A PORTION OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 SEST OF THE P.M. EL PASO COUNTY, COLORADO

CONSTRUCTION DOCUMENTS

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CONTACTS

CS POWERS & GALLEY LLC 510 S NEIL ST CHAMPAIGN, IL 61820 PHONE: (719) 216-2577 CONTACT:

CIVIL ENGINEER: KIMLEY-HORN AND ASSOCIATES 2 N. NEVADA AVENUE SUITE 300 COLORADO SPRINGS, CO 80903 CONTACT: ERIC GUNDERSON PHONE: (719) 453-0182

SURVEYOR COMPANY

ADDRESS 1 ADDRESS 2 TEL: XXX CONTACT: XXX

EL PASO COUNTY: PCD DEPARTMENT 2880 INTERNATIONAL CIRCLE, SUITE 110 COLORADO SPRINGS, CO 80910 PHONE: (719) 520-6300

DEVELOPER'S SIGNATURE BLOCK

the owner/developer have read and will comply with the requirements of the grading and erosion control plan and all of th

ENGINEER'S SIGNATURE BLOCK

SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS. ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED PLANS AND SPECIFICATIONS

ERIC GUNDERSON, PE - KIMLEY-HORN AND ASSOCIATES, INC. DATE

EL PASO COUNTY REVIEW STATEMENT

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN DIMENSIONS AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE FL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

update to match the title above

Engineer/ECM

PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION Kimley » Horn Kimley-Horn and Associates, Inc

DESIGNED BY: MV DRAWN BY: MVZ/RE

CHECKED BY: EJ DATE: 09/19/202:

PHASE

CIMARRON

PROJECT NO. 096668009 SHEET

C-001

dd the project benchmark (NAVD88) to the title shee

Please provide the following

WEDSITE (TITES: //UEAAA.FAA.GUV/UEAAA/EXTERNAL/FURTALISF).

2. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

A PORTION OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 SEST OF THE P.M.

EL PASO COUNTY, COLORADO

CONSTRUCTION DOCUMENTS

STANDARD NOTES FOR EL PASO COUNTY GRADING AND EROSION CONTROL PLANS:

- 1. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF SITE WATERS. INCLUDING WETLANDS.
- 2. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS TO REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- 3. A SEPARATE STORMWATER MANAGEMENT PLAN (SMWP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- 4. ONCE THE ESQCP HAS BEEN APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
- 5. CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
- 6. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
- 7. TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
- 8. FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLAN DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
- 9. ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
- 10. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE, UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
- 11. COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
- 12. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
- 13. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUT SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK, OR STREAM.
- 14. DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
- 15. EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN
- 16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE COSNTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- 17. WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.

- 18. TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- 19. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- 20. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL
- 21. NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ONSITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.

22. BULK STORAGE OF PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ONSITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR

- SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.

 23. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
- 24. OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY

 CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE

REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION

(1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN

- THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.

 25. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- 26. PRIOR TO CONSTRUCTION THE PERMITEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.

 27. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED
- AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.

 28. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY KUMAR AND ASSOCIATES, INC., DATED 9/10/2020 AND SHALL BE CONSIDERED A PART OF THESE PLANS.

29. AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT WATER QUALITY CONTROL DIVISION
WQCD – PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER. CO 80246-1530

Revise. The so report that was submitted was prepared by Control Thompson.

STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS

- 1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- 3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
- a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
- b. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
- c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
- d. CDOT M & S STANDARDS

ATTN: PERMITS UNIT

- 4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- 5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- 6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- 7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.

- 8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES
- 9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- 10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- 11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- 12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- 13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DPW AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
- 14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- 15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

O. REVISION BY D

ORN AND ASSOCIATES, INC.
Avenue, Suite 300

DESIGNED BY: MVZ
DRAWN BY: MVZ/RES
CHECKED BY: EJG
DATE: 09/19/2022

RRON HILLS - PHASE NSTRUCTION DOCUMENTS

FOR REVIEW ONLY

NOT FOR

CONSTRUCTION

Kimley Horn

Kimley-Horn and Associates, Inc.

PROJECT NO. 096668009

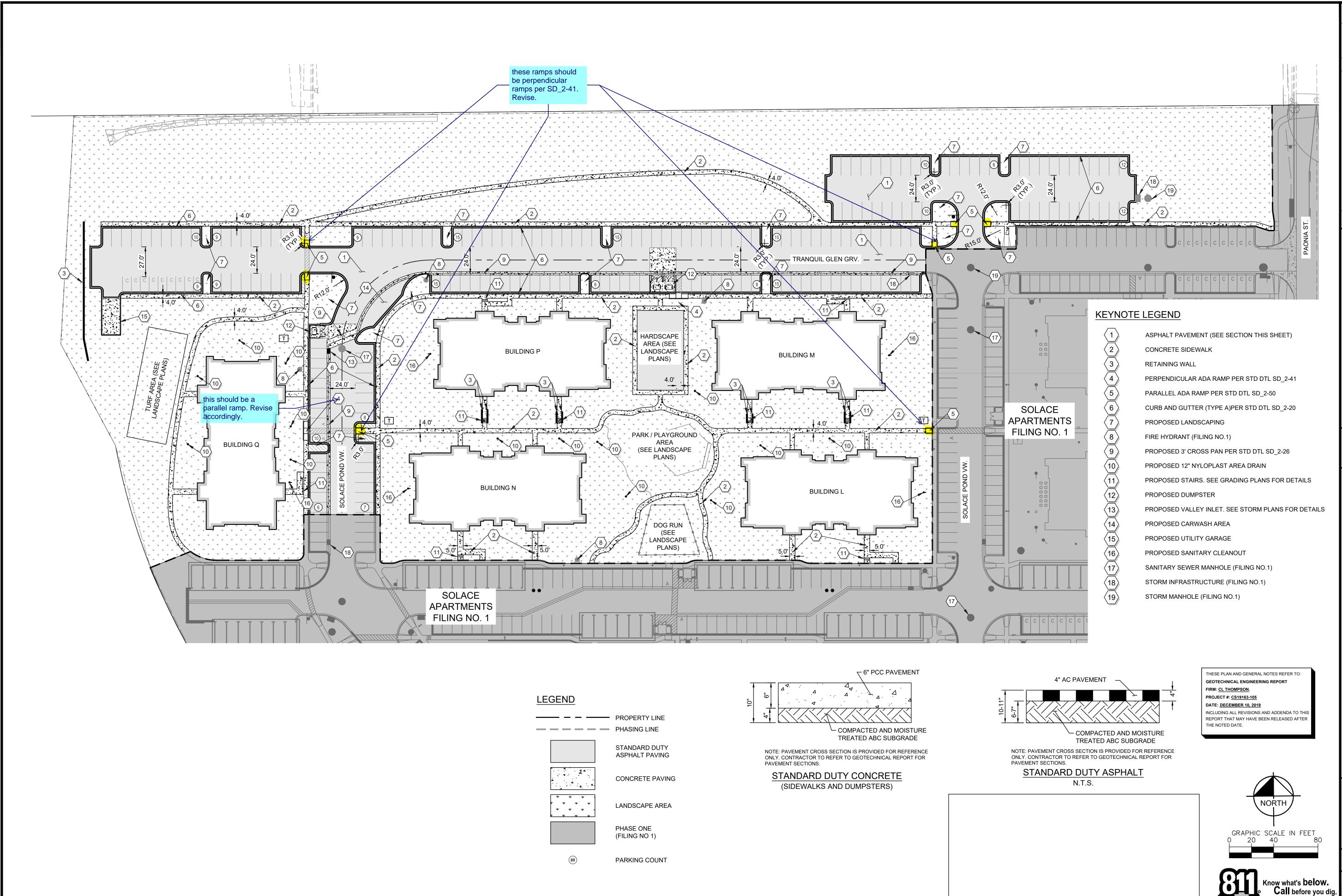
SHEET C-002

Know what's below.
Call before you dig.

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arron Hills\Phase 2\CADD\PlanSheets\CD\196140

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DESIGNED BY: MVZ

DRAWN BY: MVZ/RES CHECKED BY: EJO DATE: 09/19/2022

PHASE

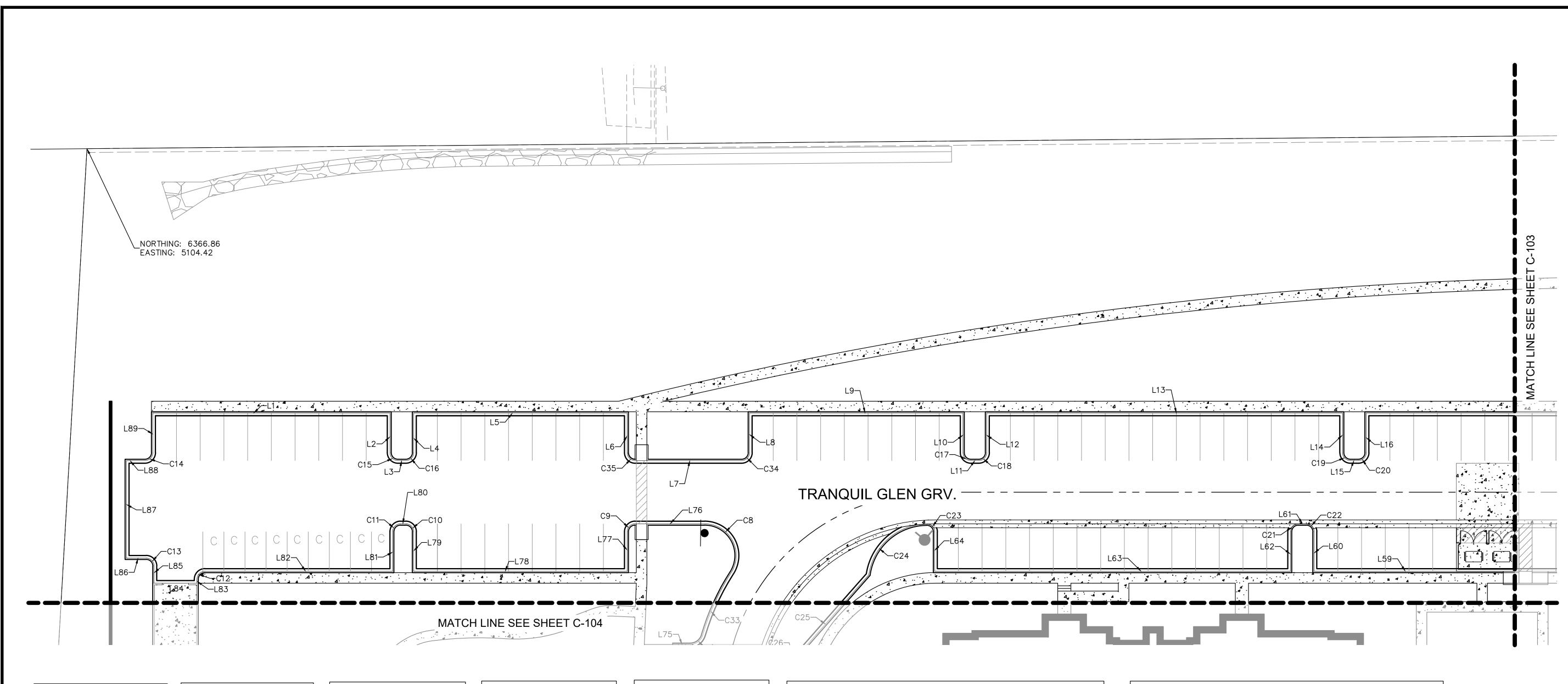
CIMARRON

CONSTRUCTION DOCUMENT OVERALL SITE PLAN

FOR REVIEW ONLY NOT FOR CONSTRUCTION Kimley » Horn Kimley-Horn and Associates, Inc.

PROJECT NO. 096668009 SHEET

PRELIMINARY



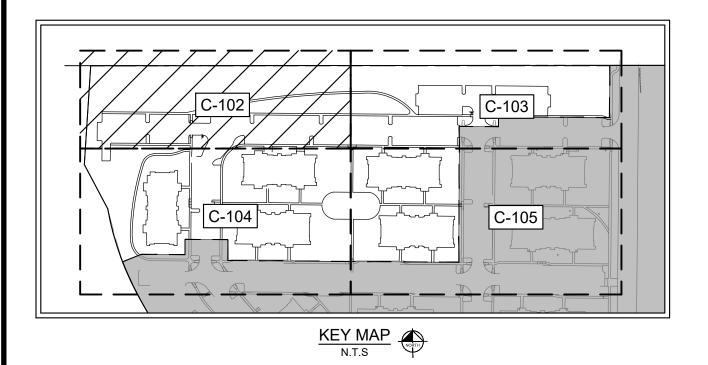
	LINE	TABLE		LINE	TABLE
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	90.00	S89°32'13.00"E	L9	81.00	S89°32'13.00"E
L2	15.00	S0°27'47.00"W	L10	15.00	S0°27'47.00"W
L3	3.00	S89°32'13.00"E	L11	3.00	S89°32'13.00"E
L4	15.00	N0°27'47.00"E	L12	15.00	N0°27'47.00"E
L5	81.00	S89°32'13.00"E	L13	18.00	S0°27'47.00"W
L6	15.00	S0°27'47.00"W	L13	18.00	S0°27'47.00"W
L7	40.42	S89°32'26.34"E	L14	15.00	S0°27'47.00"W
L8	15.02	N0°27'47.00"E	L15	3.00	S89°32'13.00"E

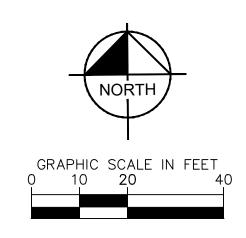
	LINE	TABLE
LINE	LENGTH	BEARING
L16	15.00	N0°27'47.00"E
L59	54.00	N89°32'13.00"W
L60	15.00	N0°27'47.00"E
L61	222.92	N89°32'13.00"W
L62	15.00	S0°27'47.00"W
L63	135.00	N89°32'13.04"W
L64	14.91	N0°27'47.00"E
L76	26.35	N89°33'39.60"W

	LINE	TABLE	
LINE	LENGTH	BEARING	LIN
L77	15.00	S0°27'47.00"W	L8
L78	81.00	N89°32'13.00"W	L8
L79	15.00	N0°27'47.00"E	L8
L80	2.00	N89°32'13.00"W	L8
L81	15.00	S0°27'47.00"W	L٤
L82	71.25	N89°32'13.00"W	
L83	1.50	S0°27'47.00"W	
L84	16.25	N89°32'13.00"W	

LINE TABLE CURVE TABLE	TANGENT
	TANGENT
LINE LENGTH BEARING CURVE RADIUS LENGTH CHORD BEARING CHORD DELTA	IANOLINI
L85 6.50 N0°27'47.00"E C8 12.00' 25.68' N28°13'39"W 21.05' 122°37'07"	21.93'
L86 7.50 N89°32'13.00"W C9 3.00' 4.71' S45°27'04"W 4.24' 89°58'33"	3.00'
L87 37.00 N0°27'47.00"E C10 3.00' 4.71' N44°32'13"W 4.24' 90°00'00"	3.00'
L88 7.00 S89°32'13.00"E C11 3.00' 4.71' S45°27'47"W 4.24' 90°00'00"	3.00'
L89 15.00 N0°27'47.00"E C12 3.00' 4.71' S45°27'47"W 4.24' 90°00'00"	3.00'
C13 3.00' 4.71' N44°32'13"W 4.24' 90°00'00"	3.00'
C14 3.00' 4.71' N45°27'47"E 4.24' 90°00'00"	3.00'
C15 3.00' 4.71' S44°32'13"E 4.24' 90°00'00"	3.00'
C16 3.00' 4.71' N45°27'47"E 4.24' 90°00'00"	3.00'
C17 3.00' 4.71' S44°32'13"E 4.24' 90°00'00"	3.00'

CURVE TABLE							
CURVE	RVE RADIUS LENGTH CHORD BEARING CHORD DELTA TANG						
C18	3.00'	4.71'	N45°27'47"E	4.24'	90°00'00"	3.00'	
C19	3.00'	4.71'	S44°32'13"E	4.24'	90°00'00"	3.00'	
C20	3.00'	4.71'	N45°27'47"E	4.24'	90°00'00"	3.00'	
C21	3.00'	4.71'	S45°27'47"W	4.24'	90°00'00"	3.00'	
C21	3.00'	4.71'	S45°27'47"W	4.24'	90°00'00"	3.00'	
C22	3.00'	4.71'	N44°32'13"W	4.24'	90°00'00"	3.00'	
C22	3.00'	4.71'	N44°32'13"W	4.24'	90°00'00"	3.00'	
C23	3.00'	4.74'	N44°50'44"W	4.27'	90°37'02"	3.03'	
C23	3.00'	4.74'	N44°50'44"W	4.27'	90°37'02"	3.03'	
C24	22.41'	31.83'	S49°10'11"W	29.22'	81°21'08"	19.26'	









FOR REVIEW ONLY
NOT FOR
CONSTRUCTION
Kimley»Horn
Kimley-Horn and Associates, Inc.

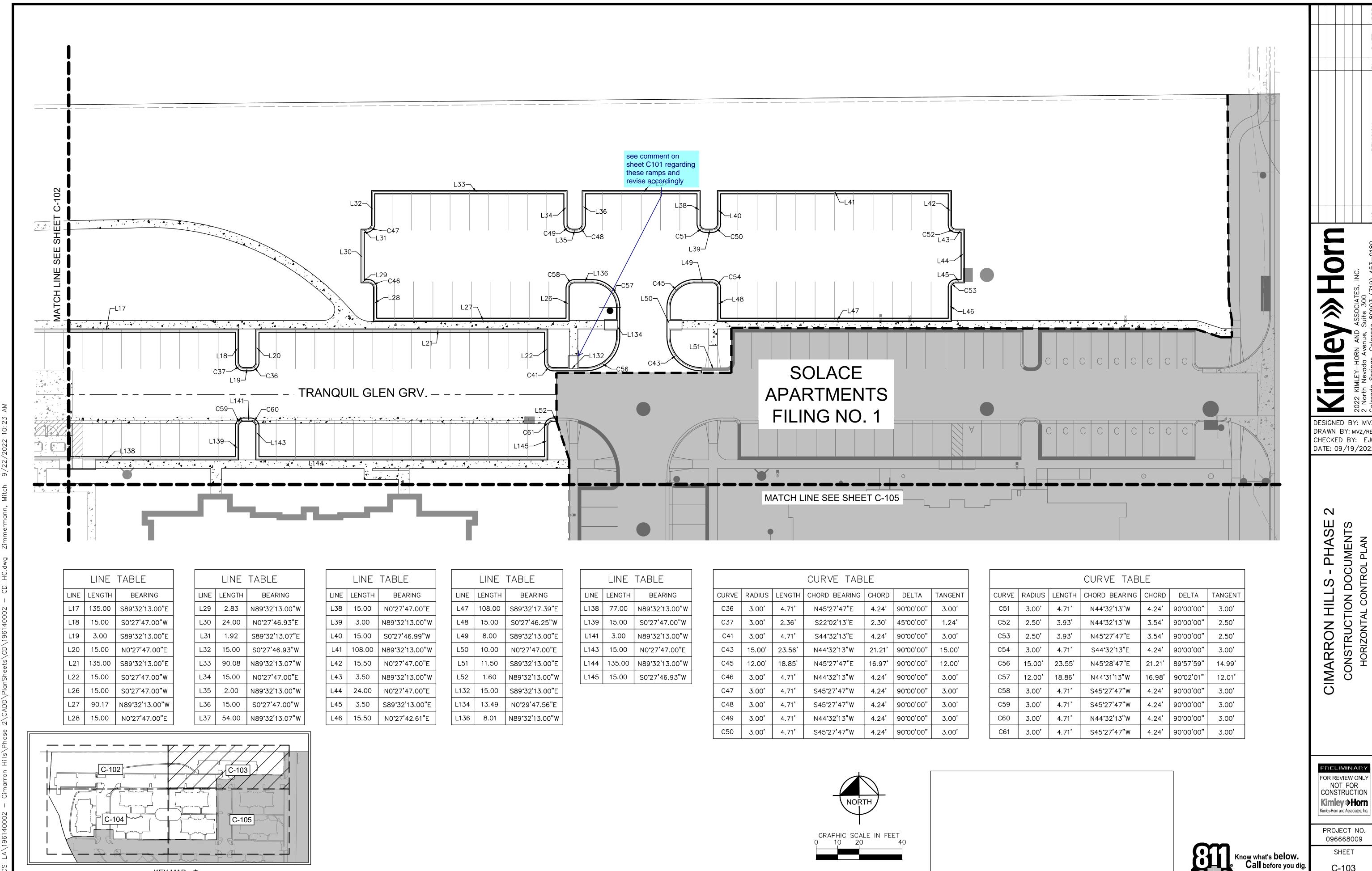
DRAWN BY: MVZ/RES CHECKED BY: EJO DATE: 09/19/2022

IMARRON HILLS - PHASE 2
CONSTRUCTION DOCUMENTS
HORIZONTAL CONTROL PLAN

CIMARRON HILLS

PROJECT NO. 096668009

SHEET C-102



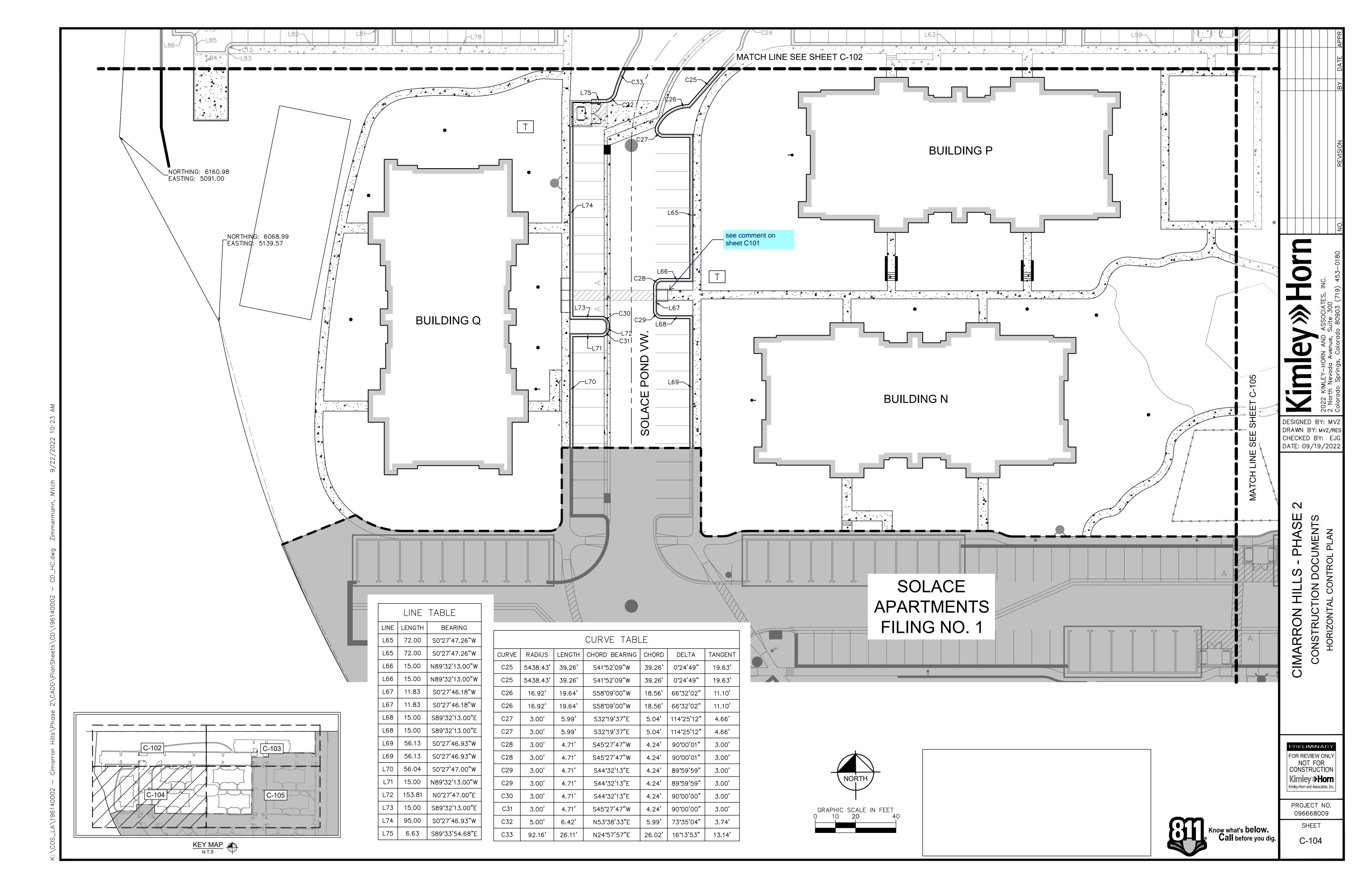
KEY MAP

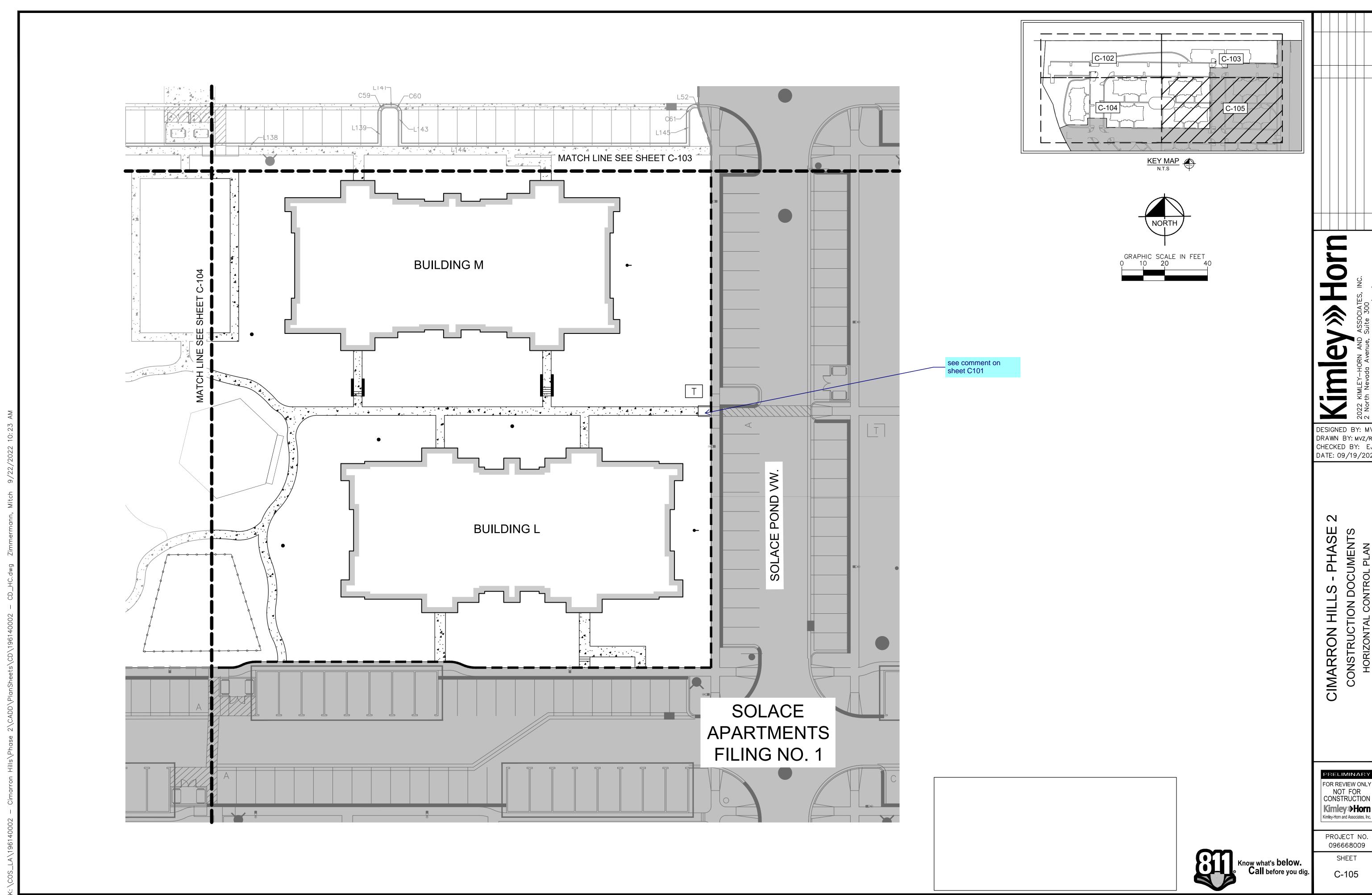
- PHASE CONSTRUCTION DOCUMENTS HORIZONTAL CONTROL PLAN **CIMARRON HILLS**

PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION Kimley » Horn Kimley-Horn and Associates, Inc.

> PROJECT NO. 096668009

SHEET C-103

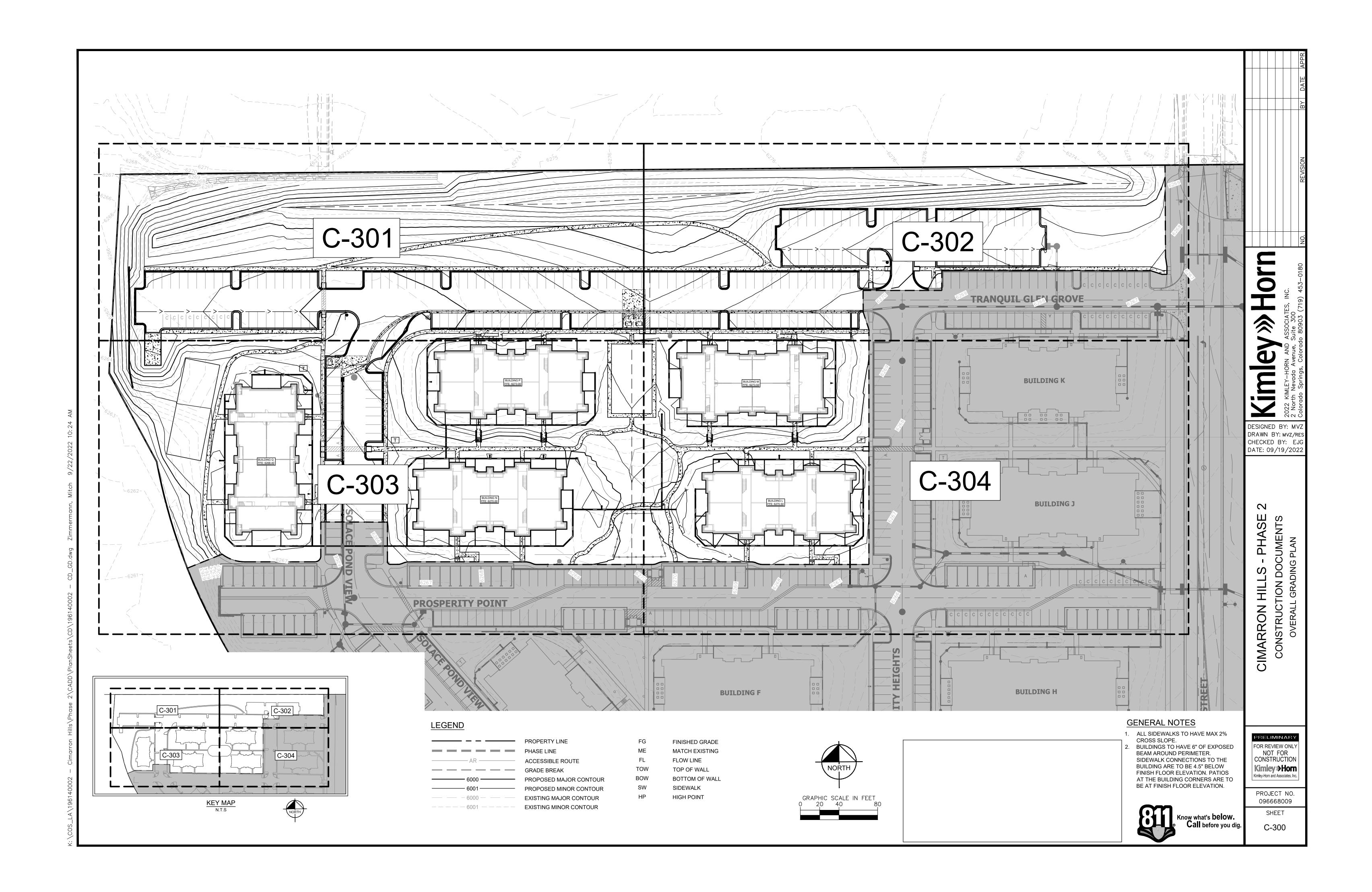


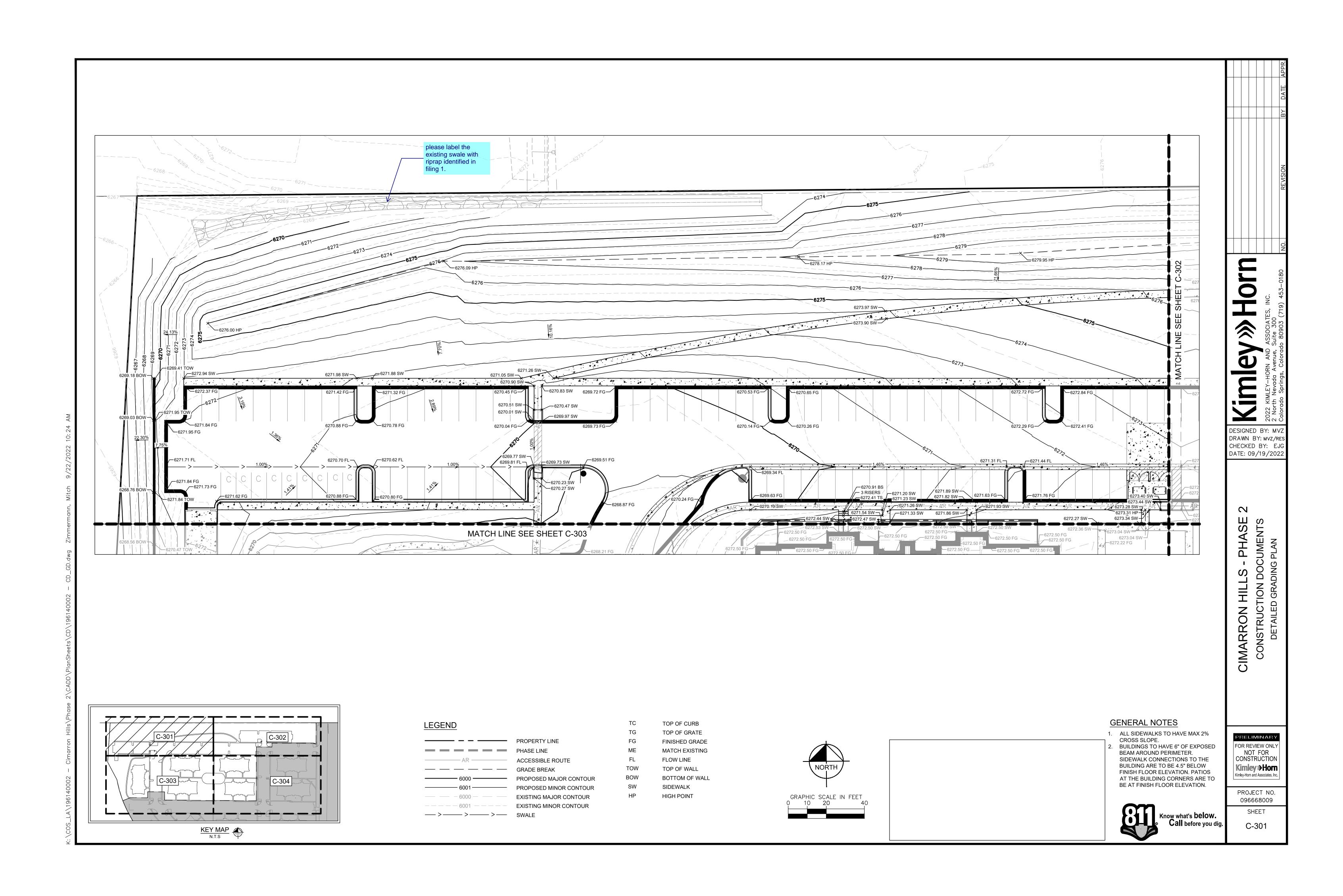


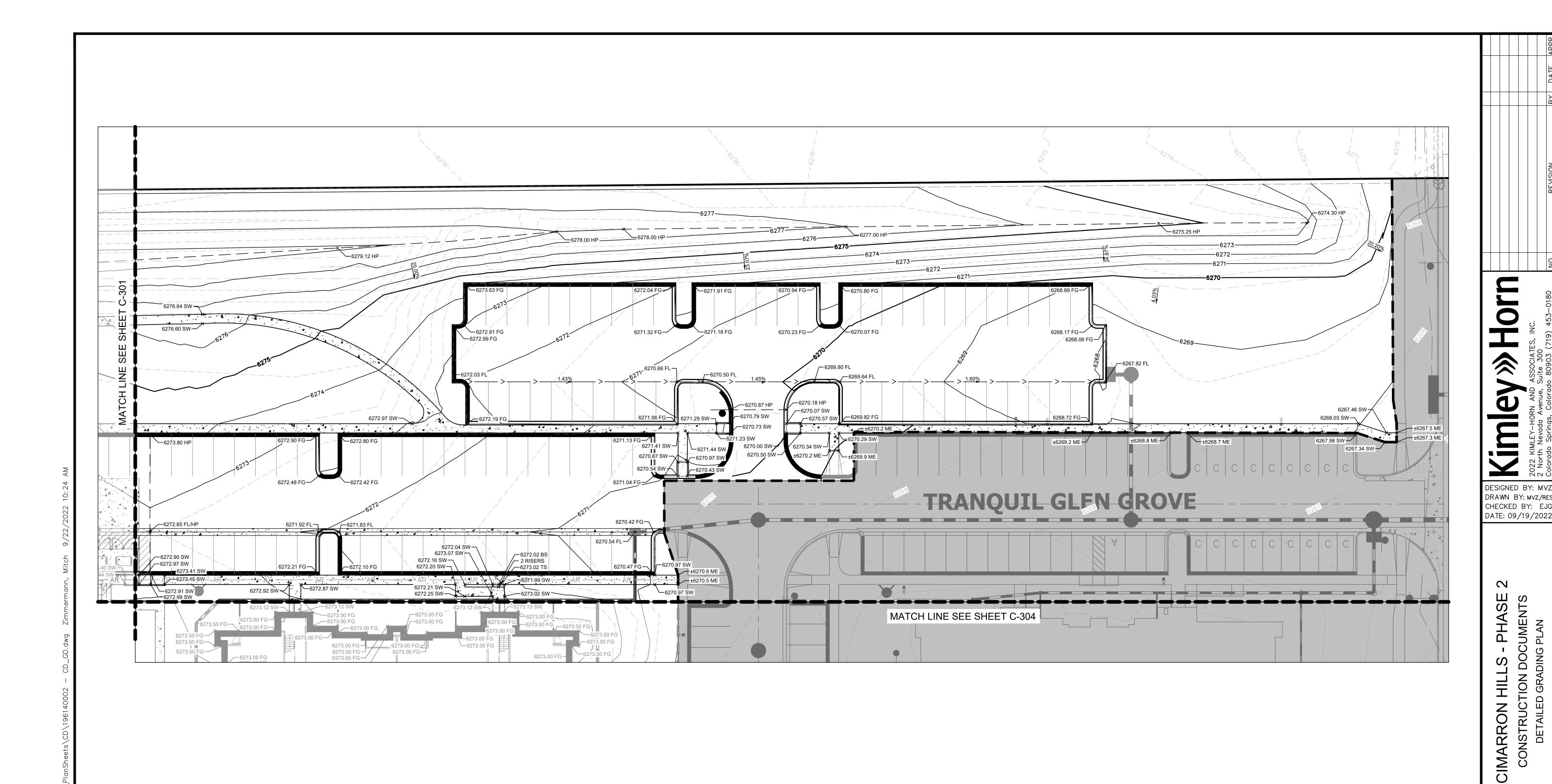
DESIGNED BY: MVZ

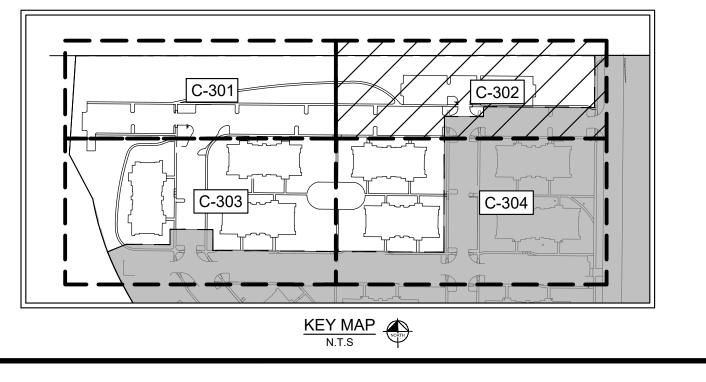
DRAWN BY: MVZ/RES CHECKED BY: EJC DATE: 09/19/2022

FOR REVIEW ONLY
NOT FOR
CONSTRUCTION
Kimley Horn
Kimley-Horn and Associates, Inc.



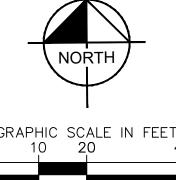


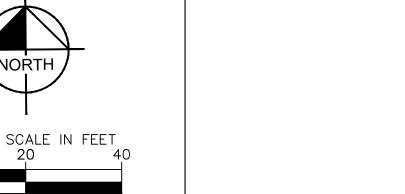




<u>LEGEND</u>

	PROPERTY LINE	FG	FINISHED GRADE
	PHASE LINE	ME	MATCH EXISTING
AR	ACCESSIBLE ROUTE	FL	FLOW LINE
	GRADE BREAK	TOW	TOP OF WALL
6000 ———	PROPOSED MAJOR CONTOUR	BOW	BOTTOM OF WALL
6001 —	PROPOSED MINOR CONTOUR	SW	SIDEWALK
6000	EXISTING MAJOR CONTOUR	HP	HIGH POINT
———— 6001 ————	EXISTING MINOR CONTOUR		





CROSS SLOPE. BUILDINGS TO HAVE 6" OF EXPOSED BEAM AROUND PERIMETER. SIDEWALK CONNECTIONS TO THE BUILDING ARE TO BE 4.5" BELOW FINISH FLOOR ELEVATION. PATIOS AT THE BUILDING CORNERS ARE TO BE AT FINISH FLOOR ELEVATION.



096668009

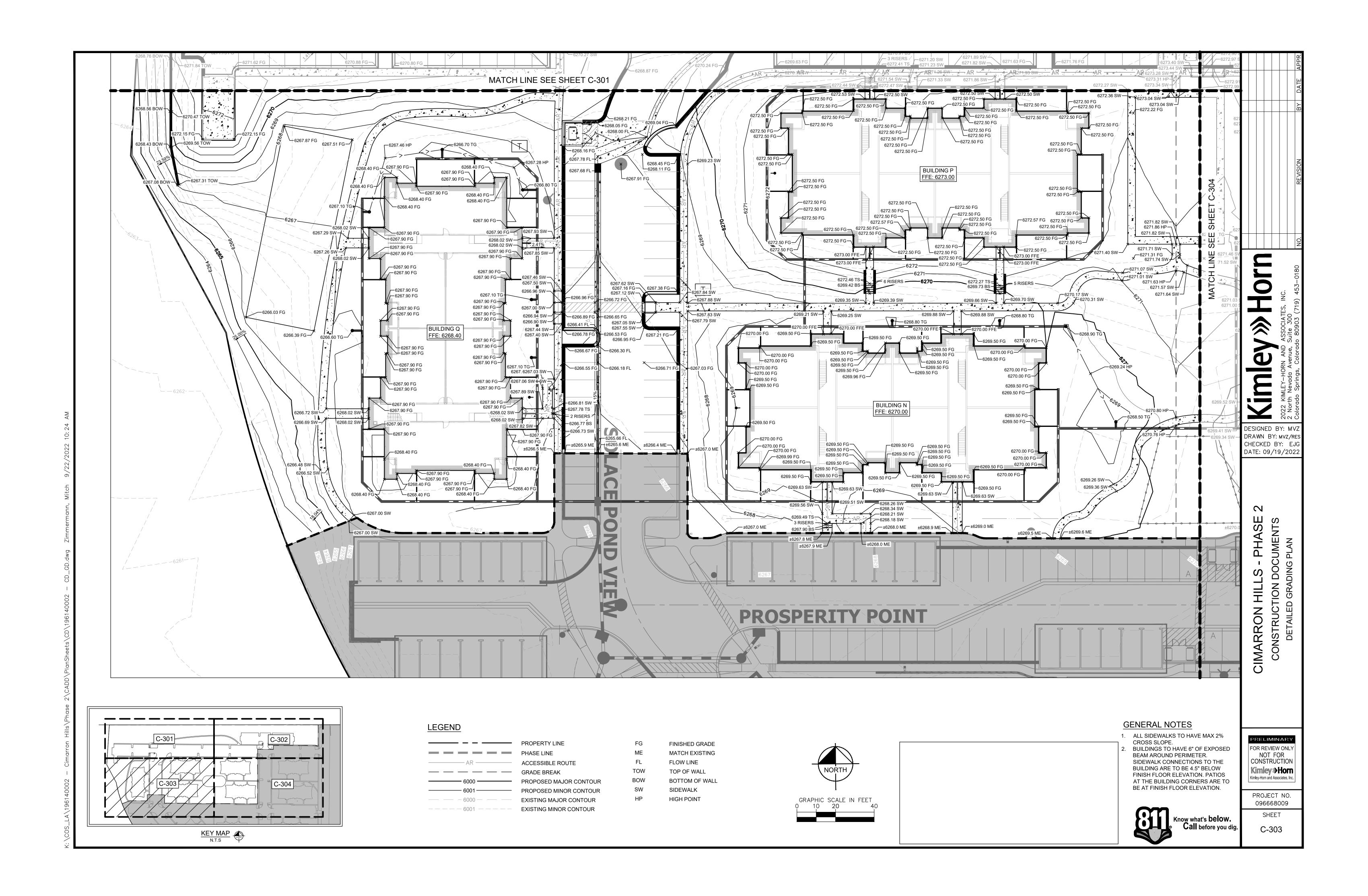
SHEET C-302

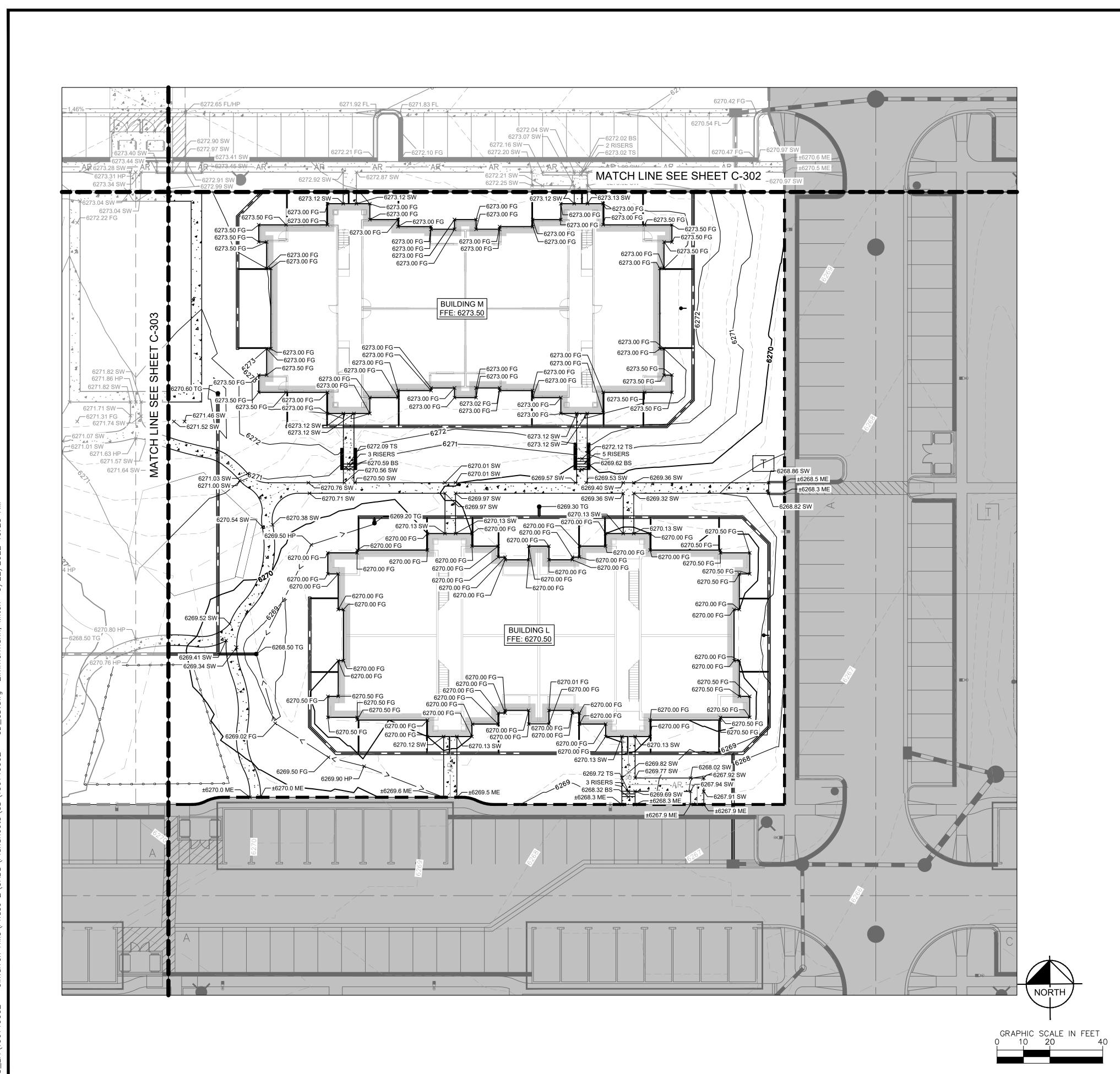
GENERAL NOTES

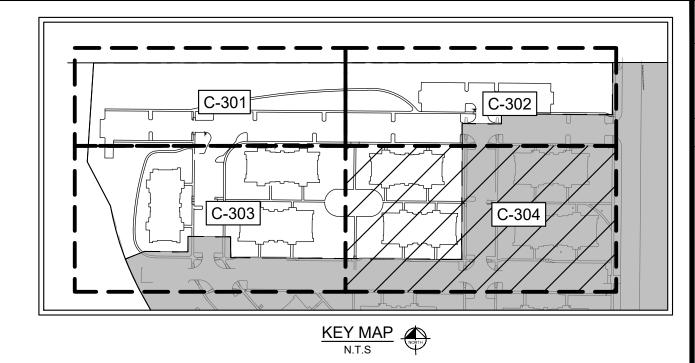
1. ALL SIDEWALKS TO HAVE MAX 2% PRELIMINARY

FOR REVIEW ONLY NOT FOR CONSTRUCTION Kimley»Horn Kimley-Horn and Associates, Inc.

PROJECT NO.







LEGEND

	PROPERTY LINE
	PHASE LINE
——————————————————————————————————————	ACCESSIBLE ROUTE
	GRADE BREAK
	PROPOSED MAJOR CONTOL
6001	PROPOSED MINOR CONTOU
6000	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
FG	FINISHED GRADE
ME	MATCH EXISTING
FL	FLOW LINE
TOW	TOP OF WALL
BOW	BOTTOM OF WALL
SW	SIDEWALK
HP	HIGH POINT

DESIGNED BY: MVZ DRAWN BY: MVZ/RE CHECKED BY: EJO

DATE: 09/19/2022

0

 \sim CONSTRUCTION DOCUMENTS

DETAILED GRADING PLAN CIMARRON HILLS

GENERAL NOTES

- 1. ALL SIDEWALKS TO HAVE MAX 2% CROSS SLOPE. BUILDINGS TO HAVE 6" OF EXPOSED
- BEAM AROUND PERIMETER. SIDEWALK CONNECTIONS TO THE BUILDING ARE TO BE 4.5" BELOW FINISH FLOOR ELEVATION. PATIOS AT THE BUILDING CORNERS ARE TO BE AT FINISH FLOOR ELEVATION.

Know what's **below.**• Call before you dig.

PROJECT NO.

096668009 SHEET C-304

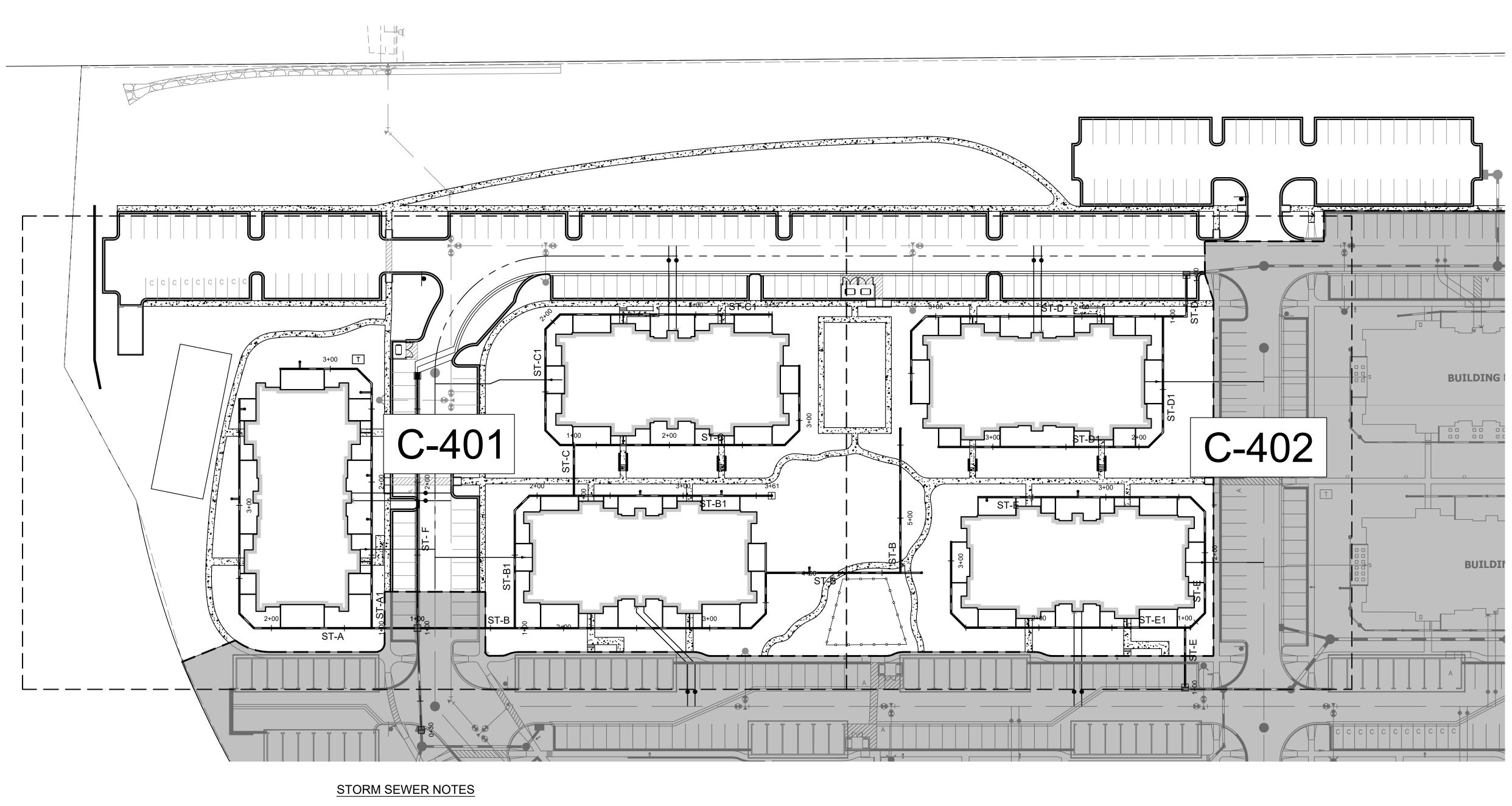
PRELIMINARY

FOR REVIEW ONLY NOT FOR

CONSTRUCTION

Kimley » Horn

Kimley-Horn and Associates, Inc.



- 1. MANHOLE RIM ELEVATIONS PROVIDED FOR REFERENCE ONLY. CONTRACTOR SHALL INSTALL MANHOLES IN ACCORDANCE WITH APPLICABLE DETAILS BASED UPON FINAL FINISH GRADING AT MANHOLE LOCATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENTS TO ACCOMMODATE DEVIATIONS IN SITE GRADING AT NO COST TO THE OWNER.
- 2. CONTRACTOR SHALL MODIFY STANDARD INLET STRUCTURE DIMENSIONS AND STRUCTURAL COMPONENTS TO ACCOMMODATE ASSOCIATED ENTRY AND OUTLET PIPES.
- 3. ALL STORM SEWER MAINS PIPE, INLETS AND MANHOLES ARE PRIVATELY OWNED AND MAINTAINED BY THE OWNER UP UNTIL THE PUBLIC CONNECTION POINT, UNLESS OTHERWISE NOTED ON THE PLANS.
- 4. ALL STORM SEWER PIPE SHALL BE HDPE UNLESS OTHERWISE NOTED.
- 5. ALL PRIVATE LANDSCAPE DRAINS SHALL BE NYOPLAST TYPE OR APPROVED EQUIVALENT. RE: UTILITY DETAILS FOR NYLOPLAST DETAILED DRAWINGS.
- 6. CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF EXISTING STORM SEWER AT ALL CONNECTION POINTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 7. CONTRACTOR TO MODIFY EXISTING MANHOLE RIM ELEVATIONS TO MATCH PROPOSED FINISH GRADE AS NECESSARY.
- 8. ALL STORM ROOF DRAIN CONNECTIONS TO BE MINIMUM 4'-0" BELOW FINISH FLOOR ELEVATION FOR FREEZE PROTECTION

LEGEND

PROPERTY LINE EXISTING STORM PROPOSED STORM WATER PROPOSED BY SEPARATE PERMIT (SF2032)

PROPOSED WATER SANITARY PROPOSED BY SEPARATE PERMIT (SF2032) PROPOSED SANITARY SEWER

FIRE HYDRANT PROPOSED BY SEPARATE PERMIT (SF2032) PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE

PROPOSED LANDSCAPE AREA DRAIN

PROPOSED VALLEY DRAIN

EXISTING VALLEY DRAIN

GENERAL NOTES

- 1. SANITARY AND WATER PLANS WERE APPROVED WITH SOLACE APARTMENTS FILING NO. 1. REFER TO UTILITY PLANS APPROVED WITH PERMIT SF2032 AND PPR2047 FOR VERTICAL AND HORIZONTAL LOCATIONS.
- 2. SANITARY AND WATER CONNECTIONS TO THE APPROVED MAIN HAVE BEEN REVISED TO MATCH PHASE II BUILDING FINISH FLOOR ELEVATIONS AND AVOID PROPOSED STORM.





PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION Kimley » Horn Kimley-Horn and Associates, Inc.

DESIGNED BY: MVZ DRAWN BY: MVZ/RE CHECKED BY: EJO DATE: 09/19/2022

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CIMARRON

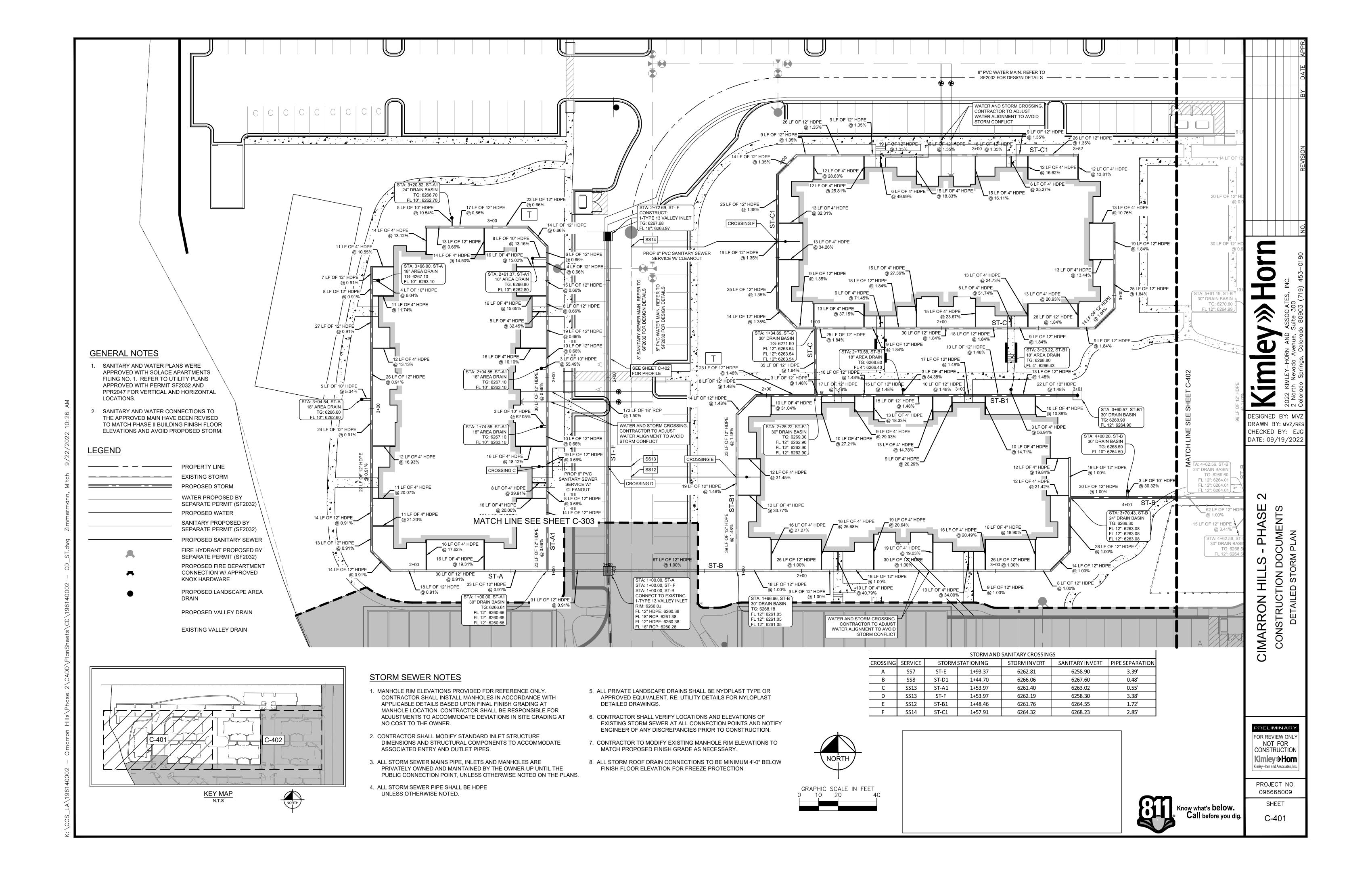
- PHASE CUMENTS

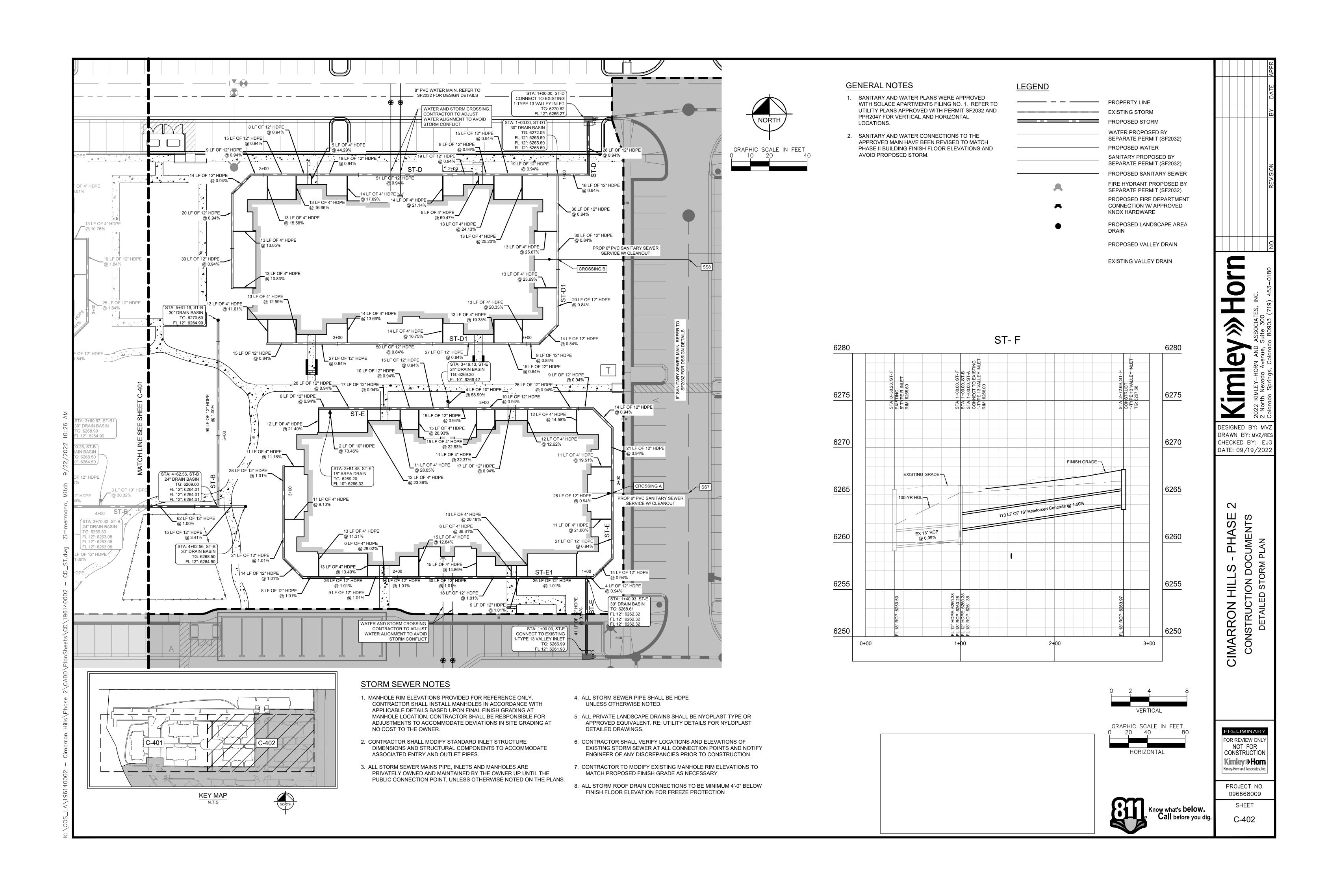
PROJECT NO. 096668009

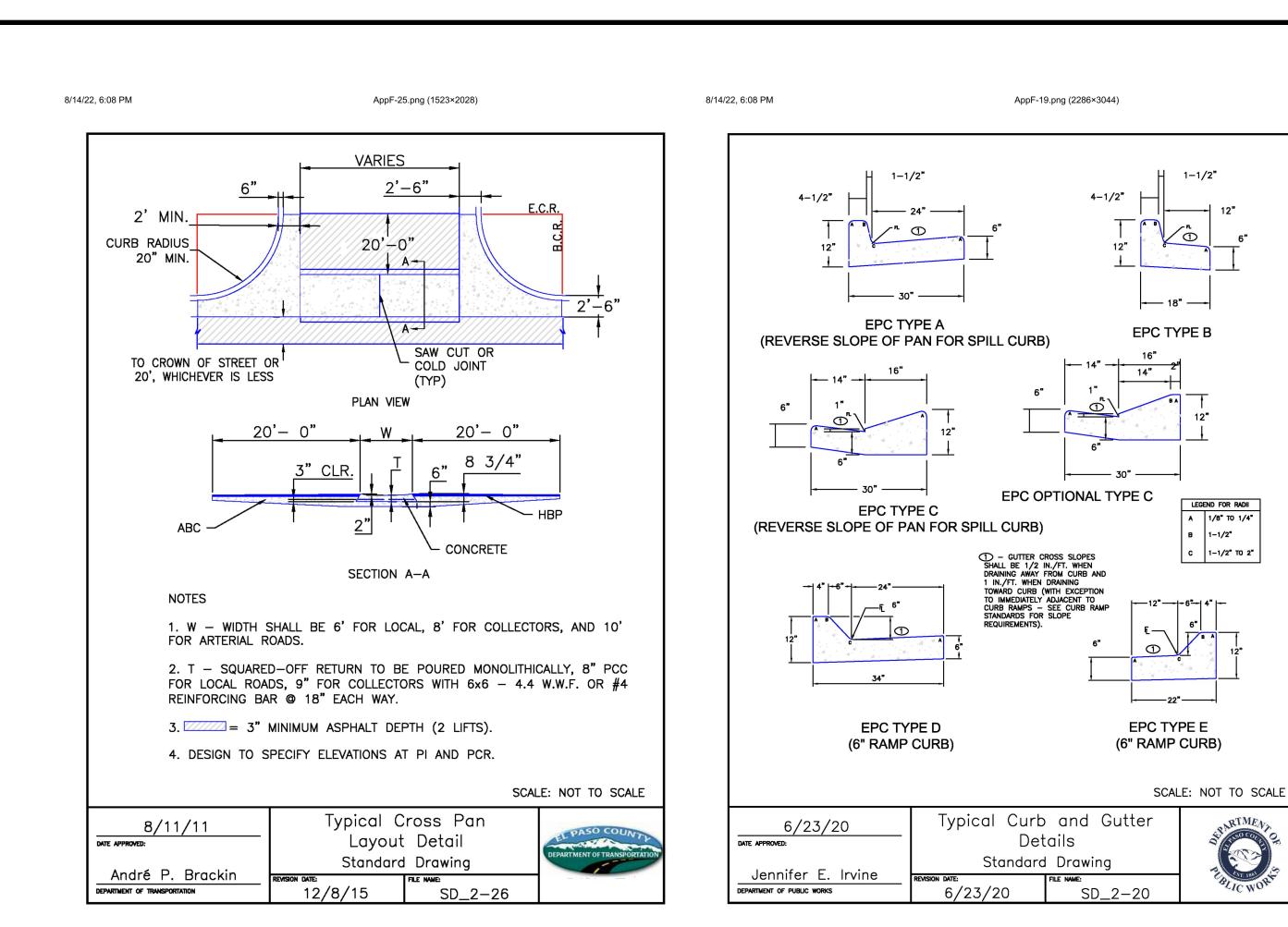
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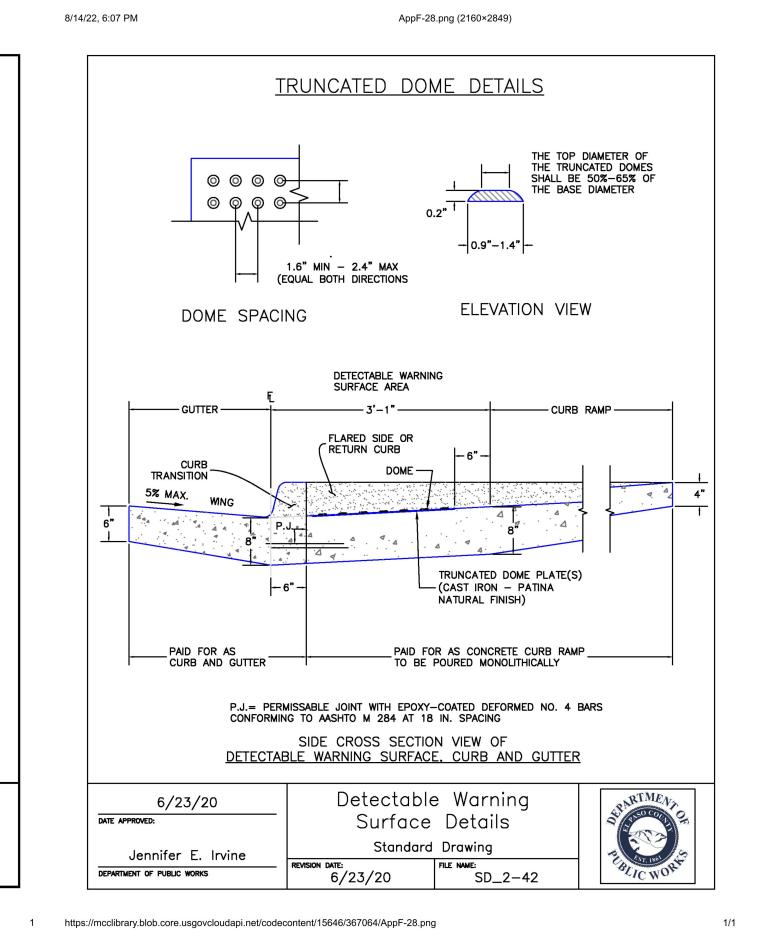
C-400

KEY MAP

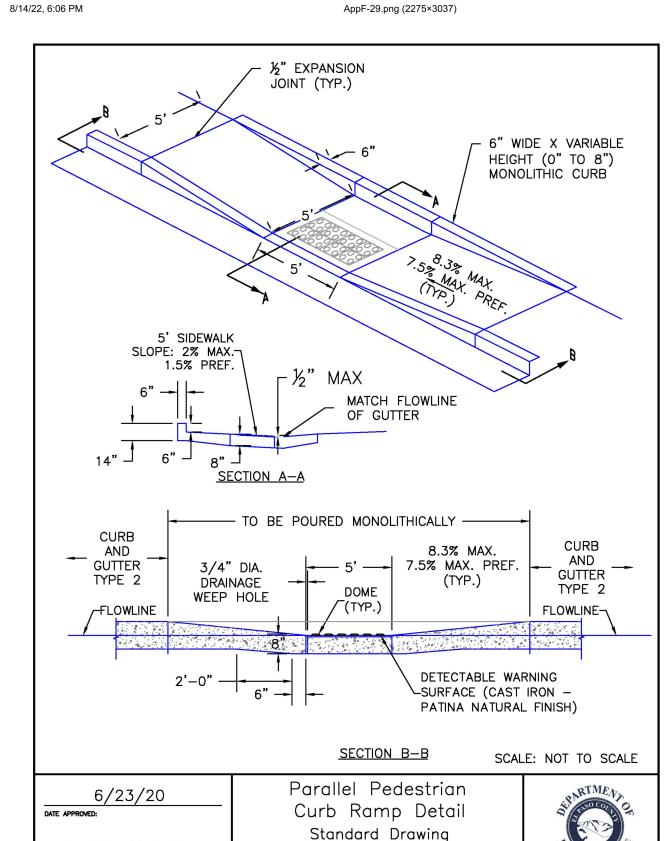


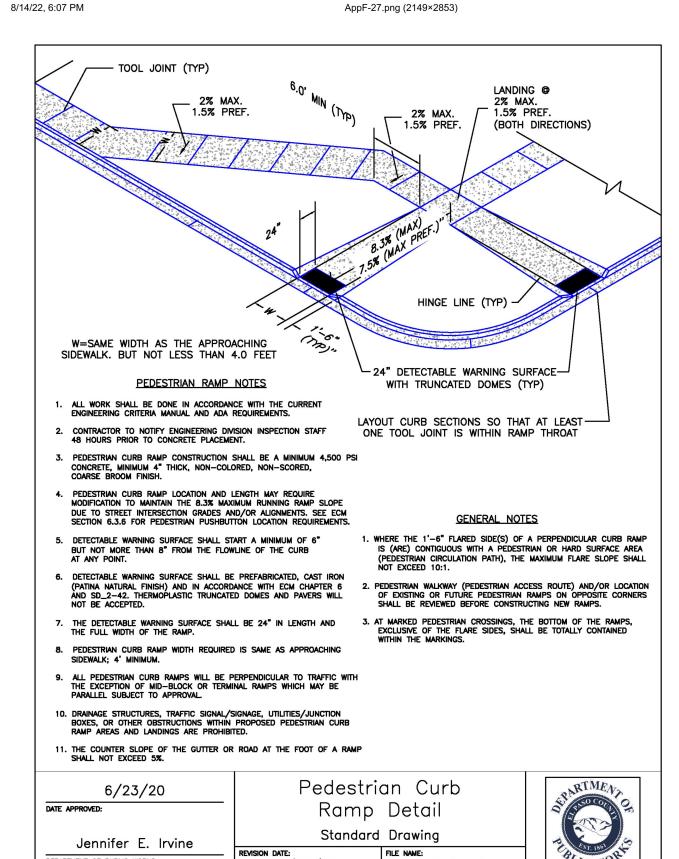


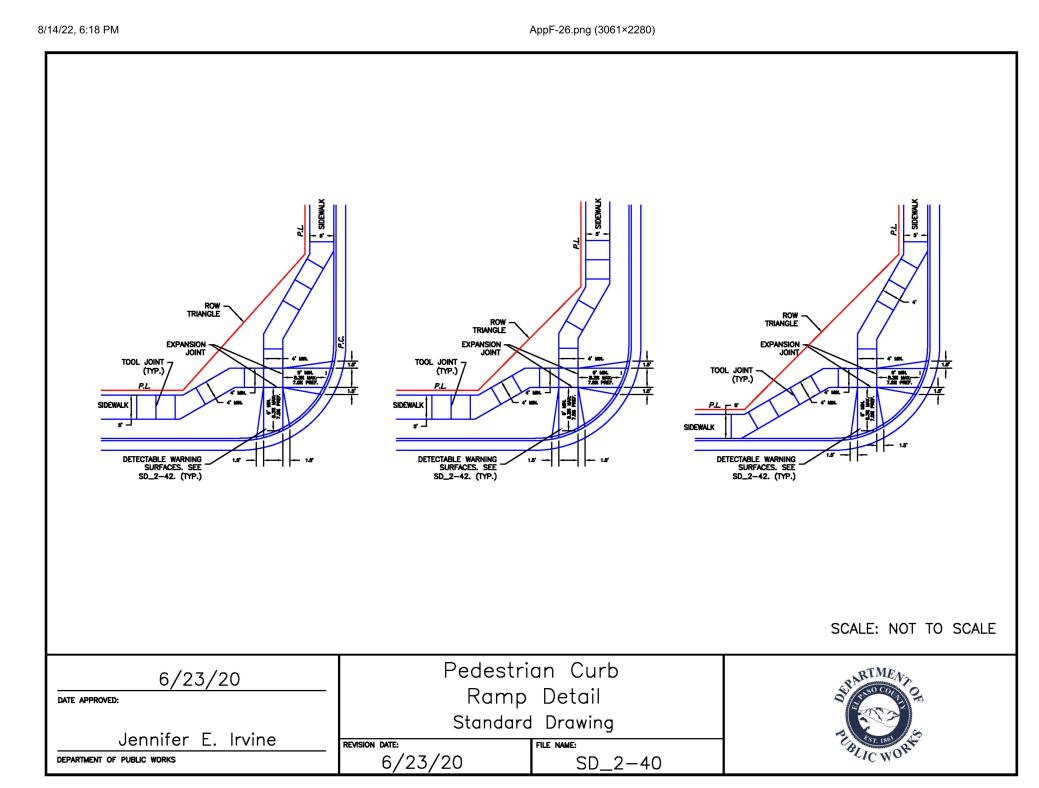




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Call before you dig.

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6/23/20

Jennifer E. Irvine

DEPARTMENT OF PUBLIC WORKS

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SD_2-50

6/23/20 SD_2-41

1/8" TO 1/4"

CIMARRON

UMENT:

DESIGNED BY: MV

DRAWN BY: MVZ/RES CHECKED BY: EJO

DATE: 09/19/2022

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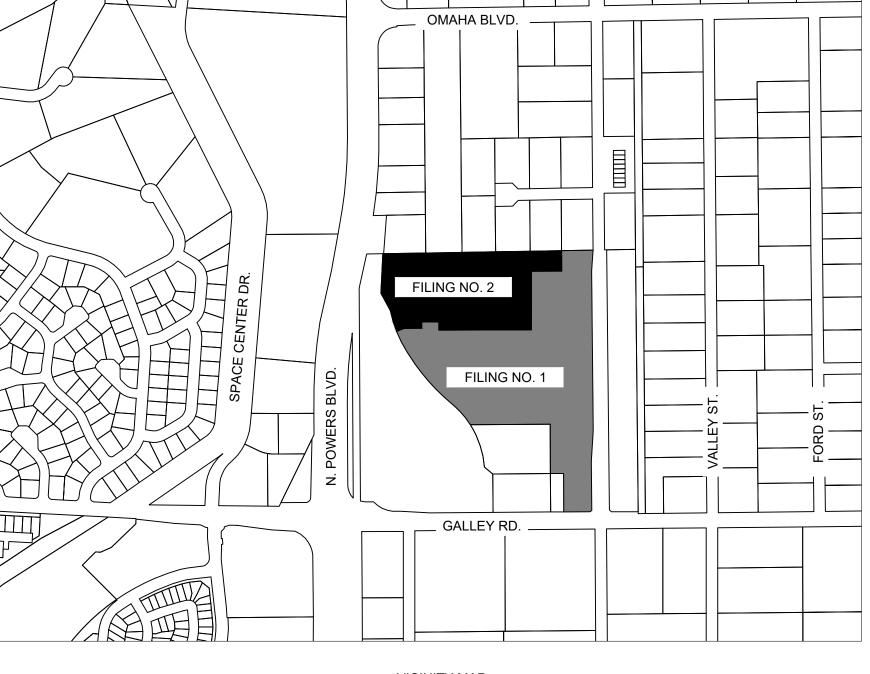
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PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION Kimley » Horn Kimley-Horn and Associates, Inc.

> PROJECT NO. 096668009 SHEET

SOLACE APARTMENTS FILING NO. 2

A PORTION OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 SEST OF THE P.M. EL PASO COUNTY, COLORADO SANITARY AND WATER SERVICE PLANS



SHEET INDEX						
SHEET NO.	SHEET TITLE					
C600	UTILITY PLAN COVER SHEET					
C601	UTILITY PLAN NOTES					
C602	SANITARY SEWER SERVICE PLAN					
C603	WATER SERVICE PLAN					
C604	STANDARD DETAILS					

CONTACTS

OWNER: CS POWERS & GALLEY LLC 510 S NEIL ST CHAMPAIGN, IL 61820 PHONE: (719) 216-2577 CONTACT:

CIVIL ENGINEER:

KIMLEY-HORN AND ASSOCIATES 2 N. NEVADA AVENUE SUITE 300 COLORADO SPRINGS, CO 80903 **CONTACT: ERIC GUNDERSON** PHONE: (719) 453-0182

TEL: XXX

EL PASO COUNTY: EL PASO COUNTY PCD DEPARTMENT 2880 INTERNATIONAL CIRCLE, SUITE 110 COLORADO SPRINGS, CO 80910 PHONE: (719) 520-6300

DEVELOPER'S SIGNATURE BLOCK

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

DATE

ENGINEER'S SIGNATURE BLOCK

THESE DETAILED PLANS AND SPEFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED PLANS AND SPECIFICATIONS

ERIC GUNDERSON, PE - KIMLEY-HORN AND ASSOCIATES, INC. DATE

EL PASO COUNTY REVIEW STATEMENT

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN DIMENSIONS AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

Add County Engineer/ECM Administrator

CHEROKEE METROPOLITAN DISTRICT

WASTEWATER PLAN APPROVAL

THE CHEROKEE METROPOLITAN DISTRICT RECOGNIZES THE DESIGN PROFESSIONAL OF RECORD AS THE LICENSED ENGINEER HAVING RESPONSIBILITY FOR THE SUBMITTED DESIGN AND THE DISTRICT HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY. AS SUCH, THE APPROVAL GRANTED HEREIN IS FOR THE CONSTRUCTION OF THE FACILITIES AS REPRESENTED ON THESE DOCUMENTS. APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE BELOW AND RESUBMITTAL OF THESE PLANS FOR REVIEW AND APPROVAL IS REQUIRED IF CONSTRUCTION DOES NOT BEGIN DURING THIS PERIOD.

APPROVED BY:

CHEROKEE METROPOLITAN DISTRICT

WATER PLAN APPROVAL

THE CHEROKEE METROPOLITAN DISTRICT RECOGNIZES THE DESIGN PROFESSIONAL OF RECORD AS THE LICENSED ENGINEER HAVING RESPONSIBILITY FOR THE SUBMITTED DESIGN AND THE DISTRICT HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY. AS SUCH, THE APPROVAL GRANTED HEREIN IS FOR THE CONSTRUCTION OF THE FACILITIES AS REPRESENTED ON THESE DOCUMENTS. APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE BELOW AND RESUBMITTAL OF THESE PLANS FOR REVIEW AND APPROVAL IS REQUIRED IF CONSTRUCTION DOES NOT BEGIN DURING THIS PERIOD.

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DESIGNED BY: EJ DRAWN BY: M\ CHECKED BY: EJO DATE: 09/19/202

PROJECT NO. 096668009 SHEET

STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS

- 1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- 3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:

a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)

- b. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2 c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
- d. CDOT M & S STANDARDS
- 4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- 5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- 7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- 9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- 10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- 11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- 12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES
- 13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DPW AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
- 14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- 15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

UTILITY SERVICE PLAN NOTES

THE CONTRACTOR SHALL NOTIFY COLORADO SPRINGS UTILITIES' INSPECTIONS OFFICE (NORTH: 668-4396 OR SOUTH: 668-4658) AND/OR CHEROKEE METRO DISTRICT (719-597-5080) A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

- 1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET CSU WASTEWATER AND WATER LINE EXTENSION AND SERVICE STANDARDS (WATER/WASTEWATER LESS), WITH CHEROKEE METRO DISTRICT EXCEPTION.
- 2. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THE ACCURACY OF LOCATIONS OF EXISTING PIPELINES, MANHOLES, HYDRANTS, VALVES AND SERVICE LINES. IF FIELD CONDITIONS ARE FOUND TO BE DIFFERENT THAN SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE INSPECTOR AND THE DESIGN ENGINEER IMMEDIATELY.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY FACILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF CHEROKEE METRO DISTRICT.
- 4. ALL FIELD STAKING SHALL COMPLY WITH THE WATER/WASTEWATER LESS.
- 5. CORROSION PROTECTION MEASURES SHALL COMPLY WITH THE WATER/WASTEWATER LESS AND CHEROKEE METRO
- 6. FINAL LOCATION OF ALL WASTEWATER AND WATER SERVICES SHALL BE APPROVED IN THE FIELD BY THE CHEROKEE METRO DISTRICT INSPECTOR.
- 7. ALL TRENCH BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE COLORADO SPRINGS UTILITIES STANDARD SPECIFICATIONS MANUAL AND SECTION 5.18 OF THE WATER LESS AND CHEROKEE METRO STANDARDS.

- 1. SERVICE STUBS SHALL BE INSTALLED A MINIMUM OF SEVEN FEET (7') INTO THE PROPERTY, UNLESS OTHERWISE SHOWN, AND THE END OF THE STUB SHALL BE MARKED WITH A 2"X4"X12' STEEL OR WOODEN POST.
- 2. SERVICES SHALL BE CONNECTED A MINIMUM OF FIVE FEET (5') FROM THE OUTSIDE EDGE OF ANY MANHOLE ON THE MAIN LINE AND SHALL MAINTAIN TWO FEET (2') OF SEPARATION BETWEEN TAPS CENTER TO CENTER.
- 3. ALL CLEANOUTS SHALL BE THE SAME SIZE AS THE SERVICE LINE.
- 4. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY DEPARTMENT OF HEALTH AND ENVIRONMENT WHEN ANY SEPTIC TANK IS TO BE ABANDONED AND PAY ALL FEES NECESSARY TO OBTAIN A PERMIT.
- 5. ALL MAINS TO BE ASTM D3034 SDR35.

- 1. SERVICE STUBS SHALL BE INSTALLED WITH THE CURB STOP AT OR NEAR PROPERTY LINE AND SHALL NOT BE INSTALLED WITHIN DRIVEWAYS OR SIDEWALKS (SEE CHEROKEE METRO DISTRICT DETAIL DRAWING W-38).
- 2. SERVICE TAPS SHALL BE MADE A MINIMUM OF THREE FEET (3') FROM THE BELL OR APPURTENANCE ON THE WATER MAIN. TAPS SHALL BE A MINIMUM OF THREE FEET (3') APART ON THE SAME SIDE OF THE WATER MAIN AND A MINIMUM OF ONE-AND-A-HALF FEET (1.5') WHEN TAPS ARE MADE ON OPPOSITE SIDES OF THE WATER MAIN.
- 3. ALL SERVICES FOR COMMERCIAL USE AND SOME RESIDENTIAL USES REQUIRE INSTALLATION OF A BACKFLOW PREVENTION ASSEMBLY IMMEDIATELY AFTER THE METER. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE APPROVED BY THE FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH OF THE UNIVERSITY OF SOUTHERN CALIFORNIA (USC-FCCCHR) AND INSTALLED IN ACCORDANCE WITH THIS LISTING. PLEASE REFERENCE THE WATER LINE EXTENSION STANDARDS FOR ADDITIONAL REQUIREMENTS.
- 4. ALL TAPS ON CHEROKEE METRO DISTRICT WATER MAINS SHALL BE PERFORMED BY CONTRACTOR AND INSPECTED BY CHEROKEE METRO DISTRICT. ALL OTHER TAPS SHALL BE PERFORMED BY THE CONTRACTOR.
- 5. ANY ABANDONED SERVICES MUST BE PHYSICALLY DISCONNECTED AT THE MAIN. ANY NECESSARY REPAIRS TO THE MAIN AND/OR SHUT DOWN OF THE TAPPING VALVE SHALL BE AS DIRECTED BY CHEROKEE METRO DISTRICT.
- 6. ALL WATER SERVICE LINES SHOULD ENTER THE BUILDING WITHIN 3 FEET OF AN EXTERIOR WALL. EXPOSED WATER PLUMBING SHALL BE MINIMIZED INSIDE THE BUILDING PRIOR TO THE WATER METER AND/OR APPROVED BACKFLOW PREVENTION ASSEMBLY OR METHOD.
- 7. ALL HDPE WATER SERVICE LINES MUST EXTEND A MINIMUM OF 6 INCHES ABOVE THE FLOOR AND BE 90 DEGREES FROM THE FLOOR PLAN TO ALLOW FOR BRACING AND TRANSITION TO THE METER LOOP ASSEMBLY.
- 8. NO COPPER PIPING ALLOWED IN CHEROKEE METRO DISTRICT EXCEPT ABOVE GRADE PIPING IMMEDIATELY BEFORE AND AFTER
- 9. ALL WATER MAINS TO BE AWWA C900 DR14.

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			NO.	
			REVISION	
			à	

DESIGNED BY: EJ

DRAWN BY: M' CHECKED BY: EJ DATE: 09/19/202

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COLORADO SPRINGS REVIEW STREET DESIGN FOR CITY ENGINEERING: UTILITY GRADE REVIEW: ___ CURB & GUTTER REVIEW: _____ _ DATE: _ FINAL REVIEW: _ DRAINAGE DESIGN: _ _ DATE: _ THIS IS FILED IN ACCORDANCE WITH SECTION 7.7.906 (DRAINAGE ORDINANCE) OF THE CODE OF THE CITY OF COLORADO SPRINGS, 2001 AS



PROJECT NO. 096668009 SHEET C-601

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS:

- THE FOLLOWING NOTES ARE PROVIDED TO GIVE DIRECTIONS TO THE CONTRACTOR BY THE ENGINEER OF THE PLANS.
- THE CHEROKEE METRO DISTRICT ENGINEER'S SIGNATURE ON THESE PLANS DOES NOT CONSTITUTE APPROVAL OF ANY OF THESE NOTES AND THE CITY WILL NOT BE HELD RESPONSIBLE FOR THEIR ENFORCEMENT
- APPROVAL OF THESE PLANS BY CHEROKEE METRO DISTRICT DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT
- 3. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY CHEROKEE METRO DISTRICT DOES NOT AUTHORIZE THE SUBDIVIDER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
- NEITHER THE OWNER, NOR THE ENGINEER OF WORK WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
- CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING: SAFETY OF ALL PERSONS AND PROPERTY, AND THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT ALL SLOPES, STREETS, UTILITIES, AND STORM SEWERS ARE BUILT IN ACCORDANCE WITH THESE PLANS. IF THERE IS ANY QUESTION REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING THE ENGINEER OF RECORD AT 719-453-0180. IN THE EVENT THAT PROPOSED EROSION CONTROL IS INSUFFICIENT, CONTRACTOR WILL INSTALL ADDITIONAL EROSION CONTROLS AT OWNER'S EXPENSE.
- 7. EXCEPT AS NOTED HEREON ALL UTILITY SERVICES WITHIN THIS DEVELOPMENT ARE UNDERGROUND INSTALLATIONS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO STARTING WORK NEAR THEIR FACILITIES, AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES. FOR UTILITY MARK-OUT SERVICE, CALL 811.
- 8. THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO OTHER EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS. UTILITIES NOT OF RECORD OR NOT SHOWN ON PLANS SHALL BE CONSIDERED UNFORESEEN CONDITIONS AND DAMAGES THERETO SHALL BE REPAIRED AT THE OWNER'S EXPENSE
- 9. LOCATION AND ELEVATION OF EXISTING IMPROVEMENTS SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK.
- 10. CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES, AT THE OWNER'S DISCRETION AND EXPENSE.
- 11. FOR ALL UTILITY TRENCHES, SOILS REPORTS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY A QUALIFIED SOILS ENGINEER WHICH CERTIFY THAT TRENCH BACKFILL WAS COMPACTED AS DIRECTED BY THE SOILS ENGINEER IN ACCORDANCE WITH THE ON-SITE EARTHWORK SPECIFICATIONS.
- 12. ANY WORK DONE WITHOUT INSPECTION OR MATERIALS TESTING IS SUBJECT TO REMOVAL OR CORRECTION
- 13. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ANY DAMAGE TO THE EXISTING IMPROVEMENTS AND REPLACEMENT TO THE SATISFACTION OF THE FIELD ENGINEER.
- 14. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL JOIN CONDITIONS FOR GRADING, DRAINAGE AND UNDERGROUND FACILITIES, INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES, AT THE OWNER'S DISCRETION AND EXPENSE. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
- 15. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE PLANS, THE SOILS AND/OR GEOLOGY REPORTS, AND THE SITE CONDITIONS PRIOR TO COMMENCING WORK.
- 16. $\,$ SHOULD CONFLICTING INFORMATION BE FOUND ON THE PLANS OR IN THE FIELD, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AT KIMLEY-HORN BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. CONTRACTOR'S LAND SURVEYOR MUST FIELD LOCATE. REFERENCE. AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, CONTRACTOR'S LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE COLORADO SPRINGS (EL PASO COUNTY) FIELD SURVEY SECTION MUST BE NOTIFIED, IN WRITING AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
- 18. DEVIATIONS FROM THESE PLANS SIGNED PLANS WILL NOT BE ALLOWED UNLESS THE COUNTY ENGINEER APPROVES A CONSTRUCTION CHANGE OR THE COUNTY/AGENCY INSPECTOR REQUIRES THE CHANGE.
- 19. AS-BUILT DRAWINGS MUST BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT.
- 20. THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT OR COLORADO DIVISION OF WILDLIFE. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
- 21. NOTES AND DETAILS DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
- 22. IF AT ANY TIME DURING THE GRADING OPERATION, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, GRADING IN THAT AREA SHALL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
- 23. STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS. THE CONTRACTOR SHALL TAKE ADDITIONAL CARE TO ENSURE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE WHILE MEETING MINIMUM AND MAXIMUM PAVEMENT SLOPES AS DEFINED IN THE CRITERIA.
- 24. ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
- 25. DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- 26. CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN IN THESE PLANS SHALL BE PERFORMED BY CONTRACTOR'S LICENSED LAND SURVEYOR.
- 27. ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
- 28. SPOT GRADES ARE TO FLOWLINE OR FINISH PAVEMENT GRADE UNLESS OTHERWISE NOTED.
- 29. CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
- 30. STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
- 31. RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.
- 32. THE CONTRACTOR IS RESPONSIBLE FOR APPLYING FOR AND OBTAINING A STATE STORMWATER DISCHARGE PERMIT FROM COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) AT MINIMUM 10 BUSINESS DAYS PRIOR TO THE START OF GRADING ACTIVITIES ONSITE. 10 BUSINESS DAYS IS THE MINIMUM TIME REQUIRED BY THE STATE TO PROCESS THE APPLICATION. IT IS HIGHLY RECOMMENDED THAT THE CONTRACTOR APPLY FOR THE PERMIT AT LEAST 20 BUSINESS DAYS PRIOR TO THE START OF GRADING ACTIVITIES.

WASTEWATER PROJECT SPECIFIC NOTES

- □ CORROSION PROTECTION IS REQUIRED FOR ALL DUCTILE IRON PIPE. ALL PROTECTION SHALL COMPLY WITH THE WASTEWATER STANDARDS. THIS PROJECT IS CONNECTING TO AN EXISTING MANHOLE. A MANHOLE ASSESSMENT HAS BEEN COMPLETED FOR THIS PROJECT. THE FOLLOWING CHECKED ITEMS ARE REQUIRED: THE CONTRACTOR SHALL PROVIDE A BYPASS PUMPING PLAN FOR APPROVAL BY CHEROKEE METRO DISTRICTS AND COMPLY WITH ALL THE REQUIREMENTS THEREIN. REPAIR THE EXISTING MANHOLE (REFER TO PLAN AND PROFILE FOR REQUIREMENTS). REPLACE THE EXISTING MANHOLE (REFER TO PLAN AND PROFILE FOR REQUIREMENTS. MANHOLES ARE BEING ABANDONED, THE CONTRACTOR SHALL: • PLUG THE "IN" AND "OUT" INVERTS WITH A WATERTIGHT MECHANICAL PLUG AND GROUT WITH APPROVED REMOVE AND DISPOSE OF THE CONE SECTION. • REMOVE THE RING AND COVER AND RETURN THEM TO CHEROKEE METRO DISTRICT.
- WASTEWATER MAINS EXISTS UNDERNEATH A PROPOSED STRUCTURE, CONTRACTOR SHALL: **GROUT IT FULL**

• FILL THE MANHOLE WITH APPROVED MATERIAL.

- WASTEWATER MAIN TO BE ABANDONED EXISTS WITHIN RIGHT-OF-WAY, THE CONTRACTOR SHALL: REMOVE IT **GROUT IT FULL**
- PIPELINES LESS THAN 1.04% GRADE ARE PROPOSED. THE CONTRACTOR SHALL COMPLY WITH THE ADDITIONAL REQUIREMENTS AS SPECIFIED WITHIN THE WASTEWATER STANDARDS.
- THIS PROJECT IS UTILIZING EXISTING STUBS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE STUB, CONNECTION, TRANSITION AND SUBSEQUENT EXTENSION MEETS ALL CURRENT WASTEWATER STANDARDS.
- CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THE ACCURACY OF THE DEPTHS OR LOCATIONS OF EXISTING STUBS SHOWN ON ANY "AS CONSTRUCTED" DRAWINGS. FURTHER, THE EXISTING STUB WILL BE INCLUDED IN THE TWO-YEAR WARRANTY PERIOD FOR THIS PROJECT.
- A WASTEWATER STUB OR STUBS ARE PROPOSED. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE DEVELOPMENT NEEDS. FURTHER, THE STUB WILL NOT BE INCLUDED IN THE TWO-YEAR WARRANTY PERIOD FOR THIS PROJECT.

WASTEWATER PLAN NOTES

THE CONTRACTOR SHALL NOTIFY COLORADO SPRINGS UTILITIES' INSPECTIONS OFFICE (NORTH: 668-4396 OR SOUTH: 668-4658) AND/OR CHEROKEE METRO DISTRICT (719-597-5080) A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

GENERAL:

- 1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET CSU WASTEWATER LINE EXTENSION AND SERVICE STANDARDS (WASTEWATER STANDARDS) AND CHEROKEE METRO DISTRICT STANDARDS.
- 2. THE CONTRACTOR SHALL OBTAIN LOCATES PRIOR TO ANY EXCAVATION.
- 3. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THE ACCURACY OF LOCATIONS OF EXISTING PIPELINES, MANHOLES AND SERVICE LINES. IF FIELD CONDITIONS ARE FOUND TO BE DIFFERENT THAN SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE INSPECTOR AND THE ENGINEER OF RECORD IMMEDIATELY.
- 4. NO TREES OR STRUCTURES ARE PERMITTED WITHIN FIFTEEN FEET (15') OF A WASTEWATER MAIN.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY FACILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF CHEROKEE METRO DISTRICT.
- ALL FIELD STAKING SHALL COMPLY WITH THE WASTEWATER STANDARDS.
- 7. THE CONTRACTOR SHALL ENSURE THAT WASTEWATER SERVICE TO ADJACENT PROPERTIES IS MAINTAINED DURING CONSTRUCTION.
- 8. ALL MANHOLES LOCATED WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO FINISH GRADE. IF MANHOLES ARE IN POOR CONDITION OR IF THE DISTANCE BETWEEN THE RING/COVER AND CONE OF THE MANHOLE EXCEEDS THE WASTEWATER STANDARDS, THE CONTRACTOR MAY BE REQUIRED TO REPLACE PART OR ALL OF THE EXISTING MANHOLES.
- REUSE OR SALVAGE OF ANY MATERIAL IS LEFT TO THE DISCRETION OF THE CHEROKEE METRO DISTRICT INSPECTOR.
- 10. ALL TRENCH BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE CHEROKEE METRO DISTRICT STANDARD SPECIFICATIONS MANUAL.
- 11. ALL MANHOLES TO BE 5' MIN. DIAMETER & EXTERIOR COATED WITH MIN. 45 MIL. COAL TAR EPOXY & WRAP JOINTS WITH 12" WIDE ELASTOMERIC JOINT WRAP.
- 12. INTERIOR LINING TO CONFORM WITH CSU STANDARD 4.5A
- 13. MAINS AND LATERALS TO BE CSU STANDARD AS LISTED IN TABLE 2.6.B.3

WATER PROJECT SPECIFIC NOTES

1.	☐ APPLICABLE	NOT- APPLICABLE	ANY EXISTING STUBS AND APPURTENANCES THAT WILL NOT BE USED SHALL BE REMOVED AND REPLACED WITH AN ACCEPTABLE SECTION OF MAIN AT THE EXPENSE OF THE CONTRACTOR.
2.	\boxtimes		A CONNECTION TO AN EXISTING STUB IS PROPOSED. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THE ACCURACY OF THE DEPTHS OR LOCATIONS OF EXISTING STUBS SHOWN ON ANY "AS-BUILT" DRAWINGS.
3.		\boxtimes	A WATER STUB-OUT(S) IS/ARE PROPOSED. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THAT THE DESIGN OR INSTALLATION OF THE PROPOSED WATER STUB-OUT WILL MEET FUTURE DEVELOPMENT NEEDS.
4.	\boxtimes		A WATER QUALITY PLAN HAS BEEN APPROVED FOR THIS PROJECT

WATER PLAN NOTES

THE CONTRACTOR SHALL NOTIFY COLORADO SPRINGS UTILITIES' INSPECTIONS OFFICE (NORTH: 668-4396 OR SOUTH: 668-4658) AND/OR CHEROKEE METRO DISTRICT (719-597-5080) A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

- ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET CHEROKEE METRO DISTRICT STANDARDS AND CSU WATER LINE EXTENSION AND SERVICE STANDARDS (WATER LESS).
- 2. THE CONTRACTOR SHALL OBTAIN LOCATES PRIOR TO ANY EXCAVATION.
- 3. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THE ACCURACY OF LOCATIONS OF EXISTING PIPELINES, HYDRANTS, VALVES AND SERVICE LINES. IF FIELD CONDITIONS ARE FOUND TO BE DIFFERENT THAN SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE INSPECTOR AND THE ENGINEER OF RECORD IMMEDIATELY.
- 4. NO TREES OR STRUCTURES ARE PERMITTED WITHIN FIFTEEN FEET (15') OF A WATER MAIN.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY FACILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF COLORADO SPRINGS UTILITIES AND CHEROKEE METRO DISTRICT.
- 6. ALL FIELD STAKING SHALL COMPLY WITH THE WATER LESS AND CHEROKEE STANDARDS
- 7. THE CONTRACTOR SHALL MAKE THEIR BEST EFFORT TO ENSURE THAT WATER SERVICE TO ADJACENT PROPERTIES IS MAINTAINED DURING CONSTRUCTION.
- 8. CORROSION PROTECTION MEASURES SHALL COMPLY WITH THE WATER LESS AND CHEROKEE STANDARDS.
- 9. NO SERVICE TAPS SHALL BE MADE UNTIL AUTHORIZATION HAS BEEN GRANTED BY THE CHEROKEE METRO DISTRICT'
- 10. ALL BENDS SHALL BE FIELD STAKED PRIOR TO CONSTRUCTION AND THE STATIONING ON THE FIELD STAKES SHALL MATCH THE STATIONING ON THE PLANS.
- 11. FIELD MODIFICATIONS TO A FIRE SERVICE LINE OR FIRE HYDRANT DESIGN OR LOCATION MAY NEED TO BE APPROVED BY THE DESIGN ENGINEER, FALCON FIRE DEPARTMENT AND CHEROKEE METRO DISTRICT, AS REQUIRED
- 12. REUSE OR SALVAGE OF ANY MATERIAL IS LEFT TO THE DISCRETION OF THE CHEROKEE METRO DISTRICT
- 13. ALL TRENCH BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE CHEROKEE METRO DISTRICT STANDARD SPECIFICATIONS MANUAL AND CHEROKEE STANDARDS.
- 14. ALL ISOLATION VALVES TO OPEN COUNTERCLOCKWISE.

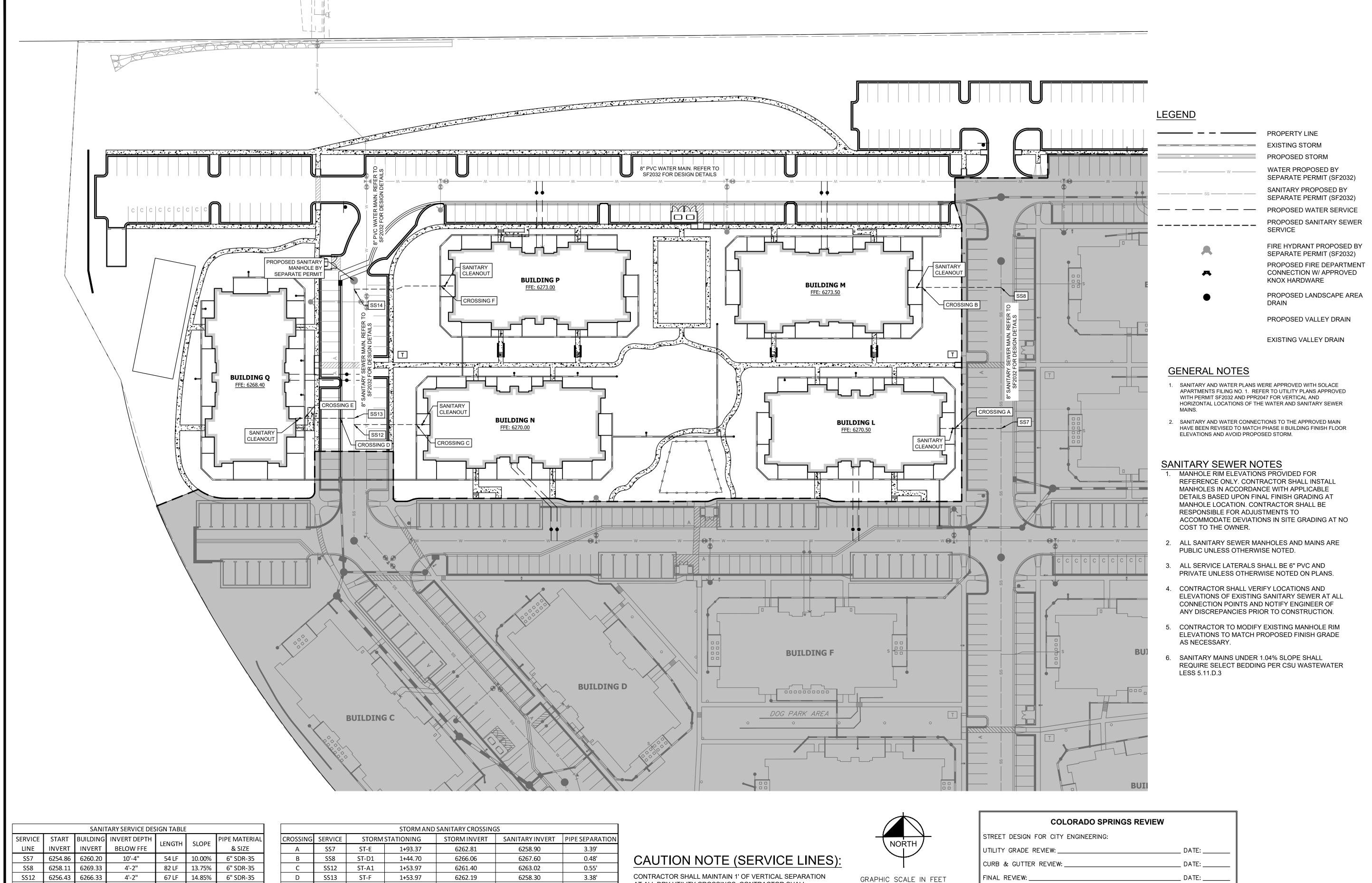
COLORADO SPRINGS REVIEW STREET DESIGN FOR CITY ENGINEERING: UTILITY GRADE REVIEW: ___ CURB & GUTTER REVIEW: FINAL REVIEW: _ DATE: DRAINAGE DESIGN: DATE: THIS IS FILED IN ACCORDANCE WITH SECTION 7.7.906 (DRAINAGE ORDINANCE) OF THE CODE OF THE CITY OF COLORADO SPRINGS, 2001 AS



DESIGNED BY: EJ

DRAWN BY: M' CHECKED BY: EJ DATE: 09/19/202

PROJECT NO. 096668009 SHEET



AT ALL DRY UTILITY CROSSINGS. CONTRACTOR SHALL

POTHOLE ALL EXISTING UTILITY CROSSINGS TO VERIFY DEPTH AND COORDINATE WITH ENGINEER OF RECORD.

20 40

DRAINAGE DESIGN:

THIS IS FILED IN ACCORDANCE WITH SECTION 7.7.906 (DRAINAGE

ORDINANCE) OF THE CODE OF THE CITY OF COLORADO SPRINGS, 2001 AS

1.72'

2.85'

6264.55

6268.23

SS13 6256.49 6264.23

SS14 6257.646 6269.83

4'-2"

4'-2"

51 LF 15.08%

87 LF 13.99% 6" SDR-35

6" SDR-35

Ε

SS13

ST-B1

SS14 ST-C1

1+48.46

1+57.91

6261.76

6264.32

Know what's below.
Call before you dig.

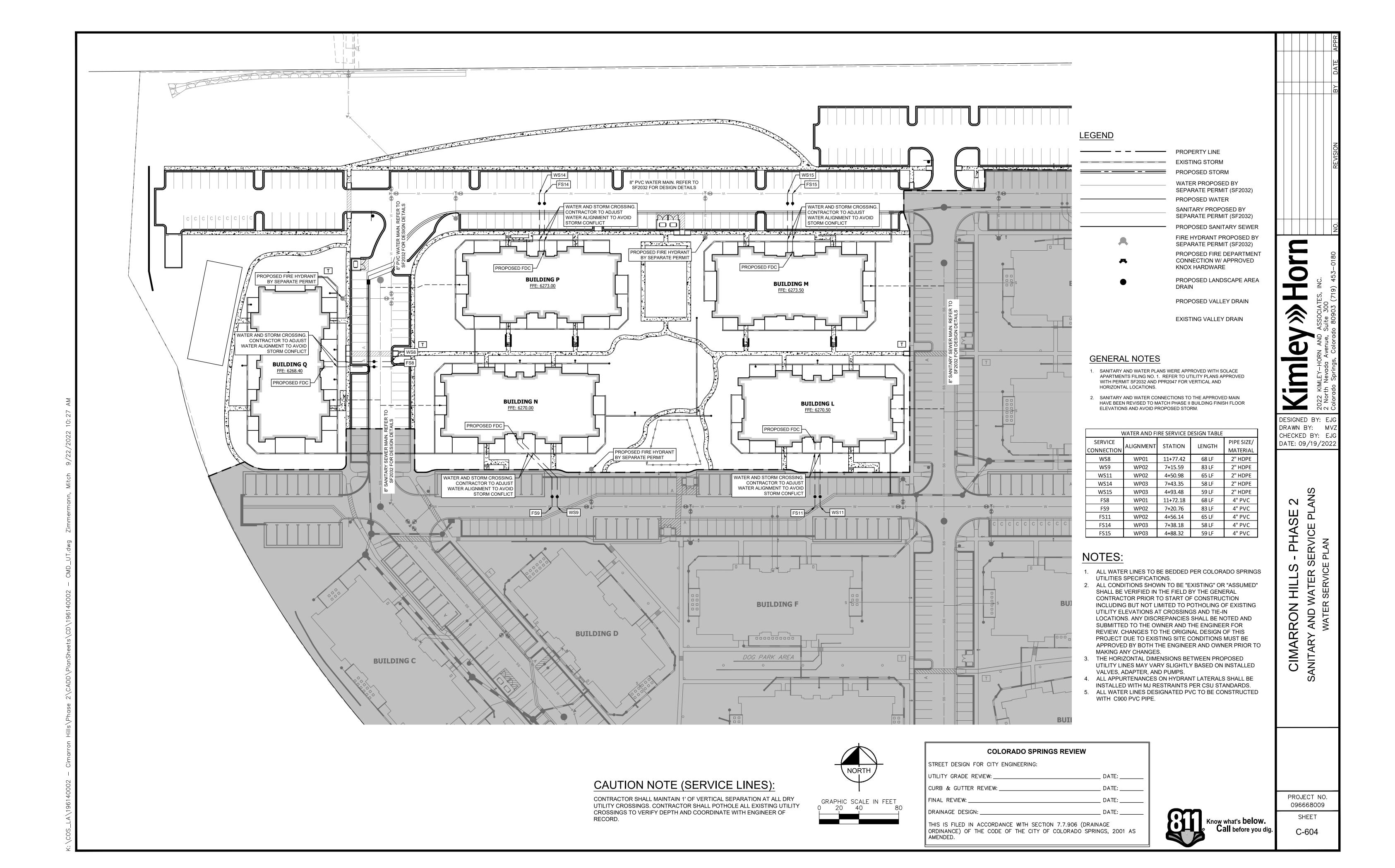
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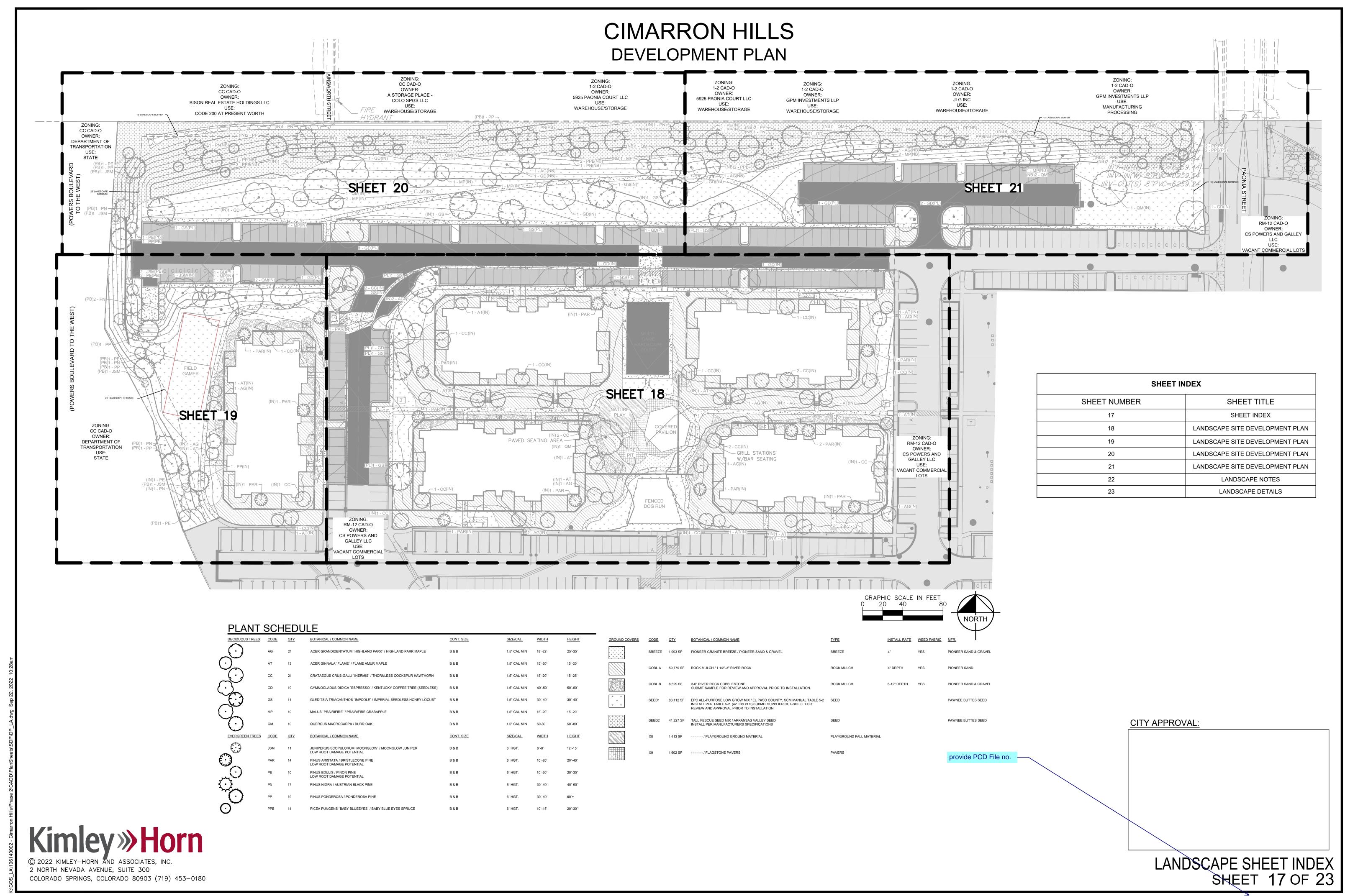
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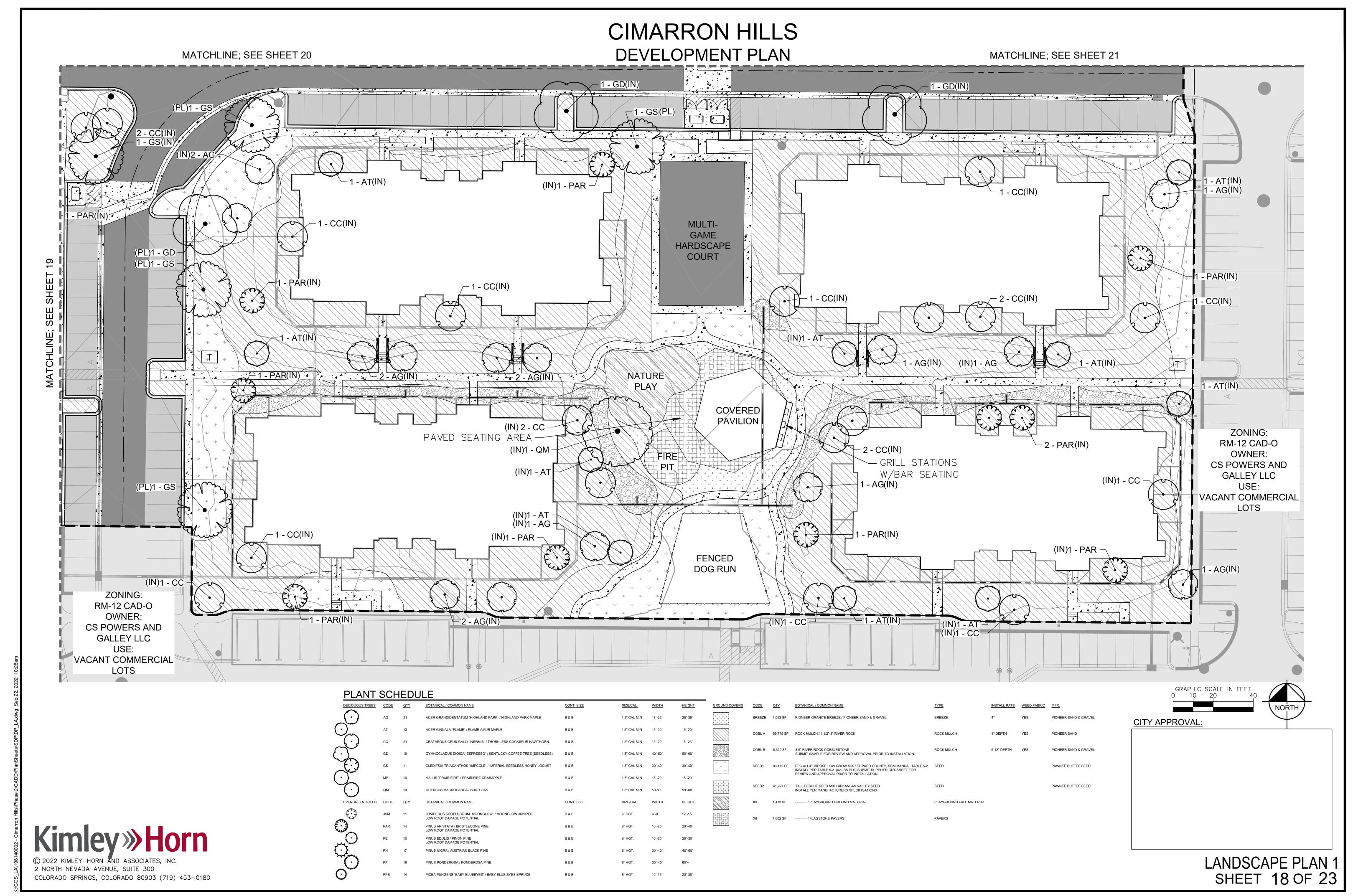
CIMARRO SANITARY AN

DESIGNED BY: EJG
DRAWN BY: MVZ
CHECKED BY: EJG

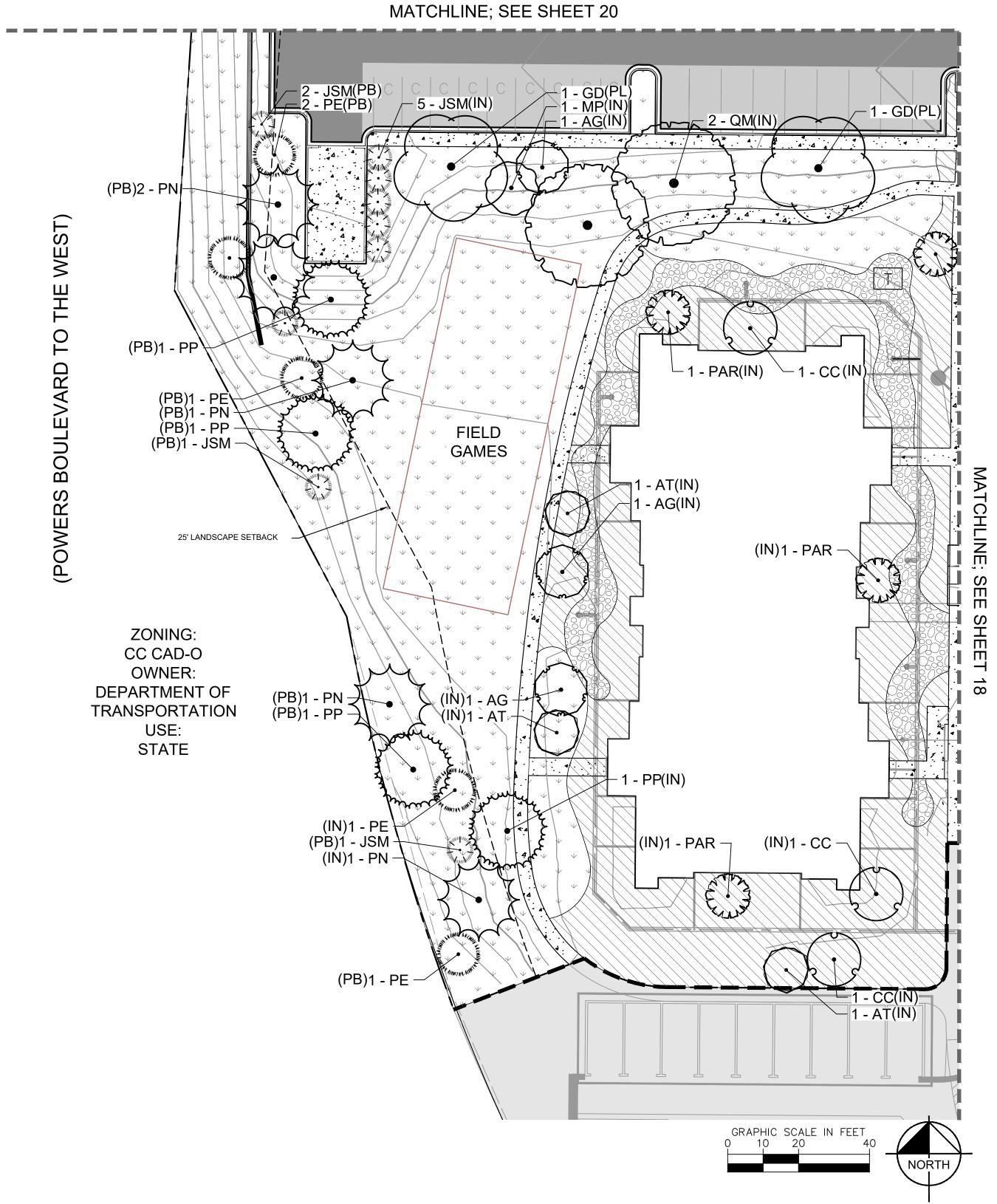
DATE: 09/19/2022







CIMARRON HILLS DEVELOPMENT PLAN



COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

PLANT :	PLANT SCHEDULE							
DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL.	WIDTH	<u>HEIGHT</u>	
$\overline{}$	AG	21	ACER GRANDIDENTATUM 'HIGHLAND PARK' / HIGHLAND PARK MAPLE	B & B	1.5" CAL MIN	18`-22`	25`-35`	
\bigcirc	AT	13	ACER GINNALA `FLAME` / FLAME AMUR MAPLE	B & B	1.5" CAL MIN	15`-20`	15`-20`	
	СС	21	CRATAEGUS CRUS-GALLI 'INERMIS' / THORNLESS COCKSPUR HAWTHORN	B & B	1.5" CAL MIN	15`-20`	15`-25`	
(.)	GD	19	GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEE TREE (SEEDLESS)	B & B	1.5" CAL MIN	40`-50`	50`-60`	
	GS	11	GLEDITSIA TRIACANTHOS 'IMPCOLE' / IMPERIAL SEEDLESS HONEY LOCUST	B & B	1.5" CAL MIN	30`-40`	30`-40`	
$\left(\cdot\right)^{n}$	MP	10	MALUS `PRAIRIFIRE` / PRAIRIFIRE CRABAPPLE	B & B	1.5" CAL MIN	15`-20`	15`-20`	
\odot	QM	10	QUERCUS MACROCARPA / BURR OAK	B & B	1.5" CAL MIN	50-80`	50`-80`	
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL.	<u>WIDTH</u>	HEIGHT	
Marin	JSM	11	JUNIPERUS SCOPULORUM 'MOONGLOW' / MOONGLOW JUNIPER LOW ROOT DAMAGE POTENTIAL	B & B	6` HGT.	6`-8`	12`-15`	
Eig.	PAR	14	PINUS ARISTATA / BRISTLECONE PINE LOW ROOT DAMAGE POTENTIAL	B & B	6` HGT.	10`-20`	20`-40`	
,(<u>`</u>)	PE	10	PINUS EDULIS / PINON PINE LOW ROOT DAMAGE POTENTIAL	B & B	6` HGT.	10`-20`	20`-30`	
1. }	PN	17	PINUS NIGRA / AUSTRIAN BLACK PINE	B & B	6` HGT.	30`-40`	40`-60`	
	PP	19	PINUS PONDEROSA / PONDEROSA PINE	B & B	6` HGT.	30`-40`	60`+	
\odot	PPB	14	PICEA PUNGENS 'BABY BLUEEYES' / BABY BLUE EYES SPRUCE	B & B	6` HGT.	10`-15`	20`-30`	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	TYPE	INSTALL RATE	WEED FABRIC	MFR.	
	BREEZE	1,093 SF	PIONEER GRANITE BREEZE / PIONEER SAND & GRAVEL	BREEZE	4"	YES	PIONEER SAND & GRAVEL	
	COBL A	59,775 SF	ROCK MULCH / 1 1/2"-3" RIVER ROCK	ROCK MULCH	4" DEPTH	YES	PIONEER SAND	
0.08380 18.006 18.006 18.006 18.006	COBL B	6,629 SF	3-6" RIVER ROCK COBBLESTONE SUBMIT SAMPLE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	ROCK MULCH	6-12" DEPTH	YES	PIONEER SAND & GRAVEL	
Ψ Ψ Ψ Ψ Ψ	SEED1	83,112 SF	EPC ALL-PURPOSE LOW GROW MIX / EL PASO COUNTY, SCM MANUAL TABLE 5-2 INSTALL PER TABLE 5-2. (42 LBS PLS) SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	SEED			PAWNEE BUTTES SEED	
+++++ +++++ +++++ +++++ ++++++	SEED2	41,227 SF	TALL FESCUE SEED MIX / ARKANSAS VALLEY SEED INSTALL PER MANUFACTURERS SPECIFICATIONS	SEED			PAWNEE BUTTES SEED	
	X8	1,413 SF	/ PLAYGROUND GROUND MATERIAL	PLAYGROUND FALL MATERIAL				
	X9	1,602 SF	/ FLAGSTONE PAVERS	PAVERS				

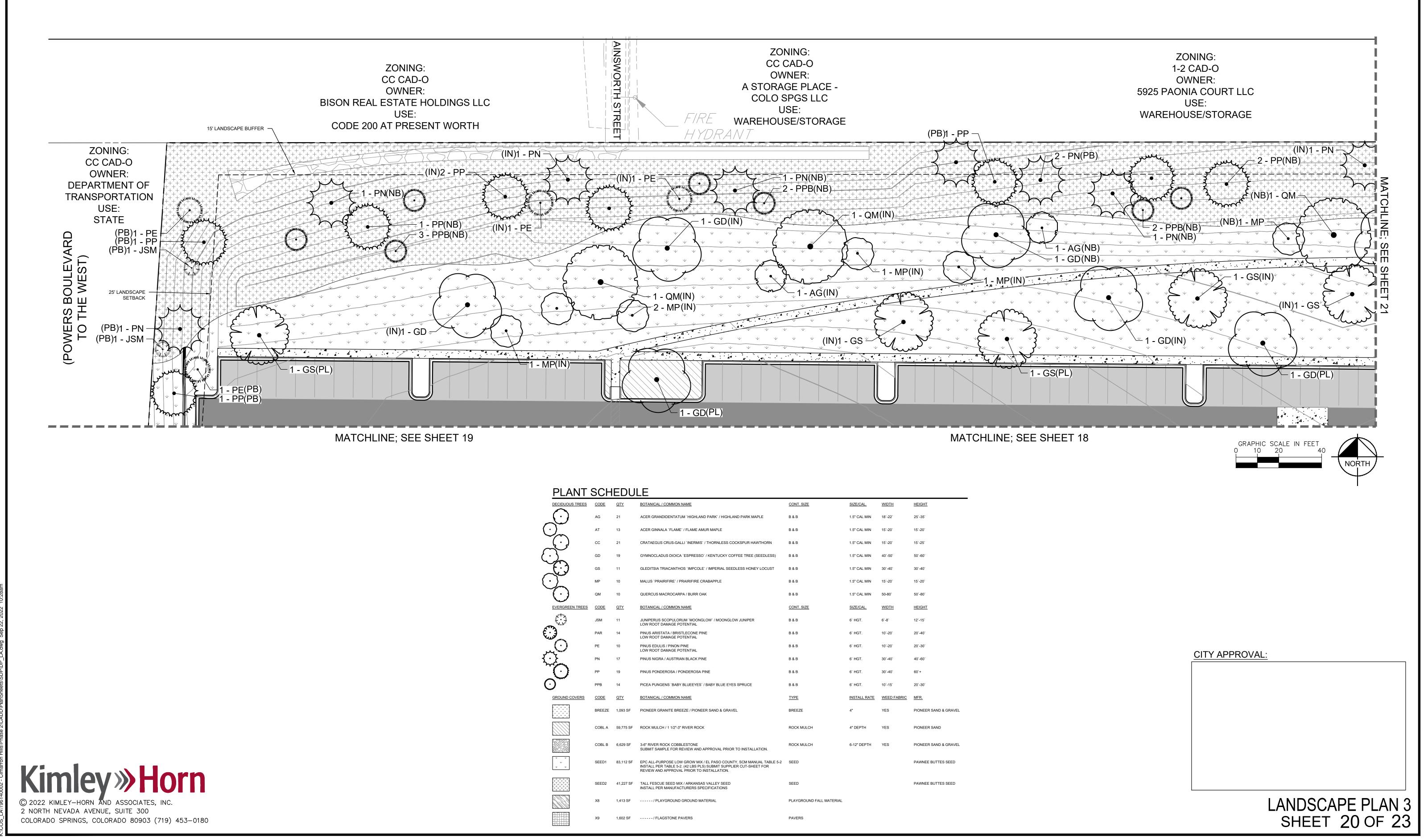
Kimley» Horn
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2 NORTH NEVADA AVENUE, SUITE 300

LANDS

LANDSCAPE PLAN 2 SHEET 19 OF 23

CITY APPROVAL:

CIMARRON HILLS DEVELOPMENT PLAN



CIMARRON HILLS DEVELOPMENT PLAN **ZONING**: ZONING: **ZONING**: ZONING: 1-2 CAD-O 1-2 CAD-O 1-2 CAD-O 1-2 CAD-O OWNER: OWNER: OWNER: OWNER: **GPM INVESTMENTS LLP** 5925 PAONIA COURT LLC JLG INC **GPM INVESTMENTS LLP** USE: USE: USE: MANUFACTURING WAREHOUSE/STORAGE WAREHOUSE/STORAGE WAREHOUSE/STORAGE PROCESSING — 15' LANDSCAPE BUFFER - PP(NB) + (NB)1 - GD PAONIA 1 - MP(NB) (NB)2 - QM STREET 1 - GD(PL) ZONING: RM-12 CAD-O OWNER: CS POWERS AND GALLEY VACANT COMMERCIAL LOTS MATCHLINE; SEE SHEET 18 PLANT SCHEDULE DECIDUOUS TREES CODE QTY BOTANICAL / COMMON NAME WIDTH CONT. SIZE SIZE/CAL. ACER GRANDIDENTATUM 'HIGHLAND PARK' / HIGHLAND PARK MAPLE B & B ACER GINNALA `FLAME` / FLAME AMUR MAPLE 1.5" CAL MIN CRATAEGUS CRUS-GALLI 'INERMIS' / THORNLESS COCKSPUR HAWTHORN 1.5" CAL MIN GYMNOCLADUS DIOICA `ESPRESSO` / KENTUCKY COFFEE TREE (SEEDLESS) 1.5" CAL MIN GLEDITSIA TRIACANTHOS 'IMPCOLE' / IMPERIAL SEEDLESS HONEY LOCUST 1.5" CAL MIN MALUS `PRAIRIFIRE` / PRAIRIFIRE CRABAPPLE QUERCUS MACROCARPA / BURR OAK 1.5" CAL MIN EVERGREEN TREES CODE QTY BOTANICAL / COMMON NAME CONT. SIZE JUNIPERUS SCOPULORUM 'MOONGLOW' / MOONGLOW JUNIPER LOW ROOT DAMAGE POTENTIAL LOW ROOT DAMAGE POTENTIAL CITY APPROVAL: PINUS NIGRA / AUSTRIAN BLACK PINE PINUS PONDEROSA / PONDEROSA PINE PICEA PUNGENS 'BABY BLUEEYES' / BABY BLUE EYES SPRUCE 10`-15` 20`-30` GROUND COVERS CODE QTY BOTANICAL / COMMON NAME TYPE INSTALL RATE WEED FABRIC MFR. BREEZE 1,093 SF PIONEER GRANITE BREEZE / PIONEER SAND & GRAVEL BREEZE PIONEER SAND & GRAVEL COBL A 59,775 SF ROCK MULCH / 1 1/2"-3" RIVER ROCK ROCK MULCH PIONEER SAND COBL B 6,629 SF 3-6" RIVER ROCK COBBLESTONE PIONEER SAND & GRAVEL ROCK MULCH SUBMIT SAMPLE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. PAWNEE BUTTES SEED INSTALL PER TABLE 5-2. (42 LBS PLS) SUBMIT SUPPLIER CUT-SHEET FOR SEED2 41,227 SF TALL FESCUE SEED MIX / ARKANSAS VALLEY SEED PAWNEE BUTTES SEED INSTALL PER MANUFACTURERS SPECIFICATIONS LANDSCAPE PLAN 4 SHEET 21 OF 23 -----/ PLAYGROUND GROUND MATERIAL © 2022 KIMLEY-HORN AND ASSOCIATES, INC. PLAYGROUND FALL MATERIAL 2 NORTH NEVADA AVENUE, SUITE 300 1,602 SF -----/ FLAGSTONE PAVERS **PAVERS** COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

A. SCOPE OF WORK

- THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED
- 2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

- ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA; LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

C. PROTECTION OF EXISTING PLANT MATERIALS

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC... THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
- 2. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

MATERIALS

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER UPON APPROVAL. DELIVERY OF MATERIALS MAY COMMENCE

ONE (1) CUBIC FOOT

ONF (1) CUBIC FOOT

TOPSOIL MIX ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY) PLANTS

PLANT MATERIALS

- a. FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND THE COLORADO NURSERY ACT; AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT
- b. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
- c. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
- d. PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 AND COLORADO NURSERY ACT FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
- e. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS. LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
- f. TREES WITH DAMAGED. CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN $\frac{3}{4}$ INCH (19 MM) IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
- a. FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL. WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1 AND COLORADO NURSERY ACT. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
- h. LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES. INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.
- I JE FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS. SELECT STOCK FOR LINIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.

E. SOIL MIXTURE

- CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW: SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
- a. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER: REASONABLY FREE OF SUBSOIL CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER: FREE OF ROOTS STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PH BETWEEN 5.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 3.0 MMHOS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.

b. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.

TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL. NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC.. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

FERTILIZER

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE

* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

1. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES CLEAR MULCH FROM EACH PLANT'S CROWN (BASE) OR AS SHOWN IN PLANTING DETAILS. MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE RING (6' MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.

DIGGING AND HANDLING

- ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE
- PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
- B&B, AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

CONTAINER GROWN STOCK

- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY. VIGOROUS. WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS
- 3. ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.

K. MATERIALS LIST

1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

- FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
- 2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
- ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

M. PLANTING PROCEDURES

- THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL SHOULD THE CONTRACTOR FIND SLICH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
- VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS). WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE, PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO
- 3. CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
- 4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE
- 5. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED, PLANTS STORED ONSITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
- WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
- ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK
- TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR
- DRAINAGE CONDITION" PLANTING DETAIL 9. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES
- 10. PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.

AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMEN.

- 11. EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS. FOOTERS AND PREPARED SUB-BASES.
- 12. IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL
- 13. TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
- 14. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING

15. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.

- 16. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
- 17. AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION

- 18. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.
- 19. ALL BURLAP, ROPE, WIRES, BASKETS, ETC.., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
- 20. TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.
- 21. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER
- 22. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
- 23. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

N. LAWN SODDING

THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE

- ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
- PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.

a. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.

b. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE FLEMENTS, PAVED AND PLANTED AREAS ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE. SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

6. LAWN MAINTENANCE

- a. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRADING IF NECESSARY
- b. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

a. CONTRACTOR SHALL INSTALL $4"X_8^{1"}$ ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.

1. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL. EQUIPMENT. AND DEBRIS RESULTING FROM CONTRACTORS WORK, ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE. Q. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE

R. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING. CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

- THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
- ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
- IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE. THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

T. PARKING LOT ISLAND NOTE

1. THE SOIL OF ANY PLANTER WITHIN THE PARKING LOT SHALL BE STRUCTURALLY RENOVATED (TILLED) OR REMOVED TO A DEPTH OF THIRTY INCHES (30") AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES INDICATED FOR CITY APPROVAL

MAINTENANCE

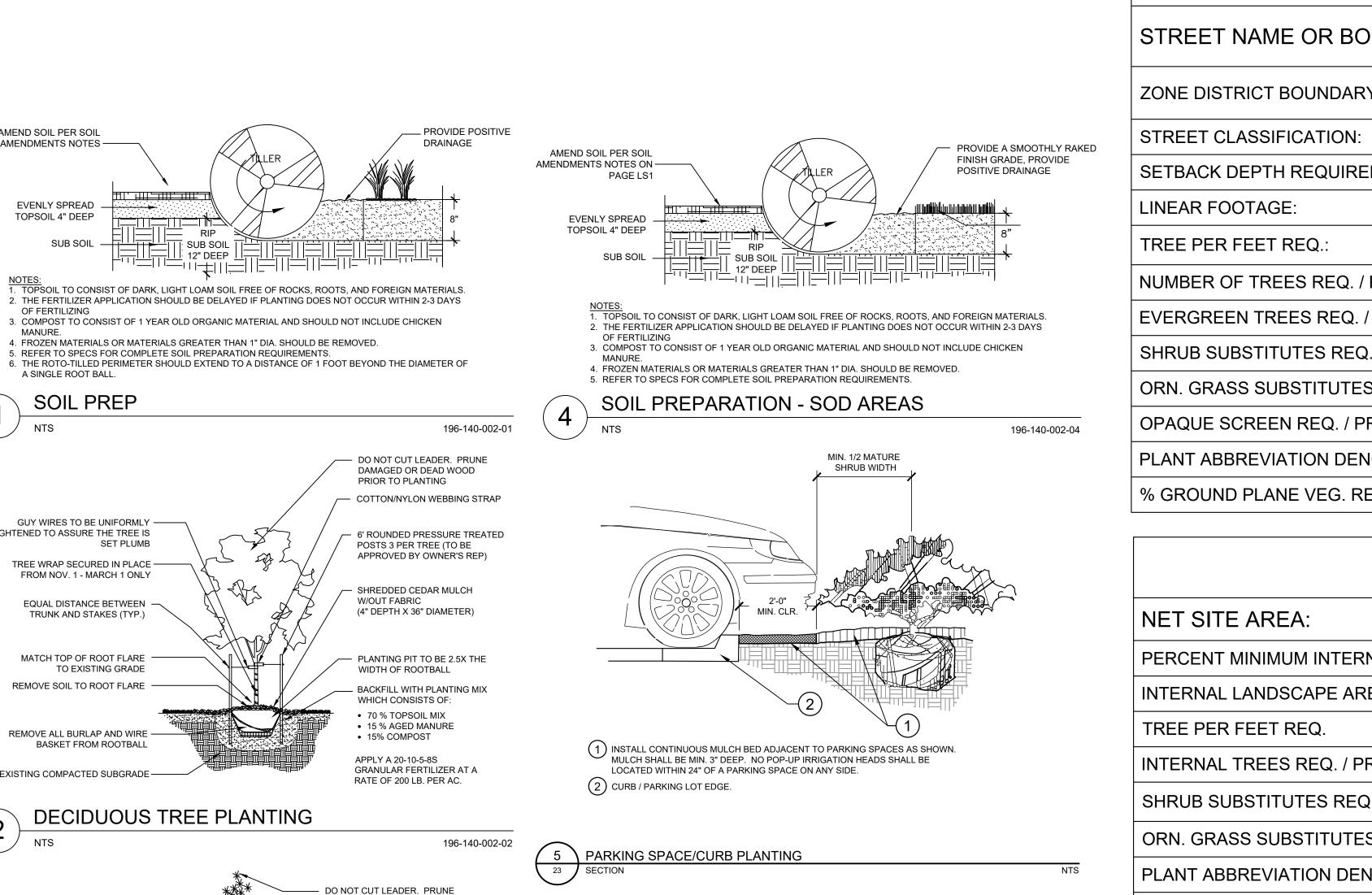
1. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER, AND/ OR THEIR ASSIGNS.

ALL STREET TREES AND STREETSCAPE IMPROVEMENTS LOCATED IN THE R.O.W. WILL BE MAINTAINED BY THE ABUTTING

LANDSCAPE NOTES



CIMARRON HILLS DEVELOPMENT PLAN



MIN. 1/2 MATURE

24" MIN. CLEAR

1. CLEAR ZONE: 36" MIN. FROM BUILDING TO CENTER OF NEAREST SHRUB.

PLANTINGS ADJACENT TO BUILDINGS

A DEPTH OF 3" (MIN.)

2. INSTALL SPECIFIED MULCH: 24" MIN. FROM BUILDING. SPECIFIED MULCH TO BE INSTALLED AT

196-140-002-07

SHRUB WIDTH

LANDSCAPE SETBACKS AND BUFFERS				
STREET NAME OR BOUNDARY:	POWERS BLVD	PAONIA ST	NORTH BUFFER	
ZONE DISTRICT BOUNDARY:	NO	NO	YES	
STREET CLASSIFICATION:	EXPRESSWAY	NON-ARTEIAL	N/A	
SETBACK DEPTH REQUIRED / PROVIDED:	25' / 25'	10' / 10'	15' / 100' +	
LINEAR FOOTAGE:	425'	113'	1082'	
TREE PER FEET REQ.:	1 TREE PER 20 LF	1 TREE PER 30 LF	1 TREE PER 25 LF	
NUMBER OF TREES REQ. / PROV.	22 / 22	4 / 4	44 / 44	
EVERGREEN TREES REQ. / PROV.	N/A	N/A	15 / 26	
SHRUB SUBSTITUTES REQ. / PROV.	N/A	N/A	N/A	
ORN. GRASS SUBSTITUTES REQ. / PROV.	N/A	N/A	N/A	
OPAQUE SCREEN REQ. / PROV.	N/A	N/A	1082' / 1082'	
PLANT ABBREVIATION DENOTED ON PLAN:	PB	PS	NB	
% GROUND PLANE VEG. REQ. / PROV.	75% / 75%	75% / 75%	75% / 100%	

INTERNAL LANDSCAPING			
NET SITE AREA:	340,795 SF (7.82 AC)		
PERCENT MINIMUM INTERNAL AREA:	15%		
INTERNAL LANDSCAPE AREA REQ. / PROV.	173,412 SF / 539,645 SF		
TREE PER FEET REQ.	1 TREE PER 500 SF		
INTERNAL TREES REQ. / PROV.	103 / 104		
SHRUB SUBSTITUTES REQ. / PROV.	N/A		
ORN. GRASS SUBSTITUTES REQ. / PROV.	N/A		
PLANT ABBREVIATION DENOTED ON PLAN:	IN		
% GROUND PLANE VEG. REQ. / PROV.	50% / 50%		

PARKING LOT LANDSCAPING			
NUMBER OF VEHICLE SPACES PROVIDED:	224		
SHADE TREES REQUIRED:	1 TREE PER 15 STALLS		
SHADE TREES REQ. / PROV.:	15 / 15		
PARKING LOT FRONTAGES:	NORTH		
LENGTH OF FRONTAGE:	253'		
LENGTH OF 3' TALL SCREENING PLANTS REQ. / PROV.:	169' / 169'		
LENGTH OF BERM OR FENCE REQ. / PROV.:	1082'		
PLANT ABBREVIATION DENOTED ON PLAN:	PL		



EVERGREEN TREE PLANTING

DAMAGED OR DEAD WOOD

COTTON / NYLON WEBBING STRAP

— DOUBLE STRAND GALV. WIRE (10GA.)

— SHREDDED CEDAR MULCH W/OUT FABRIC

(4" DEPTH X 36" DIAMETER) SOLID GREEN "T" POSTS TO

EXTEND NO MORE THAN 6" ABOVE GRADE. 3 PER TREE BACKFILL WITH PLANTING MIX

WHICH CONSISTS OF:

 70 % TOPSOIL MIX 15 % AGED MANURE

APPLY A 20-10-5-8S

GRANULAR FERTILIZER AT A RATE OF200 LB. PER AC.

196-140-002-03

15% COMPOST

PRIOR TO PLANTING

AMEND SOIL PER SOIL AMENDMENTS NOTES —

> **EVENLY SPREAD** TOPSOIL 4" DEEP

A SINGLE ROOT BALL.

GUY WIRES TO BE UNIFORMLY -TIGHTENED TO ASSURE THE TREE IS

> TREE WRAP SECURED IN PLACE -FROM NOV. 1 - MARCH 1 ONLY

EQUAL DISTANCE BETWEEN -

TRUNK AND STAKES (TYP.)

MATCH TOP OF ROOT FLARE -

REMOVE SOIL TO ROOT FLARE

REMOVE ALL BURLAP AND WIRE -BASKET FROM ROOTBALL

EXISTING COMPACTED SUBGRADE -

GUY WIRES TO BE UNIFORMLY AND NEATLY TIGHTENED (TYP.)

MATCH TOP OF ROOT FLARE

PLANTING PIT TO BE 2.5X

THE WIDTH OF ROOTBALL

REMOVE ALL BURLAP AND WIRE

BASKET FROM ROOTBALL

REMOVE SOIL TO THE ROOT FLARE

TO EXISTING GRADE

TO EXISTING GRADE

SET PLUMB

CITY APPROVAL:

LANDSCAPE DETAILS SHEET 23 OF 23