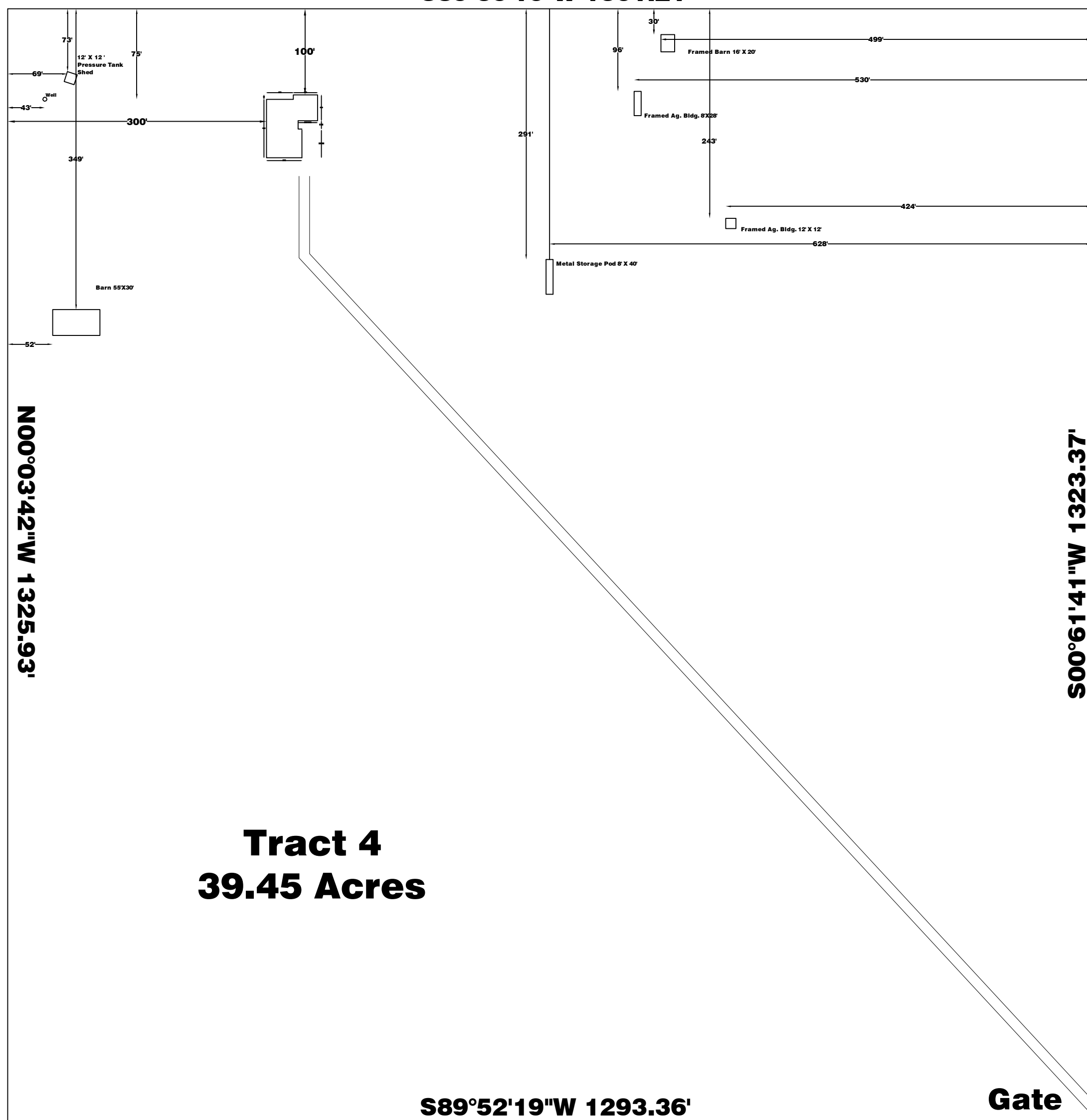


CS 1/16

S89°59'10"W 1301.21'

SE 1/16



**Tract 4
39.45 Acres**

S 1/4

S89°52'19"W 1293.36'
Double Wire Fence

Gate

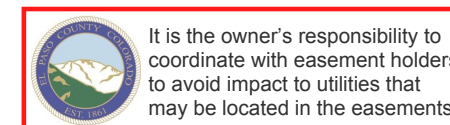
E 1/16

Owner: Marco Guerrero
Phone: 719 331 6538
Email: guerreromarco75@gmail.com
Location: 2520 N. Log Road, Calhan, CO 80808
Tax Schedule Number: 33000-00-206
Legal Description: SW4SE4 SEC 34-13-63
Zoning: RR-5
Lot Area: 40 Acres
Proposed Structure: Single-Family Residence

SFD24384

APPROVED
BESQCP
04/25/2024 12:18:16 PM
dsdyounger
EPC Planning & Community
Development Department

APPROVED
Plan Review
04/25/2024 12:18:20 PM
dsdyounger
EPC Planning & Community
Development Department



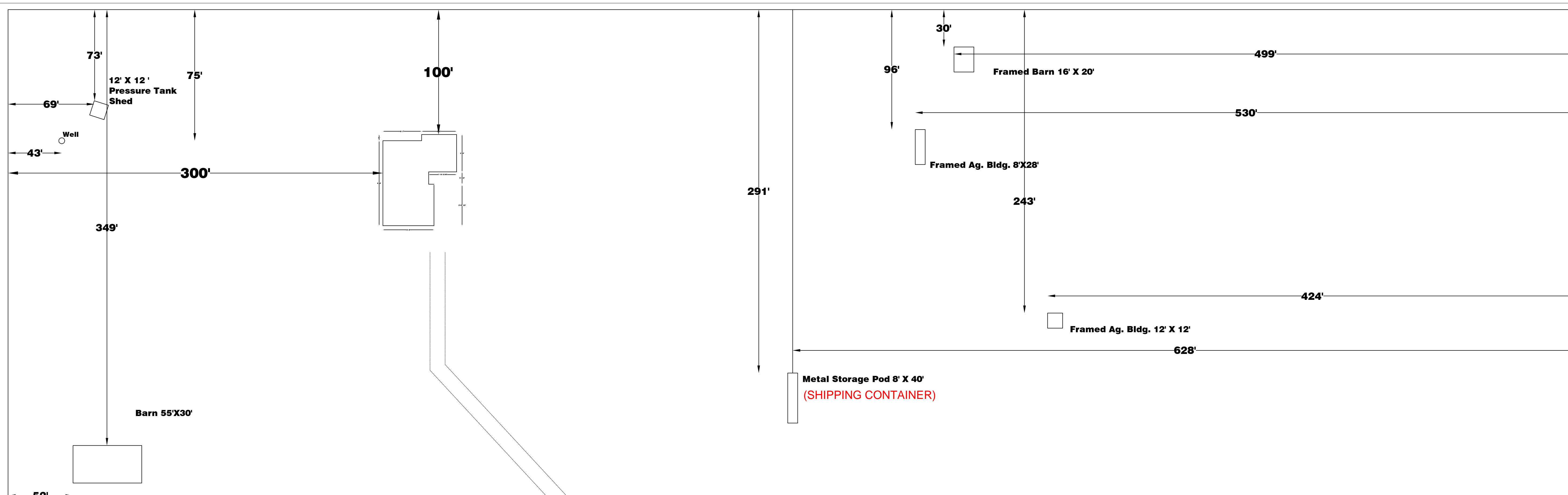
ANY APPROVAL GIVEN BY
EL PASO COUNTY
DOES NOT OBTAIN THE NEED
TO COMPLY WITH APPLICABLE
FEDERAL, STATE, OR LOCAL
LAWS AND/OR REGULATION
Planning & Community Development Department
approval is contingent upon compliance with all
applicable notes on the recorded plat.
An access permit must be granted by the
Planning & Community Development Department
prior to the establishment of any driveway onto a
County road.
Division of blockage of any drainage way
is not permitted without approval of the
Planning & Community Development Department

Released for Permit
04/25/2024 10:08:29 AM
Becky A
ENUMERATION

ALLISON ENGINEERING
4245 LOG ROAD
PEYTON, COLORADO 80831
(719) 331-6538
jimmyallisonpe@gmail.com

Homeowner
2520 North Log Road
El Paso County, Colorado

SHEET 1 OF 11
DATE
1/7/24
JOB NUMBER
21155




RESIDENTIAL



2023 PPRBC
2021 IECC Amended

Parcel: 3300000206

Address: 2520 N LOG RD, CALHAN

Plan Track #: 186553 

Received: 22-Feb-2024 (BRIANNAM)

Description:






RESIDENCE-PRIOR TO PERMIT

Contractor: HOMEOWNER

Type of Unit:

Garage	820	
Main Level	2533	
	3353	Total Square Feet

Required PPRBD Departments (6)

<p>Enumeration</p> <p>Released for Permit</p> <p>02/28/2024 11:57:54 AM</p>  <p>Becky A ENUMERATION</p>	<p>Floodplain</p> <p>(N/A) RBD GIS</p>
<p>Construction</p> <p>Released for Permit</p> <p>04/25/2024 10:25:38 AM</p>  <p>Christineh CONSTRUCTION</p>	<p>Electrical</p> <p>Released for Permit</p> <p>04/25/2024 10:59:12 AM</p>  <p>danielg ELECTRICAL</p>
<p>Mechanical</p> <p>Released for Permit</p> <p>04/25/2024 11:39:09 AM</p>  <p>daleh MECHANICAL</p>	<p>Plumbing</p> <p>Released for Permit</p> <p>04/25/2024 10:40:35 AM</p>  <p>shanen PLUMBING</p>

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.

Required Outside Departments (1)

County Zoning

APPROVED

Plan Review

04/25/2024 12:20:32 PM

dsdyounger

**EPC Planning & Community
Development Department**