

SOLACE APARTMENTS FILING NO. 2

A PORTION OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 SEST OF THE P.M.
EL PASO COUNTY, COLORADO
CONSTRUCTION DOCUMENTS

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add "and Grading and Erosion Control Plan"

CONTACTS

OWNER:
CS POWERS & GALLEY LLC
510 S NEIL ST
CHAMPAIGN, IL 61820
PHONE: (719) 216-2577
CONTACT:

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES
2 N. NEVADA AVENUE SUITE 300
COLORADO SPRINGS, CO 80903
CONTACT: ERIC GUNDERSON
PHONE: (719) 453-0182

SURVEYOR:
COMPANY
ADDRESS 1
ADDRESS 2
TEL: XXX
CONTACT: XXX

EL PASO COUNTY:
PCD DEPARTMENT
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
PHONE: (719) 520-6300

provide missing info

DEVELOPER'S SIGNATURE BLOCK

Replace with the following:
"I, the owner/developer have read and will comply with the requirements of the grading and erosion control plan and all of the requirements specified in these detailed plans and specifications."

NAME _____ DATE _____

ENGINEER'S SIGNATURE BLOCK

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED PLANS AND SPECIFICATIONS

ERIC GUNDERSON, PE - KIMLEY-HORN AND ASSOCIATES, INC. DATE _____

EL PASO COUNTY REVIEW STATEMENT

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN DIMENSIONS AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

DATE _____

Add - County Engineer/ECM Administrator

Add PCD File No. SF-2232

update to match the title above

provide developer/owners name

Add the project benchmark (NAVD88) to the title sheet.

Please provide the following note:

- WEBSITE (HTTPS://CEAAA.FAA.GOV/CEAAA/EXTERNAL/PORTAL.13F).
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

Kimley-Horn AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: MVZ
DRAWN BY: mvz/res
CHECKED BY: EJJ
DATE: 09/19/2022

CIMARRON HILLS - PHASE 2
CONSTRUCTION DOCUMENTS
COVER SHEET

PRELIMINARY
FOR REVIEW ONLY
NOT FOR CONSTRUCTION
Kimley-Horn
Kimley-Horn and Associates, Inc.

PROJECT NO.
096668009

SHEET
C-001



SOLACE APARTMENTS FILING NO. 2

A PORTION OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 SEST OF THE P.M.

EL PASO COUNTY, COLORADO CONSTRUCTION DOCUMENTS

STANDARD NOTES FOR EL PASO COUNTY GRADING AND EROSION CONTROL PLANS:

- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS TO REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SMWP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP HAS BEEN APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
- CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
- TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
- FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLAN DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
- ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
- EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE, UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
- COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUT SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK, OR STREAM.
- DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
- EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.

- TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ONSITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE OF PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ONSITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
- OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO CONSTRUCTION THE PERMITEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY KUMAR AND ASSOCIATES, INC., DATED 9/10/2020 AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WQCD - PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT

Revise. The soils report that was submitted was prepared by CTL Thompson.

STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.

- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DPW AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

K:\D05_LA\196140002 - Cimarron Hills\Phase 2\CADD\PlanSheets\CD\196140002 - CD_CV.dwg Zimmermann, Mitch 9/22/2022 10:22 AM

NO.	REVISION	BY	DATE	APPR

Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: MVZ
DRAWN BY: mvz/res
CHECKED BY: EJG
DATE: 09/19/2022

CIMARRON HILLS - PHASE 2
CONSTRUCTION DOCUMENTS
GENERAL NOTES

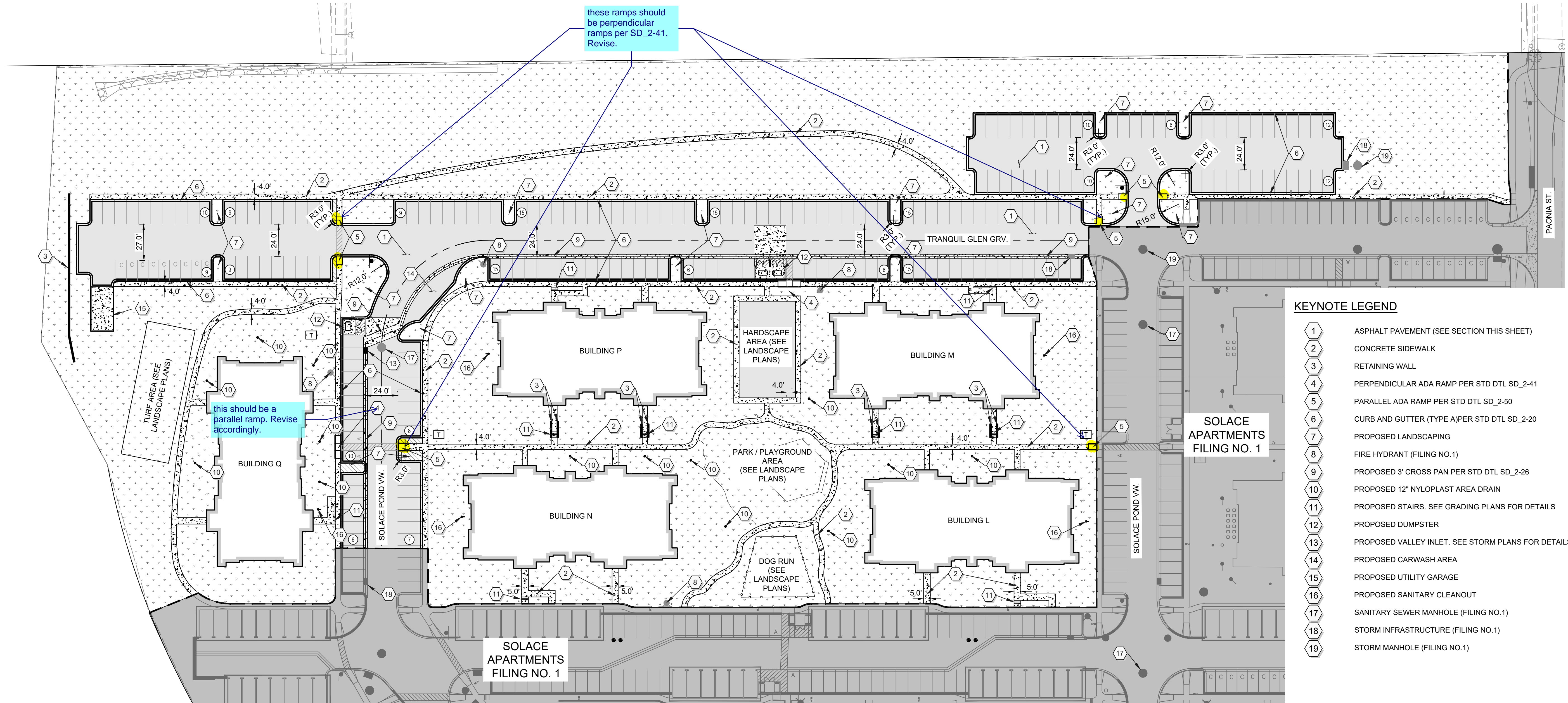
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Kimley»Horn
Kimley-Horn and Associates, Inc.

PROJECT NO.
096668009

SHEET
C-002



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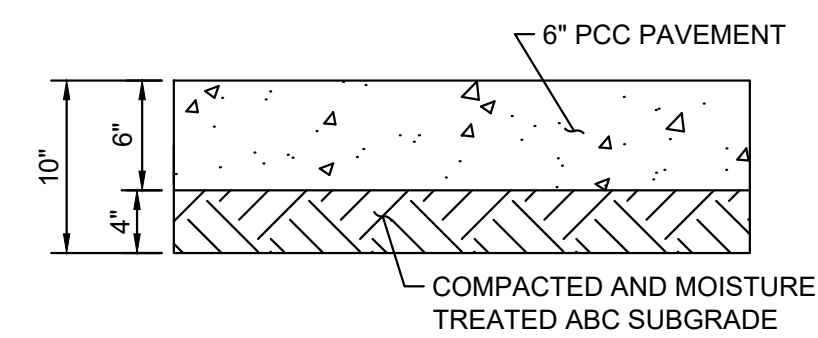


KEYNOTE LEGEND

- 1 ASPHALT PAVEMENT (SEE SECTION THIS SHEET)
- 2 CONCRETE SIDEWALK
- 3 RETAINING WALL
- 4 PERPENDICULAR ADA RAMP PER STD DTL SD_2-41
- 5 PARALLEL ADA RAMP PER STD DTL SD_2-50
- 6 CURB AND GUTTER (TYPE A) PER STD DTL SD_2-20
- 7 PROPOSED LANDSCAPING
- 8 FIRE HYDRANT (FILING NO.1)
- 9 PROPOSED 3" CROSS PAN PER STD DTL SD_2-26
- 10 PROPOSED 12" NYLOPLAST AREA DRAIN
- 11 PROPOSED STAIRS. SEE GRADING PLANS FOR DETAILS
- 12 PROPOSED DUMPSTER
- 13 PROPOSED VALLEY INLET. SEE STORM PLANS FOR DETAILS
- 14 PROPOSED CARWASH AREA
- 15 PROPOSED UTILITY GARAGE
- 16 PROPOSED SANITARY CLEANOUT
- 17 SANITARY SEWER MANHOLE (FILING NO.1)
- 18 STORM INFRASTRUCTURE (FILING NO.1)
- 19 STORM MANHOLE (FILING NO.1)

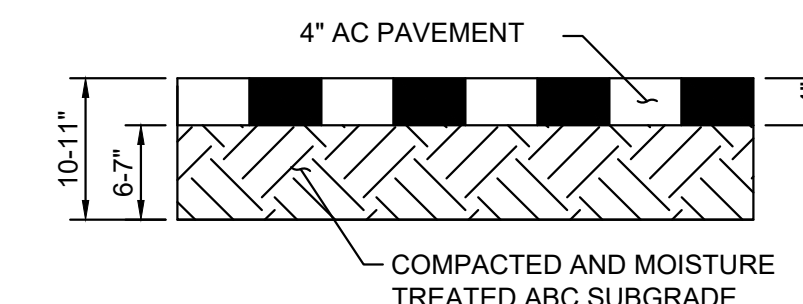
LEGEND

- PROPERTY LINE
- - - PHASING LINE
- STANDARD DUTY ASPHALT PAVING
- CONCRETE PAVING
- LANDSCAPE AREA
- PHASE ONE (FILING NO 1)
- ⊕ PARKING COUNT



NOTE: PAVEMENT CROSS SECTION IS PROVIDED FOR REFERENCE ONLY. CONTRACTOR TO REFER TO GEOTECHNICAL REPORT FOR PAVEMENT SECTIONS.

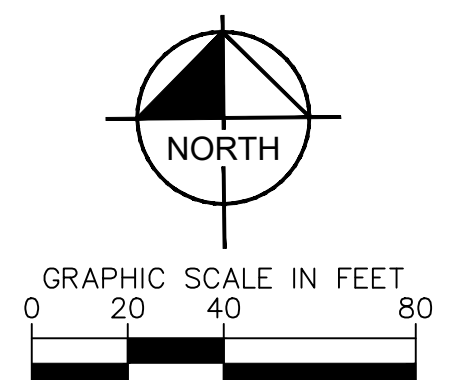
STANDARD DUTY CONCRETE
(SIDEWALKS AND DUMPSTERS)



NOTE: PAVEMENT CROSS SECTION IS PROVIDED FOR REFERENCE ONLY. CONTRACTOR TO REFER TO GEOTECHNICAL REPORT FOR PAVEMENT SECTIONS.

STANDARD DUTY ASPHALT
N.T.S.

THESE PLAN AND GENERAL NOTES REFER TO:
GEOTECHNICAL ENGINEERING REPORT
 FIRM: CL THOMPSON
 PROJECT #: CS19163-195
 DATE: DECEMBER 10, 2019
 INCLUDING ALL REVISIONS AND ADDENDA TO THIS REPORT THAT MAY HAVE BEEN RELEASED AFTER THE NOTED DATE.



Kimley»Horn
 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 2 North Nevada Avenue, Suite 300
 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: MVZ
 DRAWN BY: mvz/res
 CHECKED BY: EJJ
 DATE: 09/19/2022

CIMARRON HILLS - PHASE 2
 CONSTRUCTION DOCUMENTS
 OVERALL SITE PLAN

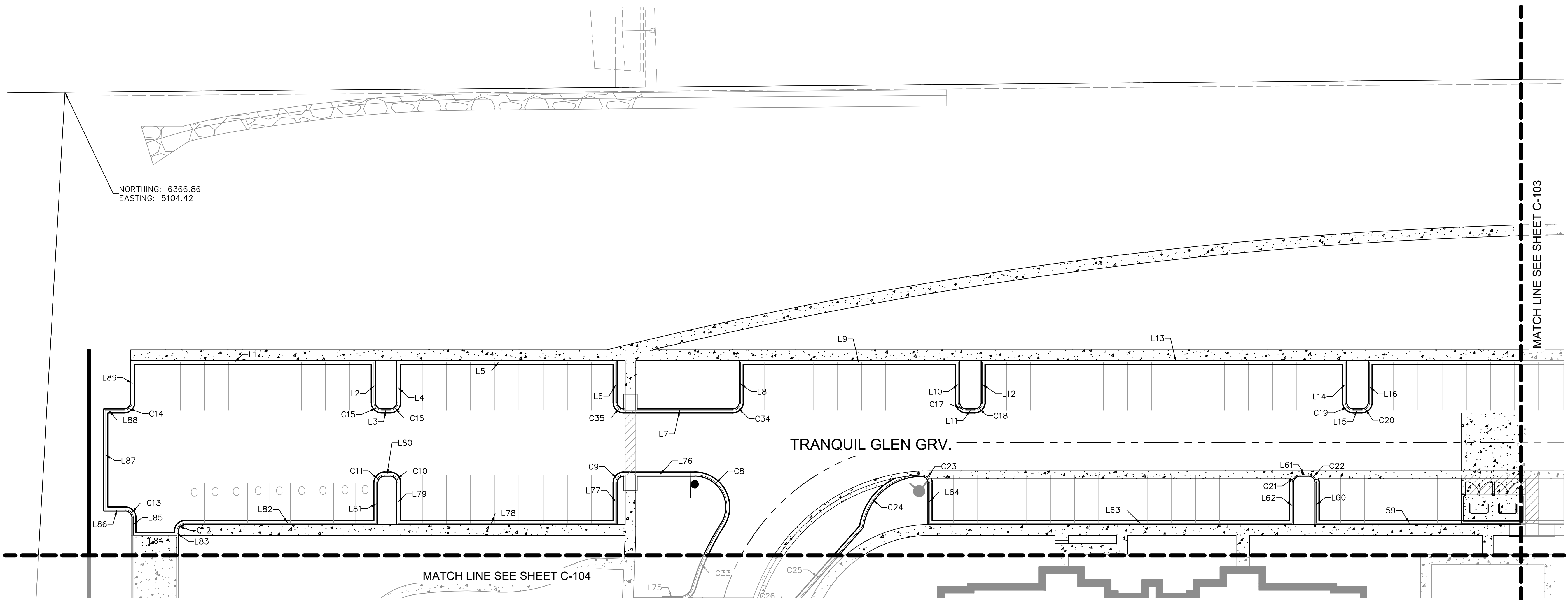
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 Kimley-Horn and Associates, Inc.

PROJECT NO.
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SHEET
C-101

NO.	REVISION	BY	DATE	APPR.

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LINE	LENGTH	BEARING
L1	90.00	S89°32'13.00"E
L2	15.00	S0°27'47.00"W
L3	3.00	S89°32'13.00"E
L4	15.00	N0°27'47.00"E
L5	81.00	S89°32'13.00"E
L6	15.00	S0°27'47.00"W
L7	40.42	S89°32'26.34"E
L8	15.02	N0°27'47.00"E

LINE	LENGTH	BEARING
L9	81.00	S89°32'13.00"E
L10	15.00	S0°27'47.00"W
L11	3.00	S89°32'13.00"E
L12	15.00	N0°27'47.00"E
L13	18.00	S0°27'47.00"W
L14	15.00	S0°27'47.00"W
L15	3.00	S89°32'13.00"E

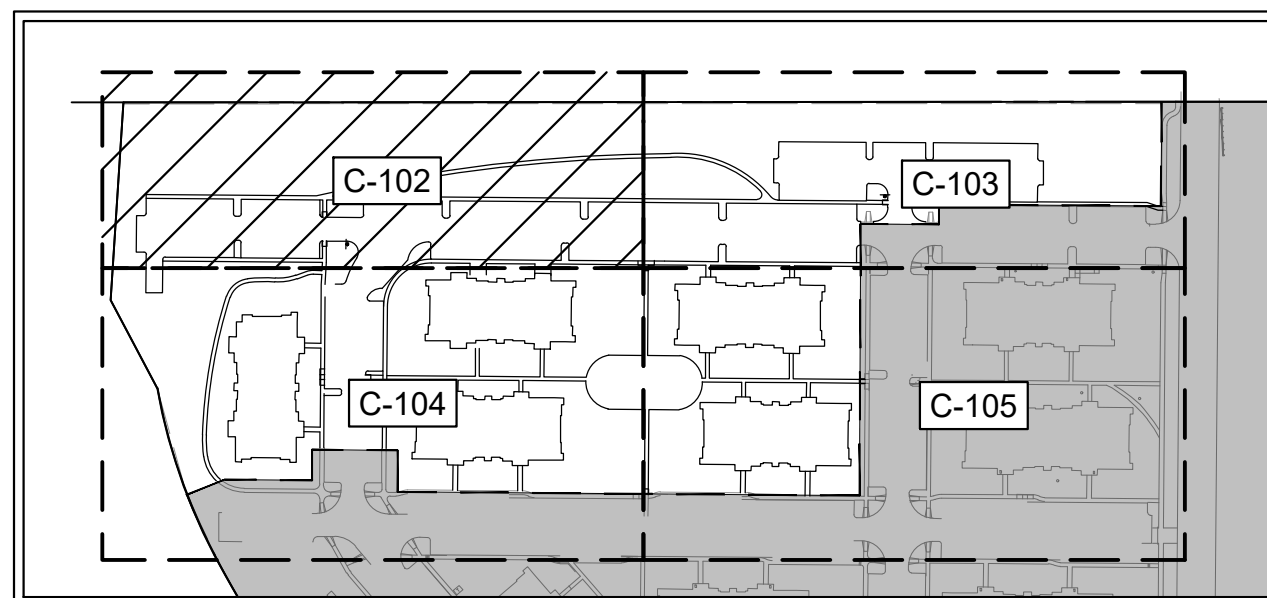
LINE	LENGTH	BEARING
L16	15.00	N0°27'47.00"E
L59	54.00	N89°32'13.00"W
L60	15.00	N0°27'47.00"E
L61	222.92	N89°32'13.00"W
L62	15.00	S0°27'47.00"W
L63	135.00	N89°32'13.04"W
L64	14.91	N0°27'47.00"E
L76	26.35	N89°33'39.60"W

LINE	LENGTH	BEARING
L77	15.00	S0°27'47.00"W
L78	81.00	N89°32'13.00"W
L79	15.00	N0°27'47.00"E
L80	2.00	N89°32'13.00"W
L81	15.00	S0°27'47.00"W
L82	71.25	N89°32'13.00"W
L83	1.50	S0°27'47.00"W
L84	16.25	N89°32'13.00"W

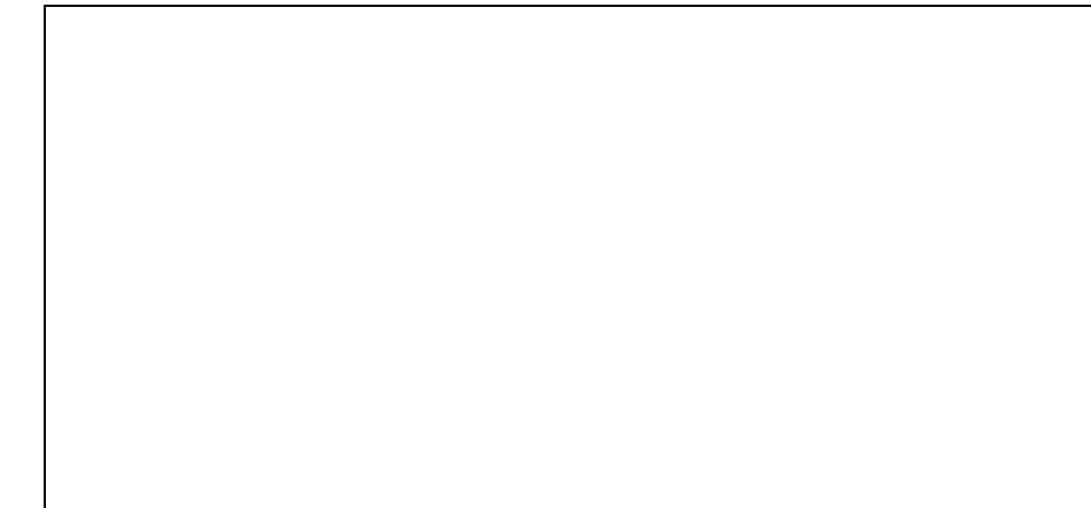
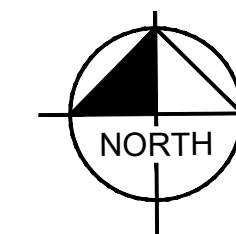
LINE	LENGTH	BEARING
L85	6.50	N0°27'47.00"E
L86	7.50	N89°32'13.00"W
L87	37.00	N0°27'47.00"E
L88	7.00	S89°32'13.00"E
L89	15.00	N0°27'47.00"E

CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C8	12.00'	25.68'	N28°13'39"W	21.05'	122°37'07"	21.93'
C9	3.00'	4.71'	S45°27'04"W	4.24'	89°58'33"	3.00'
C10	3.00'	4.71'	N44°32'13"W	4.24'	90°00'00"	3.00'
C11	3.00'	4.71'	S45°27'47"W	4.24'	90°00'00"	3.00'
C12	3.00'	4.71'	S45°27'47"W	4.24'	90°00'00"	3.00'
C13	3.00'	4.71'	N44°32'13"W	4.24'	90°00'00"	3.00'
C14	3.00'	4.71'	N45°27'47"E	4.24'	90°00'00"	3.00'
C15	3.00'	4.71'	S44°32'13"E	4.24'	90°00'00"	3.00'
C16	3.00'	4.71'	N45°27'47"E	4.24'	90°00'00"	3.00'
C17	3.00'	4.71'	S44°32'13"E	4.24'	90°00'00"	3.00'

CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C18	3.00'	4.71'	N45°27'47"E	4.24'	90°00'00"	3.00'
C19	3.00'	4.71'	S44°32'13"E	4.24'	90°00'00"	3.00'
C20	3.00'	4.71'	N45°27'47"E	4.24'	90°00'00"	3.00'
C21	3.00'	4.71'	S45°27'47"W	4.24'	90°00'00"	3.00'
C22	3.00'	4.71'	N44°32'13"W	4.24'	90°00'00"	3.00'
C23	3.00'	4.74'	N44°50'44"W	4.27'	90°37'02"	3.03'
C24	22.41'	31.83'	S49°10'11"W	29.22'	81°21'08"	19.26'



KEY MAP
NTS



Kimley»Horn

DESIGNED BY: MVZ
DRAWN BY: mvz/res
CHECKED BY: EJJ
DATE: 09/19/2022

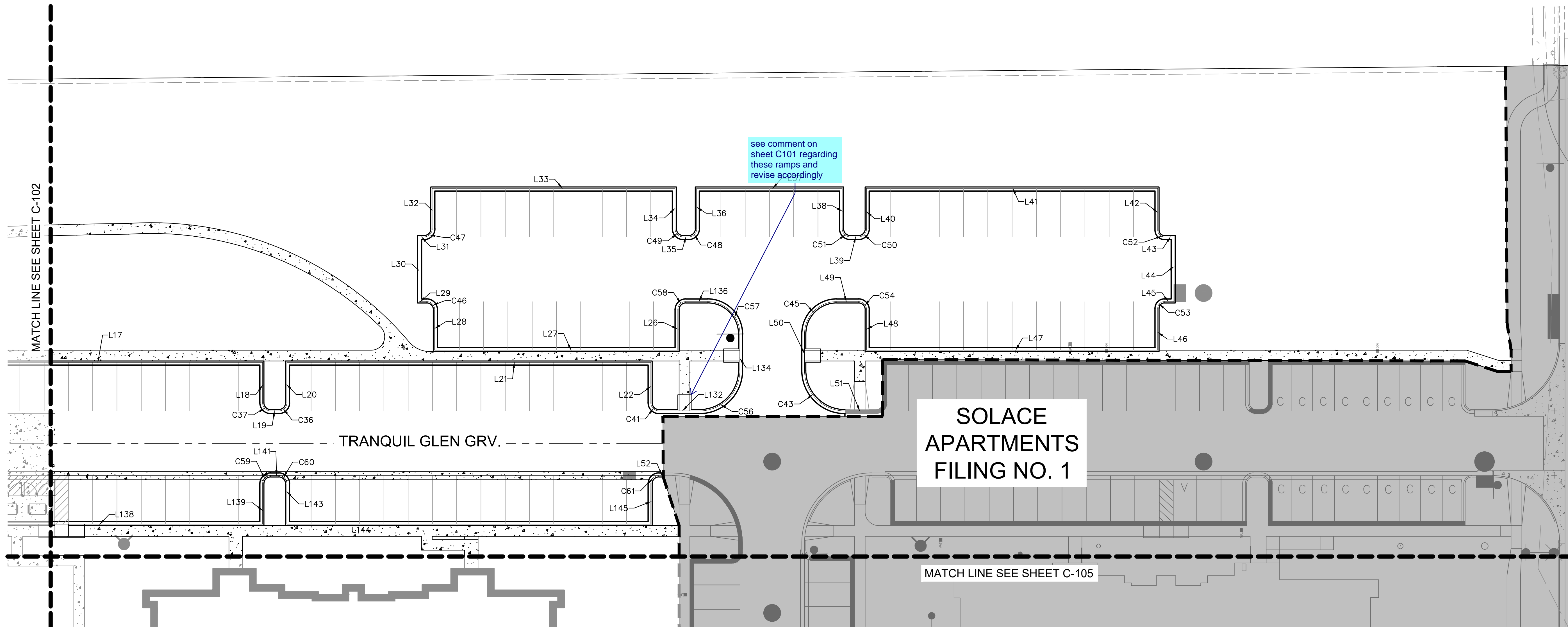
CIMARRON HILLS - PHASE 2
CONSTRUCTION DOCUMENTS
HORIZONTAL CONTROL PLAN

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Kimley-Horn and Associates, Inc.

PROJECT NO.
096668009
SHEET
C-102

NO.	REVISION	BY	DATE	APPR.

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**SOLACE APARTMENTS
FILING NO. 1**

LINE	LENGTH	BEARING
L17	135.00	S89°32'13.00"E
L18	15.00	S0°27'47.00"W
L19	3.00	S89°32'13.00"E
L20	15.00	N0°27'47.00"E
L21	135.00	S89°32'13.00"E
L22	15.00	S0°27'47.00"W
L26	15.00	S0°27'47.00"W
L27	90.17	N89°32'13.00"W
L28	15.00	N0°27'47.00"E

LINE	LENGTH	BEARING
L29	2.83	N89°32'13.00"W
L30	24.00	N0°27'46.93"E
L31	1.92	S89°32'13.07"E
L32	15.00	S0°27'46.93"W
L33	90.08	N89°32'13.07"W
L34	15.00	N0°27'47.00"E
L35	2.00	N89°32'13.00"W
L36	15.00	S0°27'47.00"W
L37	54.00	N89°32'13.07"W

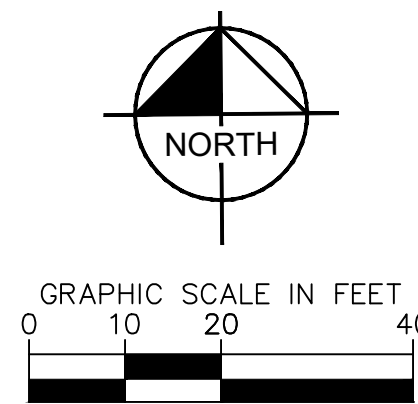
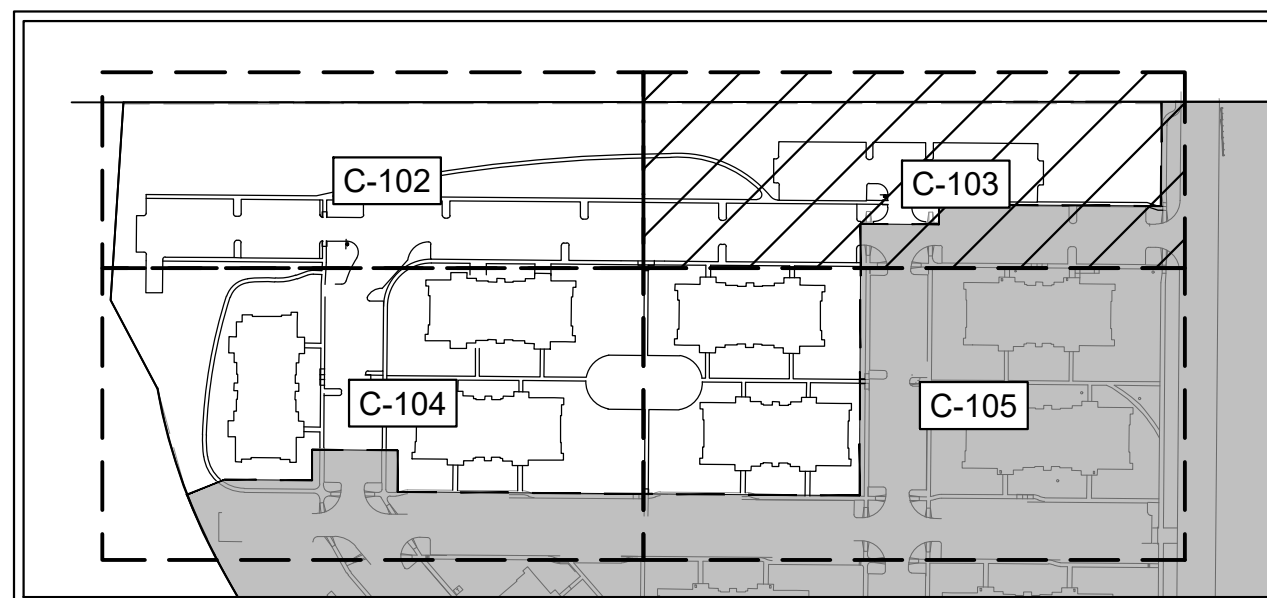
LINE	LENGTH	BEARING
L38	15.00	N0°27'47.00"E
L39	3.00	N89°32'13.00"W
L40	15.00	S0°27'46.99"W
L41	108.00	N89°32'13.00"W
L42	15.50	N0°27'47.00"E
L43	3.50	N89°32'13.00"W
L44	24.00	N0°27'47.00"E
L45	3.50	S89°32'13.00"E
L46	15.50	N0°27'42.61"E

LINE	LENGTH	BEARING
L47	108.00	S89°32'17.39"E
L48	15.00	S0°27'46.25"W
L49	8.00	S89°32'13.00"E
L50	10.00	N0°27'47.00"E
L51	11.50	S89°32'13.00"W
L52	1.60	N89°32'13.00"W
L132	15.00	S89°32'13.00"E
L134	13.49	N0°29'47.56"E
L136	8.01	N89°32'13.00"W

LINE	LENGTH	BEARING
L138	77.00	N89°32'13.00"W
L139	15.00	S0°27'47.00"W
L141	3.00	N89°32'13.00"W
L143	15.00	N0°27'47.00"E
L144	135.00	N89°32'13.00"W
L145	15.00	S0°27'46.93"W

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C36	3.00'	4.71'	N45°27'47"E	4.24'	90°00'00"	3.00'
C37	3.00'	2.36'	S22°02'13"E	2.30'	45°00'00"	1.24'
C41	3.00'	4.71'	S44°32'13"E	4.24'	90°00'00"	3.00'
C43	15.00'	23.56'	N44°32'13"W	21.21'	90°00'00"	15.00'
C45	12.00'	18.85'	N45°27'47"E	16.97'	90°00'00"	12.00'
C46	3.00'	4.71'	N44°32'13"W	4.24'	90°00'00"	3.00'
C47	3.00'	4.71'	S45°27'47"W	4.24'	90°00'00"	3.00'
C48	3.00'	4.71'	S45°27'47"W	4.24'	90°00'00"	3.00'
C49	3.00'	4.71'	N44°32'13"W	4.24'	90°00'00"	3.00'
C50	3.00'	4.71'	S45°27'47"W	4.24'	90°00'00"	3.00'

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C51	3.00'	4.71'	N44°32'13"W	4.24'	90°00'00"	3.00'
C52	2.50'	3.93'	N44°32'13"W	3.54'	90°00'00"	2.50'
C53	2.50'	3.93'	N45°27'47"E	3.54'	90°00'00"	2.50'
C54	3.00'	4.71'	S44°32'13"E	4.24'	90°00'00"	3.00'
C56	15.00'	23.55'	N45°28'47"E	21.21'	89°57'59"	14.99'
C57	12.00'	18.86'	N44°31'13"W	16.98'	90°02'01"	12.01'
C58	3.00'	4.71'	S45°27'47"W	4.24'	90°00'00"	3.00'
C59	3.00'	4.71'	S45°27'47"W	4.24'	90°00'00"	3.00'
C60	3.00'	4.71'	N44°32'13"W	4.24'	90°00'00"	3.00'
C61	3.00'	4.71'	S45°27'47"W	4.24'	90°00'00"	3.00'



NO.	REVISION	BY	DATE	APPR.

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 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: MVZ
 DRAWN BY: mvz/res
 CHECKED BY: EJJ
 DATE: 09/19/2022

CIMARRON HILLS - PHASE 2
 CONSTRUCTION DOCUMENTS
 HORIZONTAL CONTROL PLAN

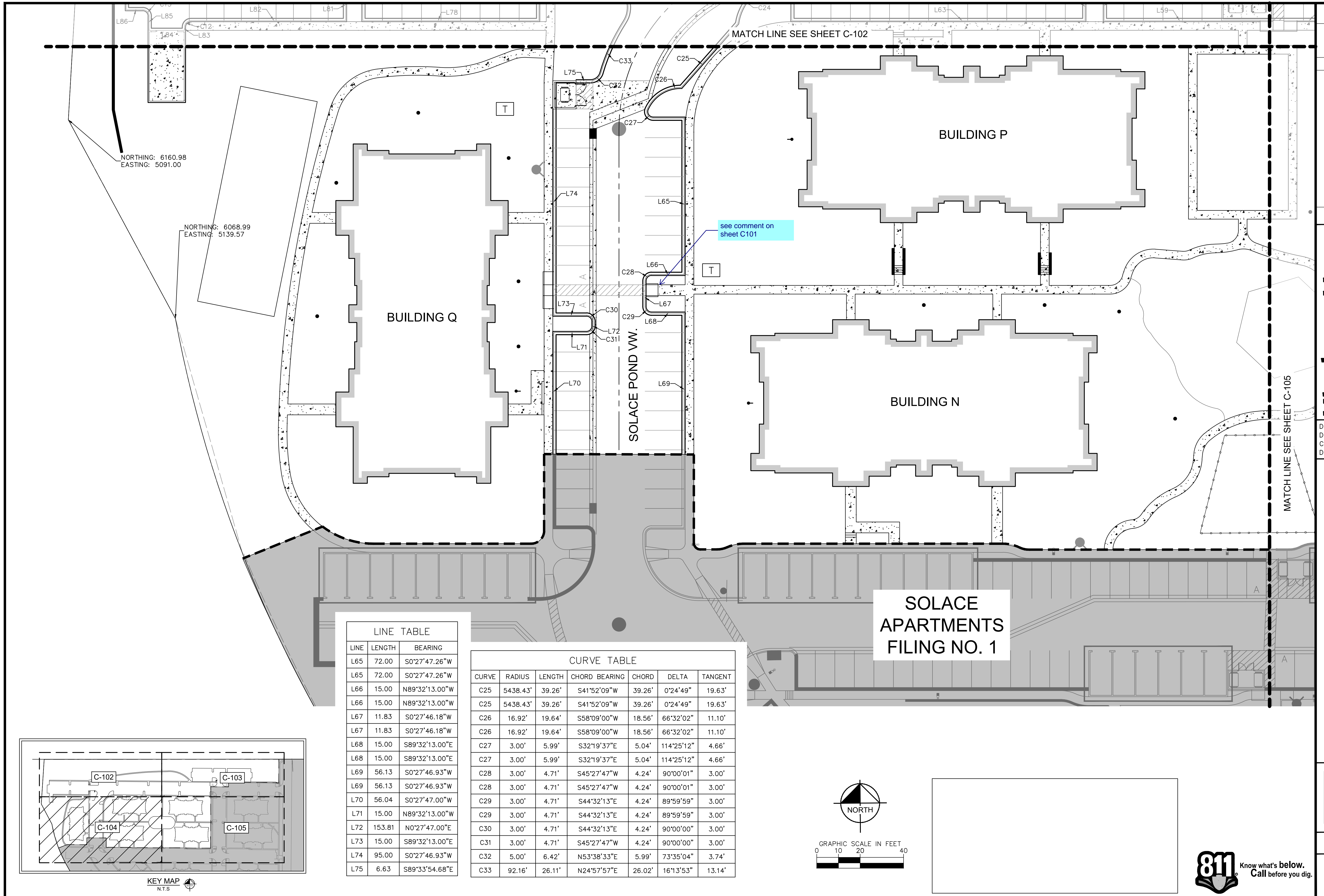
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PROJECT NO.
 096668009

SHEET
 C-103



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EASTING: 5091.00

NORTHING: 6068.99
EASTING: 5139.57

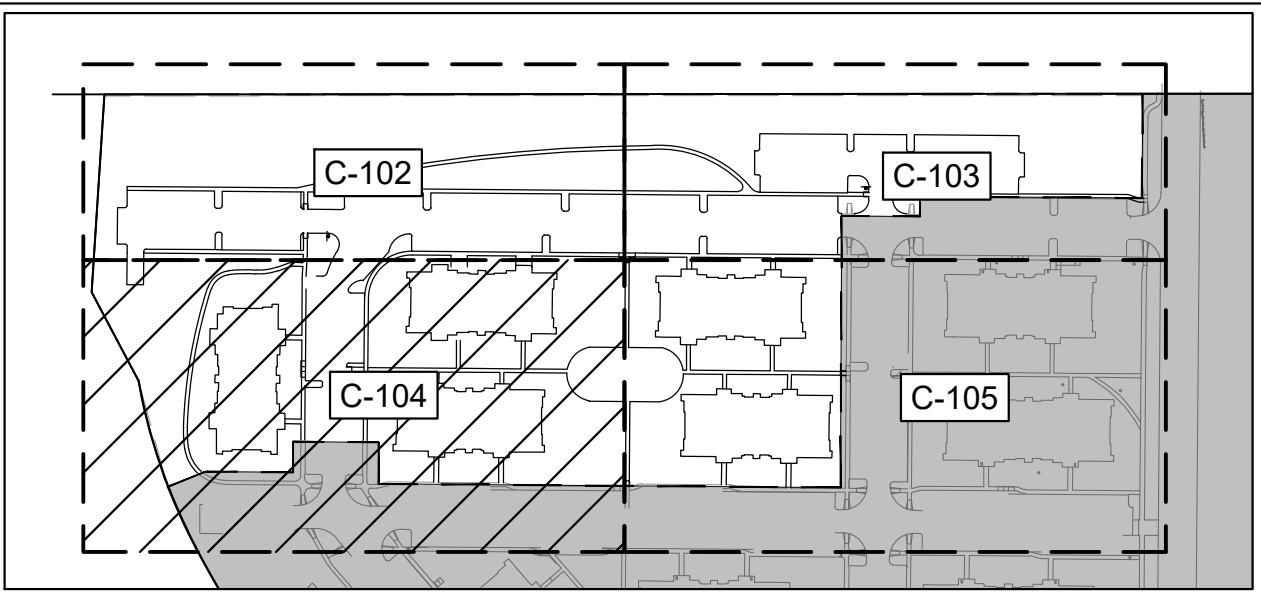
MATCH LINE SEE SHEET C-102

MATCH LINE SEE SHEET C-105

see comment on sheet C101

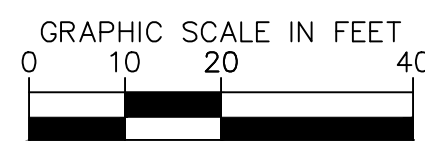
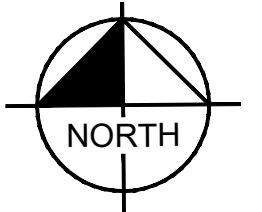
LINE TABLE		
LINE	LENGTH	BEARING
L65	72.00	S0°27'47.26"W
L65	72.00	S0°27'47.26"W
L66	15.00	N89°32'13.00"W
L66	15.00	N89°32'13.00"W
L67	11.83	S0°27'46.18"W
L67	11.83	S0°27'46.18"W
L68	15.00	S89°32'13.00"E
L68	15.00	S89°32'13.00"E
L69	56.13	S0°27'46.93"W
L69	56.13	S0°27'46.93"W
L70	56.04	S0°27'47.00"W
L71	15.00	N89°32'13.00"W
L72	153.81	N0°27'47.00"E
L73	15.00	S89°32'13.00"E
L74	95.00	S0°27'46.93"W
L75	6.63	S89°33'54.68"E

CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C25	5438.43'	39.26'	S41°52'09"W	39.26'	0°24'49"	19.63'
C25	5438.43'	39.26'	S41°52'09"W	39.26'	0°24'49"	19.63'
C26	16.92'	19.64'	S58°09'00"W	18.56'	66°32'02"	11.10'
C26	16.92'	19.64'	S58°09'00"W	18.56'	66°32'02"	11.10'
C27	3.00'	5.99'	S32°19'37"E	5.04'	114°25'12"	4.66'
C27	3.00'	5.99'	S32°19'37"E	5.04'	114°25'12"	4.66'
C28	3.00'	4.71'	S45°27'47"W	4.24'	90°00'01"	3.00'
C28	3.00'	4.71'	S45°27'47"W	4.24'	90°00'01"	3.00'
C29	3.00'	4.71'	S44°32'13"E	4.24'	89°59'59"	3.00'
C29	3.00'	4.71'	S44°32'13"E	4.24'	89°59'59"	3.00'
C30	3.00'	4.71'	S44°32'13"E	4.24'	90°00'00"	3.00'
C31	3.00'	4.71'	S45°27'47"W	4.24'	90°00'00"	3.00'
C32	5.00'	6.42'	N53°38'33"E	5.99'	73°35'04"	3.74'
C33	92.16'	26.11'	N24°57'57"E	26.02'	16°13'53"	13.14'



KEY MAP
NTS

**SOLACE APARTMENTS
FILING NO. 1**



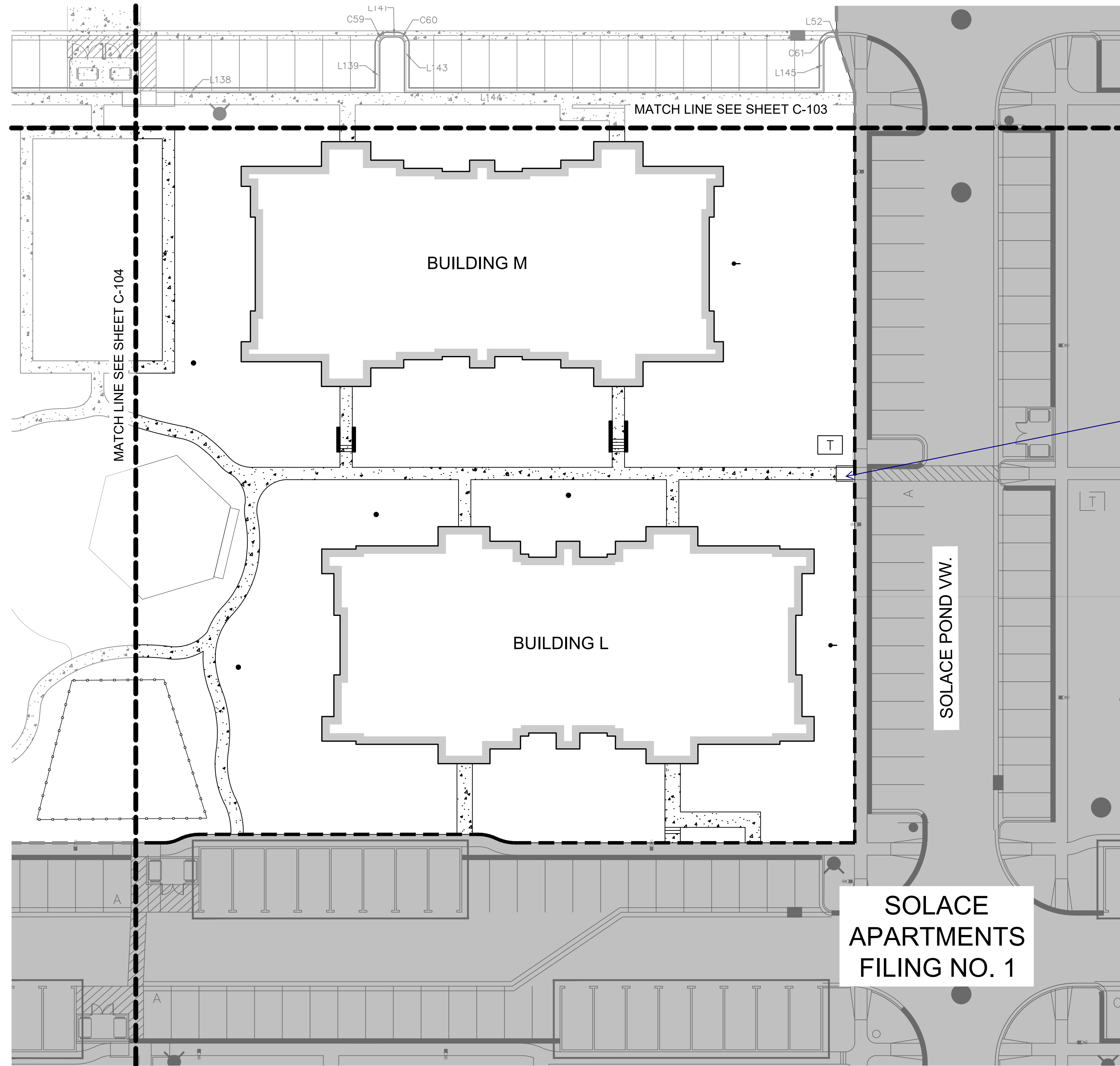
Kimley»Horn
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2 North Nevada Avenue, Suite 300
Colorado Springs, Colorado 80903 (719) 453-0180

CIMARRON HILLS - PHASE 2
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HORIZONTAL CONTROL PLAN

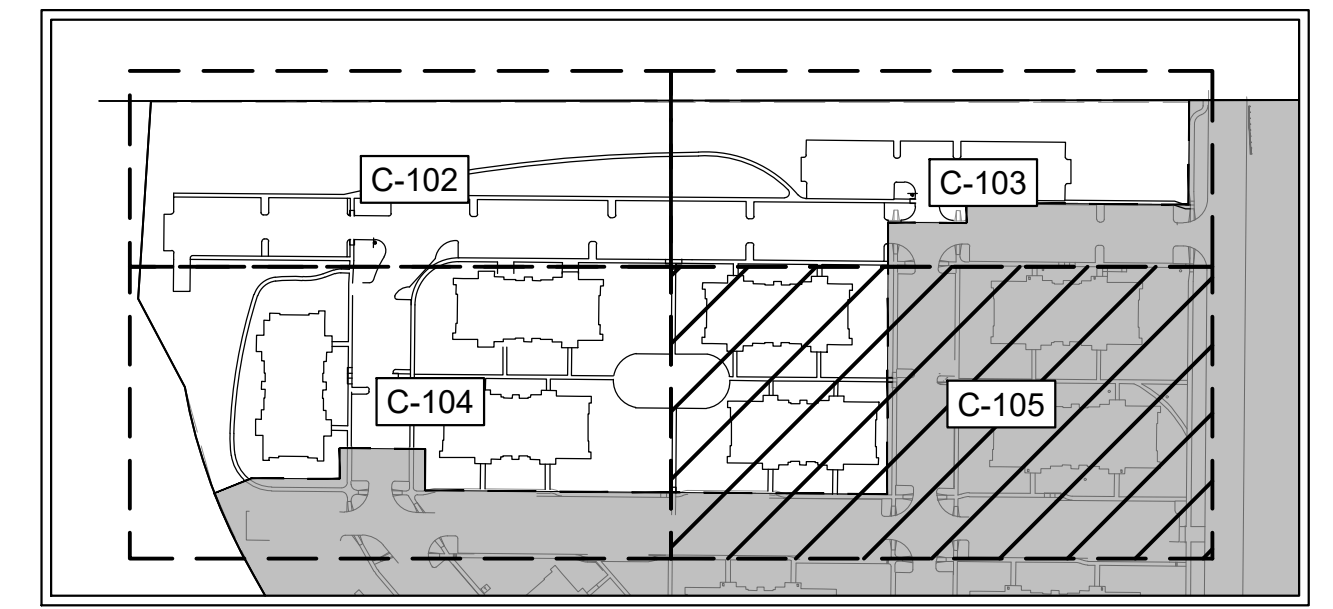
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PROJECT NO.
096668009
SHEET
C-104

NO.	REVISION	BY	DATE	APPR.

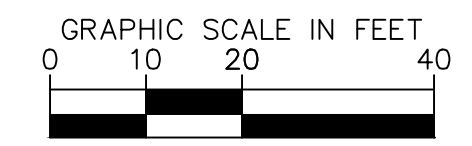
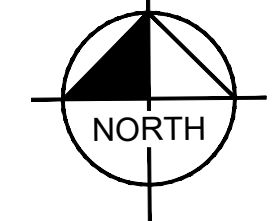
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see comment on sheet C101



KEY MAP
N.T.S.



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Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: MVZ
DRAWN BY: mvz/res
CHECKED BY: EJJ
DATE: 09/19/2022

CIMARRON HILLS - PHASE 2
CONSTRUCTION DOCUMENTS
HORIZONTAL CONTROL PLAN

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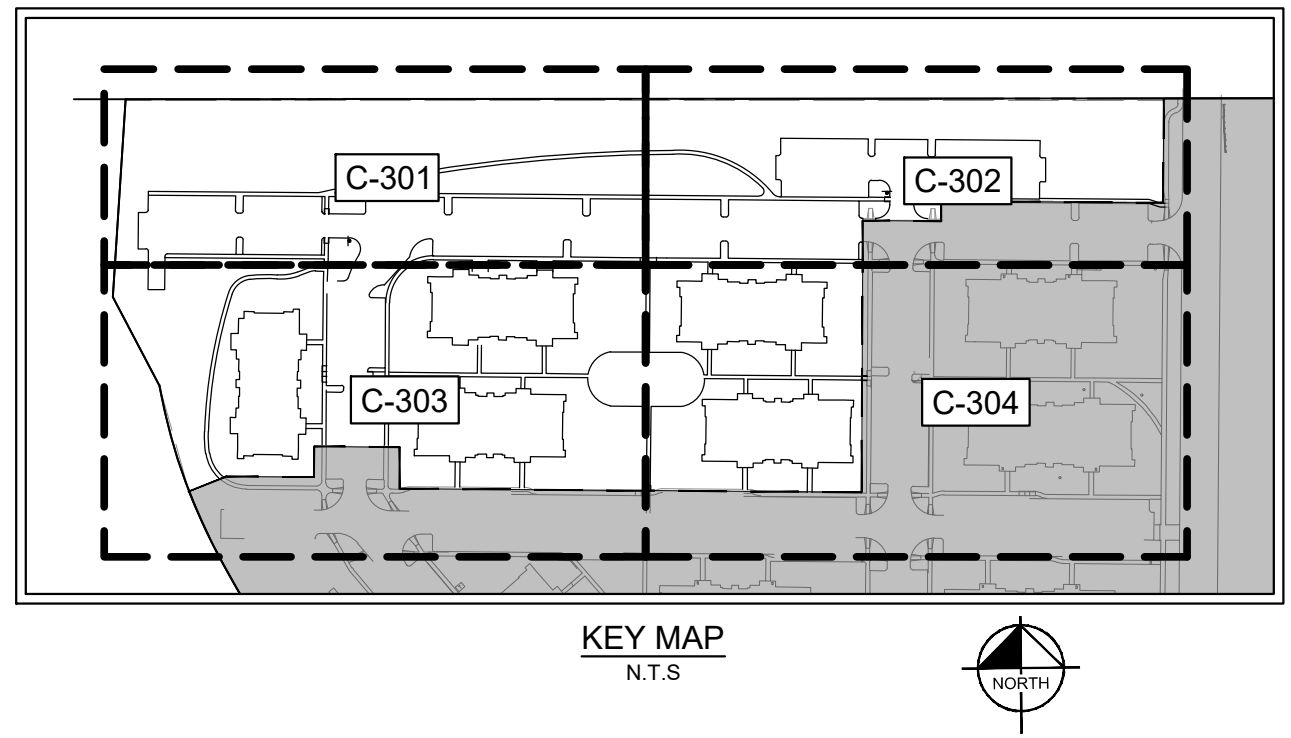
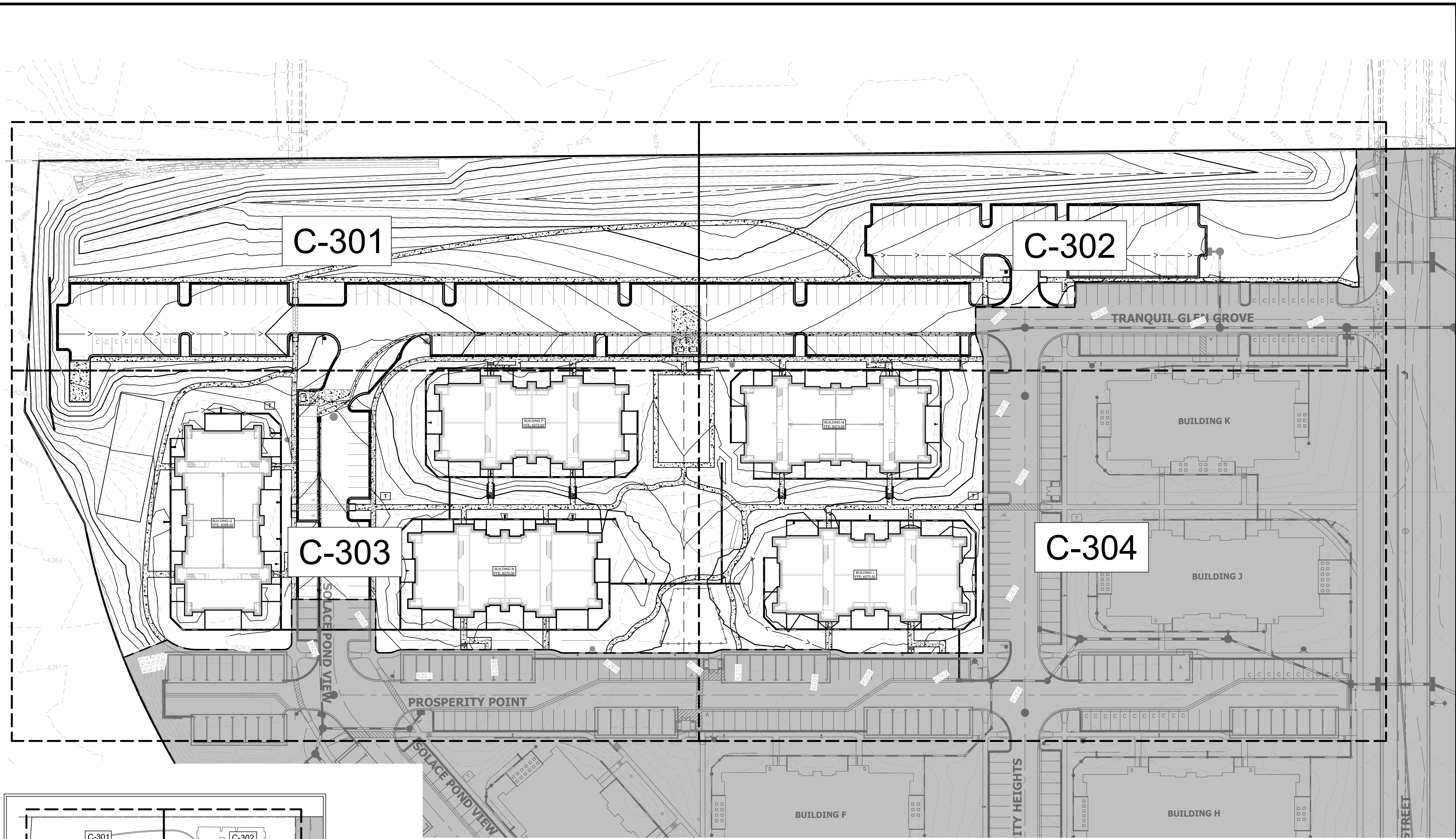
PROJECT NO.
096668009

SHEET
C-105



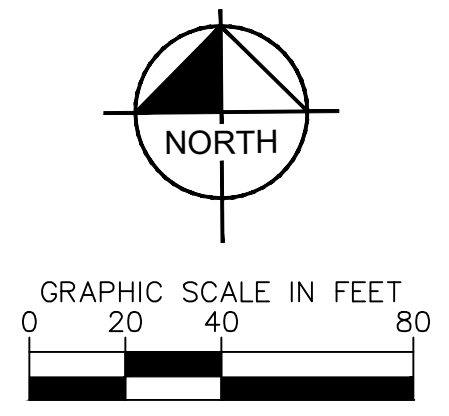
NO.	REVISION	BY	DATE	APPR

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LEGEND

---	PROPERTY LINE	FG	FINISHED GRADE
- - - -	PHASE LINE	ME	MATCH EXISTING
—AR—	ACCESSIBLE ROUTE	FL	FLOW LINE
- - - -	GRADE BREAK	TOW	TOP OF WALL
—6000—	PROPOSED MAJOR CONTOUR	BOW	BOTTOM OF WALL
—6001—	PROPOSED MINOR CONTOUR	SW	SIDEWALK
—6000—	EXISTING MAJOR CONTOUR	HP	HIGH POINT
—6001—	EXISTING MINOR CONTOUR		

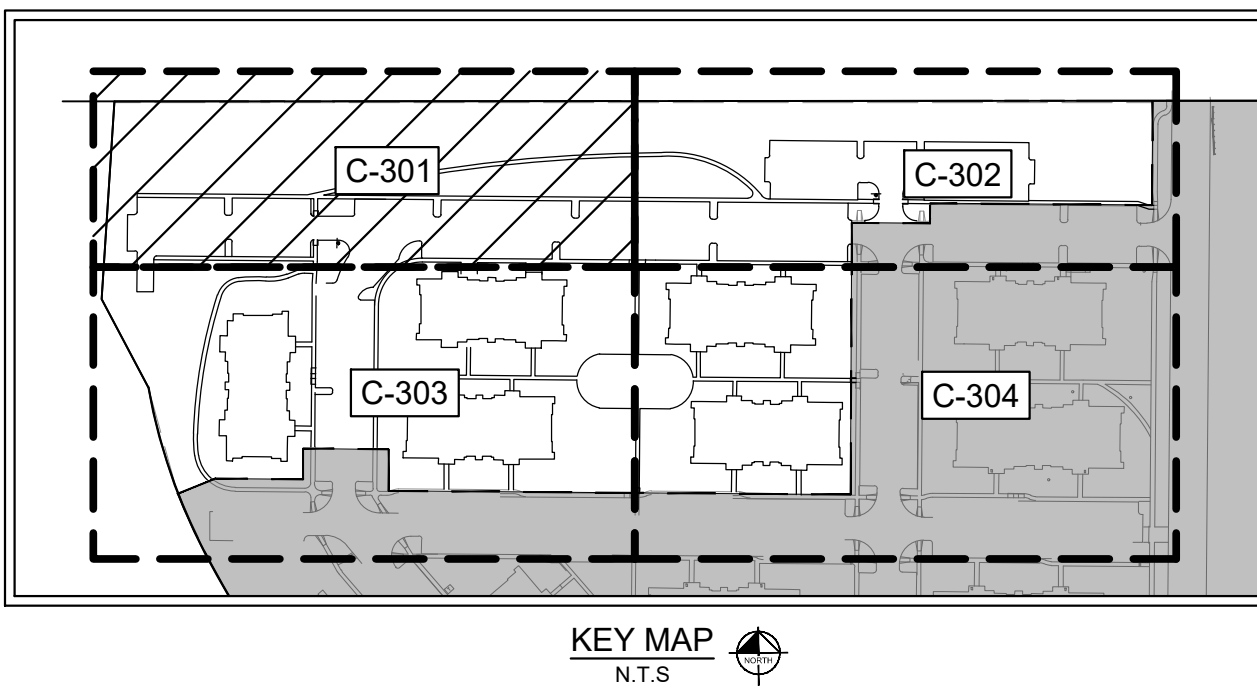
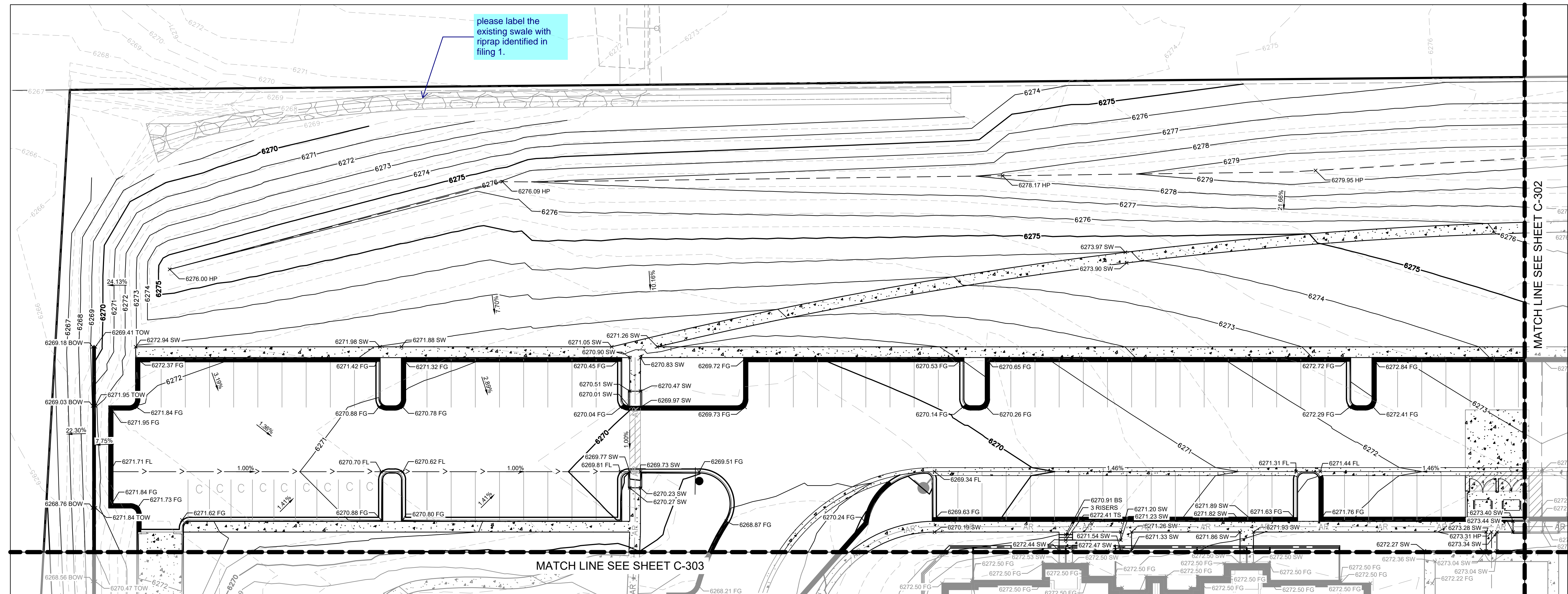


- GENERAL NOTES**
- ALL SIDEWALKS TO HAVE MAX 2% CROSS SLOPE.
 - BUILDINGS TO HAVE 6" OF EXPOSED BEAM AROUND PERIMETER. SIDEWALK CONNECTIONS TO THE BUILDING ARE TO BE 4.5' BELOW FINISH FLOOR ELEVATION. PATIOS AT THE BUILDING CORNERS ARE TO BE AT FINISH FLOOR ELEVATION.



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CIMARRON HILLS - PHASE 2 CONSTRUCTION DOCUMENTS OVERALL GRADING PLAN	DESIGNED BY: MVZ DRAWN BY: MVZ/RES CHECKED BY: E/JG DATE: 09/19/2022
811 Know what's below. Call before you dig.	PROJECT NO. 096668009 SHEET C-300
PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION 	NO. _____ BY _____ DATE _____ REVISION _____

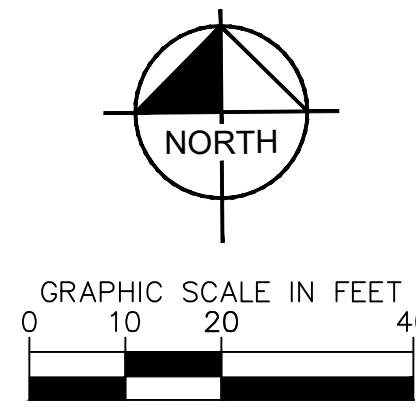
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LEGEND

---	PROPERTY LINE
- - - -	PHASE LINE
AR	ACCESSIBLE ROUTE
---	GRADE BREAK
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
> > >	SWALE

TC	TOP OF CURB
TG	TOP OF GRATE
FG	FINISHED GRADE
ME	MATCH EXISTING
FL	FLOW LINE
TOW	TOP OF WALL
BOW	BOTTOM OF WALL
SW	SIDEWALK
HP	HIGH POINT



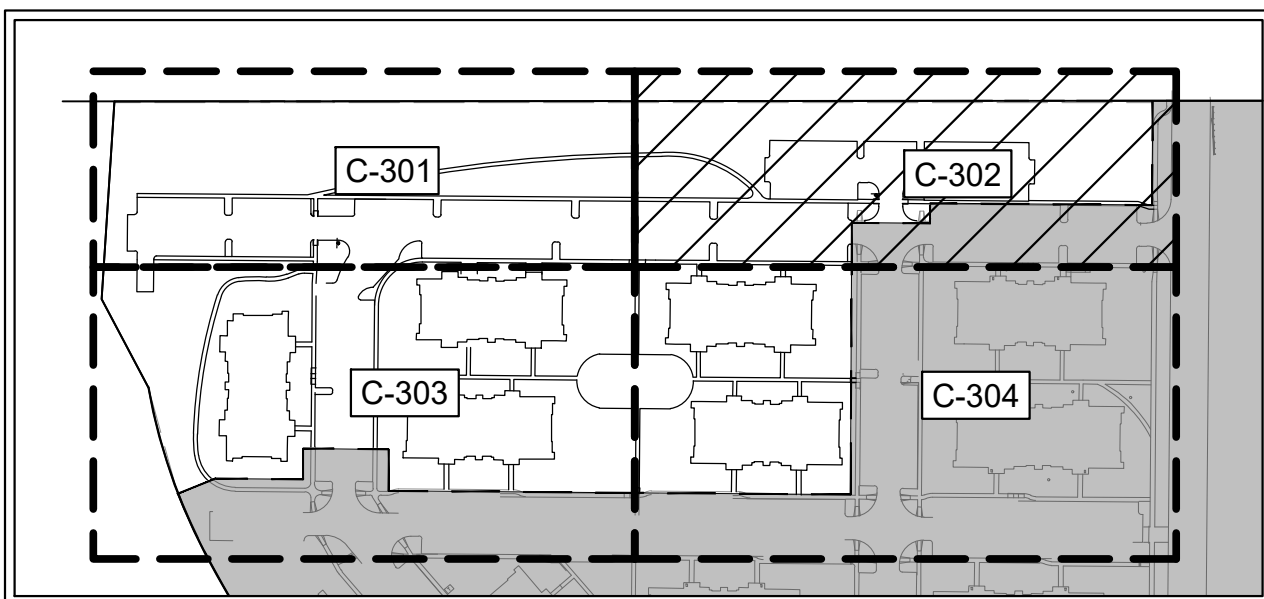
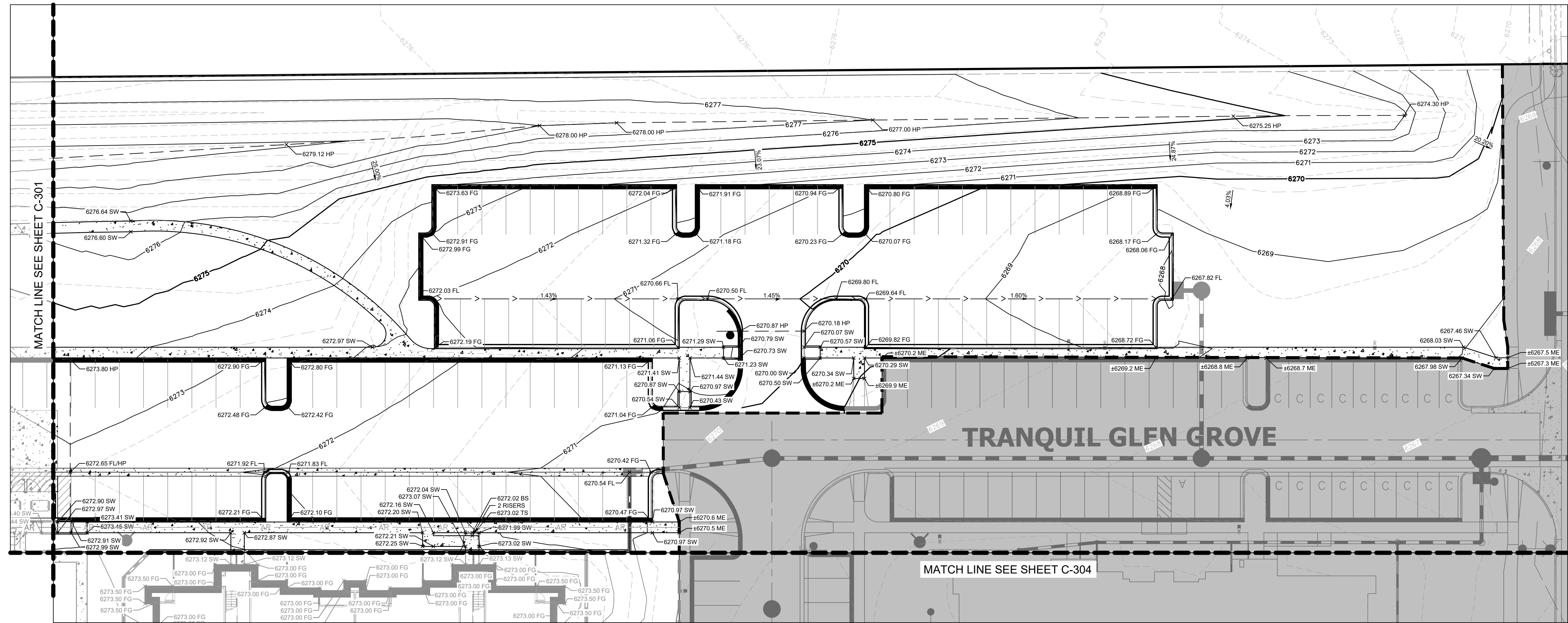
GENERAL NOTES

- ALL SIDEWALKS TO HAVE MAX 2% CROSS SLOPE.
- BUILDINGS TO HAVE 6" OF EXPOSED BEAM AROUND PERIMETER. SIDEWALK CONNECTIONS TO THE BUILDING ARE TO BE 4.5' BELOW FINISH FLOOR ELEVATION. PATIOS AT THE BUILDING CORNERS ARE TO BE AT FINISH FLOOR ELEVATION.



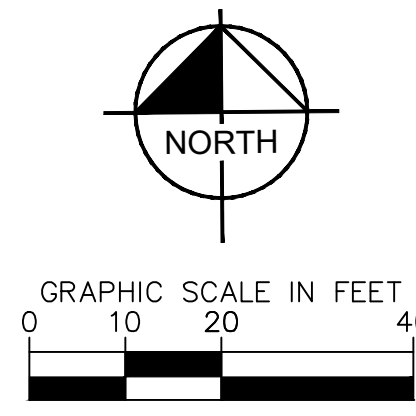
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NO.	REVISION	BY	DATE	APPR							
<p>CIMARRON HILLS - PHASE 2 CONSTRUCTION DOCUMENTS DETAILED GRADING PLAN</p>											
<p>DESIGNED BY: MVZ DRAWN BY: MVZ/RES CHECKED BY: E/JG DATE: 09/19/2022</p>											
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<p>PROJECT NO. 09668009</p>											
<p>SHEET C-301</p>											

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LEGEND

---	PROPERTY LINE	FG	FINISHED GRADE
- - - -	PHASE LINE	ME	MATCH EXISTING
AR	ACCESSIBLE ROUTE	FL	FLOW LINE
---	GRADE BREAK	TOW	TOP OF WALL
---	PROPOSED MAJOR CONTOUR	BOW	BOTTOM OF WALL
---	PROPOSED MINOR CONTOUR	SW	SIDEWALK
---	EXISTING MAJOR CONTOUR	HP	HIGH POINT
---	EXISTING MINOR CONTOUR		



GENERAL NOTES

1. ALL SIDEWALKS TO HAVE MAX 2% CROSS SLOPE.
2. BUILDINGS TO HAVE 6" OF EXPOSED BEAM AROUND PERIMETER. SIDEWALK CONNECTIONS TO THE BUILDING ARE TO BE 4.5" BELOW FINISH FLOOR ELEVATION. PATIOS AT THE BUILDING CORNERS ARE TO BE AT FINISH FLOOR ELEVATION.



NO.	REVISION	BY	DATE	APPR

Kimley»Horn
 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 2 North Nevada Avenue, Suite 300
 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: MVZ
 DRAWN BY: MVZ/RES
 CHECKED BY: EJJ
 DATE: 09/19/2022

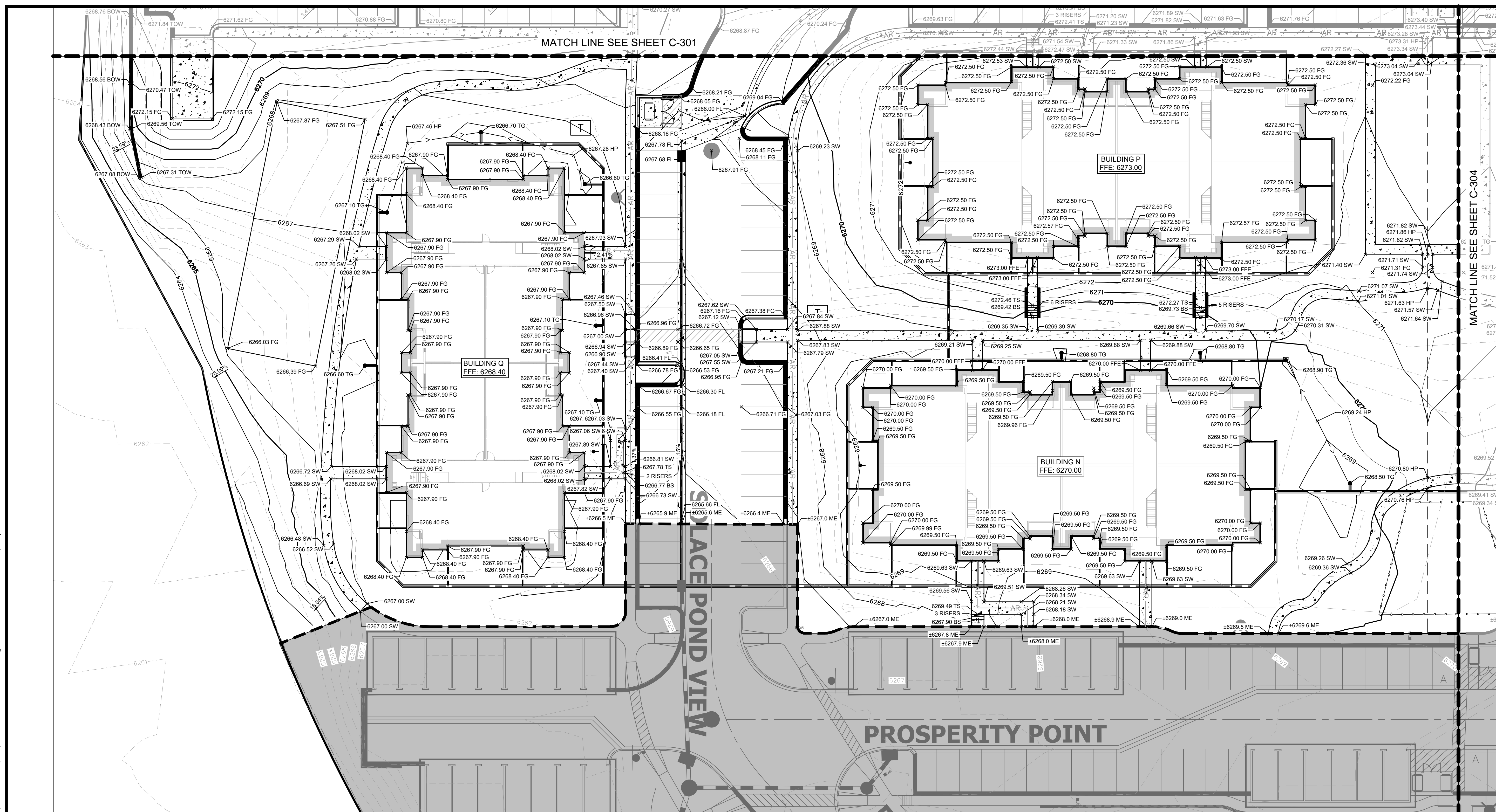
CIMARRON HILLS - PHASE 2
 CONSTRUCTION DOCUMENTS
 DETAILED GRADING PLAN

PRELIMINARY
 FOR REVIEW ONLY
 NOT FOR CONSTRUCTION

 Kimley-Horn and Associates, Inc.

PROJECT NO.
096668009
 SHEET
C-302

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MATCH LINE SEE SHEET C-301

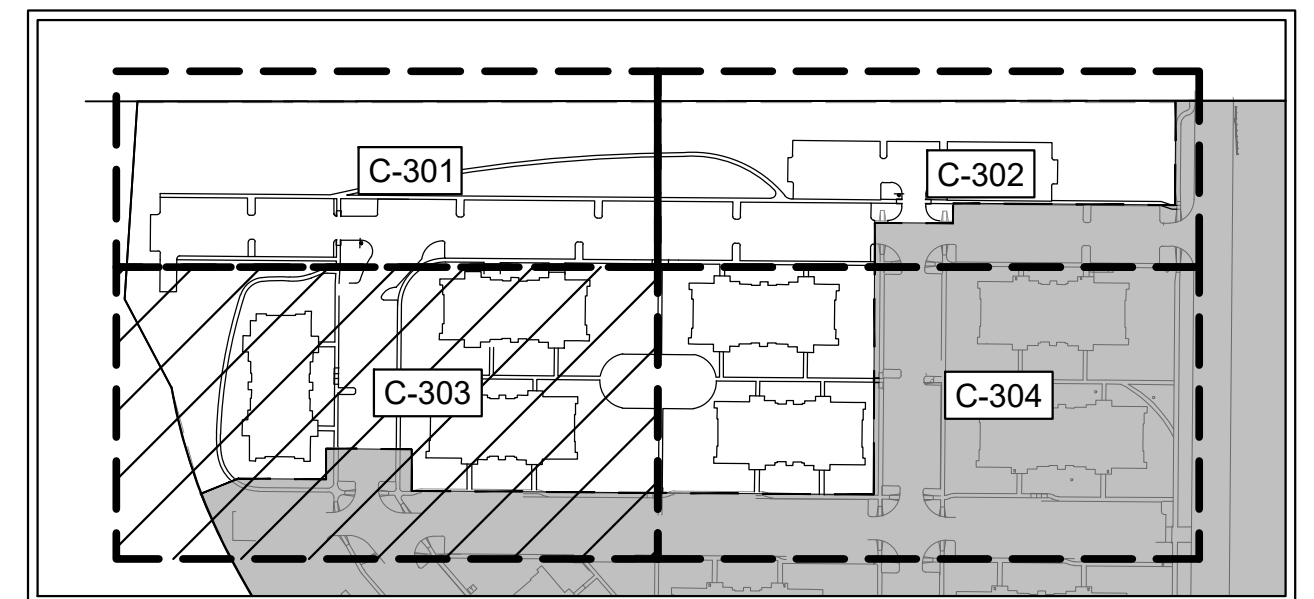
MATCH LINE SEE SHEET C-304

Kimley»Horn
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 2 North Nevada Avenue, Suite 300
 Colorado Springs, Colorado 80903 (719) 453-0180

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CIMARRON HILLS - PHASE 2
 CONSTRUCTION DOCUMENTS
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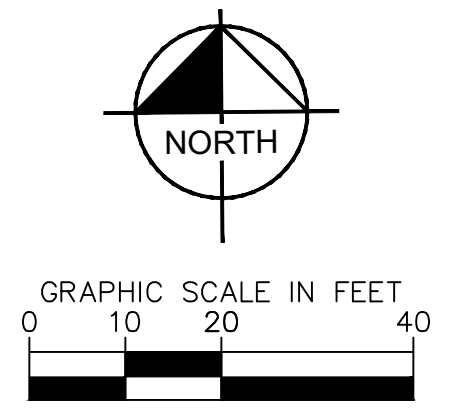
NO.	REVISION	BY	DATE



KEY MAP
N.T.S.

LEGEND

---	PROPERTY LINE	FG	FINISHED GRADE
---	PHASE LINE	ME	MATCH EXISTING
---	ACCESSIBLE ROUTE	FL	FLOW LINE
---	GRADE BREAK	TOW	TOP OF WALL
---	PROPOSED MAJOR CONTOUR	BOW	BOTTOM OF WALL
---	PROPOSED MINOR CONTOUR	SW	SIDEWALK
---	EXISTING MAJOR CONTOUR	HP	HIGH POINT
---	EXISTING MINOR CONTOUR		



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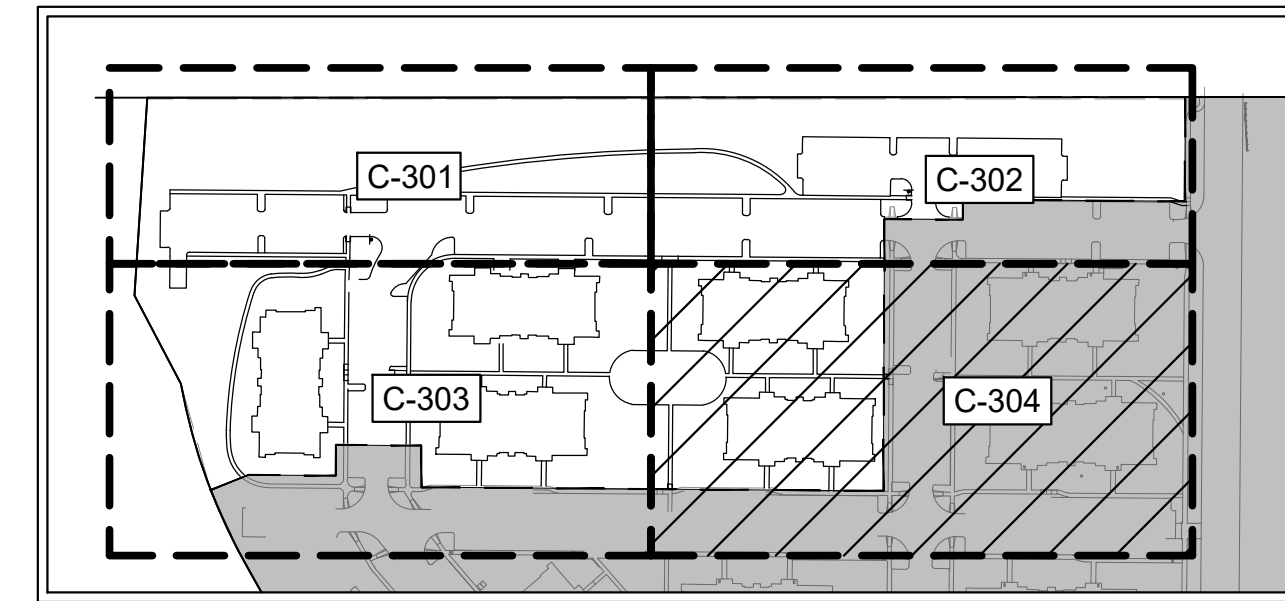
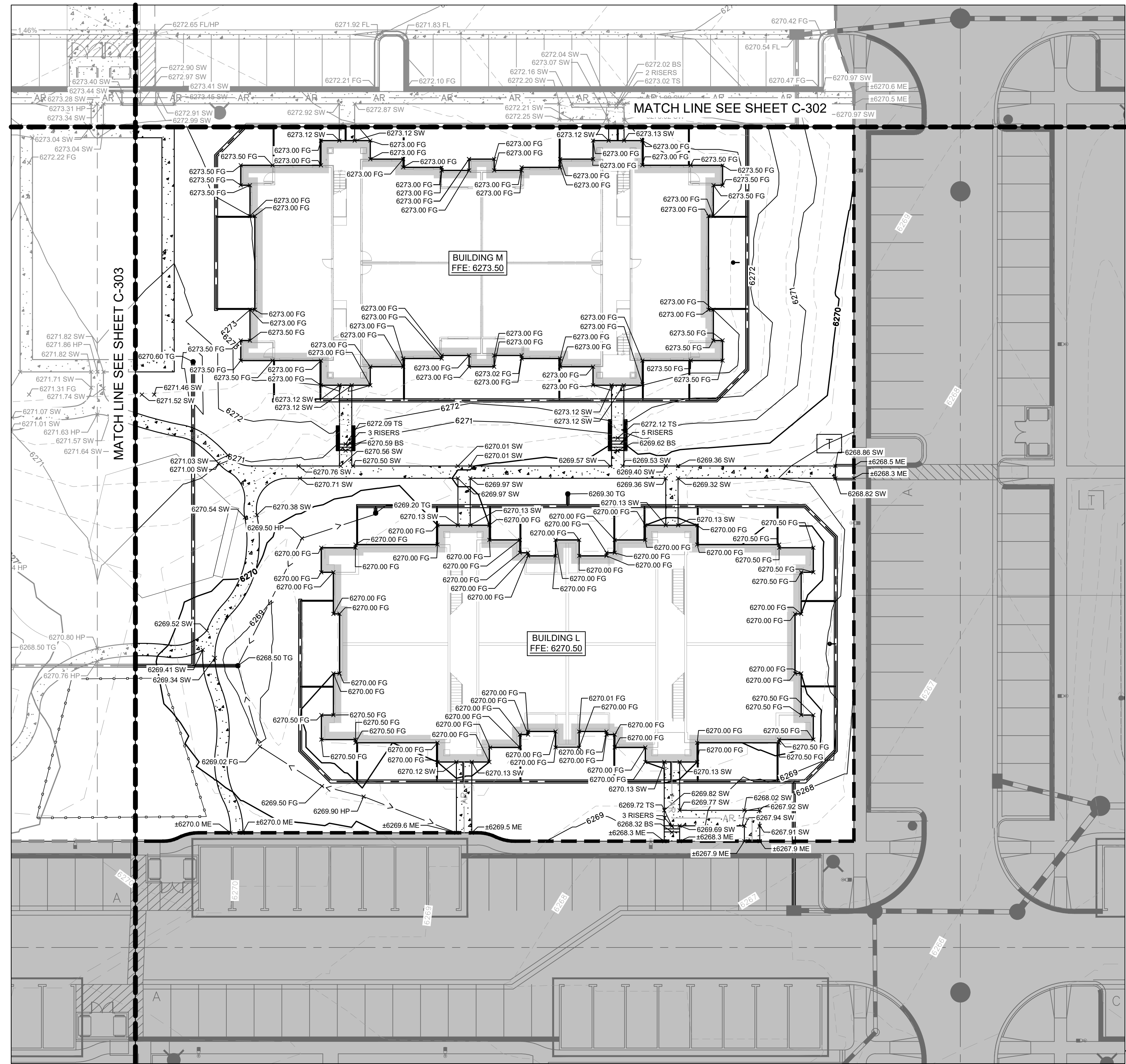
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PROJECT NO.
09668009
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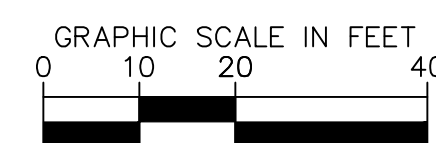
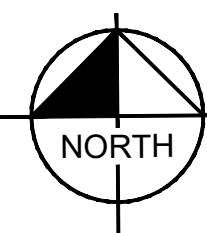
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KEY MAP
N.T.S.

LEGEND

---	PROPERTY LINE
---	PHASE LINE
AR	ACCESSIBLE ROUTE
---	GRADE BREAK
6000	PROPOSED MAJOR CONTOUR
6001	PROPOSED MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
FG	FINISHED GRADE
ME	MATCH EXISTING
FL	FLOW LINE
TOW	TOP OF WALL
BOW	BOTTOM OF WALL
SW	SIDEWALK
HP	HIGH POINT



GENERAL NOTES

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Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: MVZ
DRAWN BY: MVZ/RES
CHECKED BY: EJJ
DATE: 09/19/2022

CIMARRON HILLS - PHASE 2
CONSTRUCTION DOCUMENTS
DETAILED GRADING PLAN

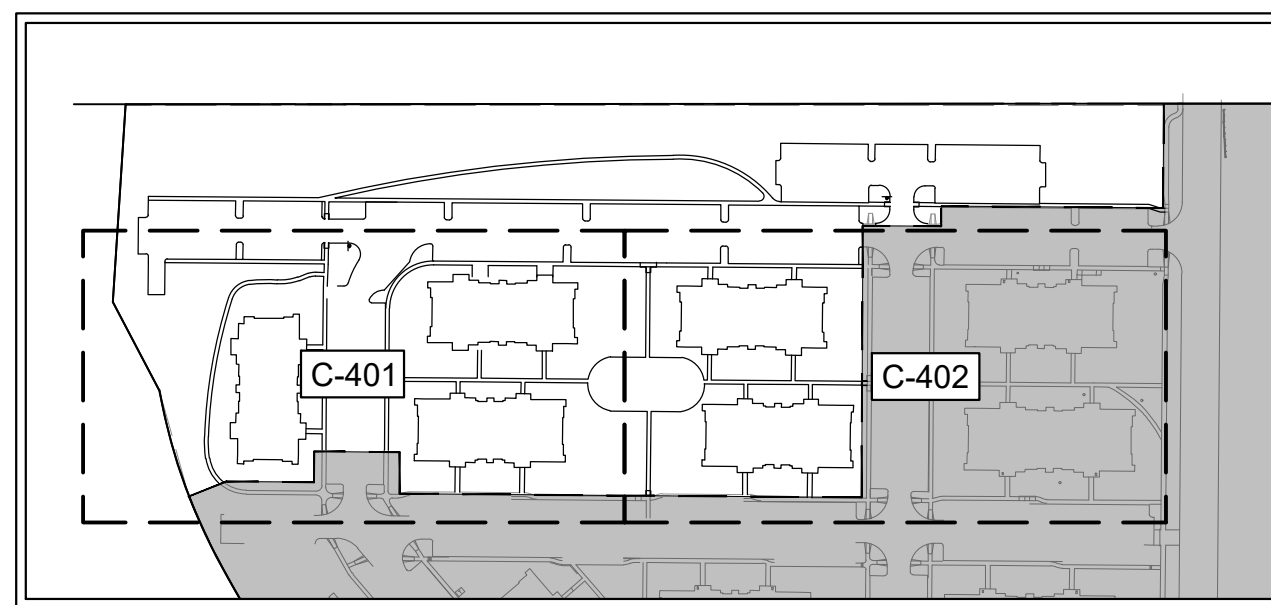
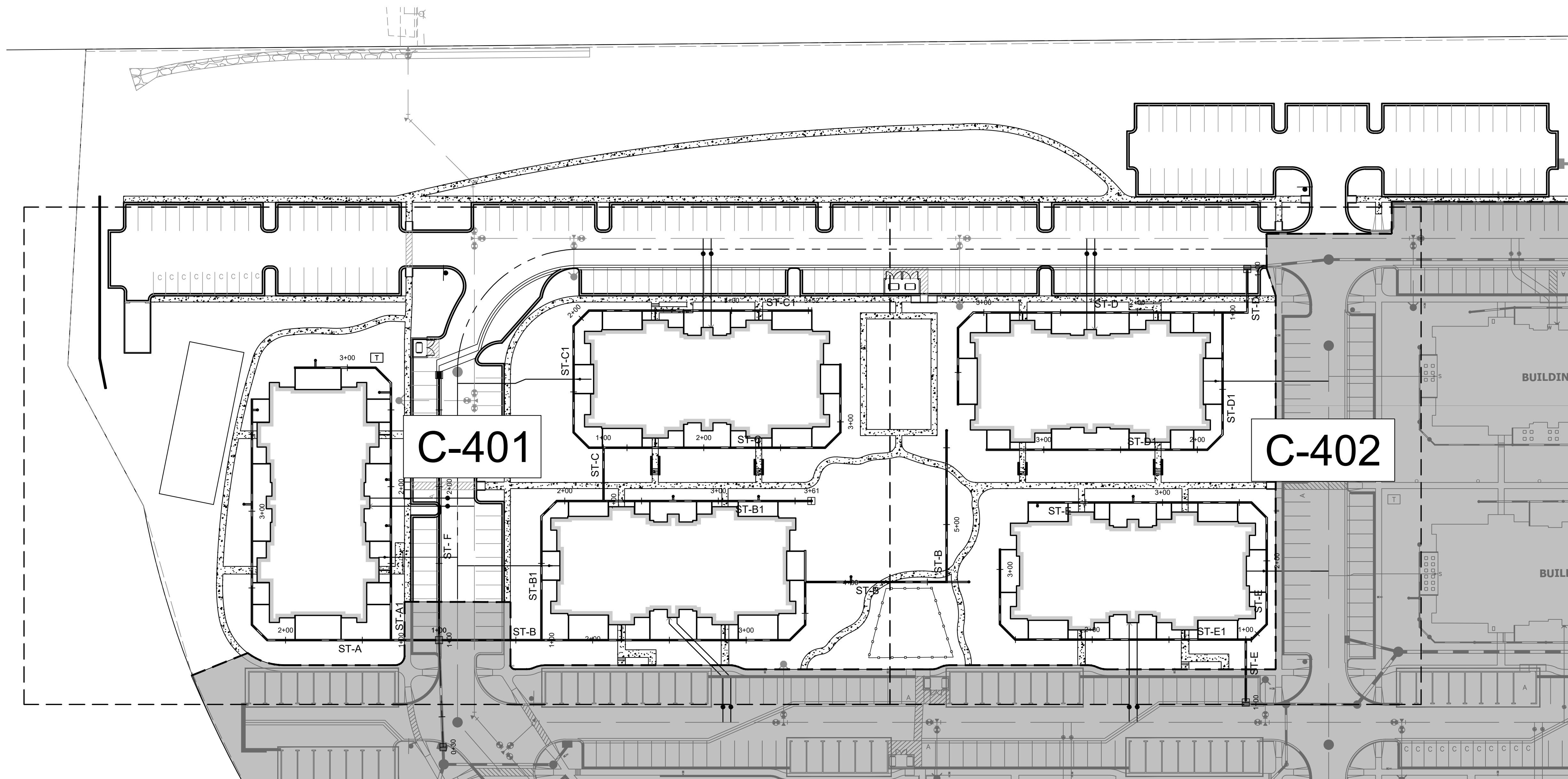
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Kimley»Horn
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PROJECT NO.
096668009

SHEET
C-304

NO.	REVISION	BY	DATE

K:\COS_LA\196140002 - Cimarron Hills\Phase 2\CADD\PlanSheets\CD\196140002 - CD_ST.dwg Zimmermann, Mitch 9/22/2022 10:25 AM



STORM SEWER NOTES

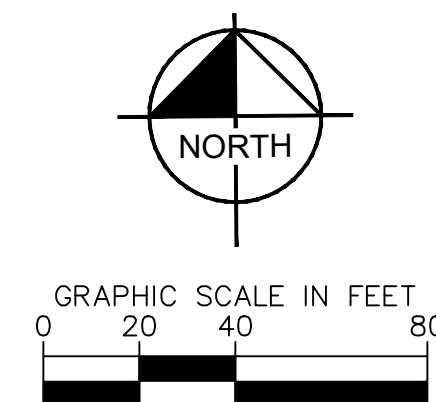
1. MANHOLE RIM ELEVATIONS PROVIDED FOR REFERENCE ONLY. CONTRACTOR SHALL INSTALL MANHOLES IN ACCORDANCE WITH APPLICABLE DETAILS BASED UPON FINAL FINISH GRADING AT MANHOLE LOCATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENTS TO ACCOMMODATE DEVIATIONS IN SITE GRADING AT NO COST TO THE OWNER.
2. CONTRACTOR SHALL MODIFY STANDARD INLET STRUCTURE DIMENSIONS AND STRUCTURAL COMPONENTS TO ACCOMMODATE ASSOCIATED ENTRY AND OUTLET PIPES.
3. ALL STORM SEWER MAINS PIPE, INLETS AND MANHOLES ARE PRIVATELY OWNED AND MAINTAINED BY THE OWNER UP UNTIL THE PUBLIC CONNECTION POINT, UNLESS OTHERWISE NOTED ON THE PLANS.
4. ALL STORM SEWER PIPE SHALL BE HDPE UNLESS OTHERWISE NOTED.
5. ALL PRIVATE LANDSCAPE DRAINS SHALL BE NYOPLAST TYPE OR APPROVED EQUIVALENT. RE: UTILITY DETAILS FOR NYOPLAST DETAILED DRAWINGS.
6. CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF EXISTING STORM SEWER AT ALL CONNECTION POINTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
7. CONTRACTOR TO MODIFY EXISTING MANHOLE RIM ELEVATIONS TO MATCH PROPOSED FINISH GRADE AS NECESSARY.
8. ALL STORM ROOF DRAIN CONNECTIONS TO BE MINIMUM 4'-0" BELOW FINISH FLOOR ELEVATION FOR FREEZE PROTECTION

LEGEND

- PROPERTY LINE
- EXISTING STORM
- PROPOSED STORM
- WATER PROPOSED BY SEPARATE PERMIT (SF2032)
- PROPOSED WATER
- SANITARY PROPOSED BY SEPARATE PERMIT (SF2032)
- PROPOSED SANITARY SEWER
- FIRE HYDRANT PROPOSED BY SEPARATE PERMIT (SF2032)
- PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
- PROPOSED LANDSCAPE AREA DRAIN
- PROPOSED VALLEY DRAIN
- EXISTING VALLEY DRAIN

GENERAL NOTES

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Kimley»Horn

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Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: MVZ
DRAWN BY: MVZ/RES
CHECKED BY: E.JG
DATE: 09/19/2022

CIMARRON HILLS - PHASE 2
CONSTRUCTION DOCUMENTS
OVERALL STORM PLAN

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Kimley-Horn and Associates, Inc.

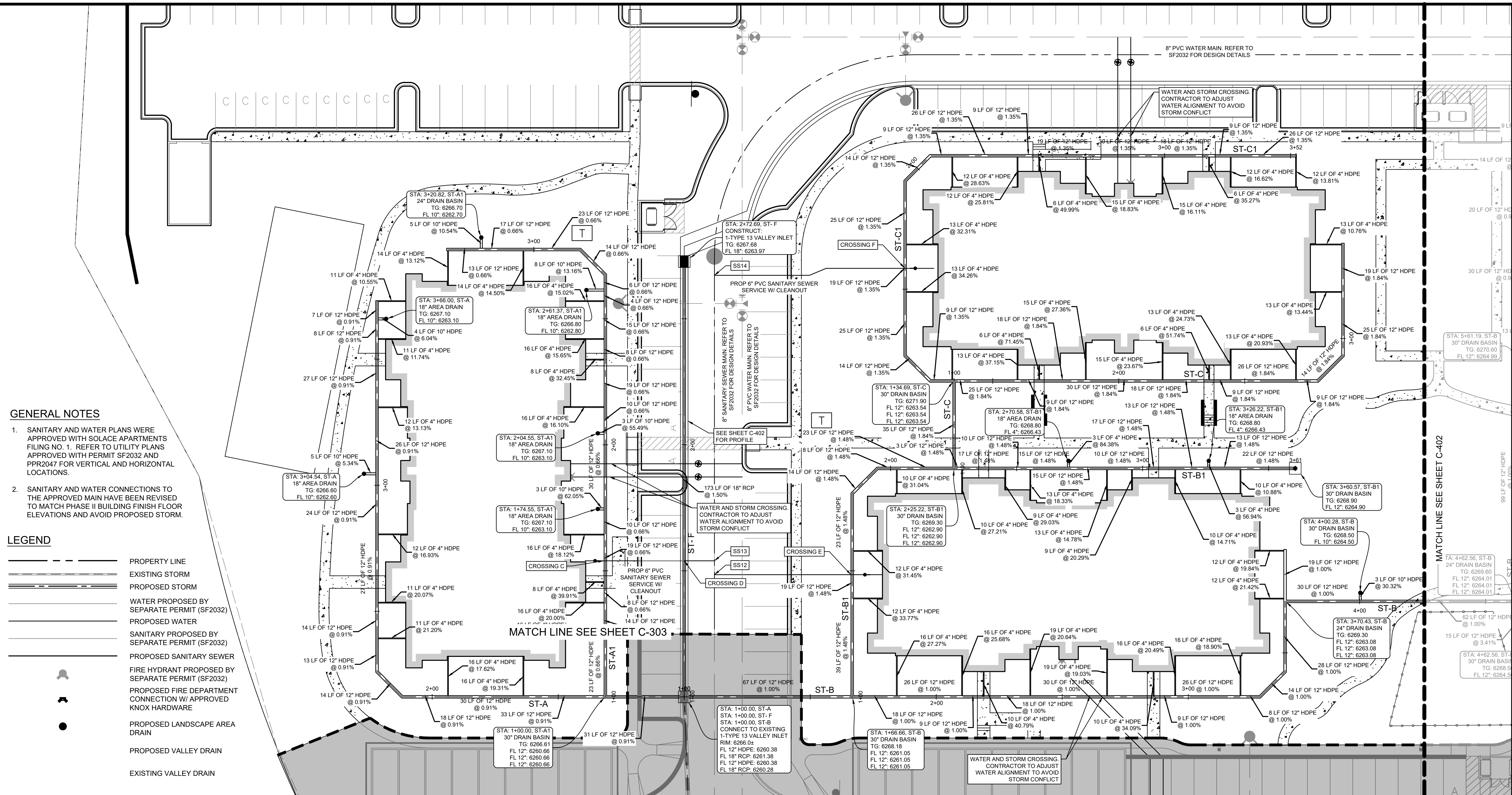
PROJECT NO.
096668009

SHEET
C-400



NO.	REVISION	BY	DATE	APPR

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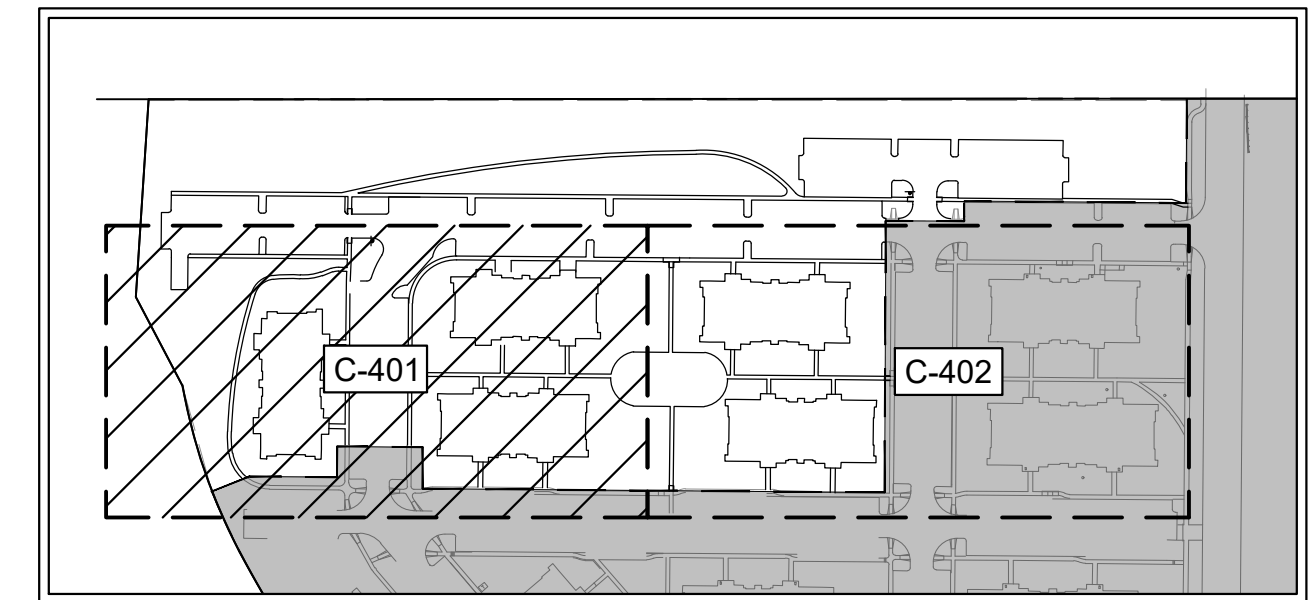


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LEGEND

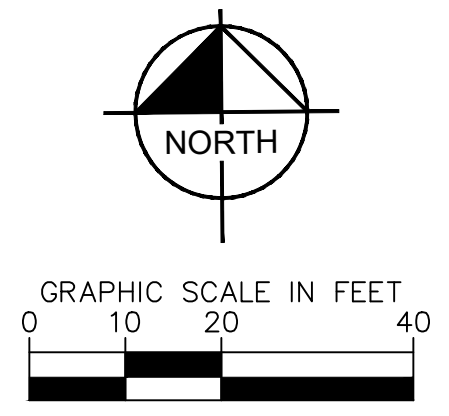
- PROPERTY LINE
- EXISTING STORM
- PROPOSED STORM
- WATER PROPOSED BY SEPARATE PERMIT (SF2032)
- PROPOSED WATER
- SANITARY PROPOSED BY SEPARATE PERMIT (SF2032)
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- PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
- PROPOSED LANDSCAPE AREA DRAIN
- PROPOSED VALLEY DRAIN
- EXISTING VALLEY DRAIN



KEY MAP
N.T.S.

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STORM AND SANITARY CROSSINGS						
CROSSING	SERVICE	STORM STATIONING	STORM INVERT	SANITARY INVERT	PIPE SEPARATION	
A	SS7	ST-E	1+93.37	6262.81	6258.90	3.39'
B	SS8	ST-D1	1+44.70	6266.06	6267.60	0.48'
C	SS13	ST-A1	1+53.97	6261.40	6263.02	0.55'
D	SS13	ST-F	1+53.97	6262.19	6258.30	3.38'
E	SS12	ST-B1	1+48.46	6261.76	6264.55	1.72'
F	SS14	ST-C1	1+57.91	6264.32	6268.23	2.85'

Kimley»Horn

DESIGNED BY: MVZ
DRAWN BY: MVZ/RES
CHECKED BY: E/JG
DATE: 09/19/2022

CIMARRON HILLS - PHASE 2
CONSTRUCTION DOCUMENTS
DETAILED STORM PLAN

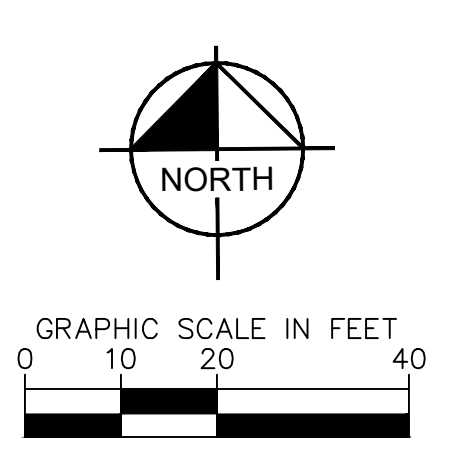
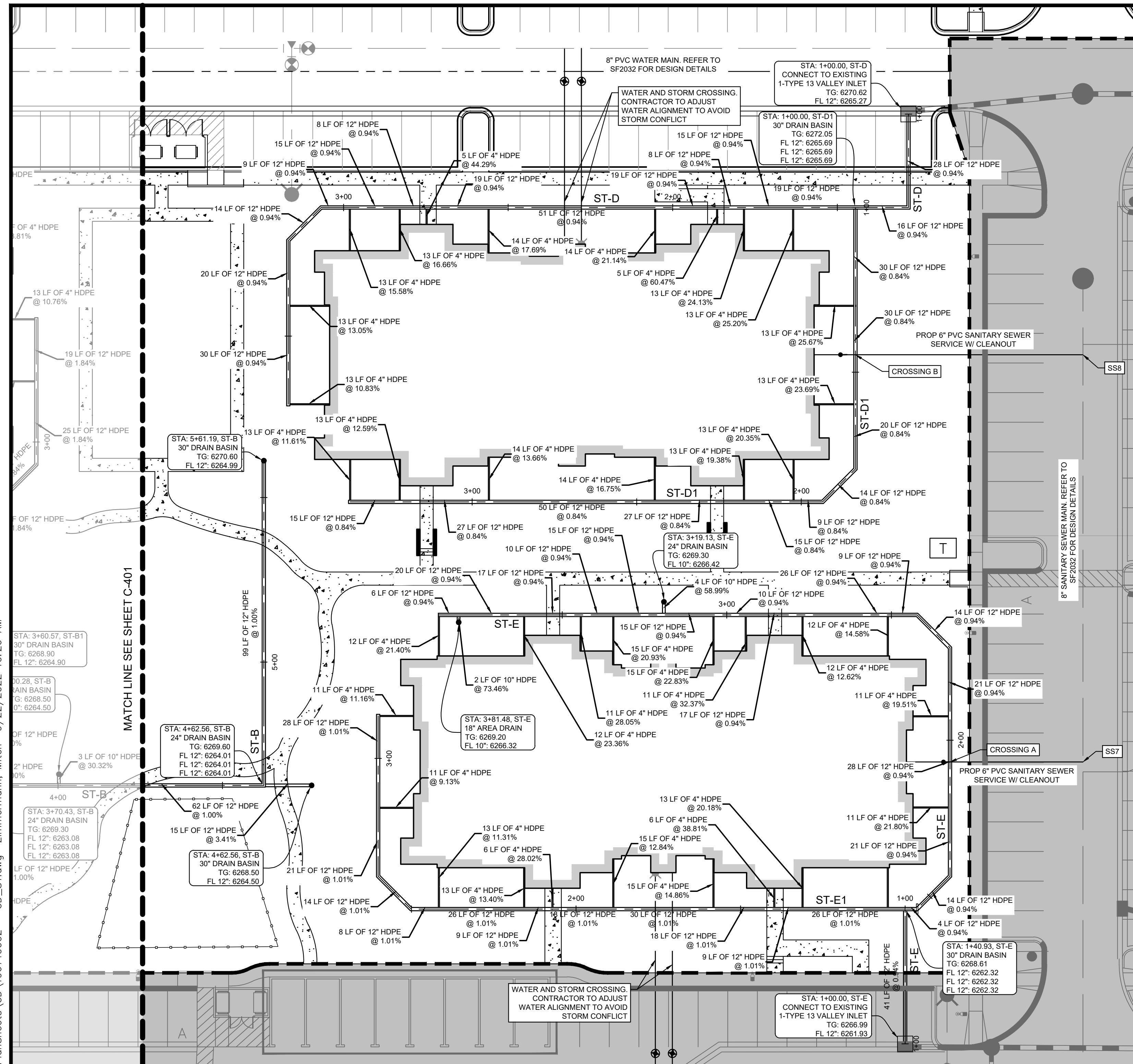
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PROJECT NO.
09668009
SHEET
C-401

NO. BY DATE REVISION



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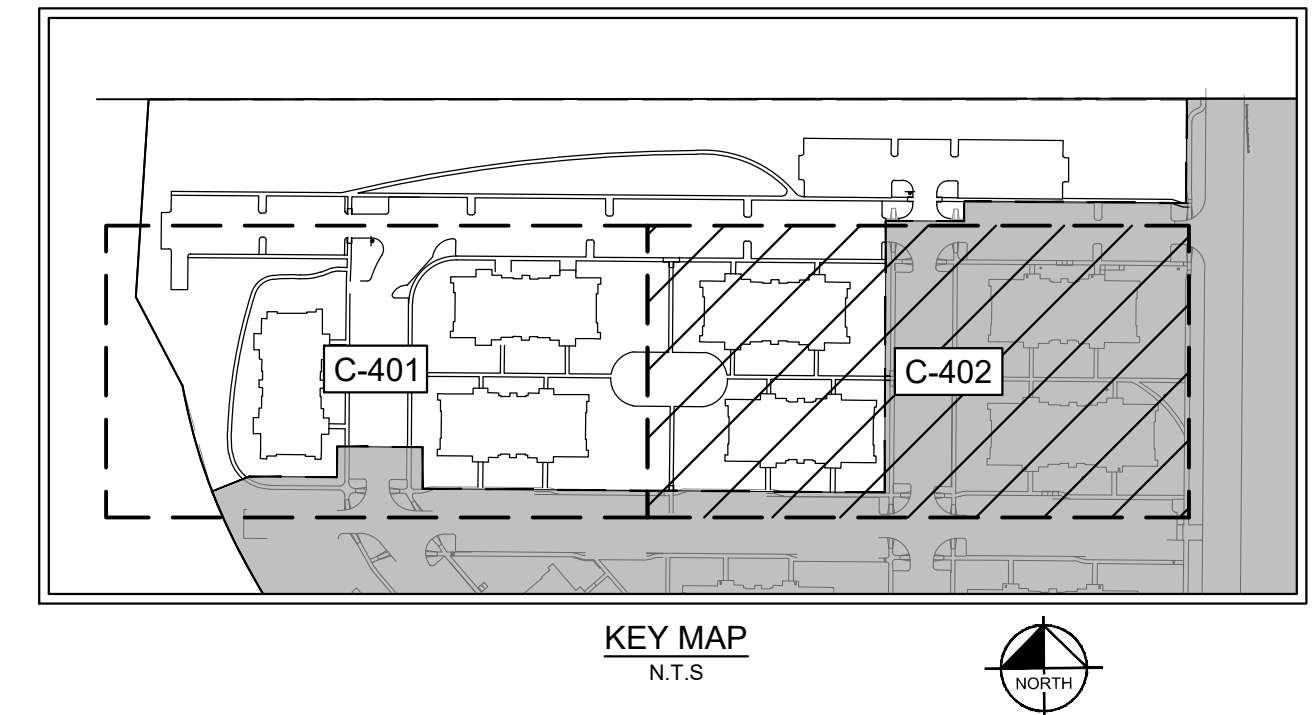
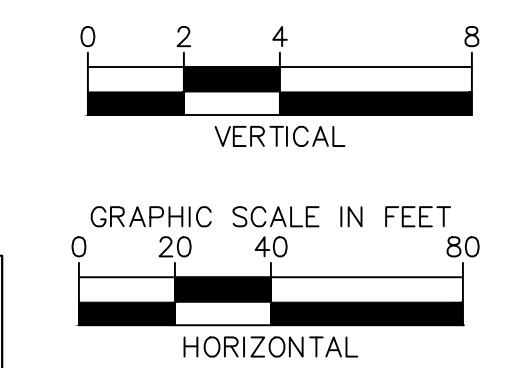
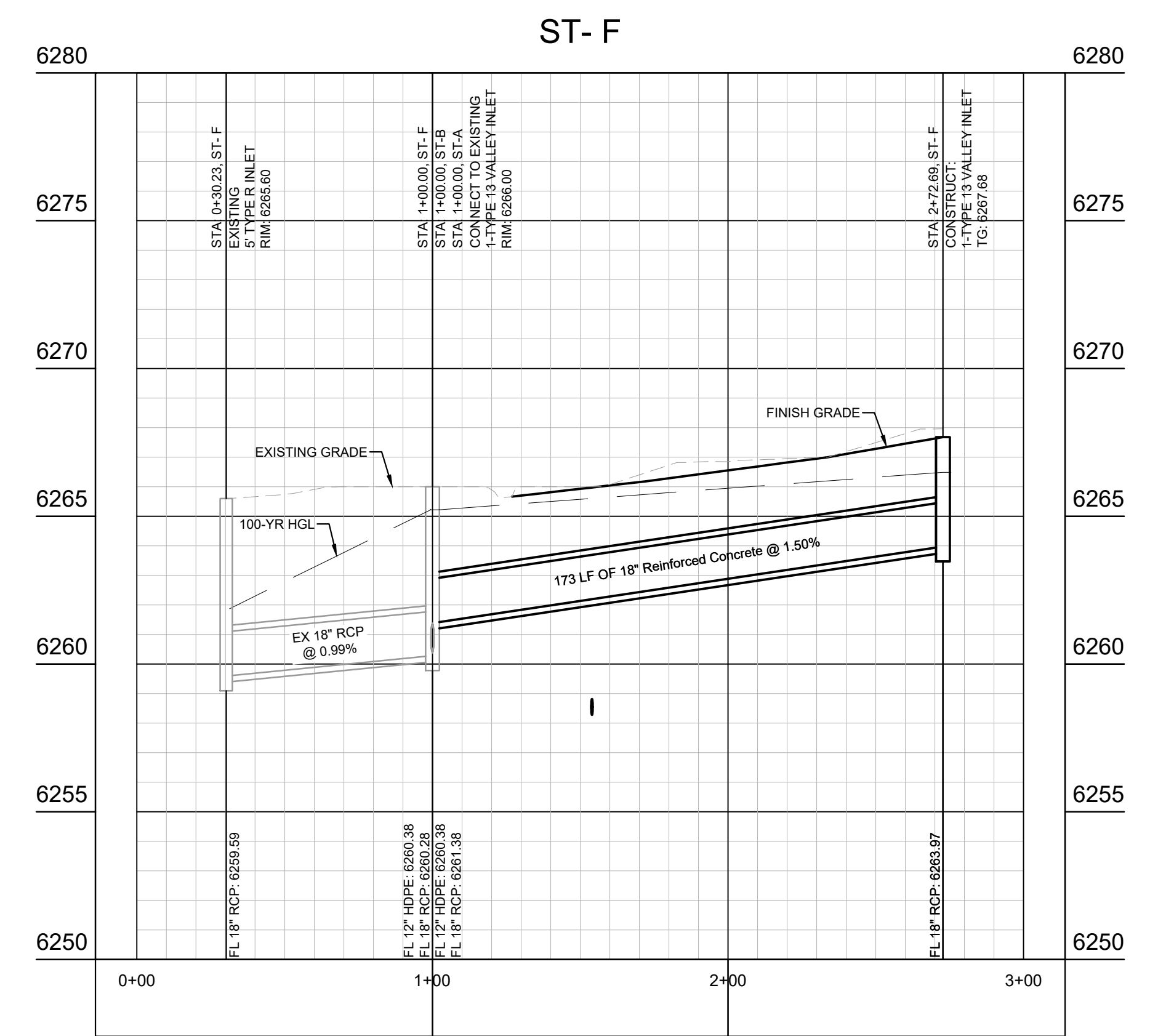


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Kimley»Horn
 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 2 North Nevada Avenue, Suite 300
 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: MVZ
 DRAWN BY: MVZ/RES
 CHECKED BY: EJJ
 DATE: 09/19/2022

CIMARRON HILLS - PHASE 2
 CONSTRUCTION DOCUMENTS
 DETAILED STORM PLAN

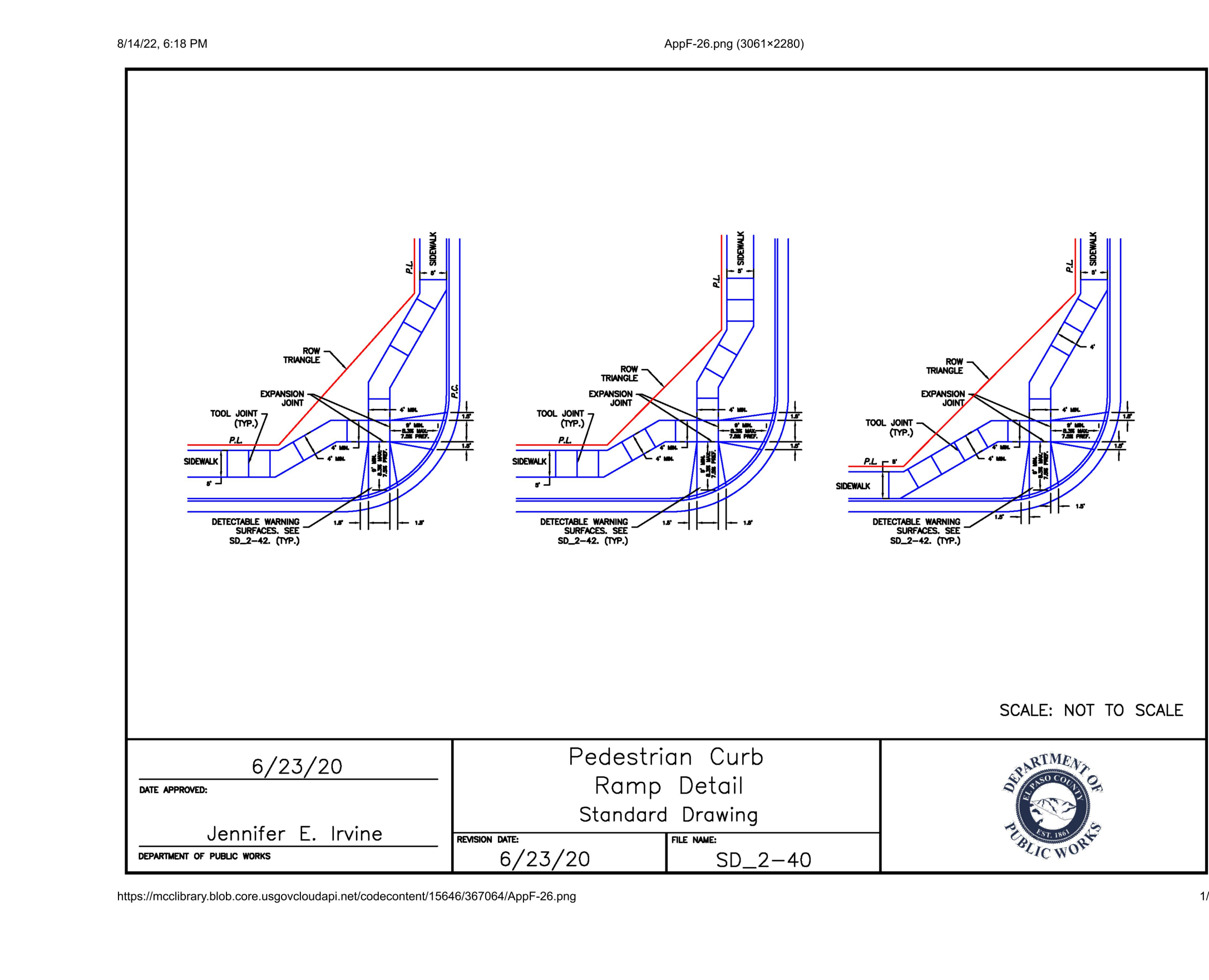
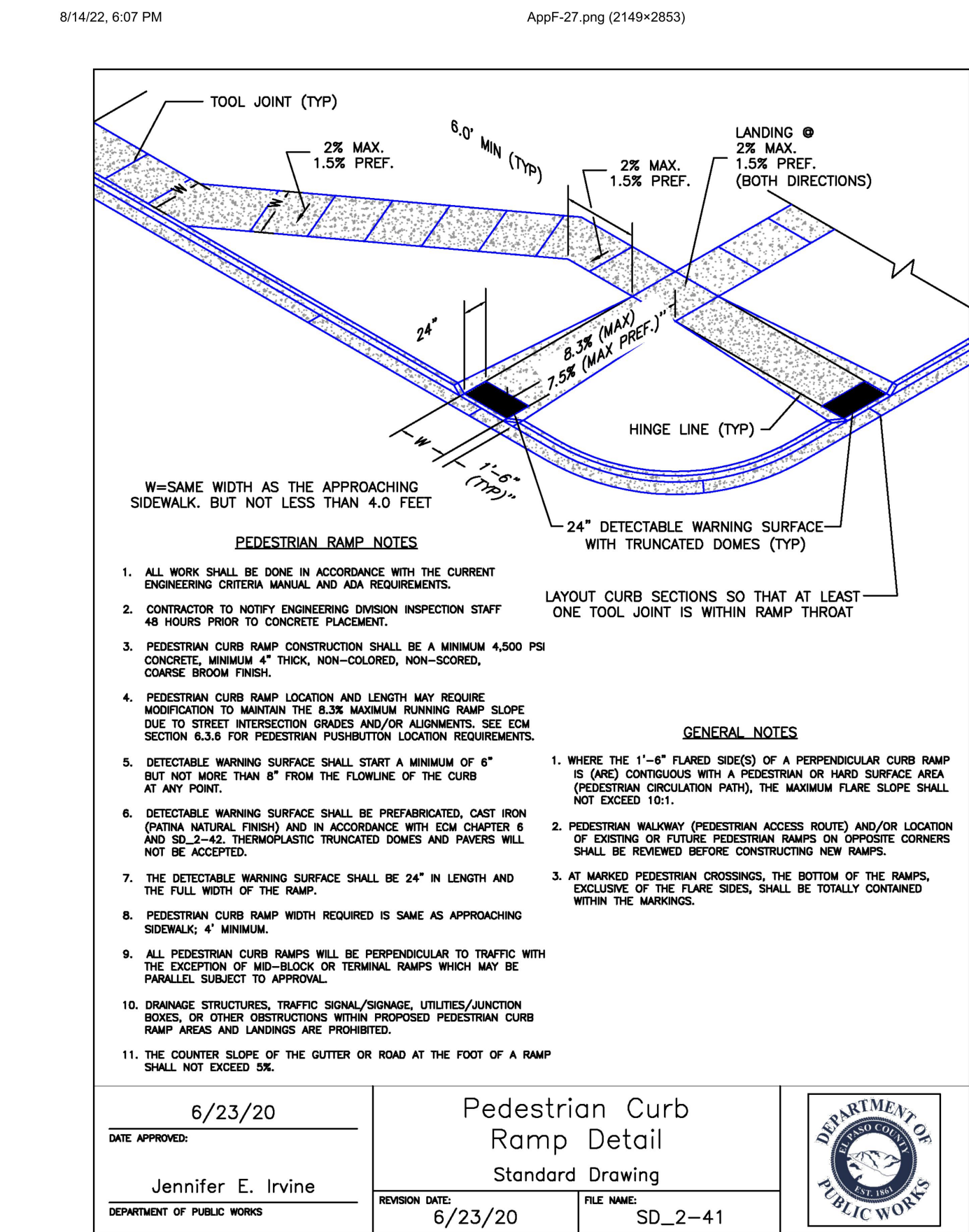
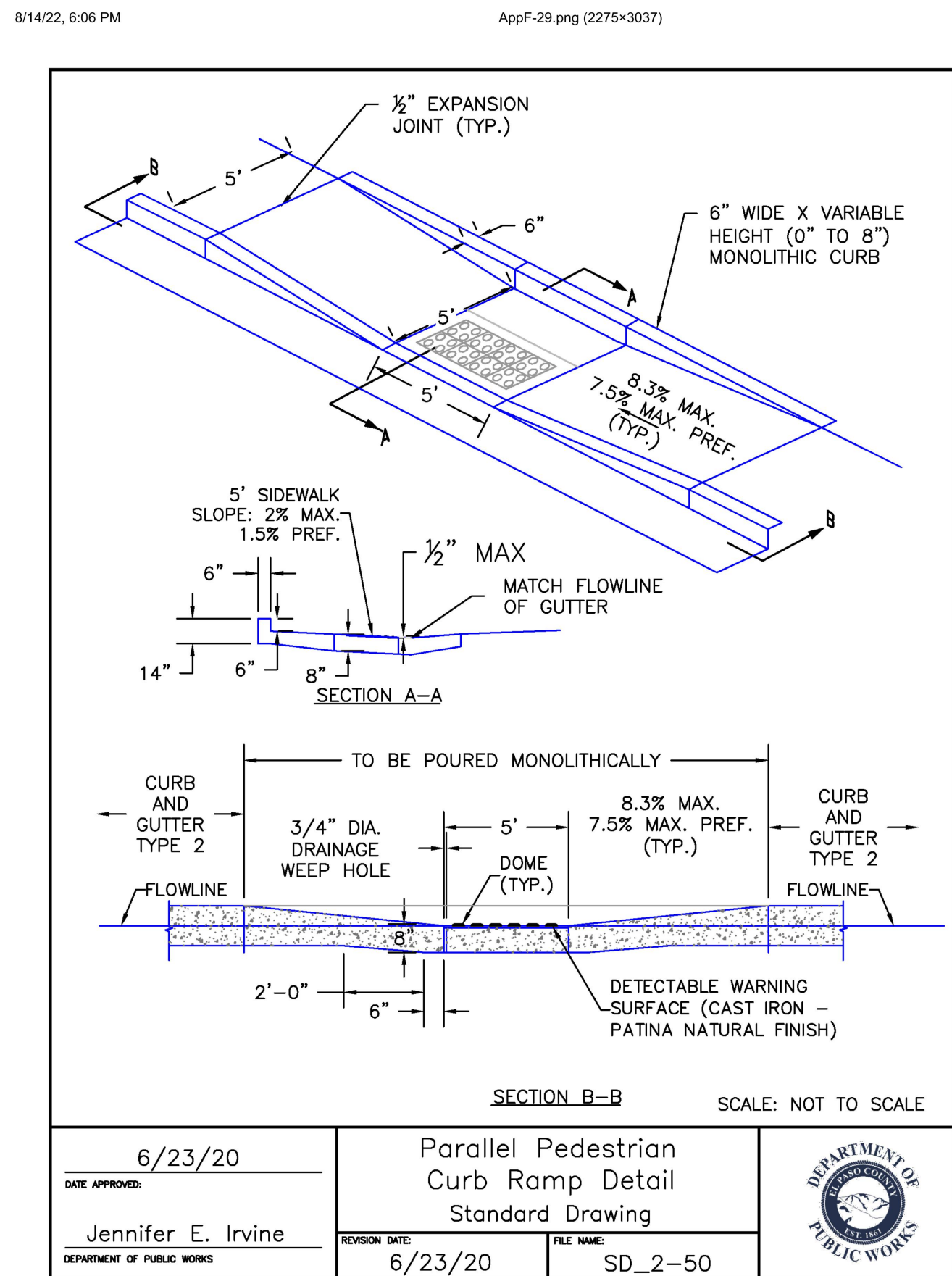
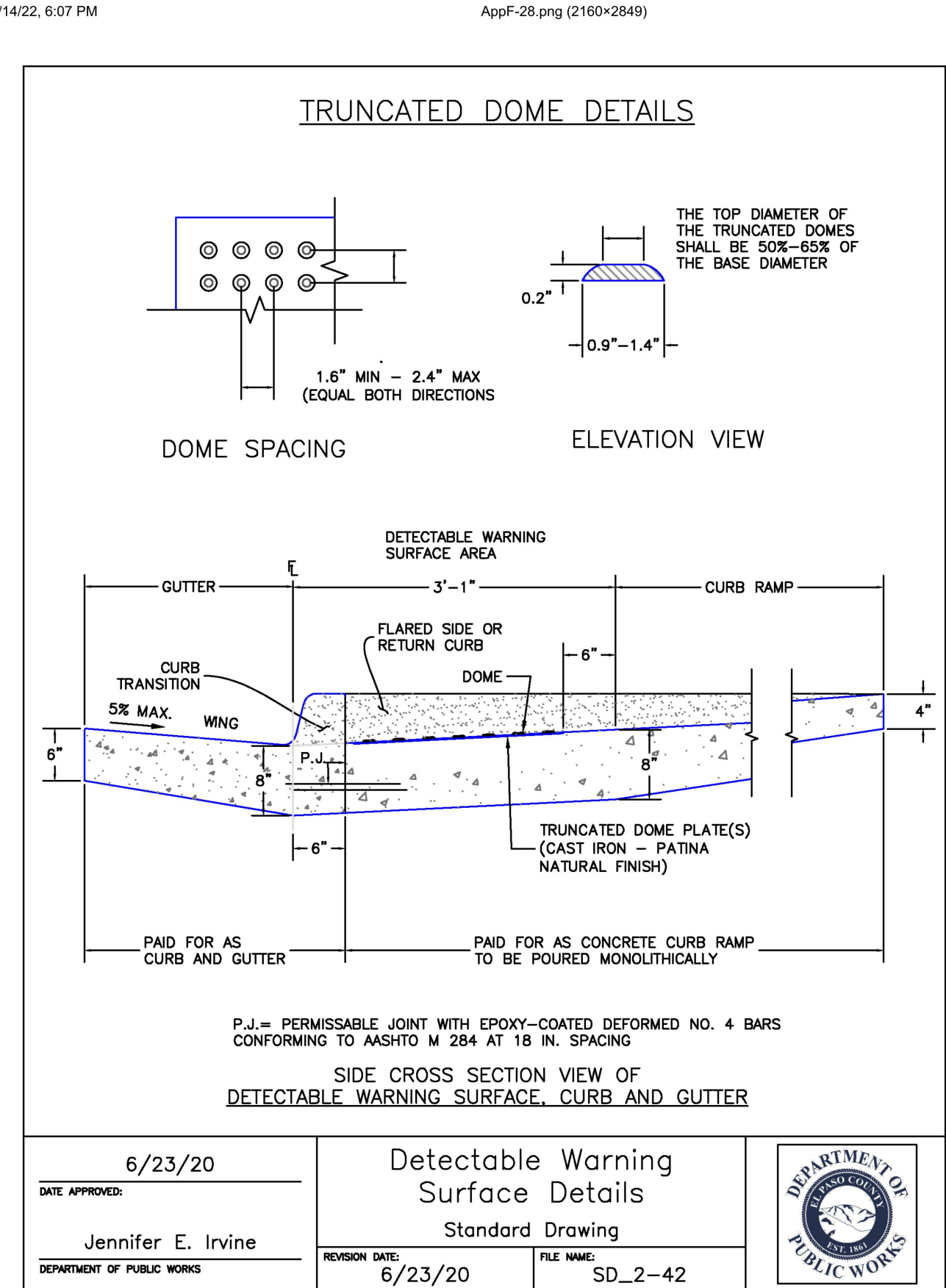
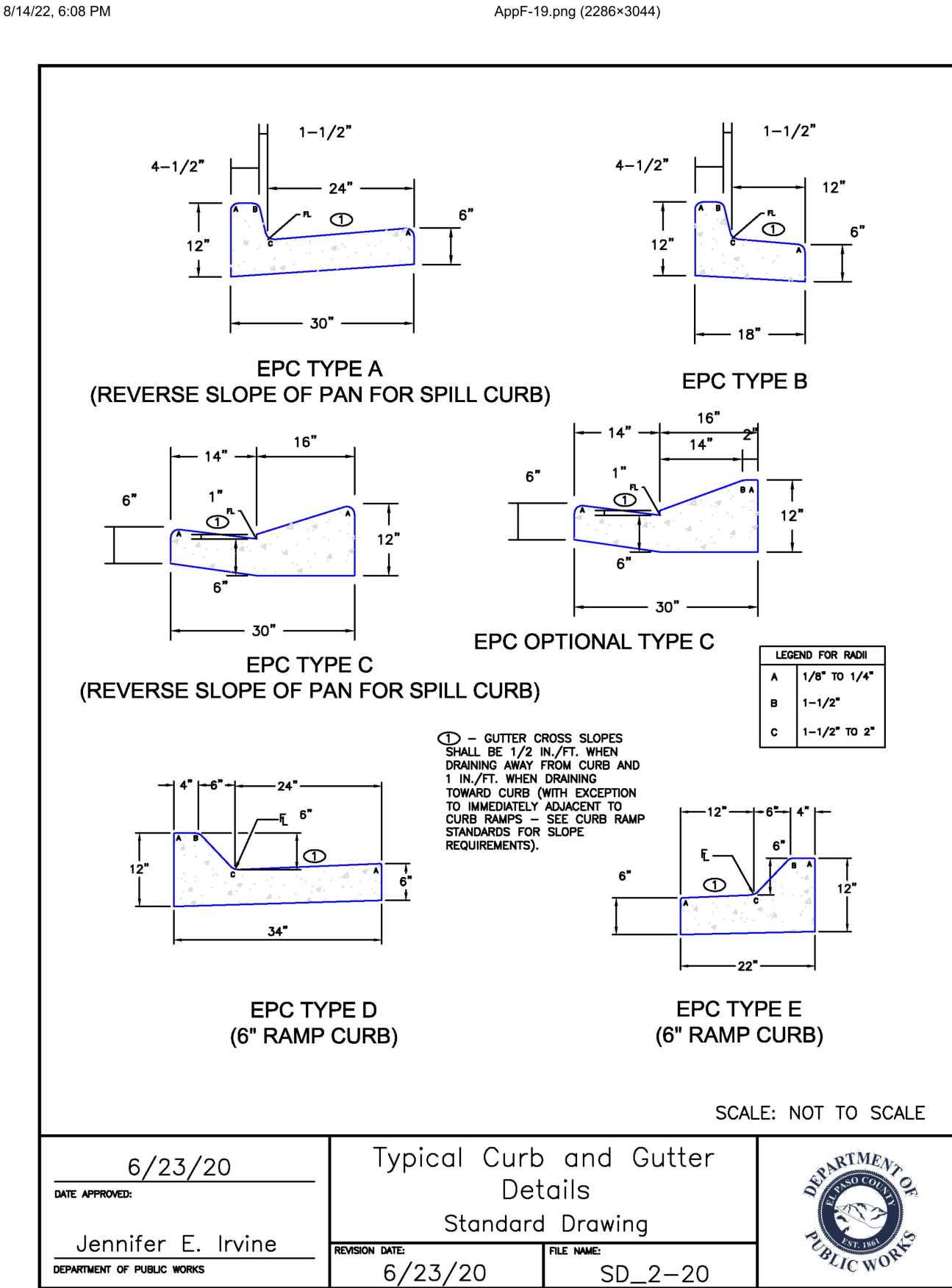
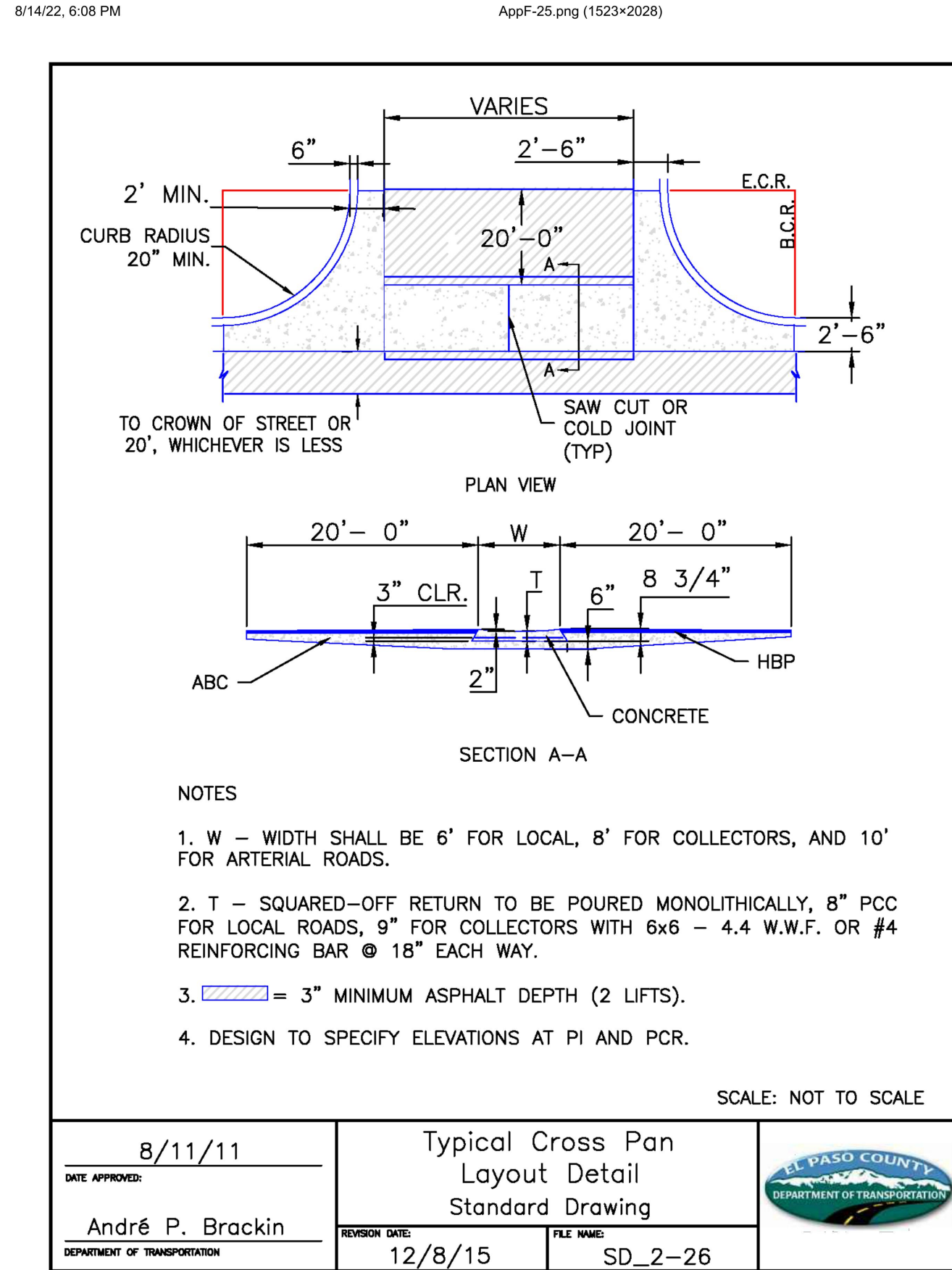
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PROJECT NO.
 09668009
 SHEET
 C-402



NO.	REVISION	BY	DATE	APPR



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 2 North Nevada Avenue, Suite 300
 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: MVZ
 DRAWN BY: mvz/res
 CHECKED BY: EJJ
 DATE: 09/19/2022

CIMARRON HILLS - PHASE 2
 CONSTRUCTION DOCUMENTS
 CONSTRUCTION DETAILS

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 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096668009
 SHEET
 C-500



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SOLACE APARTMENTS FILING NO. 2

A PORTION OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 SEST OF THE P.M.
EL PASO COUNTY, COLORADO
SANITARY AND WATER SERVICE PLANS



VICINITY MAP
1" = 500'

CONTACTS

OWNER:
CS POWERS & GALLEY LLC
510 S NEIL ST
CHAMPAIGN, IL 61820
PHONE: (719) 216-2577
CONTACT:

SURVEYOR:
COMPANY
ADDRESS 1
ADDRESS 2
TEL: XXX
CONTACT: XXX

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES
2 N. NEVADA AVENUE SUITE 300
COLORADO SPRINGS, CO 80903
CONTACT: ERIC GUNDERSON
PHONE: (719) 453-0182

EL PASO COUNTY:
EL PASO COUNTY
PCD DEPARTMENT
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
PHONE: (719) 520-6300

DEVELOPER'S SIGNATURE BLOCK

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

NAME _____ DATE _____

ENGINEER'S SIGNATURE BLOCK

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED PLANS AND SPECIFICATIONS

ERIC GUNDERSON, PE - KIMLEY-HORN AND ASSOCIATES, INC. DATE _____

EL PASO COUNTY REVIEW STATEMENT

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN DIMENSIONS AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

Add County
Engineer/ECM
Administrator

DATE _____

CHEROKEE METROPOLITAN DISTRICT

WASTEWATER PLAN APPROVAL

THE CHEROKEE METROPOLITAN DISTRICT RECOGNIZES THE DESIGN PROFESSIONAL OF RECORD AS THE LICENSED ENGINEER HAVING RESPONSIBILITY FOR THE SUBMITTED DESIGN AND THE DISTRICT HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY. AS SUCH, THE APPROVAL GRANTED HEREIN IS FOR THE CONSTRUCTION OF THE FACILITIES AS REPRESENTED ON THESE DOCUMENTS. APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE BELOW AND RESUBMITTAL OF THESE PLANS FOR REVIEW AND APPROVAL IS REQUIRED IF CONSTRUCTION DOES NOT BEGIN DURING THIS PERIOD.

APPROVED BY: _____ DATE: _____

CHEROKEE METROPOLITAN DISTRICT

WATER PLAN APPROVAL

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APPROVED BY: _____ DATE: _____

SHEET INDEX	
SHEET NO.	SHEET TITLE
C600	UTILITY PLAN COVER SHEET
C601	UTILITY PLAN NOTES
C602	SANITARY SEWER SERVICE PLAN
C603	WATER SERVICE PLAN
C604	STANDARD DETAILS

NO.	REVISION	BY	DATE	APPR

Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: EJG
DRAWN BY: MVZ
CHECKED BY: EJG
DATE: 09/19/2022

CIMARRON HILLS - PHASE 2
SANITARY AND WATER SERVICE PLANS
UTILITY PLAN COVER SHEET

PROJECT NO.
096668009
SHEET
C-600

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STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DPW AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

UTILITY SERVICE PLAN NOTES

THE CONTRACTOR SHALL NOTIFY COLORADO SPRINGS UTILITIES' INSPECTIONS OFFICE (NORTH: 668-4396 OR SOUTH: 668-4658) AND/OR CHEROKEE METRO DISTRICT (719-597-5080) A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

GENERAL:

- ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET CSU WASTEWATER AND WATER LINE EXTENSION AND SERVICE STANDARDS (WATER/WASTEWATER LESS), WITH CHEROKEE METRO DISTRICT EXCEPTION.
- CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THE ACCURACY OF LOCATIONS OF EXISTING PIPELINES, MANHOLES, HYDRANTS, VALVES AND SERVICE LINES. IF FIELD CONDITIONS ARE FOUND TO BE DIFFERENT THAN SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE INSPECTOR AND THE DESIGN ENGINEER IMMEDIATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY FACILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF CHEROKEE METRO DISTRICT.
- ALL FIELD STAKING SHALL COMPLY WITH THE WATER/WASTEWATER LESS.
- CORROSION PROTECTION MEASURES SHALL COMPLY WITH THE WATER/WASTEWATER LESS AND CHEROKEE METRO STANDARDS.
- FINAL LOCATION OF ALL WASTEWATER AND WATER SERVICES SHALL BE APPROVED IN THE FIELD BY THE CHEROKEE METRO DISTRICT INSPECTOR.
- ALL TRENCH BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE COLORADO SPRINGS UTILITIES STANDARD SPECIFICATIONS MANUAL AND SECTION 5.18 OF THE WATER LESS AND CHEROKEE METRO STANDARDS.

WASTEWATER:

- SERVICE STUBS SHALL BE INSTALLED A MINIMUM OF SEVEN FEET (7') INTO THE PROPERTY, UNLESS OTHERWISE SHOWN, AND THE END OF THE STUB SHALL BE MARKED WITH A 2"x4"x12' STEEL OR WOODEN POST.
- SERVICES SHALL BE CONNECTED A MINIMUM OF FIVE FEET (5') FROM THE OUTSIDE EDGE OF ANY MANHOLE ON THE MAIN LINE AND SHALL MAINTAIN TWO FEET (2') OF SEPARATION BETWEEN TAPS CENTER TO CENTER.
- ALL CLEANOUTS SHALL BE THE SAME SIZE AS THE SERVICE LINE.
- THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY DEPARTMENT OF HEALTH AND ENVIRONMENT WHEN ANY SEPTIC TANK IS TO BE ABANDONED AND PAY ALL FEES NECESSARY TO OBTAIN A PERMIT.
- ALL MAINS TO BE ASTM D3034 SDR35.

WATER:

- SERVICE STUBS SHALL BE INSTALLED WITH THE CURB STOP AT OR NEAR PROPERTY LINE AND SHALL NOT BE INSTALLED WITHIN DRIVEWAYS OR SIDEWALKS (SEE CHEROKEE METRO DISTRICT DETAIL DRAWING W-38).
- SERVICE TAPS SHALL BE MADE A MINIMUM OF THREE FEET (3') FROM THE BELL OR APPURTENANCE ON THE WATER MAIN. TAPS SHALL BE A MINIMUM OF THREE FEET (3') APART ON THE SAME SIDE OF THE WATER MAIN AND A MINIMUM OF ONE-AND-A-HALF FEET (1.5') WHEN TAPS ARE MADE ON OPPOSITE SIDES OF THE WATER MAIN.
- ALL SERVICES FOR COMMERCIAL USE AND SOME RESIDENTIAL USES REQUIRE INSTALLATION OF A BACKFLOW PREVENTION ASSEMBLY IMMEDIATELY AFTER THE METER. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE APPROVED BY THE FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH OF THE UNIVERSITY OF SOUTHERN CALIFORNIA (USC-FCCCHR) AND INSTALLED IN ACCORDANCE WITH THIS LISTING. PLEASE REFERENCE THE WATER LINE EXTENSION STANDARDS FOR ADDITIONAL REQUIREMENTS.
- ALL TAPS ON CHEROKEE METRO DISTRICT WATER MAINS SHALL BE PERFORMED BY CONTRACTOR AND INSPECTED BY CHEROKEE METRO DISTRICT. ALL OTHER TAPS SHALL BE PERFORMED BY THE CONTRACTOR.
- ANY ABANDONED SERVICES MUST BE PHYSICALLY DISCONNECTED AT THE MAIN. ANY NECESSARY REPAIRS TO THE MAIN AND/OR SHUT DOWN OF THE TAPPING VALVE SHALL BE AS DIRECTED BY CHEROKEE METRO DISTRICT.
- ALL WATER SERVICE LINES SHOULD ENTER THE BUILDING WITHIN 3 FEET OF AN EXTERIOR WALL. EXPOSED WATER PLUMBING SHALL BE MINIMIZED INSIDE THE BUILDING PRIOR TO THE WATER METER AND/OR APPROVED BACKFLOW PREVENTION ASSEMBLY OR METHOD.
- ALL HDPE WATER SERVICE LINES MUST EXTEND A MINIMUM OF 6 INCHES ABOVE THE FLOOR AND BE 90 DEGREES FROM THE FLOOR PLAN TO ALLOW FOR BRACING AND TRANSITION TO THE METER LOOP ASSEMBLY.
- NO COPPER PIPING ALLOWED IN CHEROKEE METRO DISTRICT EXCEPT ABOVE GRADE PIPING IMMEDIATELY BEFORE AND AFTER WATER METER.
- ALL WATER MAINS TO BE AWWA C900 DR14.

COLORADO SPRINGS REVIEW	
STREET DESIGN FOR CITY ENGINEERING:	
UTILITY GRADE REVIEW: _____	DATE: _____
CURB & GUTTER REVIEW: _____	DATE: _____
FINAL REVIEW: _____	DATE: _____
DRAINAGE DESIGN: _____	DATE: _____
THIS IS FILED IN ACCORDANCE WITH SECTION 7.7.906 (DRAINAGE ORDINANCE) OF THE CODE OF THE CITY OF COLORADO SPRINGS, 2001 AS AMENDED.	



NO.	REVISION	BY	DATE	APPR

Kimley»Horn
 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 2 North Nevada Avenue, Suite 300
 Colorado Springs, Colorado 80903 (719) 453-0180

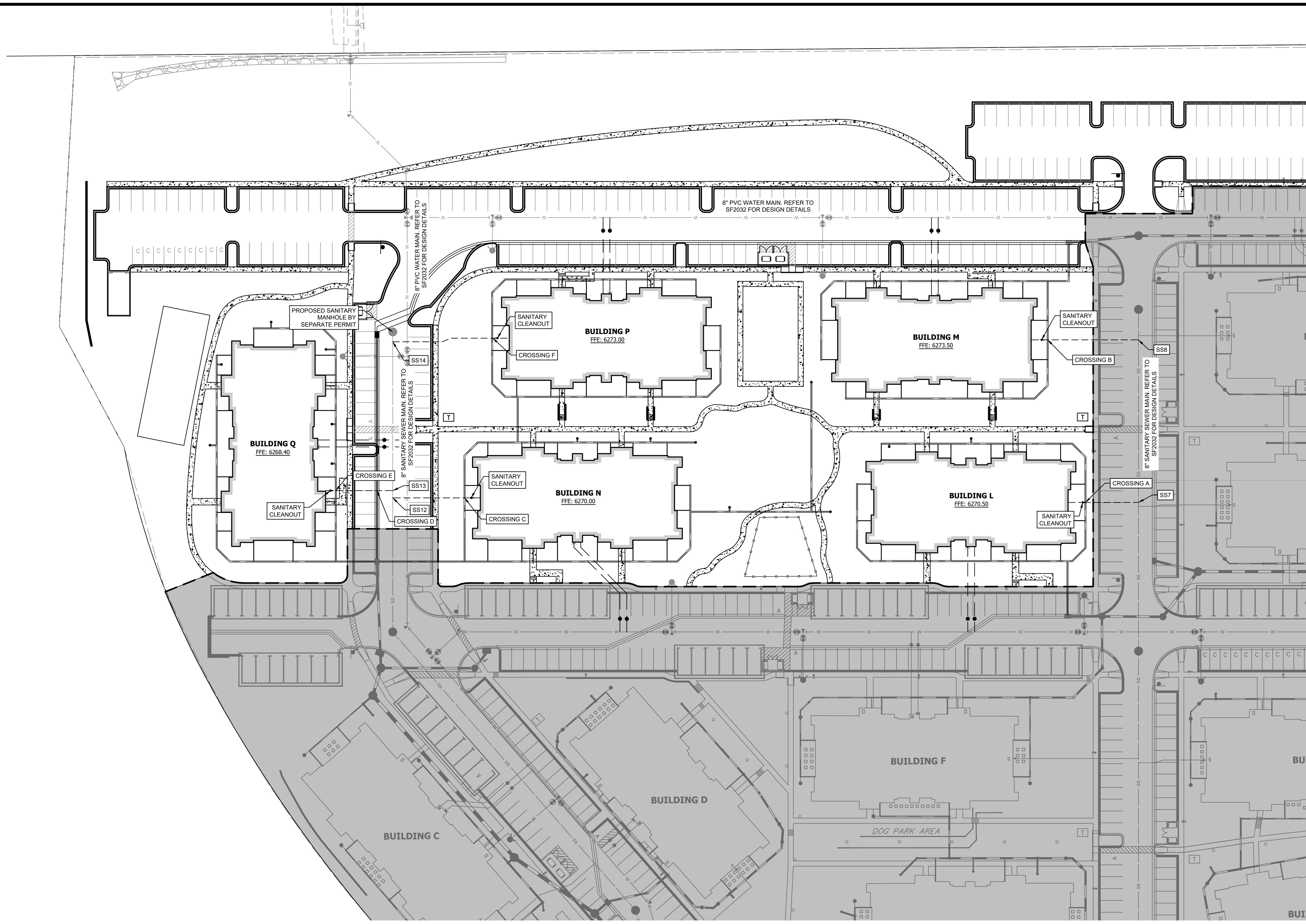
DESIGNED BY: EJG
 DRAWN BY: MVZ
 CHECKED BY: EJG
 DATE: 09/19/2022

**CIMARRON HILLS - PHASE 2
 SANITARY AND WATER SERVICE PLANS**
 UTILITY GENERAL NOTES

PROJECT NO.
09668009

SHEET
C-601

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LEGEND

- PROPERTY LINE
- EXISTING STORM
- PROPOSED STORM
- WATER PROPOSED BY SEPARATE PERMIT (SF2032)
- SANITARY PROPOSED BY SEPARATE PERMIT (SF2032)
- PROPOSED WATER SERVICE
- PROPOSED SANITARY SEWER SERVICE
- FIRE HYDRANT PROPOSED BY SEPARATE PERMIT (SF2032)
- PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
- PROPOSED LANDSCAPE AREA DRAIN
- PROPOSED VALLEY DRAIN
- EXISTING VALLEY DRAIN

GENERAL NOTES

1. SANITARY AND WATER PLANS WERE APPROVED WITH SOLACE APARTMENTS FILING NO. 1. REFER TO UTILITY PLANS APPROVED WITH PERMIT SF2032 AND PPR2047 FOR VERTICAL AND HORIZONTAL LOCATIONS OF THE WATER AND SANITARY SEWER MAINS.
2. SANITARY AND WATER CONNECTIONS TO THE APPROVED MAIN HAVE BEEN REVISED TO MATCH PHASE II BUILDING FINISH FLOOR ELEVATIONS AND AVOID PROPOSED STORM.

SANITARY SEWER NOTES

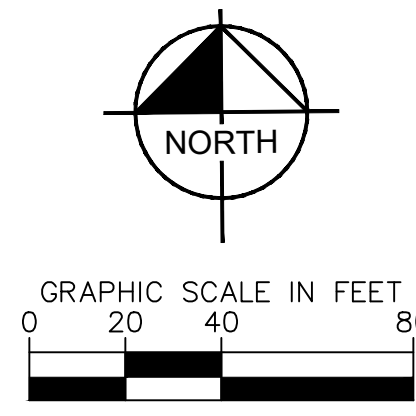
1. MANHOLE RIM ELEVATIONS PROVIDED FOR REFERENCE ONLY. CONTRACTOR SHALL INSTALL MANHOLES IN ACCORDANCE WITH APPLICABLE DETAILS BASED UPON FINAL FINISH GRADING AT MANHOLE LOCATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENTS TO ACCOMMODATE DEVIATIONS IN SITE GRADING AT NO COST TO THE OWNER.
2. ALL SANITARY SEWER MANHOLES AND MAINS ARE PUBLIC UNLESS OTHERWISE NOTED.
3. ALL SERVICE LATERALS SHALL BE 6" PVC AND PRIVATE UNLESS OTHERWISE NOTED ON PLANS.
4. CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF EXISTING SANITARY SEWER AT ALL CONNECTION POINTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. CONTRACTOR TO MODIFY EXISTING MANHOLE RIM ELEVATIONS TO MATCH PROPOSED FINISH GRADE AS NECESSARY.
6. SANITARY MAINS UNDER 1.04% SLOPE SHALL REQUIRE SELECT BEDDING PER CSU WASTEWATER LESS 5.11.D.3

SANITARY SERVICE DESIGN TABLE						
SERVICE LINE	START INVERT	BUILDING INVERT	INVERT DEPTH BELOW FFE	LENGTH	SLOPE	PIPE MATERIAL & SIZE
SS7	6254.86	6260.20	10'-4"	54 LF	10.00%	6" SDR-35
SS8	6258.11	6269.33	4'-2"	82 LF	13.75%	6" SDR-35
SS12	6256.43	6266.33	4'-2"	67 LF	14.85%	6" SDR-35
SS13	6256.49	6264.23	4'-2"	51 LF	15.08%	6" SDR-35
SS14	6257.646	6269.83	4'-2"	87 LF	13.99%	6" SDR-35

STORM AND SANITARY CROSSINGS						
CROSSING	SERVICE	STORM STATIONING	STORM INVERT	SANITARY INVERT	PIPE SEPARATION	
A	SS7	ST-E	1+93.37	6262.81	6258.90 3.39'	
B	SS8	ST-D1	1+44.70	6266.06	6267.60 0.48'	
C	SS12	ST-A1	1+53.97	6261.40	6263.02 0.55'	
D	SS13	ST-F	1+53.97	6262.19	6258.30 3.38'	
E	SS13	ST-B1	1+48.46	6261.76	6264.55 1.72'	
F	SS14	ST-C1	1+57.91	6264.32	6268.23 2.85'	

CAUTION NOTE (SERVICE LINES):

CONTRACTOR SHALL MAINTAIN 1' OF VERTICAL SEPARATION AT ALL DRY UTILITY CROSSINGS. CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITY CROSSINGS TO VERIFY DEPTH AND COORDINATE WITH ENGINEER OF RECORD.



COLORADO SPRINGS REVIEW

STREET DESIGN FOR CITY ENGINEERING: _____

UTILITY GRADE REVIEW: _____ DATE: _____

CURB & GUTTER REVIEW: _____ DATE: _____

FINAL REVIEW: _____ DATE: _____

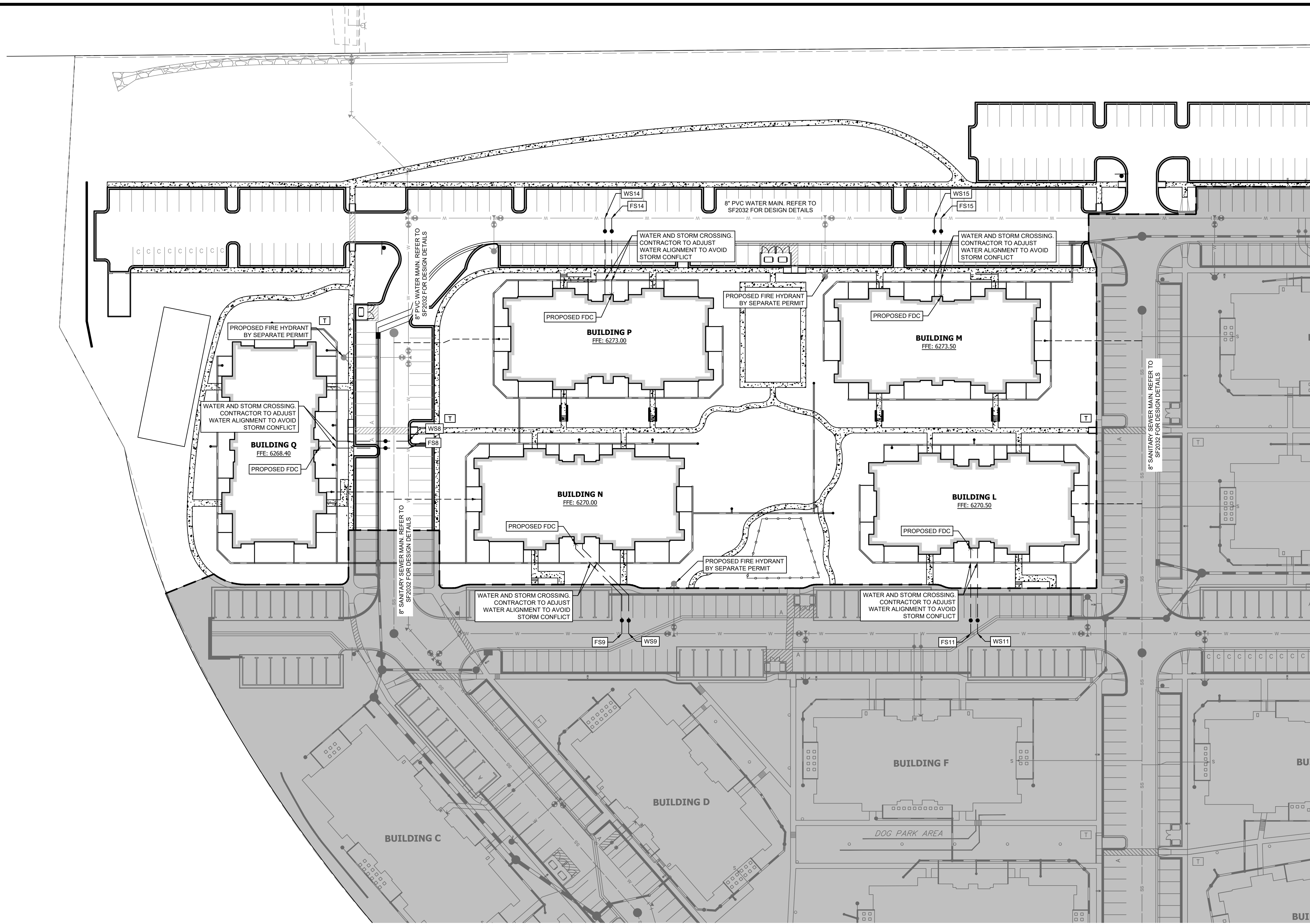
DRAINAGE DESIGN: _____ DATE: _____

THIS IS FILED IN ACCORDANCE WITH SECTION 7.7.906 (DRAINAGE ORDINANCE) OF THE CODE OF THE CITY OF COLORADO SPRINGS, 2001 AS AMENDED.



<p>Kimley»Horn</p> <p>2022 KIMLEY-HORN AND ASSOCIATES, INC. 2 North Nevada Avenue, Suite 300 Colorado Springs, Colorado 80903 (719) 453-0180</p>	<p>DESIGNED BY: E.JG DRAWN BY: MVZ CHECKED BY: E.JG DATE: 09/19/2022</p>
<p>CIMARRON HILLS - PHASE 2 SANITARY AND WATER SERVICE PLANS SANITARY SERVICE PLAN</p>	
<p>PROJECT NO. 09668009</p> <p>SHEET C-603</p>	
	<p>NO. _____</p> <p>REVISION _____</p> <p>BY _____</p> <p>DATE _____</p> <p>APPR _____</p>

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LEGEND

- PROPERTY LINE
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GENERAL NOTES

1. SANITARY AND WATER PLANS WERE APPROVED WITH SOLACE APARTMENTS FILING NO. 1. REFER TO UTILITY PLANS APPROVED WITH PERMIT SF2032 AND PRR2047 FOR VERTICAL AND HORIZONTAL LOCATIONS.
2. SANITARY AND WATER CONNECTIONS TO THE APPROVED MAIN HAVE BEEN REVISED TO MATCH PHASE 1 BUILDING FINISH FLOOR ELEVATIONS AND AVOID PROPOSED STORM.

WATER AND FIRE SERVICE DESIGN TABLE

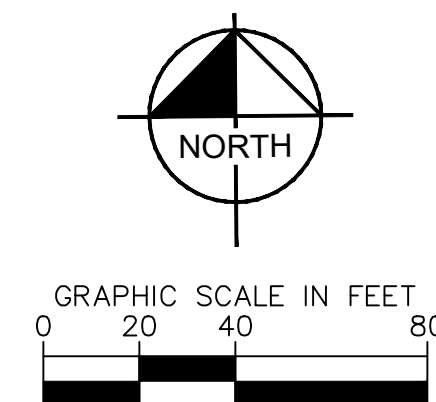
SERVICE CONNECTION	ALIGNMENT	STATION	LENGTH	PIPE SIZE/MATERIAL
WS8	WP01	11+77.42	68 LF	2" HDPE
WS9	WP02	7+15.59	83 LF	2" HDPE
WS11	WP02	4+50.98	65 LF	2" HDPE
WS14	WP03	7+43.35	58 LF	2" HDPE
WS15	WP03	4+93.48	59 LF	2" HDPE
FS8	WP01	11+72.18	68 LF	4" PVC
FS9	WP02	7+20.76	83 LF	4" PVC
FS11	WP02	4+56.14	65 LF	4" PVC
FS14	WP03	7+38.18	58 LF	4" PVC
FS15	WP03	4+88.32	59 LF	4" PVC

NOTES:

1. ALL WATER LINES TO BE BEDDED PER COLORADO SPRINGS UTILITIES SPECIFICATIONS.
2. ALL CONDITIONS SHOWN TO BE "EXISTING" OR "ASSUMED" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO POTHOLES OF EXISTING UTILITY ELEVATIONS AT CROSSINGS AND TIE-IN LOCATIONS. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THIS PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE ENGINEER AND OWNER PRIOR TO MAKING ANY CHANGES.
3. THE HORIZONTAL DIMENSIONS BETWEEN PROPOSED UTILITY LINES MAY VARY SLIGHTLY BASED ON INSTALLED VALVES, ADAPTER, AND PUMPS.
4. ALL APPURTENANCES ON HYDRANT LATERALS SHALL BE INSTALLED WITH MJ RESTRAINTS PER CSU STANDARDS.
5. ALL WATER LINES DESIGNATED PVC TO BE CONSTRUCTED WITH C900 PVC PIPE.

CAUTION NOTE (SERVICE LINES):

CONTRACTOR SHALL MAINTAIN 1' OF VERTICAL SEPARATION AT ALL DRY UTILITY CROSSINGS. CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITY CROSSINGS TO VERIFY DEPTH AND COORDINATE WITH ENGINEER OF RECORD.



COLORADO SPRINGS REVIEW

STREET DESIGN FOR CITY ENGINEERING:
 UTILITY GRADE REVIEW: _____ DATE: _____
 CURB & GUTTER REVIEW: _____ DATE: _____
 FINAL REVIEW: _____ DATE: _____
 DRAINAGE DESIGN: _____ DATE: _____
 THIS IS FILED IN ACCORDANCE WITH SECTION 7.7.906 (DRAINAGE ORDINANCE) OF THE CODE OF THE CITY OF COLORADO SPRINGS, 2001 AS AMENDED.



CIMARRON HILLS - PHASE 2
SANITARY AND WATER SERVICE PLANS
 WATER SERVICE PLAN

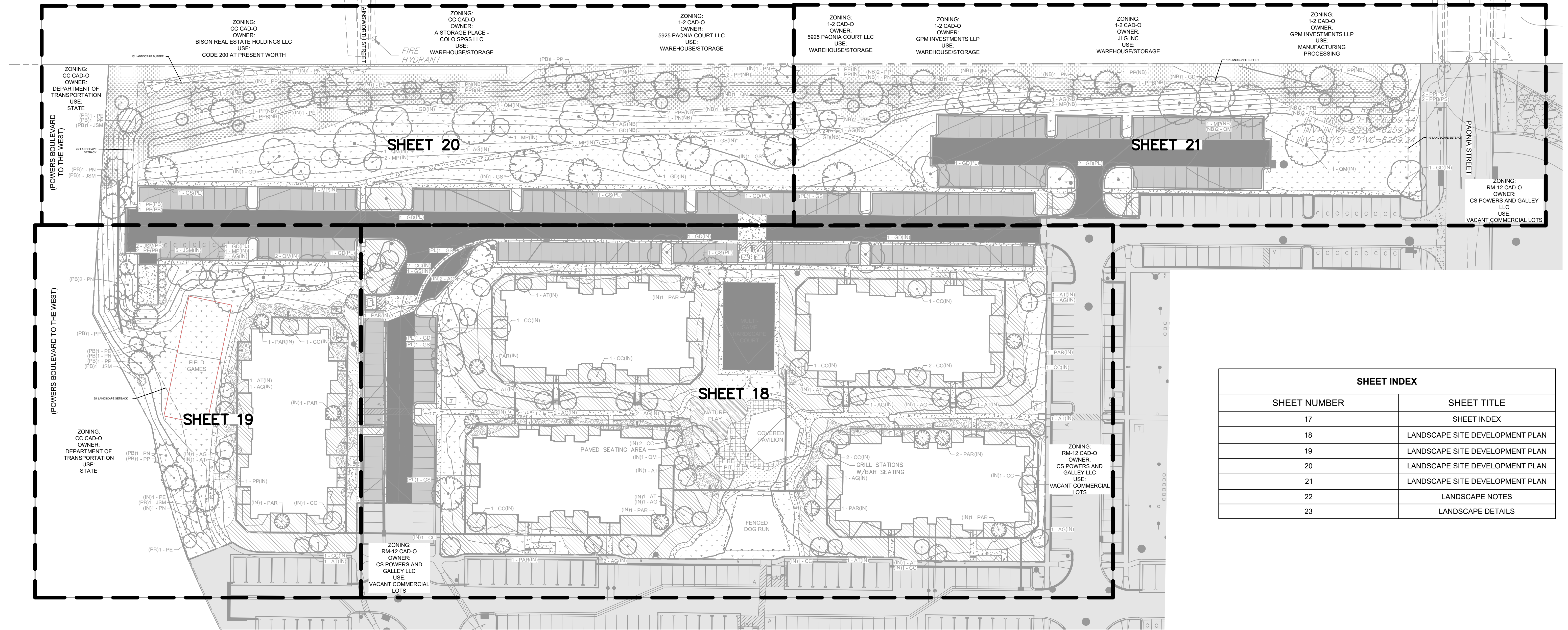
PROJECT NO.
09668009
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 2 North Nevada Avenue, Suite 300
 Colorado Springs, Colorado 80903 (719) 453-0180

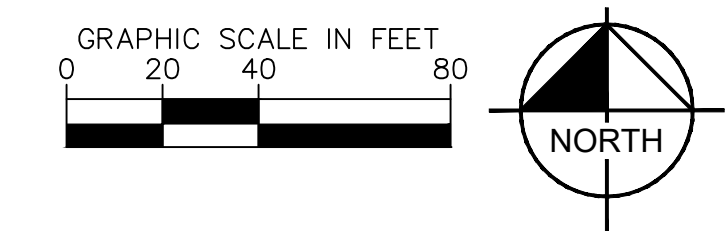
DESIGNED BY: E.JG
 DRAWN BY: MVZ
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NO.	REVISION	BY	DATE	APPR

CIMARRON HILLS DEVELOPMENT PLAN



SHEET INDEX	
SHEET NUMBER	SHEET TITLE
17	SHEET INDEX
18	LANDSCAPE SITE DEVELOPMENT PLAN
19	LANDSCAPE SITE DEVELOPMENT PLAN
20	LANDSCAPE SITE DEVELOPMENT PLAN
21	LANDSCAPE SITE DEVELOPMENT PLAN
22	LANDSCAPE NOTES
23	LANDSCAPE DETAILS



PLANT SCHEDULE

DECIDUOUS TREES				EVERGREEN TREES				GROUND COVERS						
CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	CODE	QTY	BOTANICAL / COMMON NAME	TYPE	INSTALL RATE	WEED FABRIC	MFR.
AG	21	ACER GRANDIDENTATUM 'HIGHLAND PARK' / HIGHLAND PARK MAPLE	B & B	JSM	11	JUNIPERUS SCOPULORUM 'MOONGLOW' / MOONGLOW JUNIPER	B & B	BREEZE	1,093 SF	PIONEER GRANITE BREEZE / PIONEER SAND & GRAVEL	BREEZE	4"	YES	PIONEER SAND & GRAVEL
AT	13	ACER GINNALA 'FLAME' / FLAME AMUR MAPLE	B & B	PAR	14	PINUS ARISTATA / BRISTLECONE PINE	B & B	COBL.A	59,775 SF	ROCK MULCH / 1 1/2"-3" RIVER ROCK	ROCK MULCH	4" DEPTH	YES	PIONEER SAND
CC	21	CRATAEGUS CRUS-GALLI 'THERMIS' / THORNLESS COCKSPUR HAWTHORN	B & B	PE	10	PINUS EDULIS / PINON PINE	B & B	COBL.B	6,629 SF	3/4" RIVER ROCK COBBLESTONE	ROCK MULCH	6-12" DEPTH	YES	PIONEER SAND & GRAVEL
GD	19	GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEE TREE (SEEDLESS)	B & B	PN	17	PINUS NIGRA / AUSTRIAN BLACK PINE	B & B	SEED1	83,112 SF	EPIC ALL-PURPOSE LOW GROW MIX / EL PASO COUNTY, SCM MANUAL TABLE 5-2	SEED			PANWEE BUTTES SEED
GS	11	QLEDITSA TRICANTHOS 'IMPCOLE' / IMPERIAL SEEDLESS HONEY LOCUST	B & B	PP	19	PINUS PONDEROSA / PONDEROSA PINE	B & B	SEED2	41,227 SF	TALL FESCUE SEED MIX / ARKANSAS VALLEY SEED	SEED			PANWEE BUTTES SEED
MP	10	MALUS 'PRAIRIFIRE' / PRAIRIFIRE CRABAPPLE	B & B	PPB	14	PICIA PLUNGENS 'BABY BLUEEYES' / BABY BLUE EYES SPRUCE	B & B	X8	1,413 SF	PLAYGROUND GROUND MATERIAL	PLAYGROUND FALL MATERIAL			
QM	10	QUERCUS MACROCARPA / BURR OAK	B & B	X9	1,862 SF	FLAGSTONE PAVERS								

CITY APPROVAL:

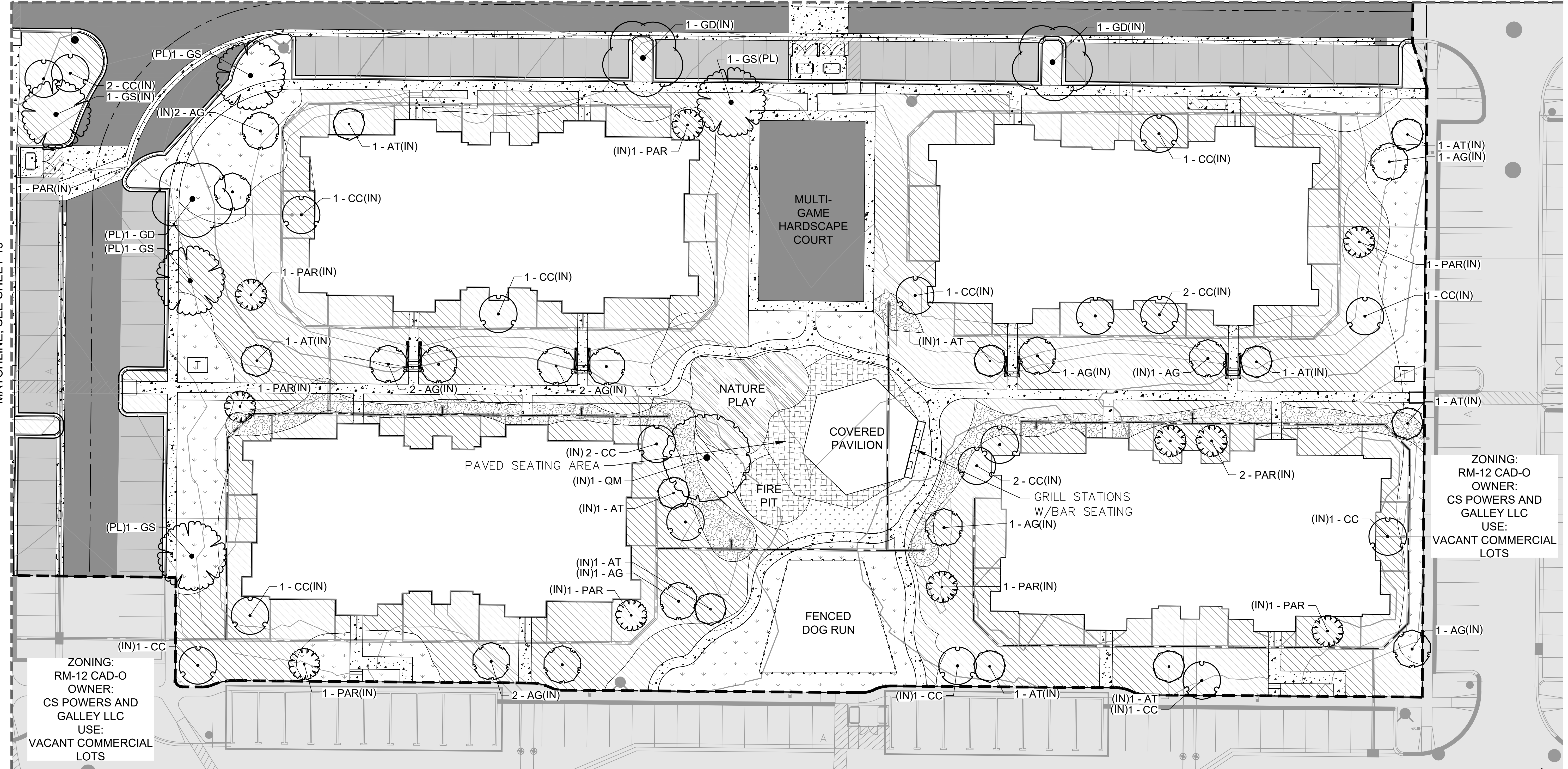
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CIMARRON HILLS DEVELOPMENT PLAN

MATCHLINE; SEE SHEET 20

MATCHLINE; SEE SHEET 21



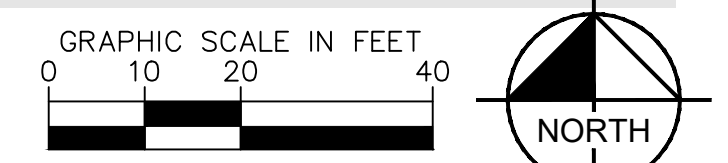
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RM-12 CAD-O
OWNER:
CS POWERS AND
GALLEY LLC
USE:
VACANT COMMERCIAL
LOTS

ZONING:
RM-12 CAD-O
OWNER:
CS POWERS AND
GALLEY LLC
USE:
VACANT COMMERCIAL
LOTS

PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL	WIDTH	HEIGHT
	AG	21	ACER GRANDIDENTATUM / HIGHLAND PARK / HIGHLAND PARK MAPLE	B & B	1.5" CAL MIN	18'-22'	25'-35'
	AT	13	ACER GINNALA 'FLAME' / FLAME AMUR MAPLE	B & B	1.5" CAL MIN	15'-20'	15'-20'
	CC	21	CRATAEGUS CRUS-GALLI 'INERMIS' / THORNLESS COCKSPUR HAWTHORN	B & B	1.5" CAL MIN	15'-20'	15'-25'
	GD	19	GYMNOCADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEE TREE (SEEDLESS)	B & B	1.5" CAL MIN	40'-50'	50'-60'
	GS	11	GLEDTISIA TRICANTHOS 'IMPCOLE' / IMPERIAL SEEDLESS HONEY LOCUST	B & B	1.5" CAL MIN	30'-40'	30'-40'
	MP	10	MALUS 'PRAIRIFIRE' / PRAIRIFIRE CRABAPPLE	B & B	1.5" CAL MIN	15'-20'	15'-20'
	QM	10	QUERCUS MACROCARPA / BURR OAK	B & B	1.5" CAL MIN	50'-60'	50'-60'
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL	WIDTH	HEIGHT
	JSM	11	JUNIPERUS SCOPULORUM 'MOONGLOW' / MOONGLOW JUNIPER LOW ROOT DAMAGE POTENTIAL	B & B	6" HGT.	6'-8'	12'-15'
	PAR	14	PINUS ARISTATA / BRISTLECONE PINE LOW ROOT DAMAGE POTENTIAL	B & B	6" HGT.	10'-20'	20'-40'
	PE	10	PINUS EDULIS / PINON PINE LOW ROOT DAMAGE POTENTIAL	B & B	6" HGT.	10'-20'	20'-30'
	PN	17	PINUS NIGRA / AUSTRIAN BLACK PINE	B & B	6" HGT.	30'-40'	40'-60'
	PP	19	PINUS PONDEROSA / PONDEROSA PINE	B & B	6" HGT.	30'-40'	60'+
	PPB	14	PICEA PUNGENS 'BABY BLUEEYES' / BABY BLUE EYES SPRUCE	B & B	6" HGT.	10'-15'	20'-30'

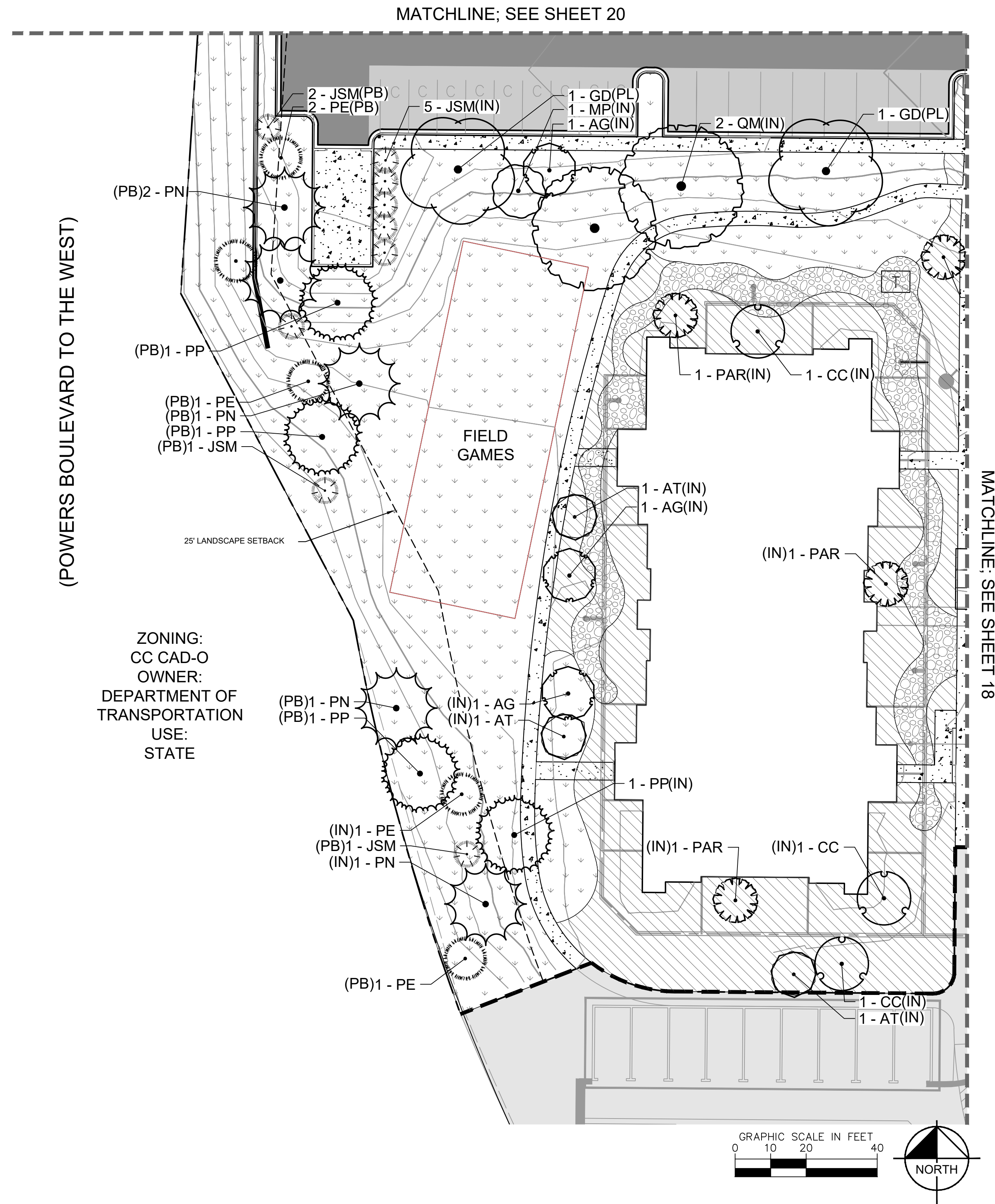
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	TYPE	INSTALL RATE	WEED FABRIC	MFL
	BREEZE	1,093 SF	PIONEER GRANITE BREEZE / PIONEER SAND & GRAVEL	BREEZE	4"	YES	PIONEER SAND & GRAVEL
	CORLA	59,775 SF	ROCK MULCH / 1 1/2"-3" RIVER ROCK	ROCK MULCH	4" DEPTH	YES	PIONEER SAND
	CORLB	6,629 SF	3"-6" RIVER ROCK CORBLESTONE SUBMIT SAMPLE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION	ROCK MULCH	6-12" DEPTH	YES	PIONEER SAND & GRAVEL
	SEED1	83,112 SF	SPC ALL-PURPOSE LOW GROW MIX / EL PASO COUNTY: SCM MANUAL TABLE 5-2 INSTALL PER TABLE 5-2 (42 LBS PLS) SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION	SEED			PAWNEE BUTTES SEED
	SEED2	41,227 SF	TALL FESCUE SEED MIX / ARKANSAS VALLEY SEED INSTALL PER MANUFACTURERS SPECIFICATIONS	SEED			PAWNEE BUTTES SEED
	XB	1,413 SF	PLAYGROUND GROUND MATERIAL	PLAYGROUND FALL MATERIAL			
	XB	1,802 SF	FLAGSTONE PAVERS	PAVERS			



CITY APPROVAL:

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CIMARRON HILLS DEVELOPMENT PLAN



(POWERS BOULEVARD TO THE WEST)

ZONING:
CC CAD-O
OWNER:
DEPARTMENT OF
TRANSPORTATION
USE:
STATE

MATCHLINE; SEE SHEET 20

MATCHLINE; SEE SHEET 18

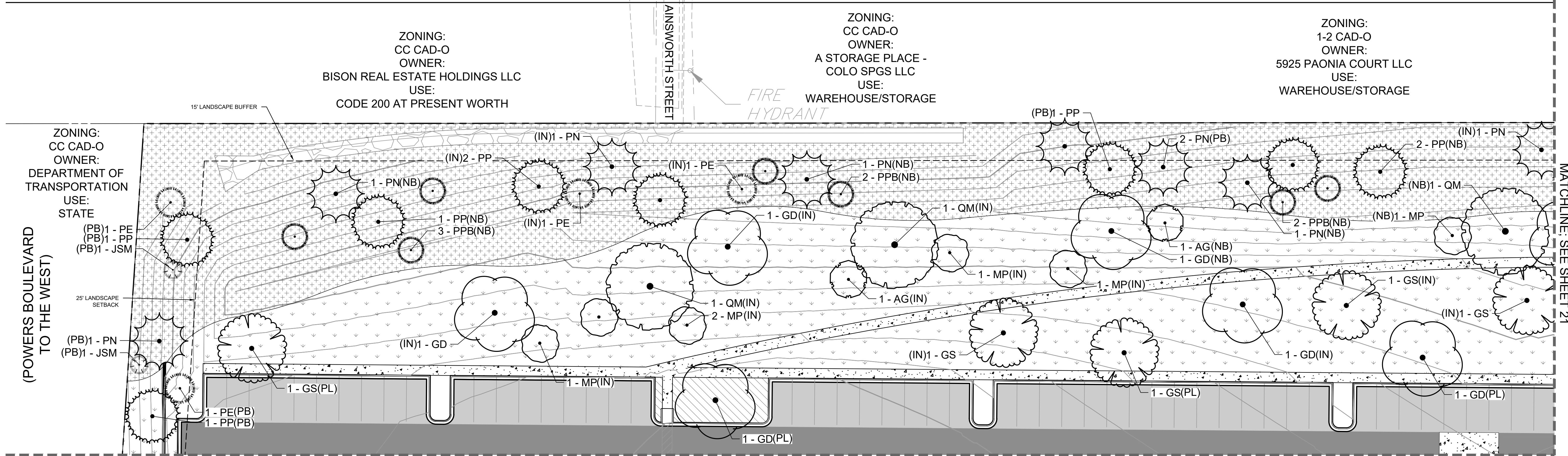
PLANT SCHEDULE

DECIDUOUS TREES				CONT. SIZE	SIZE/CAL.	WIDTH	HEIGHT
CODE	QTY	BOTANICAL / COMMON NAME					
AG	21	ACER GRANDIDENTATUM / HIGHLAND PARK / HIGHLAND PARK MAPLE	B & B		1.5" CAL MIN	18'-22'	25'-35'
AT	13	ACER GINNALA 'FLAME' / FLAME AMUR MAPLE	B & B		1.5" CAL MIN	15'-20'	15'-20'
CC	21	CRATAEGUS CRUS-GALLI 'NERMIS' / THORNLESS COCKSPUR HAWTHORN	B & B		1.5" CAL MIN	15'-20'	15'-25'
GO	19	GYNOCALADUS DOICA 'ESPRESSO' / KENTUCKY COFFEE TREE (SEEDLESS)	B & B		1.5" CAL MIN	40'-50'	50'-60'
GS	11	GLEDTISIA TRIACANTHOS 'IMPCOLE' / IMPERIAL SEEDLESS HONEY LOCUST	B & B		1.5" CAL MIN	30'-40'	30'-40'
MP	10	MALUS 'PRAIRIFIRE' / PRAIRIFIRE CRABAPPLE	B & B		1.5" CAL MIN	15'-20'	15'-20'
QM	10	QUERCUS MACROCARPA / BURR OAK	B & B		1.5" CAL MIN	50'-80'	50'-80'
EVERGREEN TREES				CONT. SIZE	SIZE/CAL.	WIDTH	HEIGHT
CODE	QTY	BOTANICAL / COMMON NAME					
JSM	11	JUNIPERUS SCOPULORUM 'MOONGLOW' / MOONGLOW JUNIPER LOW ROOT DAMAGE POTENTIAL	B & B		6" HGT.	6'-8'	12'-15'
PAR	14	PINUS ARISTATA / BRISTLECOCK PINE LOW ROOT DAMAGE POTENTIAL	B & B		6" HGT.	10'-20'	20'-40'
PE	10	PINUS EDULIS / PINON PINE LOW ROOT DAMAGE POTENTIAL	B & B		6" HGT.	10'-20'	20'-30'
PN	17	PINUS NIGRA / AUSTRIAN BLACK PINE	B & B		6" HGT.	30'-40'	40'-60'
PP	19	PINUS PONDEROSA / PONDEROSA PINE	B & B		6" HGT.	30'-40'	60'+
PPB	14	PICEA PUNGENS 'BABY BLUEEYES' / BABY BLUE EYES SPRUCE	B & B		6" HGT.	10'-15'	20'-30'
GROUND COVERS				TYPE	INSTALL RATE	WEED FABRIC	MTR.
CODE	QTY	BOTANICAL / COMMON NAME					
BREEZE	1,093 SF	PIONEER GRANITE BREEZE / PIONEER SAND & GRAVEL	BREEZE		4"	YES	PIONEER SAND & GRAVEL
CORLA	59,775 SF	ROCK MULCH / 1 1/2"-3" RIVER ROCK	ROCK MULCH		4" DEPTH	YES	PIONEER SAND
CORLB	6,629 SF	3/4" RIVER ROCK CORBLESTONE SUBMIT SAMPLE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	ROCK MULCH		6-12" DEPTH	YES	PIONEER SAND & GRAVEL
SEED1	83,112 SF	ERC ALL-PURPOSE LOW GROW MIX (EL PASO COUNTY SCM MANUAL, TABLE 5-2 INSTALL PER TABLE 5-2; 42 LBS PLS) SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	SEED				PAWNEE BUTTES SEED
SEED2	41,227 SF	TALL FESCUE SEED MIX / ARKANSAS VALLEY SEED INSTALL PER MANUFACTURERS SPECIFICATIONS	SEED				PAWNEE BUTTES SEED
X8	1,413 SF / PLAYGROUND GROUND MATERIAL	PLAYGROUND FALL MATERIAL				
X9	1,602 SF / FLAGSTONE PAVERS	PAVERS				

CITY APPROVAL:

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CIMARRON HILLS DEVELOPMENT PLAN



ZONING: CC CAD-O
OWNER: DEPARTMENT OF TRANSPORTATION
USE: STATE
(PB)1 - PE
(PB)1 - PP
(PB)1 - JSM

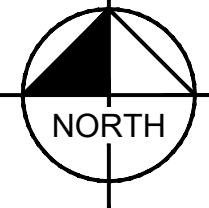
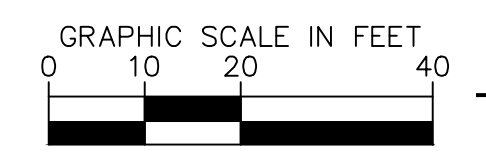
ZONING: CC CAD-O
OWNER: BISON REAL ESTATE HOLDINGS LLC
USE: CODE 200 AT PRESENT WORTH

ZONING: CC CAD-O
OWNER: A STORAGE PLACE - COLO SPGS LLC
USE: WAREHOUSE/STORAGE

ZONING: 1-2 CAD-O
OWNER: 5925 PAONIA COURT LLC
USE: WAREHOUSE/STORAGE

MATCHLINE; SEE SHEET 19

MATCHLINE; SEE SHEET 18



PLANT SCHEDULE

DECIDUOUS TREES						
CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL	WIDTH	HEIGHT
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AT	13	ACER GINNALA 'FLAME' / FLAME AMUR MAPLE	B & B	1.5" CAL MIN	15'-20'	15'-20'
CC	21	CRATAEGUS CRUS-GALLI / INERMIS / THORNLESS COCKSPUR HAWTHORN	B & B	1.5" CAL MIN	15'-20'	15'-25'
GD	19	GYMNOCADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEE TREE (SEEDLESS)	B & B	1.5" CAL MIN	40'-60'	50'-60'
GS	11	GLEDTISIA TRIACANTHOS 'IMPCOLE' / IMPERIAL SEEDLESS HONEY LOCUST	B & B	1.5" CAL MIN	30'-40'	30'-40'
MP	10	MALLUS 'PRAIRIFIRE' / PRAIRIFIRE CRABAPPLE	B & B	1.5" CAL MIN	15'-20'	15'-20'
QM	10	QUERCUS MACROCARPA / BURR OAK	B & B	1.5" CAL MIN	50'-60'	50'-60'
EVERGREEN TREES						
CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL	WIDTH	HEIGHT
JSM	11	JUNIPERUS SCOPULORUM 'MOONGLOW' / MOONGLOW JUNIPER LOW ROOT DAMAGE POTENTIAL	B & B	6" HGT.	6'-8'	12'-15'
PAR	14	PINUS ARISTATA / BRISTLECONE PINE LOW ROOT DAMAGE POTENTIAL	B & B	6" HGT.	10'-20'	20'-40'
PE	10	PINUS EDULIS / PINON PINE LOW ROOT DAMAGE POTENTIAL	B & B	6" HGT.	10'-20'	20'-30'
PN	17	PINUS NIGRA / AUSTRIAN BLACK PINE	B & B	6" HGT.	30'-40'	40'-60'
PP	19	PINUS PONDEROSA / PONDEROSA PINE	B & B	6" HGT.	30'-40'	60'+
PPB	14	PICEA PLUNGENS 'BABY BLUEEYES' / BABY BLUE EYES SPRUCE	B & B	6" HGT.	10'-15'	20'-30'
GROUND COVERS						
CODE	QTY	BOTANICAL / COMMON NAME	TYPE	INSTALL RATE	WEED FABRIC	MFL
BREEZE	1,060 SF	PIONEER GRANITE BREEZE / PIONEER SAND & GRAVEL	BREEZE	4"	YES	PIONEER SAND & GRAVEL
COBLA	59,775 SF	ROCK MULCH / 1 1/2"-3" RIVER ROCK	ROCK MULCH	4" DEPTH	YES	PIONEER SAND
COBLB	6,629 SF	3-6" RIVER ROCK CORBLESTONE SUBMIT SAMPLE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	ROCK MULCH	6-12" DEPTH	YES	PIONEER SAND & GRAVEL
SEED1	83,112 SF	EPC ALL-PURPOSE LOW GROW MIX / EL PASO COUNTY, SCM MANUAL TABLE 5-2 INSTALL PER TABLE 5-2, (62 LBS P/3) SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	SEED			PAWNEE BUTTES SEED
SEED2	41,227 SF	TALL FESCUE SEED MIX / ARKANSAS VALLEY SEED INSTALL PER MANUFACTURERS SPECIFICATIONS	SEED			PAWNEE BUTTES SEED
X8	1,413 SF / PLAYGROUND GROUND MATERIAL	PLAYGROUND FALL MATERIAL			
X9	1,602 SF / FLAGSTONE PAVERS	PAVERS			

CITY APPROVAL:

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CIMARRON HILLS DEVELOPMENT PLAN

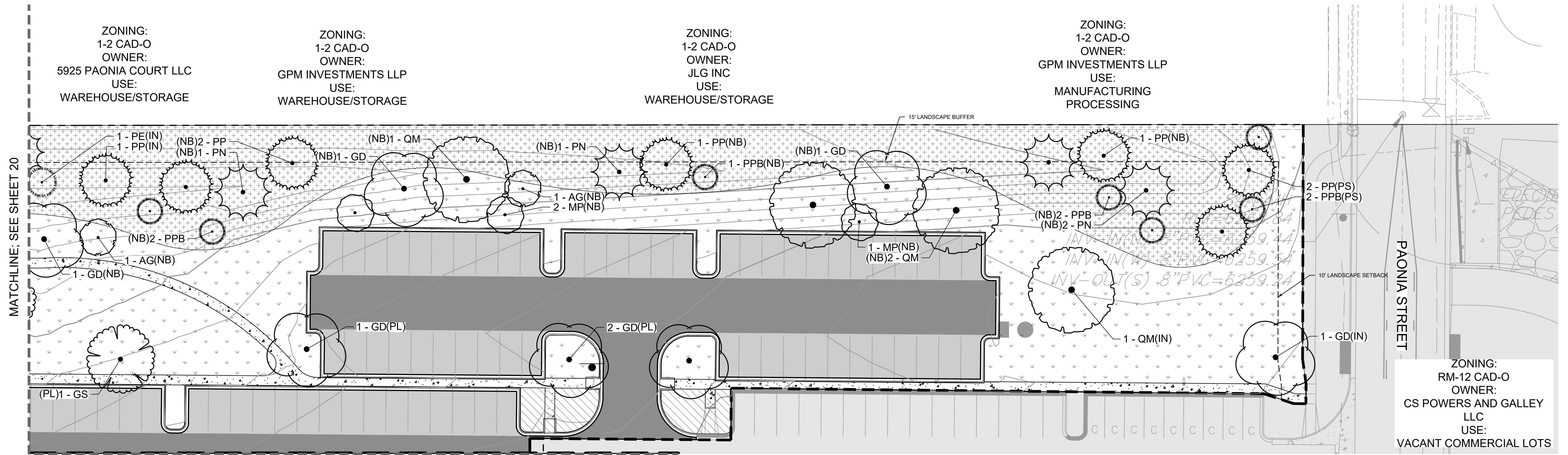
ZONING:
1-2 CAD-O
OWNER:
5925 PAONIA COURT LLC
USE:
WAREHOUSE/STORAGE

ZONING:
1-2 CAD-O
OWNER:
GPM INVESTMENTS LLP
USE:
WAREHOUSE/STORAGE

ZONING:
1-2 CAD-O
OWNER:
JLG INC
USE:
WAREHOUSE/STORAGE

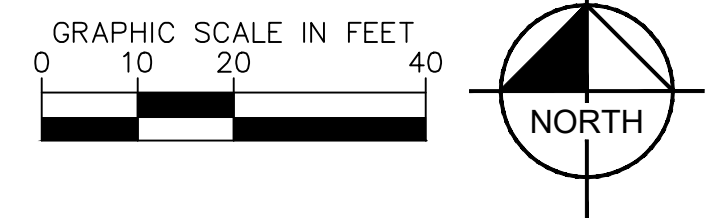
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OWNER:
GPM INVESTMENTS LLP
USE:
MANUFACTURING
PROCESSING

ZONING:
RM-12 CAD-O
OWNER:
CS POWERS AND GALLEY
LLC
USE:
VACANT COMMERCIAL LOTS



MATCHLINE; SEE SHEET 20

MATCHLINE; SEE SHEET 18



PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL.	WIDTH	HEIGHT
AG	21		ACER GRANDIDENTATUM / HIGHLAND PARK / HIGHLAND PARK MAPLE	B & B	1.5" CAL MIN	18'-22'	25'-35'
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PE	10		PINUS EDULIS / PINON PINE LOW ROOT DAMAGE POTENTIAL	B & B	6" HGT.	10'-20'	20'-30'
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COBLB	6,629 SF		3/4" RIVER ROCK COBBLESTONE SUBMIT SAMPLE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	ROCK MULCH	6-12" DEPTH	YES	PIONEER SAND & GRAVEL
SEED1	83,112 SF		EPC ALL-PURPOSE LOW GROW MIX / EL PASO COUNTY, SCM MANUAL TABLE 5-2 INSTALL PER TABLE 5-2, (62 LBS PLS) SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	SEED			PAWNEE BUTTES SEED
SEED2	41,227 SF		TALL FESCUE SEED MIX / ARKANSAS VALLEY SEED INSTALL PER MANUFACTURERS SPECIFICATIONS	SEED			PAWNEE BUTTES SEED
X8	1,413 SF	 / PLAYGROUND GROUND MATERIAL	PLAYGROUND FALL MATERIAL			
X9	1,602 SF	 / FLAGSTONE PAVERS	PAVERS			

CITY APPROVAL:

Kimley»Horn

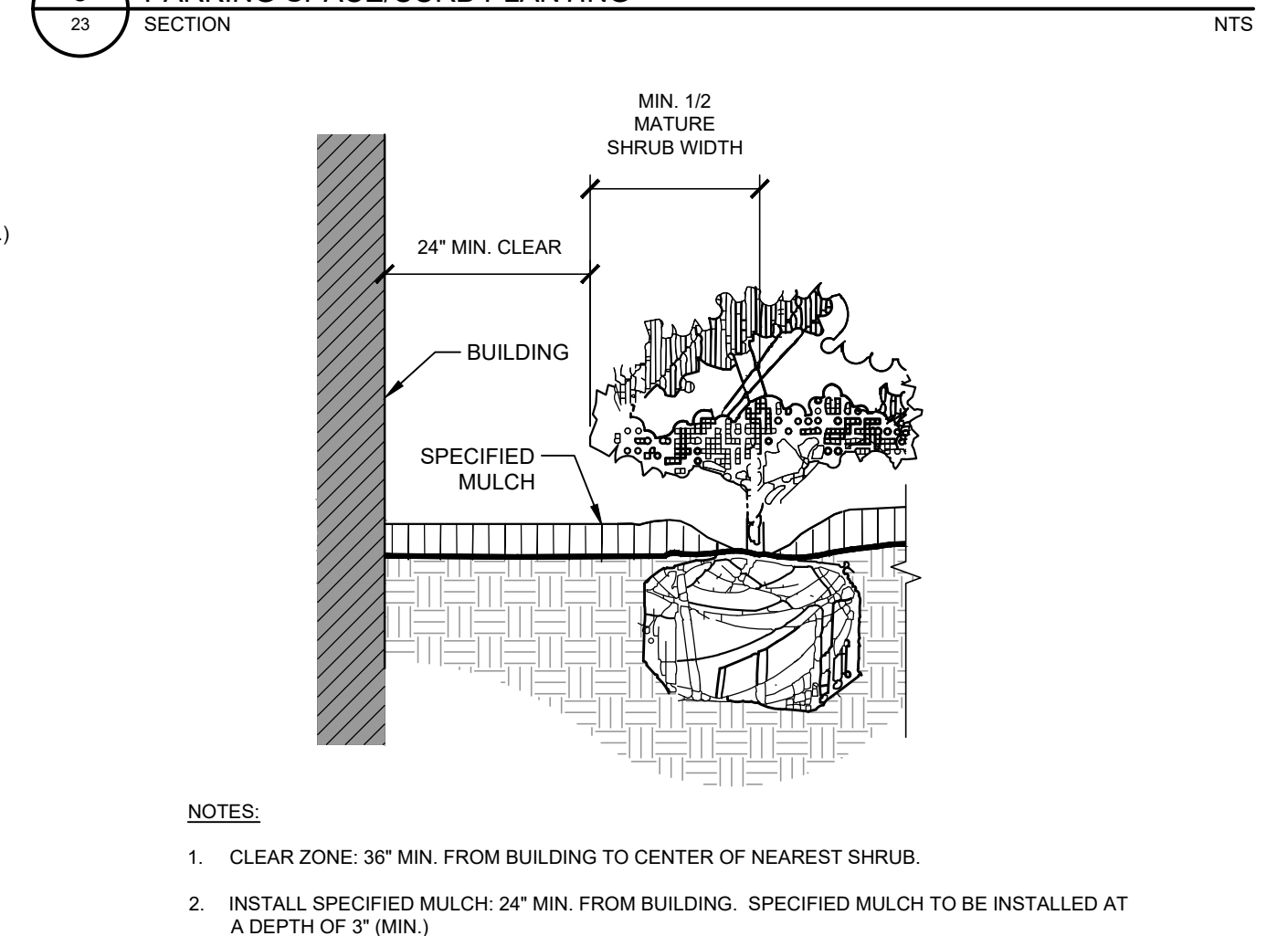
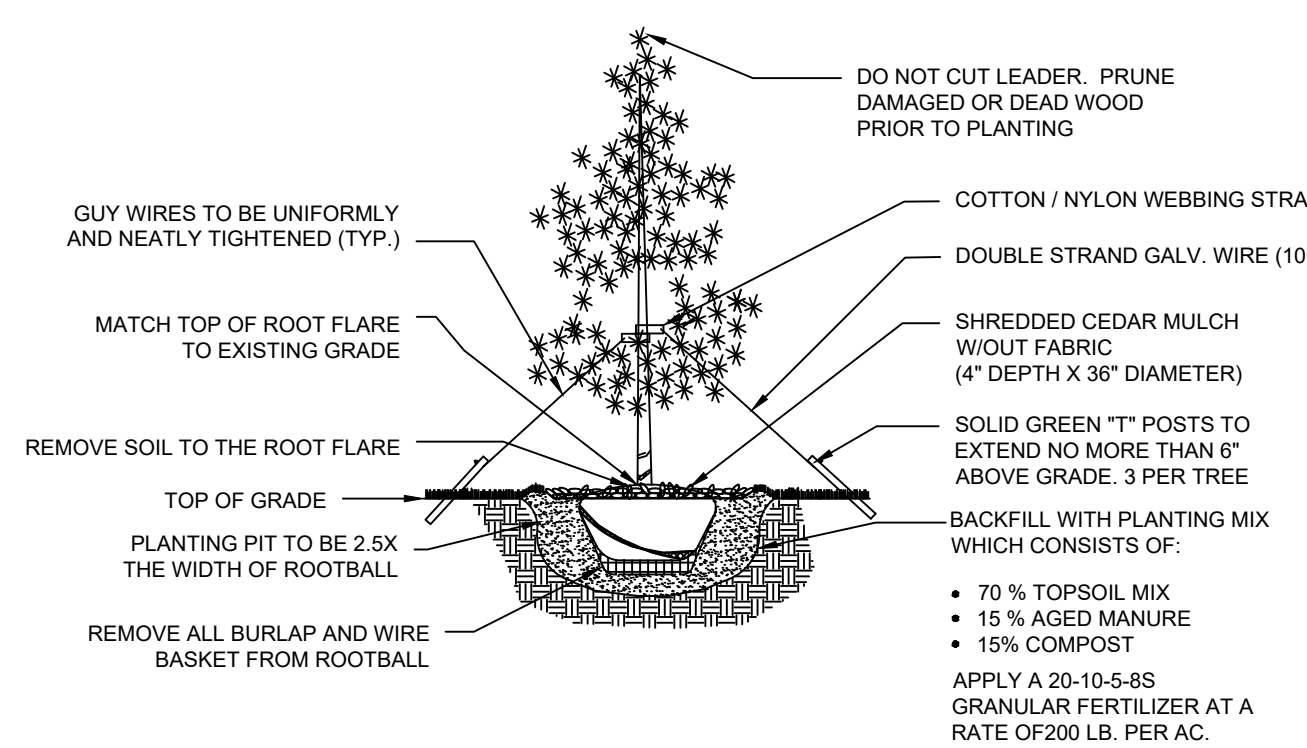
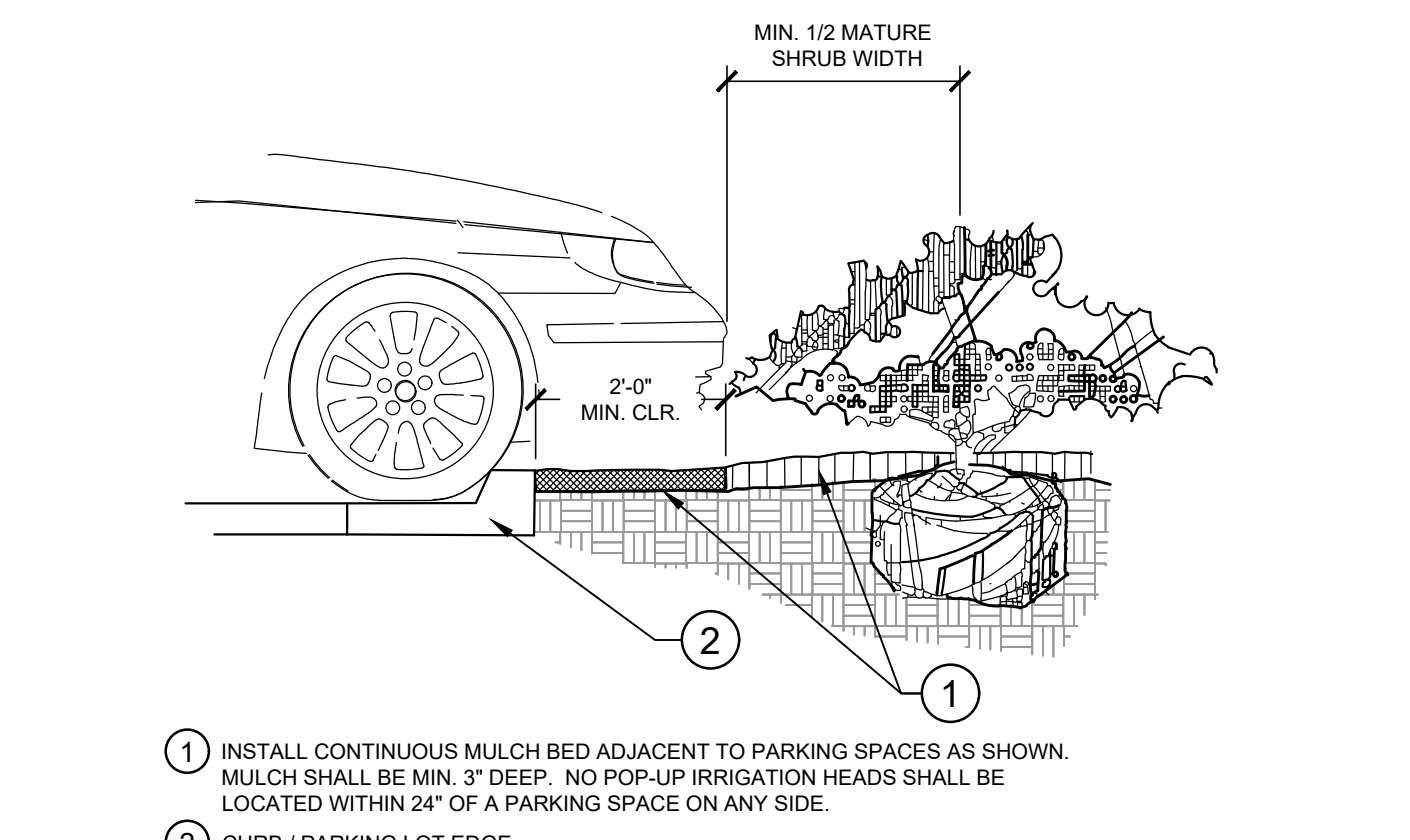
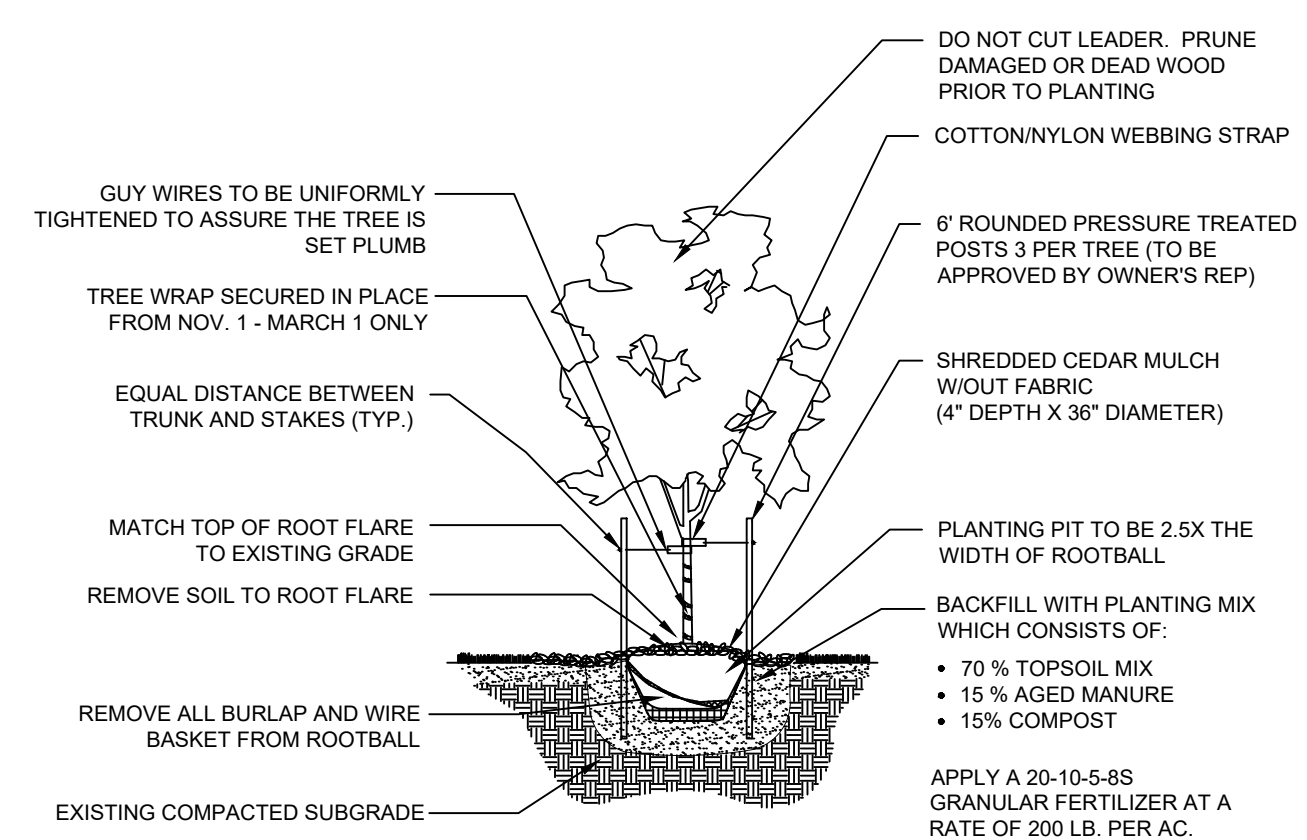
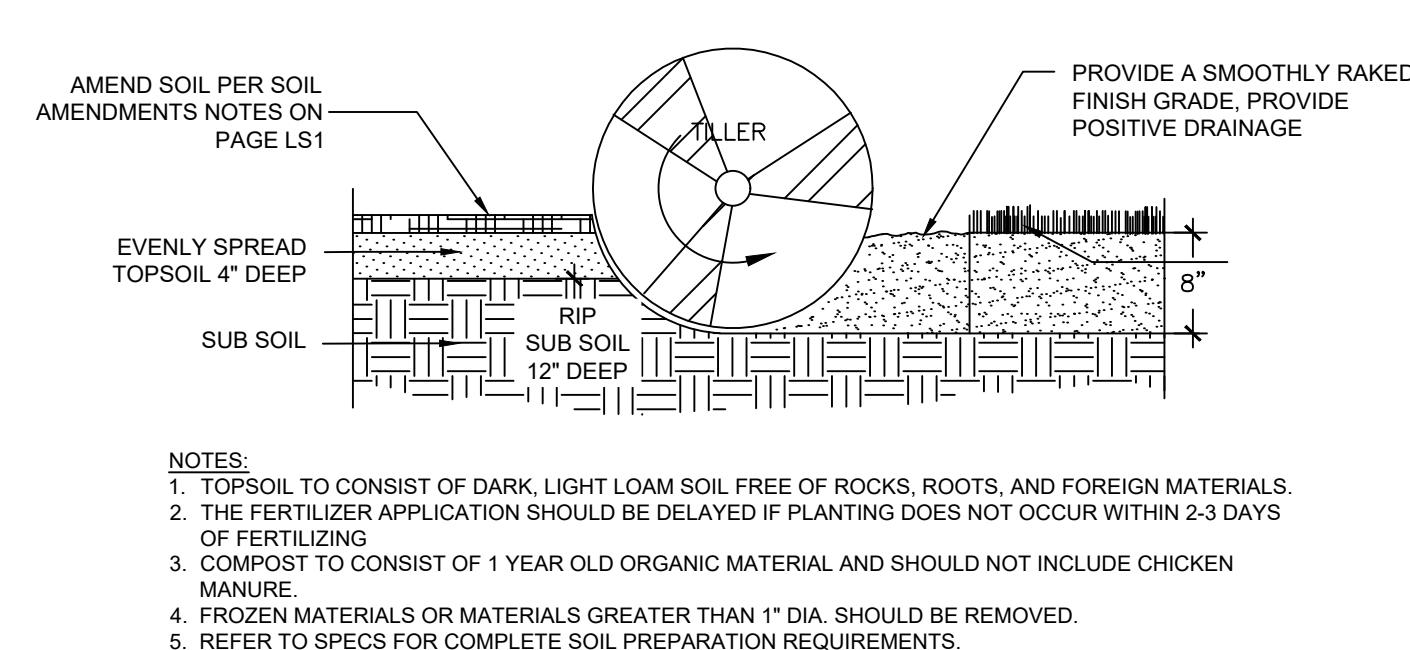
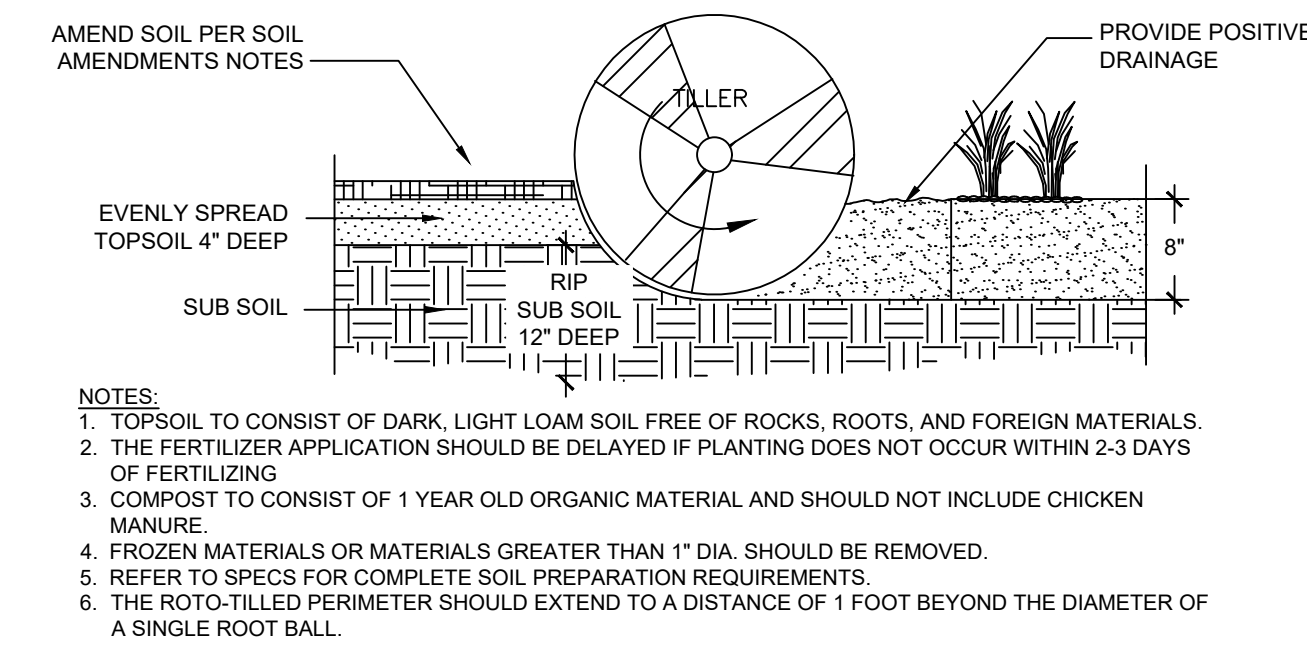
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2 NORTH NEVADA AVENUE, SUITE 300
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

LANDSCAPE PLAN 4
SHEET 21 OF 23

CIMARRON HILLS DEVELOPMENT PLAN

LANDSCAPE SETBACKS AND BUFFERS

STREET NAME OR BOUNDARY:	POWERS BLVD	PAONIA ST	NORTH BUFFER
ZONE DISTRICT BOUNDARY:	NO	NO	YES
STREET CLASSIFICATION:	EXPRESSWAY	NON-ARTEIAL	N/A
SETBACK DEPTH REQUIRED / PROVIDED:	25' / 25'	10' / 10'	15' / 100' +
LINEAR FOOTAGE:	425'	113'	1082'
TREE PER FEET REQ.:	1 TREE PER 20 LF	1 TREE PER 30 LF	1 TREE PER 25 LF
NUMBER OF TREES REQ. / PROV.	22 / 22	4 / 4	44 / 44
EVERGREEN TREES REQ. / PROV.	N/A	N/A	15 / 26
SHRUB SUBSTITUTES REQ. / PROV.	N/A	N/A	N/A
ORN. GRASS SUBSTITUTES REQ. / PROV.	N/A	N/A	N/A
OPAQUE SCREEN REQ. / PROV.	N/A	N/A	1082' / 1082'
PLANT ABBREVIATION DENOTED ON PLAN:	PB	PS	NB
% GROUND PLANE VEG. REQ. / PROV.	75% / 75%	75% / 75%	75% / 100%



INTERNAL LANDSCAPING

NET SITE AREA:	340,795 SF (7.82 AC)
PERCENT MINIMUM INTERNAL AREA:	15%
INTERNAL LANDSCAPE AREA REQ. / PROV.	173,412 SF / 539,645 SF
TREE PER FEET REQ.	1 TREE PER 500 SF
INTERNAL TREES REQ. / PROV.	103 / 104
SHRUB SUBSTITUTES REQ. / PROV.	N/A
ORN. GRASS SUBSTITUTES REQ. / PROV.	N/A
PLANT ABBREVIATION DENOTED ON PLAN:	IN
% GROUND PLANE VEG. REQ. / PROV.	50% / 50%

PARKING LOT LANDSCAPING

NUMBER OF VEHICLE SPACES PROVIDED:	224
SHADE TREES REQUIRED:	1 TREE PER 15 STALLS
SHADE TREES REQ. / PROV.:	15 / 15
PARKING LOT FRONTAGES:	NORTH
LENGTH OF FRONTAGE:	253'
LENGTH OF 3' TALL SCREENING PLANTS REQ. / PROV.:	169' / 169'
LENGTH OF BERM OR FENCE REQ. / PROV.:	1082'
PLANT ABBREVIATION DENOTED ON PLAN:	PL

CITY APPROVAL:

LANDSCAPE DETAILS
SHEET 23 OF 23

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