

PROPERTY OWNER:
LEE D CLEVELAND

LEGAL DESCRIPTION:
LOT 55 HIGH FOREST RANCH FIL NO 2

ADDRESS:
16191 OPEN SKY WAY
COLORADO SPRINGS, CO 80908

TAX SCHEDULE No.:
6125002001

ZONE:
RUD

SETBACKS:
FRONT = 25'-0"
SIDE = 15'-0"
REAR = 25'-0"

BUILDING HEIGHT:
MAX. ALLOWABLE HEIGHT = 35'

LOT SIZE:
1199,206.80 SF. (27.53 ACRES)

TOTAL BUILDING FOOTPRINT:
(INCLUDING COVERED DECKS & PORCHES):
1611 SF.

- NOTES:**
1. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH NATIVE GRASSES AS SOON AS POSSIBLE.
 2. FINAL GRADING OF SITE SHALL BE SUCH THAT SURFACE WATER SHALL DRAIN AWAY FROM STRUCTURE IN A POSITIVE MANNER. (SLOPE 1:12 MINIMUM)
 3. CONTRACTOR SHALL FIELD VERIFY AND CONFIRM WITH DEVELOPER LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION AND CONSTRUCTION.
 4. LANDSCAPING SHALL BE PROVIDED BY OTHERS.
 5. FIELD VERIFY ALL DIMENSIONS.
 6. CONTRACTOR SHALL FIELD VERIFY AND CONFIRM STAKE OUT OF BUILDING CORNERS PRIOR TO EXCAVATION AND CONSTRUCTION.
1. LOCATION OF NEW AND EXISTING UTILITIES TO BE FIELD VERIFIED

GRADING PLAN

SCALE: 1" = 20'-0"



APPROVED Plan Review
07/26/2019 3:45:09 PM
dsarchuleta
EPC Planning & Community Development Department



ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT OVIATE THE NEED TO COMPLY WITH APPLICABLE FEDERAL, STATE, OR LOCAL LAWS AND/OR REGULATION

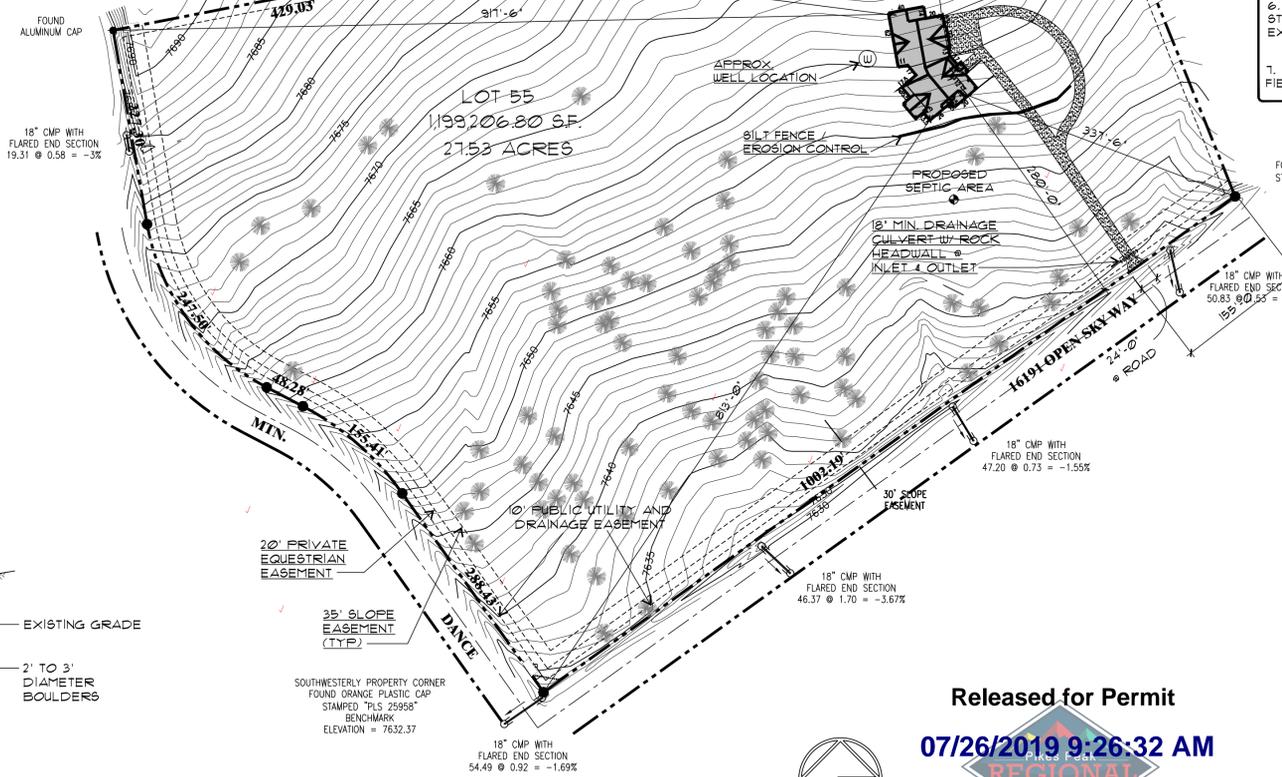
Planning & Community Development Department approval is contingent upon compliance with all applicable notes on the recorded plat.

An access permit must be granted by the Planning & Community Development Department prior to the establishment of any driveway onto a County road.

Diversion of blockage of any drainage way is not permitted without approval of the Planning & Community Development Department

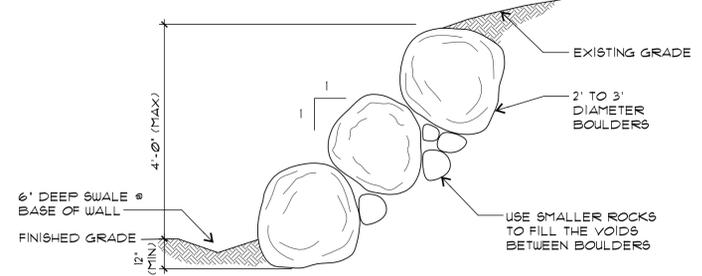
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07/26/2019 3:45:18 PM
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EPC Planning & Community Development Department

SFD19917
PLAT 11239
PUD



SITE PLAN

SCALE: 1" = 100'-0"



BOULDER RETAINAGE WALL

NO SCALE

Released for Permit

07/26/2019 9:26:32 AM



amy
ENUMERATION

NOTE:
DUE TO THE ORIENTATION OF THE HOME, WE BELIEVE NO TREE REMOVAL WILL BE REQUIRED FOR CONSTRUCTION.

NOTE:
SEPTIC SHALL BE DESIGNED FOR A MAXIMUM OF 5 BEDROOMS

DRAWINGS PREPARED BY:

3RD Dimension
UNIQUE PERSPECTIVES
16251 Windy Creek Drive • Monument, CO 80132 • (719) 590-1234

CONTRACTOR:

HAMMER HOMES
Custom & Exquisite Design
(719) 332-3578

CLIENT:

Cleveland Residence
16191 Open Sky Way
Colorado Springs, CO
80908

DRAWN BY:
Brett A Stilla

DATE:
7-23-19

JOB NO:
2019-48

SHEET: 2 **OF** 11

3rd Dimension Graphics liability concerning anything presented on these drawings is limited to correction of the drawings and nothing more. All construction, craftsmanship and/or installation is the sole responsibility of the owner / contractor.

RESIDENTIAL



2017 PPRBC

Address: 16191 OPEN SKY WAY, COLORADO SPRINGS

Parcel: 6125002001
Map #: 305G

Plan Track #: 118568

Received: 03-Jul-2019 (BECKYA)

Description:

RESIDENCE

Contractor: HAMMER HOMES

Type of Unit:

Garage	3701	
Lower Level 1	322	
Lower Level 2	2081	
Main Level	2520	
	8624	Total Square Feet

Required PPRBD Departments (4)

Enumeration

Released for Permit
07/09/2019 11:44:06 AM

brent
ENUMERATION

Floodplain

(N/A) RBD GIS

Construction

Mechanical
Released for Permit
07/15/2019 1:43:48 PM

tcrippen
MECHANICAL

Required Outside Departments (1)

County Zoning

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07/26/2019 3:48:15 PM
dsdarchuleta
EPC Planning & Community
Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.



www.highforestranch.net / Darren@zandrmgmt.com

Sent via Email to: leedcleveland@gmail.com; dave@hammercustomhomes.com

July 25, 2019

Mr. Lee Cleveland
16191 Open Sky Way
Colorado Springs, CO 80908

RE: New Home Construction Approval of Plans

Dear Lee,

Thank you for your request to build the new home at 16191 Open Sky Way per the submitted plans. The Architectural Committee (AC) has reviewed and approved your request as submitted with the following conditions being noted:

1. Please have a parking plan for construction vehicles.
2. When you receive the stamped and approved plans from the County, please forward a copy to my office to meet our file requirements. A .pdf file emailed to Darren@zandrmgmt.com is best.
3. Please note that any driveway monuments placed in the Association's maintenance easement may be damaged by plowing operations and the Association assumes no responsibility for such damage.
4. To date no specific plans for driveway monuments or landscaping have been received and will need to be submitted separately prior to installation.
5. Please ensure the retaining wall called out in the plans to the left of the front door remains at 4' high or less to prevent the need for an engineered wall. If an engineered wall is required, please submit a plan for it.

The AC may review all work in progress to the extent required to ensure that the construction or work complies with any and all approved plans and construction procedures.

Approval of plans by the AC shall not be deemed to constitute compliance with the requirements of any local, zoning, safety, health or fire codes, and it shall be the responsibility of the Builder or Homeowner or duly authorized representative submitting plans to assure such compliance.

Approval shall not waive any requirements on the part of the Builder or Homeowner or his representative to comply with setbacks, height restrictions, or other requirements unless such waiver or variance is specifically requested at the time of submittal and provided that the waiver or variance may properly be granted by the AC and local jurisdictions, where applicable.

Please observe all High Forest Covenants, Codes and Restrictions during the construction process, to include lot cleanup weekly, contain all trash in a dumpster, protect neighboring properties with silt fencing, comply with noise ordinance and obtain approval from the AC prior to making any changes from the approved plan.

This is your official response, so please keep this email for your records. A copy of your request will be kept on file.

At the Direction of the AC,
High Forest Ranch HOA



Darren H. Burns
Property Manager

Professionally Managed by:



6015 Lehman Drive, Suite 205, Colorado Springs, CO 80918
Phone (719) 594-0506 • Fax (719) 884-4496

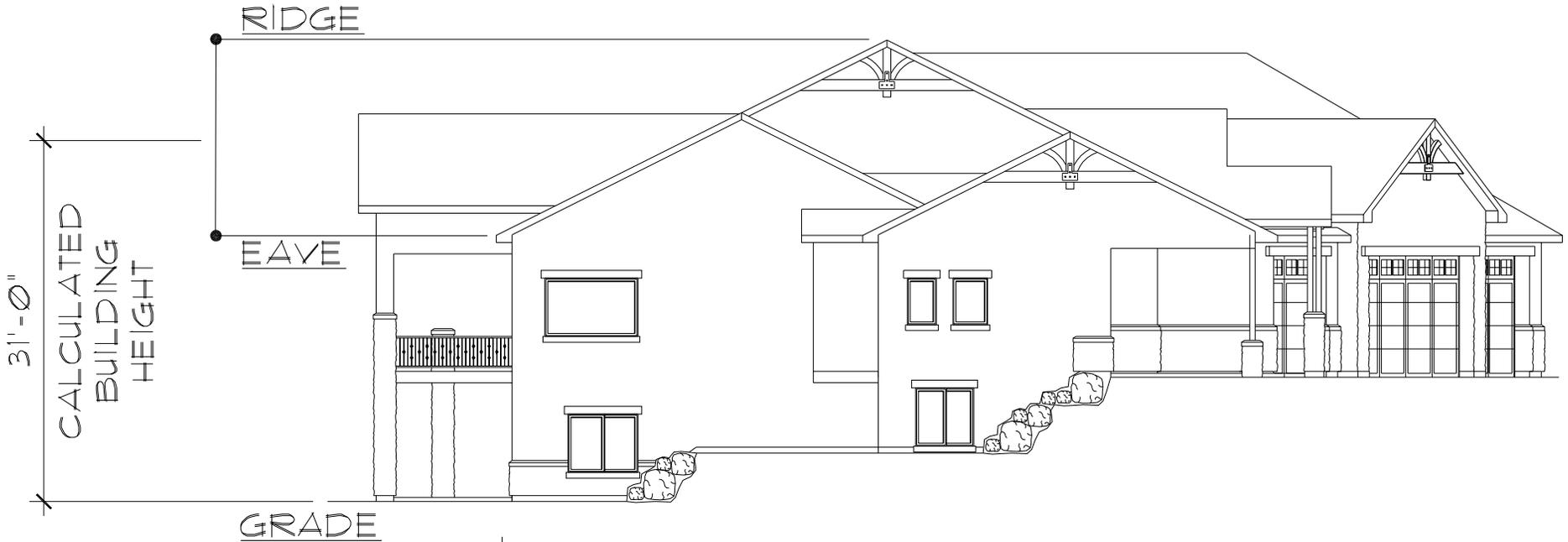
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Plan Review

07/16/2019 1:33:09 PM

dsdarchuleta

EPC Planning & Community
Development Department



HEIGHT CALCULATION

— NO SCALE —