACE/MAIL KIOSK	MEADOWBROOK CROSSING METRO DISTRICT
TRACT D	14,400 SF	LANDSCAPE BUFFER/ OPEN SPACE/ LINE OF SIGHT	MEADOWBROOK CROSSING METRO DISTRICT
TRACT E	118,191 SF	DETENTION/ OPEN SPACE/UTILITIES	MEADOWBROOK CROSSING METRO DISTRICT
TRACT F	15,462 SF	OPEN SPACE/ DOG PARK/ LANDSCAPE/RECREATION	MEADOWBROOK CROSSING METRO DISTRICT
TRACT G	266,597 SF	SAND CREEK DRAINAGE	DEDICATED TO EL PASO COUNTY
TRACT H	67,191 SF	ROW DEDICATION	DEDICATED TO EL PASO COUNTY

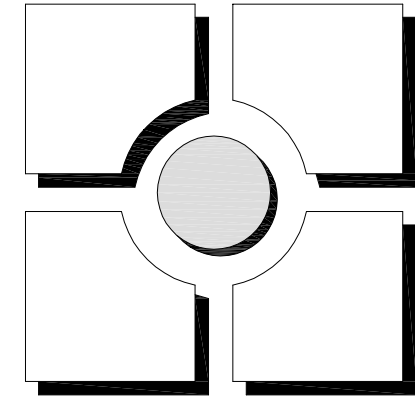
ALIGNMENT CL CURVE TABLE			
CURVE #	DELTA	RADIUS	LENGTH
C1	039°34'13"	200.00	138.13
C2	038°24'14"	200.00	134.06
C3	038°24'04"	200.00	134.05
C4	090°00'00"	52.00	81.68
C5	090°00'00"	52.00	81.68
C6	038°24'04"	390.00	261.39
C7	051°35'46"	200.00	180.10
C8	038°24'45"	565.00	378.79



Developer:
Meadowbrook Crossing LLC
90 South Cascade Avenue, Suite 1500
Colorado Springs, Colorado 80903
Ph: (719) 448-4034

Planners:
Thomas & Thomas
Planning, Urban Design, Landscape Architecture, Inc.
702 North Tejon Street
Colorado Springs, CO 80903
Ph: (719) 578-8777

PCD PROJECT NUMBER: SP-17-002



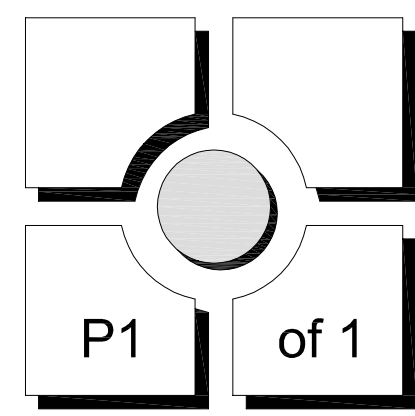
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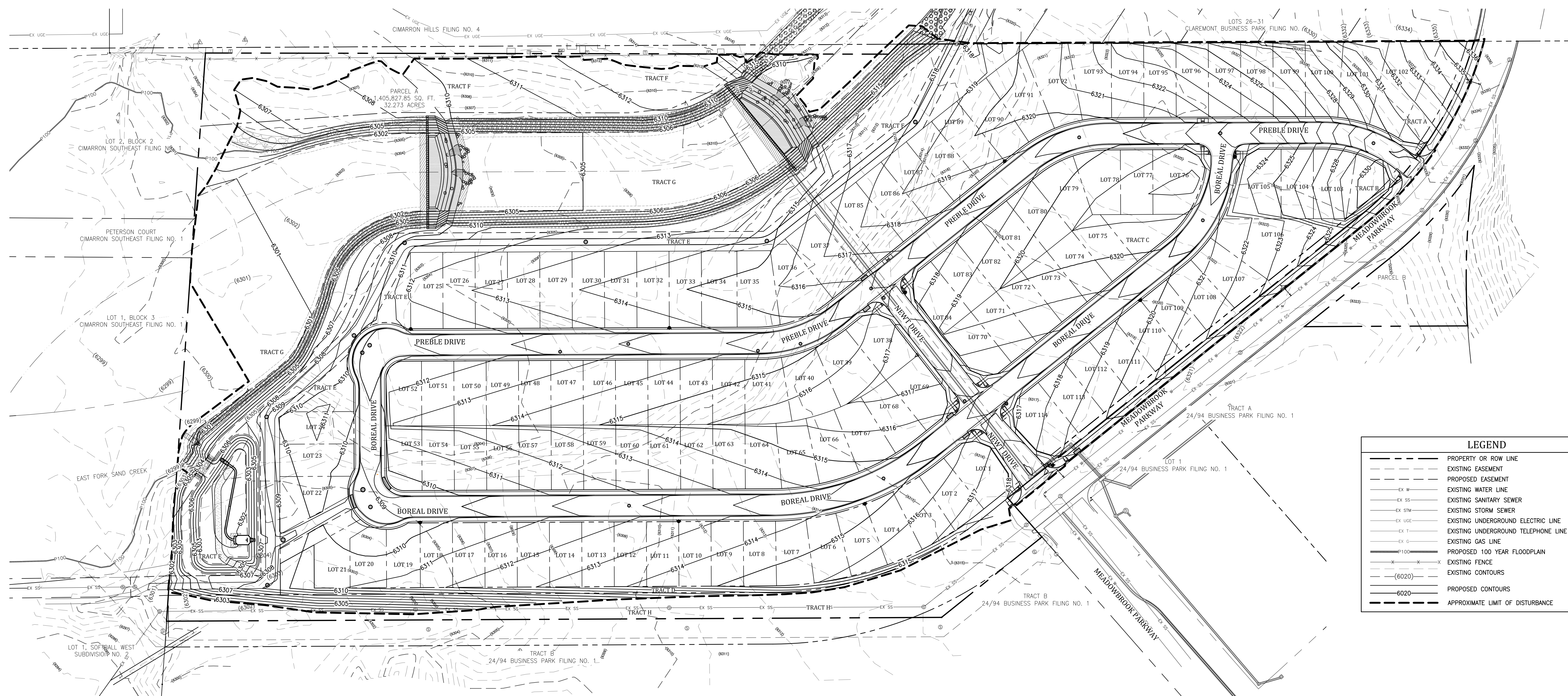
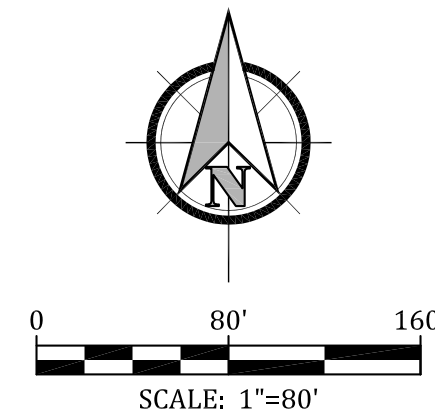
REV #	DATE	REVISIONS	RESPONSE TO COMMENTS	REV 1	REV 2	REV 3	REV 4	REV 5	REV 6	APPROVED	CHECKED	JRA
1	5/3/17											

DESIGNED	JRA	01.16.17
DRAWN	JRA	01.16.17
CHECKED	JH	01.16.17
PROJECT NUMBER:	3507.00	

SCALE: AS NOTED

**MEADOWBROOK CROSSING
PRELIMINARY PLAN**
Colorado Springs, CO

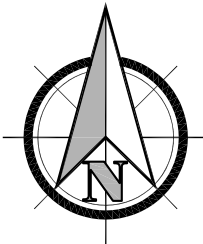




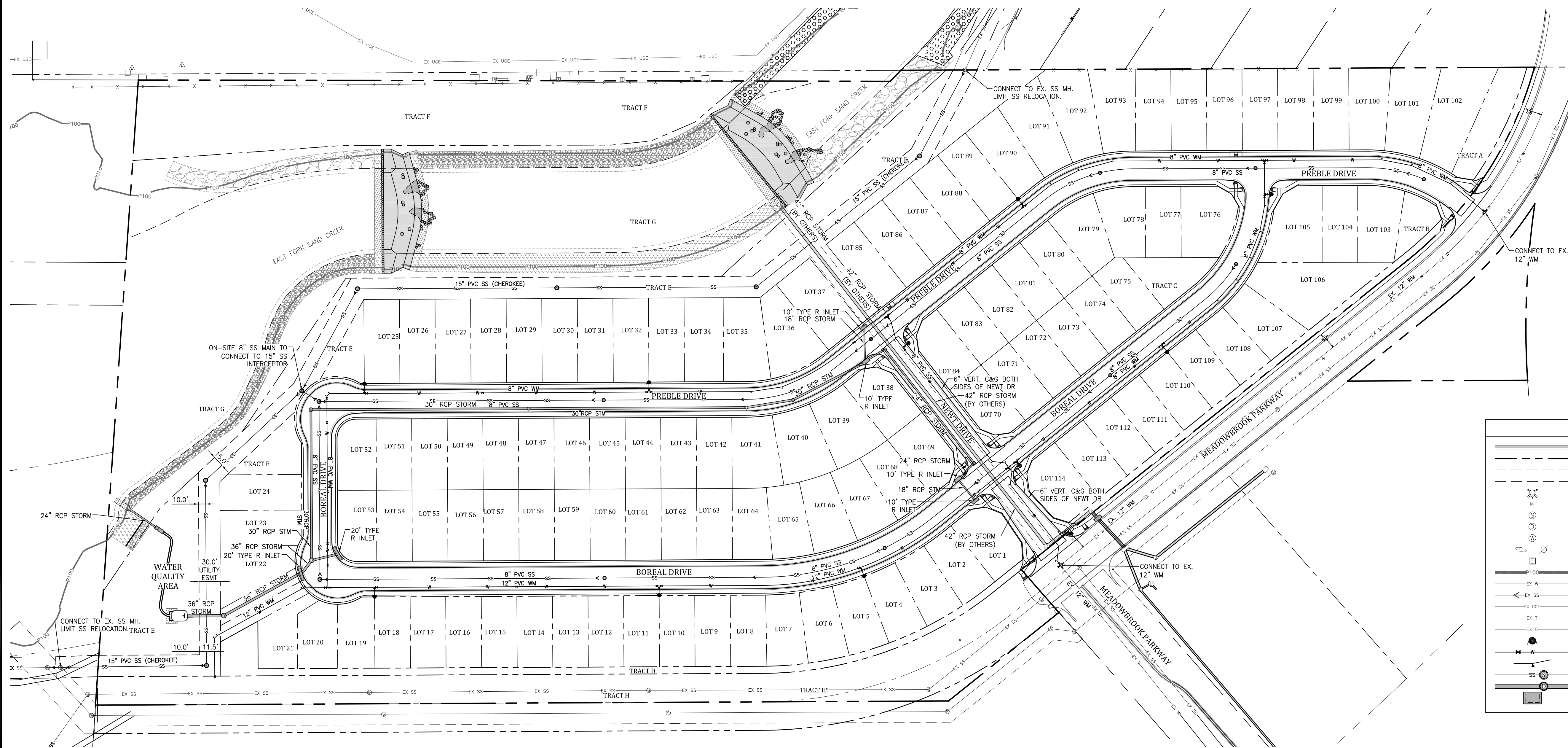
LEGEND	
	PROPERTY OR ROW LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING WATER LINE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING GAS LINE
	PROPOSED 100 YEAR FLOODPLAIN
	EXISTING FENCE
	EXISTING CONTOURS
	PROPOSED CONTOURS
	APPROXIMATE LIMIT OF DISTURBANCE

MEADOWBROOK CROSSING
PRELIMINARY GRADING PLAN
EL PASO COUNTY, COLORADO

Project No.:	16039
Date:	May 2, 2017
Design:	ELS
Drawn:	ELS
Check:	MWE
Revisions:	



0 80' 160'
SCALE: 1"=80'



LEGEND	
	CURB & GUTTER (CURB SECTION AS SHOWN ON PLANS)
	EXISTING OR PROPOSED PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM SEWER MANHOLE
	EXISTING WATER MANHOLE
	EXISTING UTILITY POLE
	EXISTING ELECTRIC BOX OR TRANSFORMER
	PROPOSED 100 YEAR FLOODPLAIN
	EXISTING WATER LINE
	EXISTING SANITARY SEWER & FLOW DIRECTION
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING GAS LINE
	PROPOSED FIRE HYDRANT, PER CSU STANDARDS
	PROPOSED WATER LINE AND VALVE
	PROPOSED WATER LINE, THRUST BLOCK & MJ RESTRAINTS
	PROPOSED SANITARY SEWER AND MANHOLE
	PROPOSED STORM SEWER PIPE AND MANHOLE
	PROPOSED STORM CURB INLET

Kiowa
Engineering Corporation
7175 West Jefferson Avenue, Suite 1300
Lakewood, Colorado 80235
(303) 692-0369

MEADOWBROOK CROSSING

PRELIMINARY UTILITY PLAN
EL PASO COUNTY, COLORADO

Project No.:	16039
Date:	May 2, 2017
Design:	ELS
Drawn:	ELS
Check:	MWE
Revisions:	

SHEET

C2



16039 Base - Utility.mxd/May 01, 2017

GENERAL NOTES:

- ALL UTILITY LOCATIONS MUST BE OBTAINED BY THE LANDSCAPE CONTRACTOR PRIOR TO DIGGING.
- ALL AREAS DISTURBED DUE TO CONSTRUCTION SHALL BE REVEGETATED AS PART OF THE BASE BID UNLESS OTHERWISE SHOWN.
- LOCATION OF ALL STEEL EDGERS MUST BE STAKED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. AVOID BROKEN BACK CURVES AND LONG TANGENTS BETWEEN CURVES.
- ALL TREE LOCATIONS SHALL BE STAKED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER'S REPRESENTATIVE. ALL SHRUBS SHALL BE PLACED AND THEIR LOCATION APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL PRACTICES AS PER GRADING PLANS.
- TURF AND NATIVE SEED AREAS ARE TO BE IRRIGATED VIA AN AUTOMATED SYSTEM OF GEAR DRIVEN ROTORS AND POP-UP SPRAYS. ALL SHRUBS AND TREES (EXCEPT THOSE IN TURF AND NATIVE SEED AREAS) SHALL BE DRIP IRRIGATED. AN AUTOMATIC IRRIGATION CONTROLLER AND RAIN SENSOR WILL BE INCLUDED IN THE IRRIGATION SYSTEM DESIGN.
- SEEDING SHALL OCCUR AFTER SPRING THAW AND BEFORE APRIL 15 OR AFTER SEPTEMBER 1 AND BEFORE CONSISTENT GROUND FREEZE.
- ALL COMMON LANDSCAPE AND STREETScape PLANTINGS IN THE RIGHT-OF-WAY WITHIN THIS DEVELOPMENT SHALL BE OWNED AND MAINTAINED BY THE MEADOWBROOK CROSSING METROPOLITAN DISTRICT.
- FOR PROPOSED SITE GRADING, HEIGHT AND SLOPE OF BERMS, SEE GRADING PLAN.

MEADOWBROOK CROSSING PRELIMINARY LANDSCAPE PLAN

The West One-quarter corner of Section 8, Township 14 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado.

How will this carry over to the lot owners? covenants plat note and exhibit?

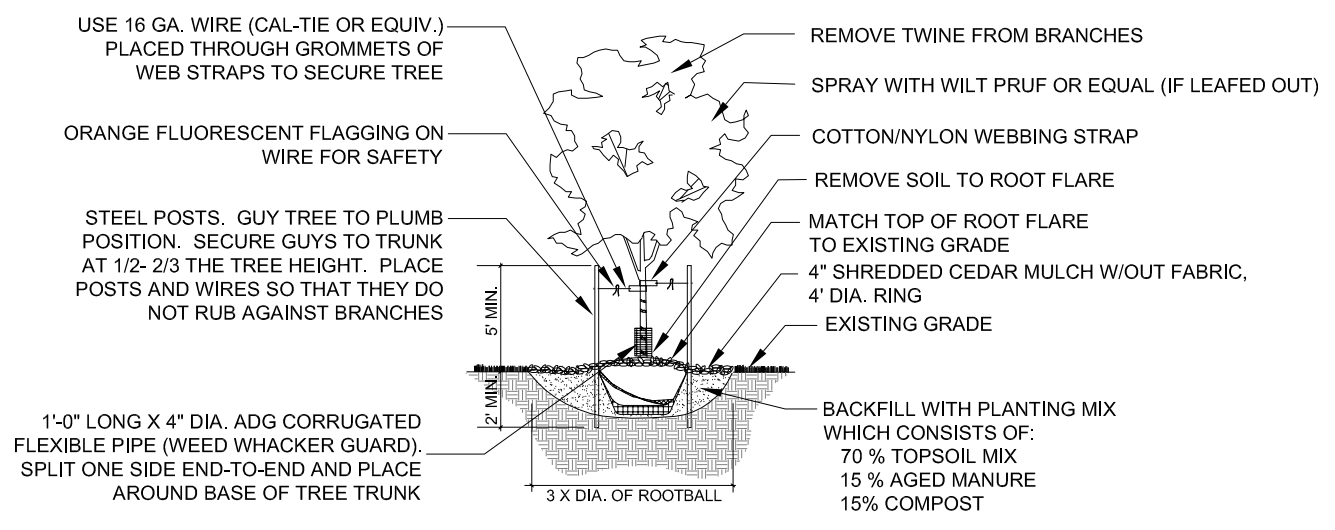
PLANT SCHEDULE:

DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	SIZE	NOTES
	AG	18	Amelanchier x grandiflora	AUTUMN BRILLIANCE SERVICEBERRY	15-25'	15-20'	2.0' Caliper	B&B
	MP	5	Malus x 'Prairifire'	PRAIRIFIRE CRABAPPLE	15-20'	15-20'	2.0' Caliper	B&B
	AT	16	Acer tataricum	TATARIAN MAPLE	20-25'	15-20'	2.0' Caliper	B&B
	GT	11	Gleditsia triacanthos var. inermis 'Imperial'	IMPERIAL HONEYLOCUST	30-40'	30-40'	2.0' Caliper	B&B
	QB	2	Quercus bicolor	SWAMP WHITE OAK	40-60'	40-60'	2.0' Caliper	B&B
	KP	2	Koeleruteria paniculata	GOLDENRAIN TREE	20-30'	20-30'	2.0' Caliper	B&B
	CP	14	Crataegus phaenopyrum	WASHINGTON HAWTHORN	20-25'	15-25'	2.0' Caliper	B&B
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	SIZE	NOTES
	PPB	42	Picea pungens 'Baby Blue Eyes'	BABY BLUE EYES SPRUCE	20-30'	10-15'	6' HT	B&B
	PPF	5	Picea pungens 'Fat Albert'	FAT ALBERT SPRUCE	30-40'	20-30'	6' HT	B&B
	PE	30	Pinus edulis	PINON PINE	20-30'	10-20'	6' HT	B&B

DEVELOPMENT PLAN DATA:

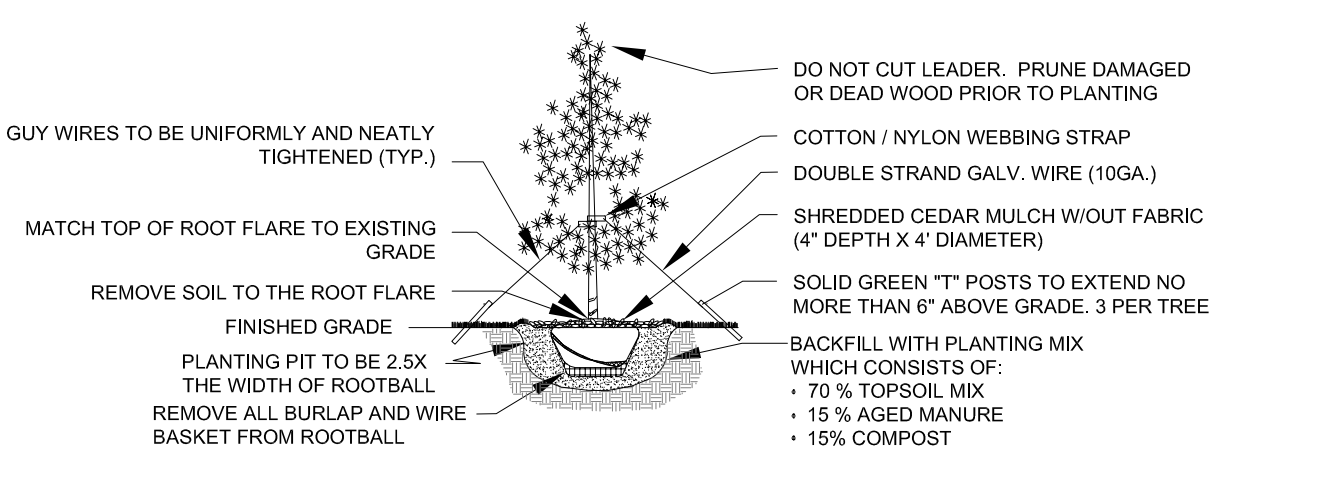
LANDSCAPE SETBACKS:

STREET NAME OR ZONE BOUNDARY:	MEADOW BROOK PKWY	NORTH BOUNDARY
STREET CLASSIFICATION:	Non-Arterial	Zone Boundary
SETBACK DEPTH REQUIRED/PROVIDED:	15'/15'	15'/15'
LINEAR FOOTAGE:	2,260'	624'
TREE/FEET REQUIRED:	1/20	1/20
TOTAL NUMBER OF TREES REQ./ PROV.:	113/106	31/31
SHRUB SUBSTITUTES REQUIRED/PROVIDED:	70/71	0/0
PLANT ABBREVIATION DENOTED ON PLAN:	MB	BP
% GROUND PLANE VEG. REQUIRED/PROVIDED:	75%/ 75%	75%/ 75%



- NOTES:**
- DIG PIT SO THAT TOP OF THE ROOT FLARE IS LEVEL WITH SURROUNDING GRADE. THE ROOT FLARE SHOULD DETERMINE THE DEPTH OF THE PIT, NOT THE TOP OF THE ROOT BALL.
 - THE BALL OF TREE SHOULD SIT ON UNDISTURBED SOIL.
 - CUT BOTTOM OF BASKET, REMOVE ALL SOIL FROM ROOT BALL TO TOP OF ROOT FLARE. SET TREE AND REMOVE ENTIRE BASKET AFTER CORRECT PLACEMENT. REMOVE BURLAP FROM THE SIDE OF THE ROOT BALL. REMOVE ALL TWINE FROM AROUND THE TRUNK AND BACKFILL.
 - USE HYDRATED SYNTHETIC POLYMER UNDER AND AROUND PLANTS IN NATIVE AREAS ONLY.

1 DECIDUOUS TREE PLANTING DETAIL NTS

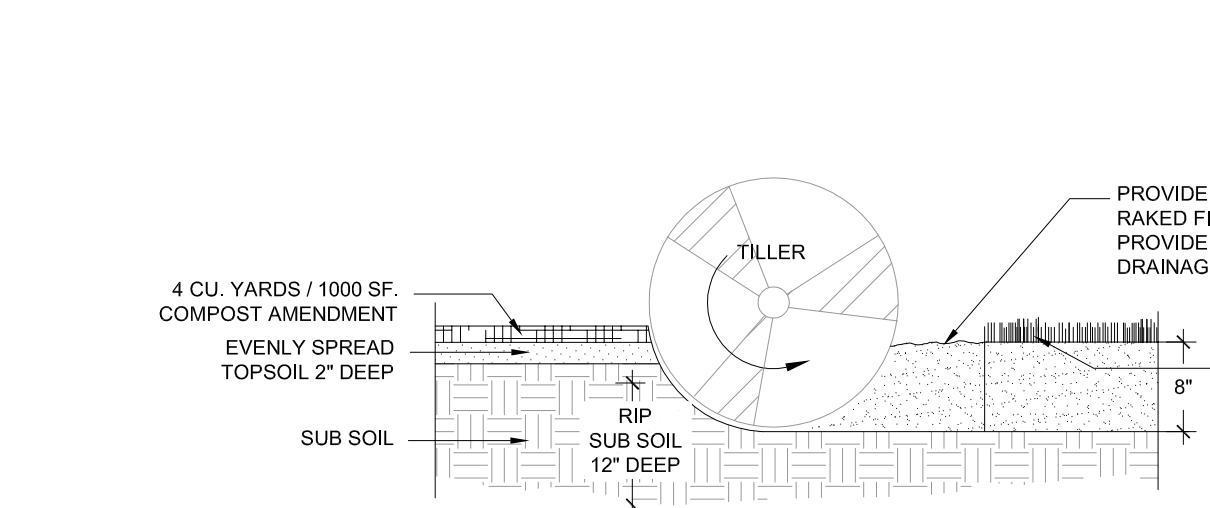


- NOTES:**
- DIG PIT SO THAT TOP OF THE ROOT FLARE IS LEVEL WITH SURROUNDING GRADE. THE ROOT FLARE SHOULD DETERMINE THE DEPTH OF THE PIT, NOT THE TOP OF THE ROOT BALL.
 - THE BALL OF TREE SHOULD SIT ON UNDISTURBED SOIL.
 - CUT BOTTOM OF BASKET, REMOVE ALL SOIL FROM ROOT BALL TO TOP OF ROOT FLARE. SET TREE AND REMOVE ENTIRE BASKET AFTER CORRECT PLACEMENT. REMOVE BURLAP FROM THE SIDE OF THE ROOT BALL. REMOVE ALL TWINE FROM AROUND THE TRUNK AND BACKFILL.
 - USE HYDRATED SYNTHETIC POLYMER UNDER AND AROUND PLANTS IN NATIVE AREAS ONLY.

2 EVERGREEN TREE PLANTING DETAIL NTS

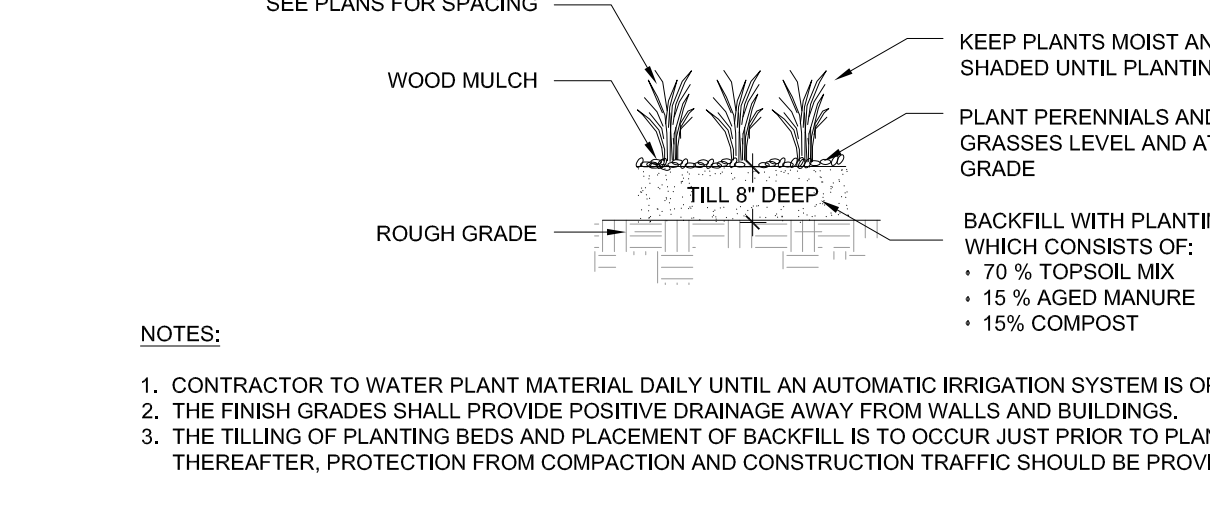
LANDSCAPE MATERIAL SCHEDULE

SYMBOL/ CALLOUT	NOTES:
	IRRIGATED BLUEGRASS SOD: To be 3-Way Fescue/ Bluegrass Blend installed per details. Submit cut sheet for review and approval prior to installation. 25% Noble Kentucky Bluegrass 25% Prosperity Kentucky Bluegrass 25% Spitfire Kentucky Bluegrass 25% Arcadia Kentucky Bluegrass Mowing height recommendation: 3" high
	NATIVE SEED: To be a pre-blended seed mix of Crested Wheat grass. Submit sample for review and approval prior to installation.
	SHREDDED CEDAR MULCH: To be organic shredded cedar wood mulch installed to a depth of 4". NO weed barrier fabric. Install per plan locations. Submit cut-sheet & sample for approval prior to installation.
	GRAVEL MULCH: 1" to 2" River Rock gravel mulch over weed fabric. Color to be Tan. Submit sample for review and approval prior to installation.
	STEEL EDGE: steel edge to be duraedge 1/4" thick x 5" wide rolled top steel edge. color to be 'green'. install per manufacturer's specifications.



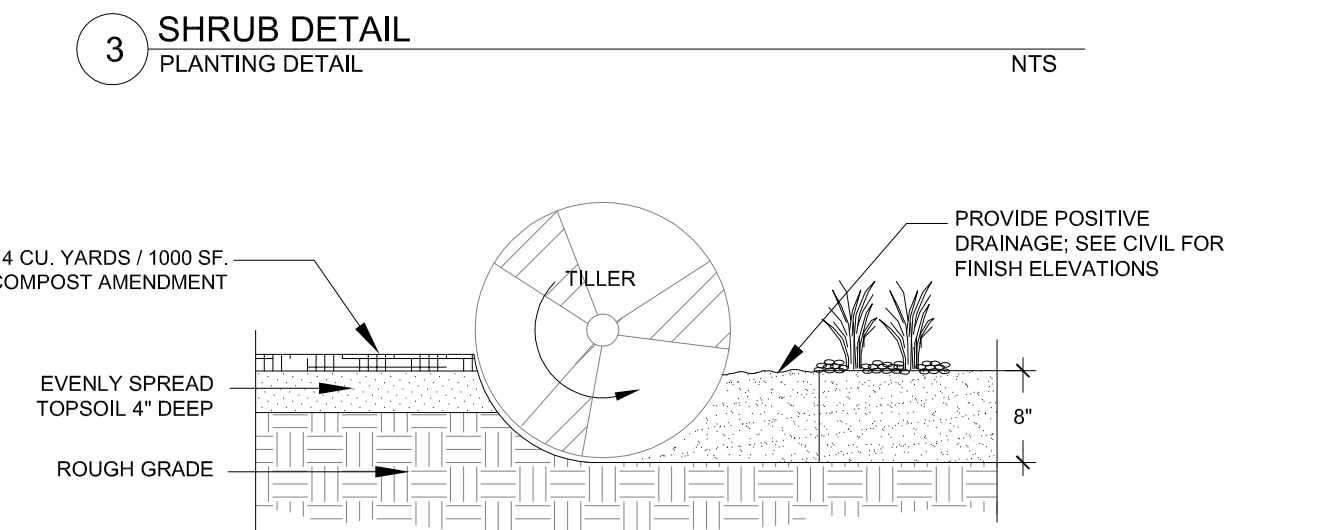
- NOTES:**
- TOPSOIL TO CONSIST OF DARK, LIGHT LOAM SOIL FREE OF ROCKS, ROOTS, AND FOREIGN MATERIALS.
 - THE FERTILIZER APPLICATION SHOULD BE DELAYED IF PLANTING DOES NOT OCCUR WITHIN 2-3 DAYS OF FERTILIZING.
 - COMPOST TO CONSIST OF 1-YEAR OLD ORGANIC MATERIAL AND SHOULD NOT INCLUDE CHICKEN MANURE.
 - FROZEN MATERIALS OR MATERIALS GREATER THAN 1" DIA. SHOULD BE REMOVED.
 - REFER TO SPECS FOR COMPLETE SOIL PREPARATION REQUIREMENTS.

3 SOIL PREP- NATIVE SEED & TURF AREAS PLANTING DETAIL NTS



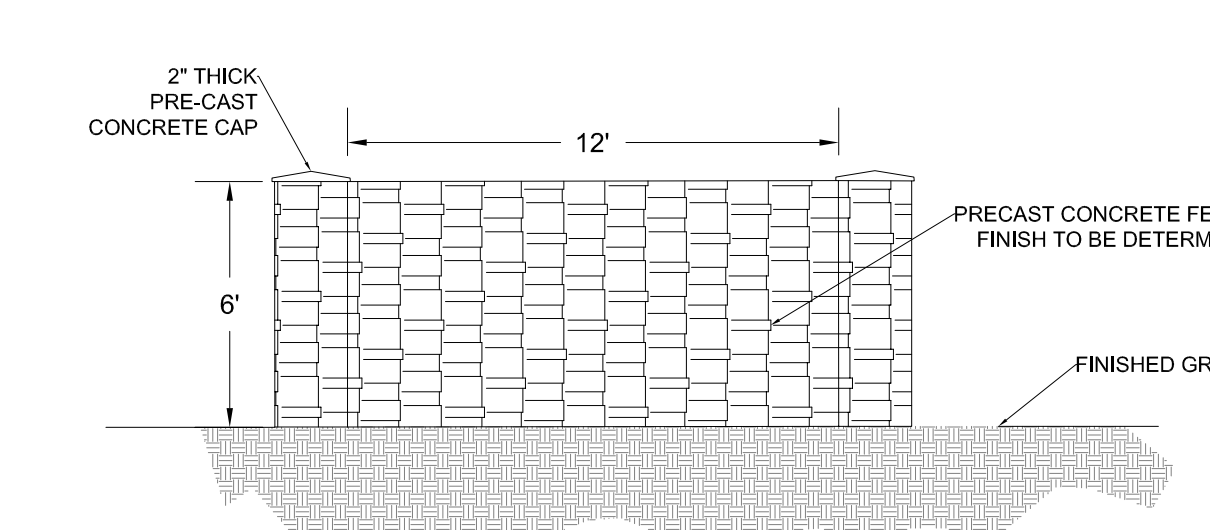
- NOTES:**
- CONTRACTOR TO WATER PLANT MATERIAL DAILY UNTIL AN AUTOMATIC IRRIGATION SYSTEM IS OPERATIONAL.
 - THE FINISH GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS AND BUILDINGS.
 - THE TILLING OF PLANTING BEDS AND PLACEMENT OF BACKFILL IS TO OCCUR JUST PRIOR TO PLANTING; THEREAFTER, PROTECTION FROM COMPACTION AND CONSTRUCTION TRAFFIC SHOULD BE PROVIDED.

4 GRASS & PERENNIAL DETAIL PLANTING DETAIL NTS



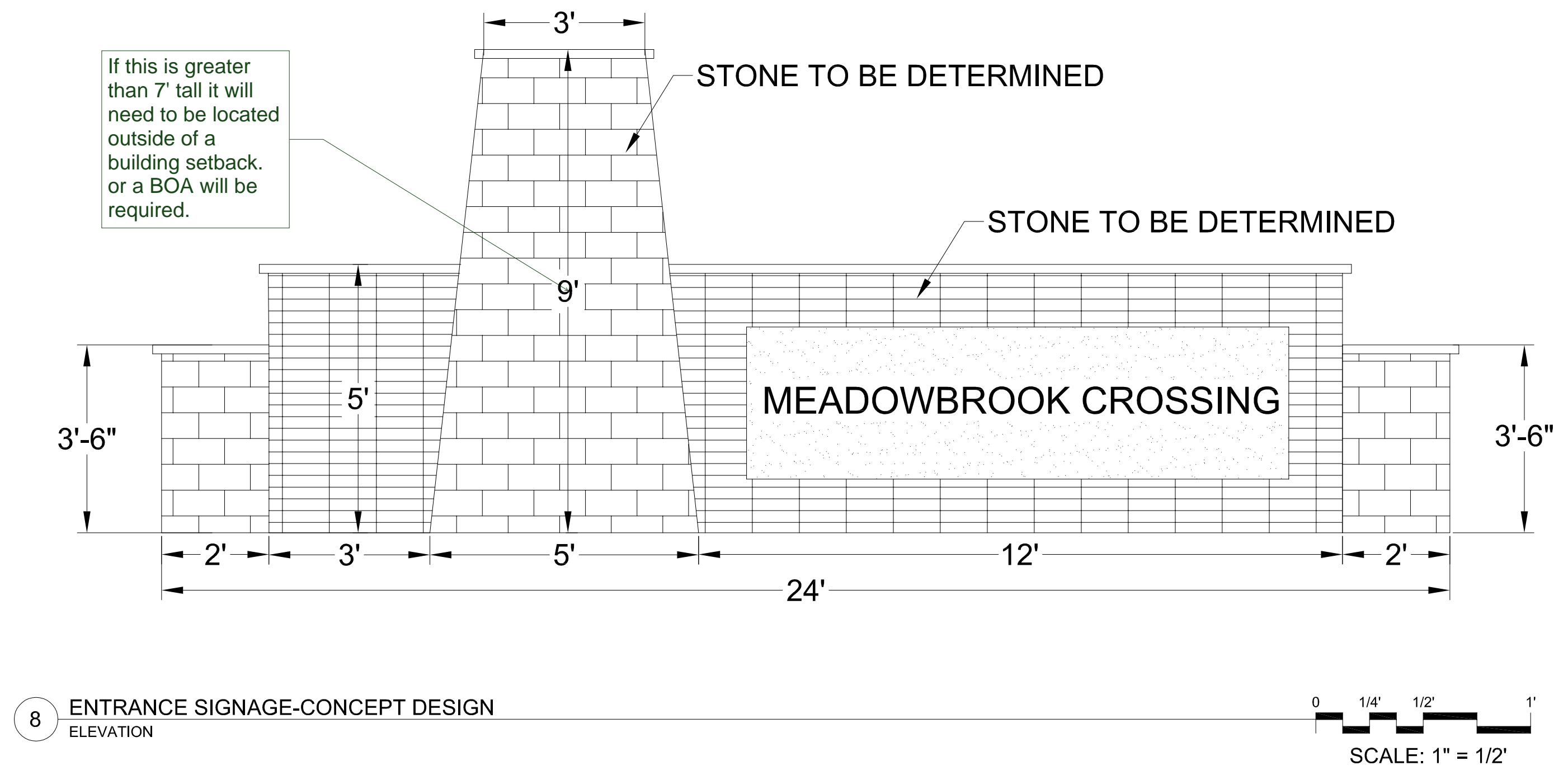
- NOTES:**
- CONTRACTOR TO WATER PLANT MATERIAL DAILY UNTIL AN AUTOMATIC IRRIGATION SYSTEM IS OPERATIONAL OR OTHER IRRIGATION PROVISIONS ARE PROVIDED.
 - THE FINISH GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS AND BUILDINGS.
 - THE TILLING OF PLANTING BEDS AND PLACEMENT OF BACKFILL IS TO OCCUR JUST PRIOR TO PLANTING; THEREAFTER, PROTECTION FROM COMPACTION AND CONSTRUCTION TRAFFIC SHOULD BE PROVIDED.

5 SHRUB DETAIL PLANTING DETAIL NTS

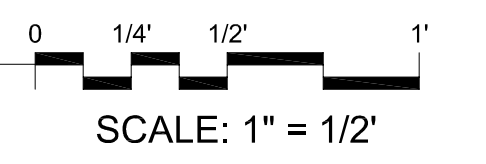


- NOTE:**
- COLUMNS, WALL, STEEL FENCING PER MANUFACTURERS SPECIFICATIONS.
 - SUBMIT CUT SHEETS AND SAMPLE PRIOR TO INSTALLATION.

6 CONCRETE FENCE DETAIL ELEVATION NTS



7 ENTRANCE SIGNAGE-CONCEPT DESIGN ELEVATION



THOMAS THOMAS
Landscape Architecture
7025 North Taylor
Colorado Springs, Colorado 80903
(719) 574-8777

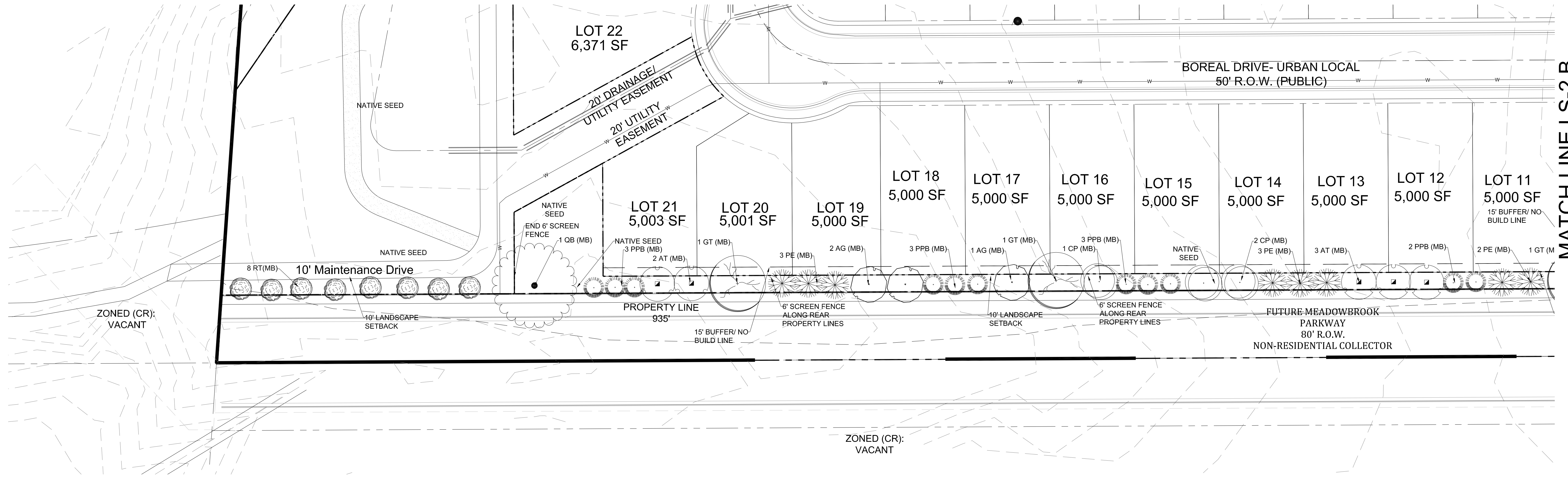
REV #	DATE	APPROVED	CHECKED	REVISIONS
1	5/9/17	JRA	JRA	RESPONSE TO COMMENTS REV1
2				
3				
4				
5				
6				

DESIGNED	JRA	01.16.17
DRAWN	JRA <td>01.16.17</td>	01.16.17
CHECKED	JLH <td>01.16.17</td>	01.16.17
PROJECT NUMBER:		3507.01
SCALE:		AS NOTED

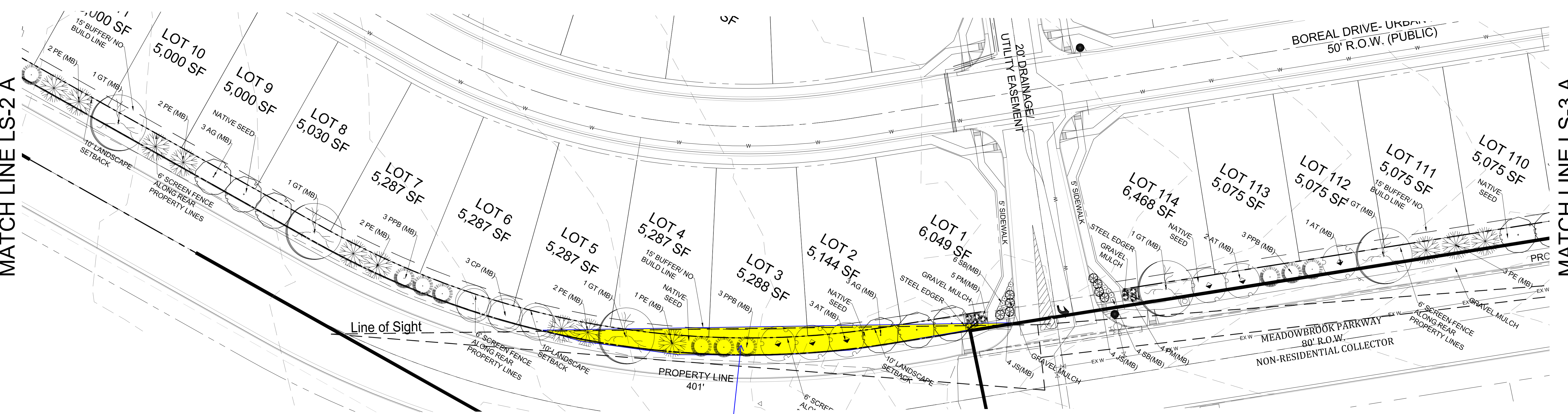
MEADOWBROOK CROSSING
Colorado Springs, CO
PRELIMINARY LANDSCAPE PLAN
LS 1 1 of 3

MEADOWBROOK CROSSING PRELIMINARY LANDSCAPE PLAN

The West One-quarter corner of Section 8, Township 14 South, Range 65 West of the 6th P.M., County of El Paso, State of Colorado.

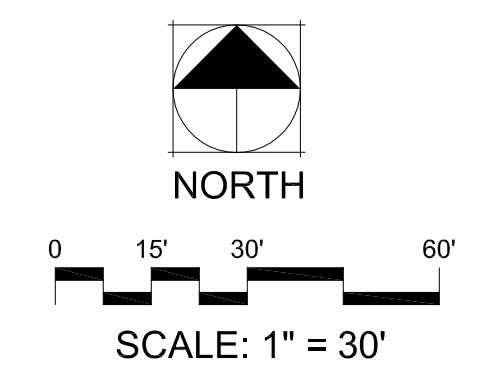


A PRELIMINARY LANDSCAPE PLAN



B PRELIMINARY LANDSCAPE PLAN

Any object w/in the site distance triangle must be less than 30 inches (measured from the flowline elevation of the adjacent roadway). Objects greater than 30" constitute a sight obstruction and shall be removed or lowered. ECM 2.3.6.G



PCD PROJECT NUMBER: SP-17-002

THOMAS THOMAS
 Planning
 Landscape Architecture
 7025 North Taylor
 Colorado Springs, Colorado 80903
 (719) 574-8777

REV#	REVISIONS	DATE	DRAWN	CHECKED	APPROVED
1	RESPONSE TO COMMENTS REV1	5/3/17	JRA		
2					
3					
4					
5					
6					

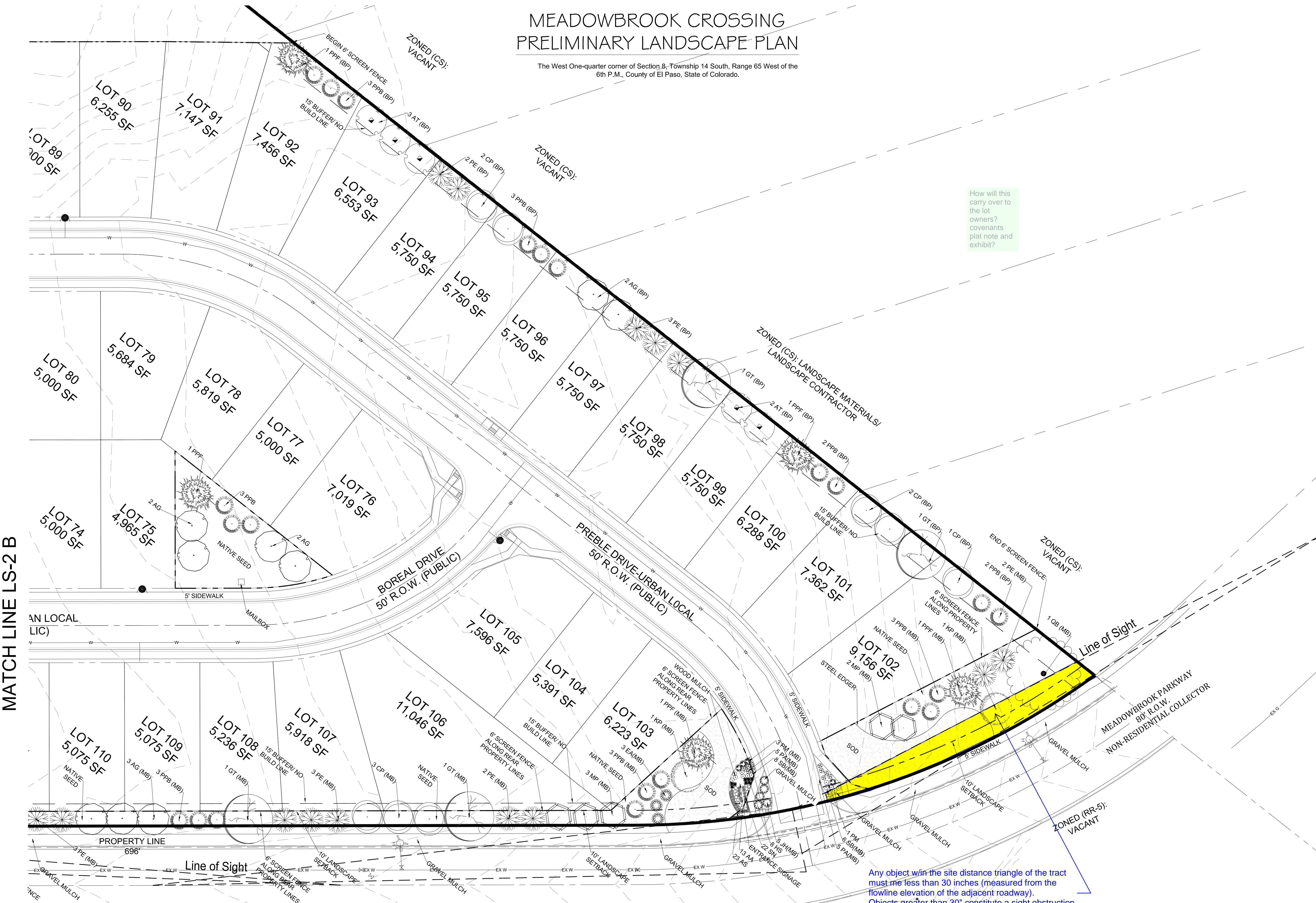
DESIGNED	JRA	01.16.17
DRAWN	JRA	01.16.17
CHECKED	JLH	01.16.17
PROJECT NUMBER:		3507.01
SCALE:		AS NOTED

MEADOWBROOK CROSSING
 Colorado Springs, CO
 PRELIMINARY LANDSCAPE PLAN

LS 2 2 of 3

MEADOWBROOK CROSSING PRELIMINARY LANDSCAPE PLAN

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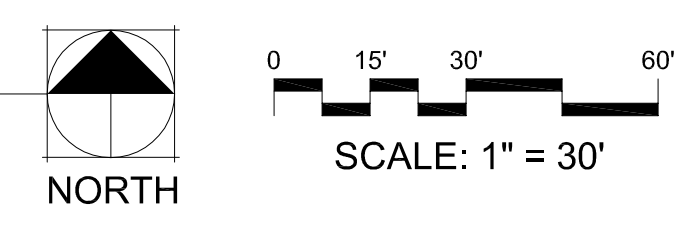


MATCH LINE LS-2 B

PRELIMINARY LANDSCAPE PLAN

How will this carry over to the lot owners? covenants plat note and exhibit?

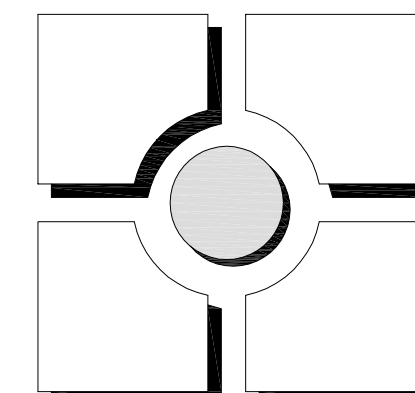
Any object within the site distance triangle of the tract must be less than 30 inches (measured from the flowline elevation of the adjacent roadway). Objects greater than 30" constitute a sight obstruction and shall be removed or lowered. ECM 2.3.6.G



REV #	REVISIONS	DATE	DRAWN	CHECKED	APPROVED
1	RESPONSE TO COMMENTS REV1	5/9/17	JRA		
2					
3					
4					
5					
6					

DESIGNED	JRA	01.16.17
DRAWN	JRA	01.16.17
CHECKED	JLH	01.16.17
PROJECT NUMBER:		3507.01
SCALE:		AS NOTED

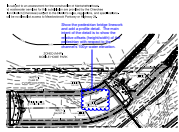
MEADOWBROOK CROSSING
Colorado Springs, CO
PRELIMINARY LANDSCAPE PLAN



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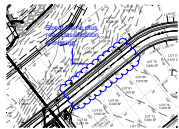
Markup Summary

dsdlaforce (6)



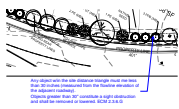
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Status:
Checkmark: Unchecked
Author: dsdlaforce
Date: 5/30/2017 3:45:24 PM
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Show the pedestrian bridge linework and add a profile detail. The main intent of the detail is to show the relative offsets (height/width) of the pedestrian with respect to the channel's 100yr water elevation.



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Street Name plus road classification is missing.

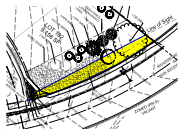


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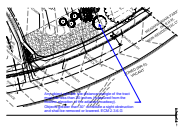
Any object w/in the site distance triangle must be less than 30 inches (measured from the flowline elevation of the adjacent roadway). Objects greater than 30" constitute a sight obstruction and shall be removed or lowered. ECM 2.3.6.G



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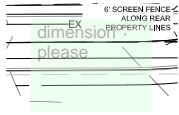


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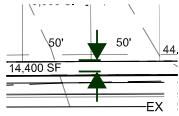
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Any object w/in the site distance triangle of the tract must be less than 30 inches (measured from the flowline elevation of the adjacent roadway). Objects greater than 30" constitute a sight obstruction and shall be removed or lowered. ECM 2.3.6.G



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Date: 6/5/2017 12:09:46 PM
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dimension please

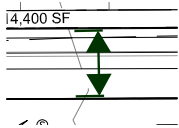


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Subject: Callout
Page Label: 1
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Date: 6/5/2017 12:09:20 PM
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Tract D should be the buffer. The note provides an additional 15' on the lots. Are the lots deep enough to meet 25' setbacks? 50' width at 25' front setback? Lots 1, 21-19, 114 are concerning.

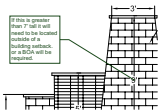


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How will this carry over to the lot owners? covenants plat note and exhibit?

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How will this carry over to the lot owners? covenants plat note and exhibit?



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Author: dsdparsons
Date: 6/5/2017 12:12:37 PM
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If this is greater than 7' tall it will need to be located outside of a building setback. or a BOA will be required.

How will this carry over to the lot owners? covenants plat note and exhibit?

Subject: Text Box
Page Label: Meadowbrook LA Plan 2 REV1
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Checkmark: Unchecked
Author: dsdparsons
Date: 6/5/2017 12:11:05 PM
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How will this carry over to the lot owners? covenants plat note and exhibit?