

# SHORETTE RESIDENCE

SFD26587  
PLAT 5946  
RR-5



It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.

**APPROVED**  
Plan Review

06/24/2026 9:24:30 AM

**EPC Planning & Community Development Department**

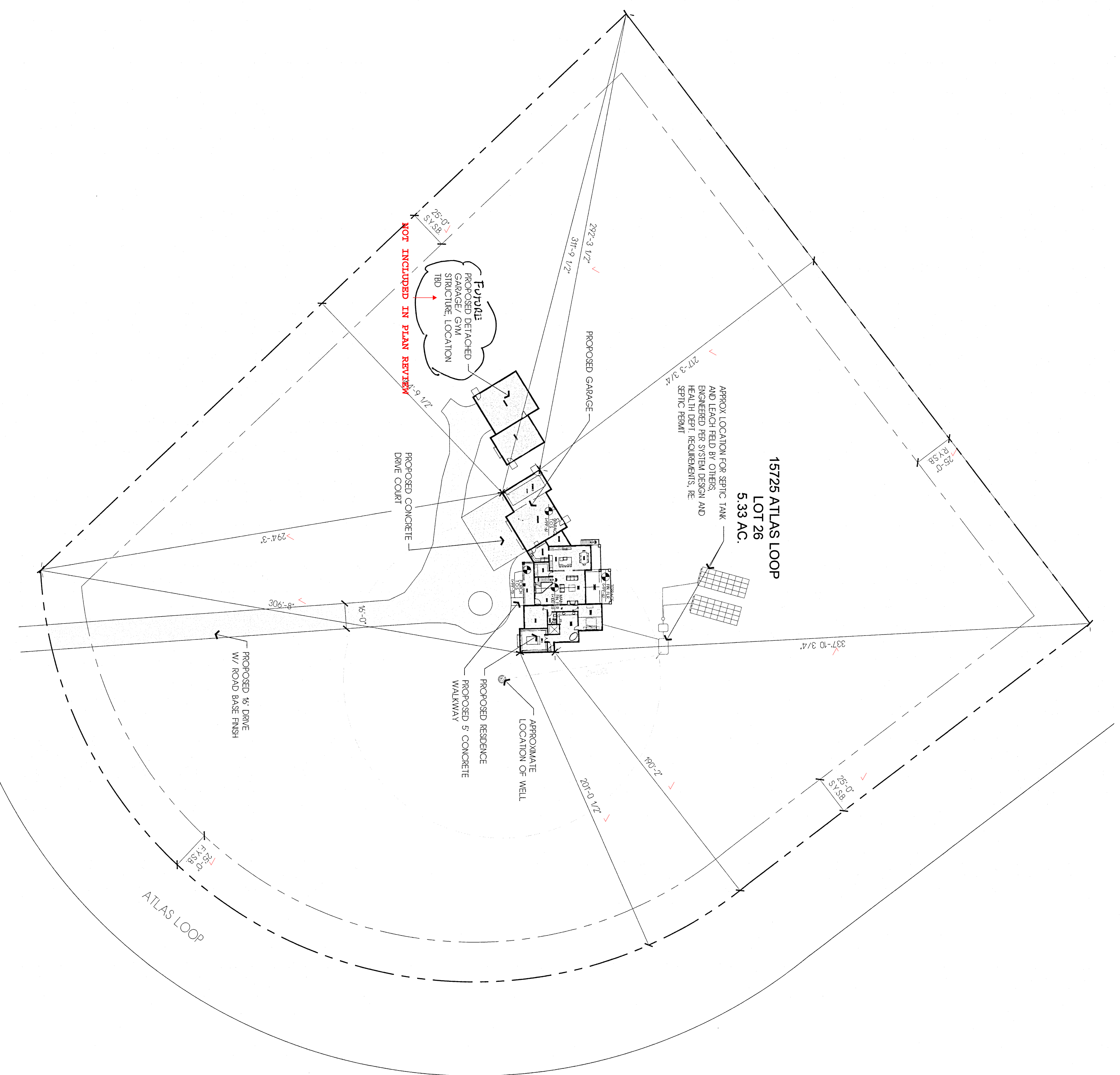


ANY APPROVAL GIVEN BY DOES NOT OVIATE THE NEED TO COMPLY WITH APPLICABLE FEDERAL, STATE, OR LOCAL LAWS AND/OR REGULATION

Planning & Community Development Department approval is contingent upon compliance with all applicable codes and regulations. An access permit must be granted by the Planning & Community Development Department and establishment of any driveway onto a County road. Direction of bridgeage of any drainage way is not permitted without approval of the Planning & Community Development Department.



It is the applicant's responsibility to contact the Fire Authority regarding the length of the driveway, turnouts and turnarounds.



**SITE PLAN**  
SCALE: 1"=40'-0"

## GENERAL SITE NOTES

- VERIFY EXACT LOCATION & FINISH FLOOR HEIGHT OF RESIDENCE WITH CONTRACTOR AND ARCHITECT PRIOR TO CONSTRUCTION.
- PROVIDE 4" THK. CONCRETE PAD FOR GROUND MOUNTED HVAC.
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- PROVIDE UNDERGROUND UTILITIES TO RESIDENCE PER SERVICES.
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## GENERAL NOTES

1. APPLICABLE CODES:
  - 2021 IBC
  - 2021 INTERNATIONAL RESIDENTIAL CODE (IRC)
  - 2021 INTERNATIONAL PLUMBING CODE (IPC)
  - 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
  - 2021 INTERNATIONAL MECHANICAL CODE (IMC)
  - 2021 INTERNATIONAL FIRE CODE (IFC)
2. REFER TO ALL DIMENSIONS UNLESS OTHERWISE SHOWN OR NOTED.
3. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE CODES AND ORDINANCES, NOTHING IN THESE PLANS IS TO BE CONSIDERED TO PREVENT WORK NOT CONFORMING TO THESE CODES.
4. A DO NOT SCALE THESE DRAWINGS.
5. CONTRACTOR TO VERIFY OVERALL BUILDING LAYOUT DIMENSIONS.
6. UNLESS OTHERWISE INDICATED, DIMENSIONS SHOWN ARE TO FACE OF STEEL CONSTRUCTION, TO THE CENTER LINE OF MEMBER.
7. UNLESS OTHERWISE INDICATED, DIMENSIONS SHOWN ARE TO FACE OF STEEL CONSTRUCTION, TO THE CENTER LINE OF MEMBER.
8. LATERAL, PUNCTURAL, AND PERMANENT CONSTRUCTION SHALL BE IN FULL ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES, NOTHING IN THESE PLANS IS TO BE CONSIDERED TO PREVENT WORK NOT CONFORMING TO THESE CODES.

## PROJECT TEAM

**OWNER**  
COPY & EMILY SHORRETT  
9818 MORNING VISTA DR.  
FENTON, COLO. 80831

**CONTRACTOR**  
CHARLES ROGERS  
RETHAK ENTERPRISE  
62495 US HIGHWAY 74, GRANBY, CO  
(773) 445-6695  
GROERS@RETHAKENTERPRISE.COM

**ARCHITECT**  
BLUCHER DESIGN STUDIO, INC.  
BRAYN K. BLUCHER, AIA, NCARB  
12305 ORACLE BLVD, SUITE 101  
COLORADO SPRINGS, CO  
(719) 484-0480

**MECHANICAL / FOUNDATION ENGINEERS**  
MILBARK ENGINEERING LTD.  
MOLLY TOLLE  
6825 SILVER POND HEIGHTS, SUITE 101  
COLORADO SPRINGS, CO 80908  
(719) 487-0812  
MSTOLLE@MILBARK-TO.COM

**HVAC DESIGN**  
ROGERS HEATING AND COOLING  
(719) 339-7949

## SHEET INDEX

SHT. #	DESCRIPTION
A0	COVER SHEET / SITE PLAN
A1	MAIN FLOOR PLAN
A12	BASEMENT FLOOR PLAN
A21	EXTERIOR ELEVATIONS
A22	EXTERIOR ELEVATIONS
A31	ROOF PLAN
A41	BUILDING SECTIONS
S11	FLOOR FRAMING PLAN
S12	ROOF FRAMING PLAN
M4	MECHANICAL SCHEDULES
2M	BASEMENT MECHANICAL PLAN
3M	MAIN FLOOR MECHANICAL PLAN
E11	ELECTRICAL MAIN FLOOR PLAN
E12	ELECTRICAL BASEMENT FLOOR PLAN
P11	PLUMBERS MAIN FLOOR PLAN
P12	PLUMBERS BASEMENT FLOOR PLAN

## PROJECT DATA

PROJECT ADDRESS: 5725 ATLAS LOOP  
FENTON, COLORADO 80831

TAX PARCEL NO.: 4162008005

LEGAL DESCRIPTION: LOT 26 THORPE ESTATES FL NO. 2

JURISDICTION: EL PASO COUNTY

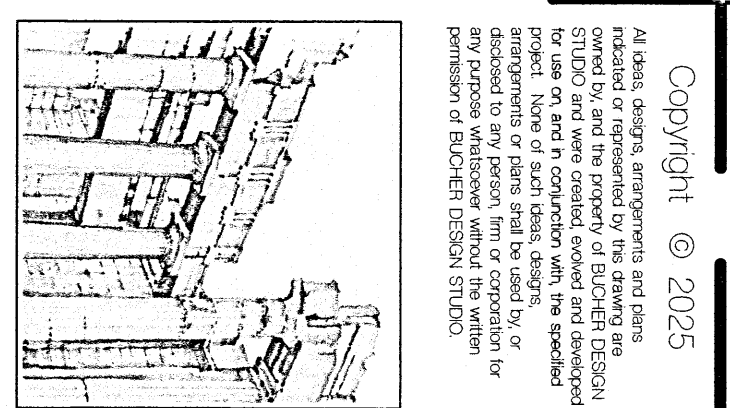
ZONE: RR-5

PROJECT DESCRIPTION: PROPOSED SINGLE STORY SINGLE FAMILY RESIDENCE W/ WALK OUT BASEMENT

AREA CALCULATIONS:  
SITE AREA: 23275 SF, 533 AC  
PROJECT AREA: MAIN FLOOR AREA: 2268 SF, GARAGE FLOOR AREA: 1795 SF, BASEMENT FLOOR AREA: 2292 SF, TOTAL PROJECT AREA: 5862 SF.

BLDG FOOTPRINT:  
MAIN FLOOR: 2268 SF, GARAGE FLOOR: 3810 SF.

LOT COVERAGE: 3810 SF / 23275 SF = 12%



**Blucher Design Studio**  
6360 Santee Court  
Colorado Springs, CO  
(719) 484-0480

Blair K. Blucher, AIA  
Architect  
CO License no. C-4189

**A PROPOSED RESIDENCE FOR**

**MR. & MRS. SHORRETT**

5725 ATLAS LOOP  
FENTON, CO  
Sheet Title:  
**COVER SHEET / SITE PLAN**

Drawing Status:  
CD SET

Revision:	No.	Description	By	Date

Drawn by: 5-26-26  
Checked by:  
Scale: AS NOTED  
Job No.:

Sheet No.:  
AO  
Of