

TEMPLETON GAP TOWNHOMES
COLORADO SPRINGS, CO
SITE PLAN
MAY 2020

PROJECT NOTES

OWNER: BEYOND DEVELOPMENT LLC
14965 CROOKED SPUR LANE
COLORADO SPRINGS, CO 80921

DEVELOPER: GALIANT HOMES
6265 LEHMAN DRIVE #160
COLORADO SPRINGS, CO 80918
719.445.6264
ATTN: STEVE MILLER

OWNER: TERRA NOVA ENGINEERING, INC.
721 S 23RD STREET
COLORADO SPRINGS, CO 80904
719.635.6422
ATTN: DANE FRANK

SITE AREA: 0.87 AC & 10.55 AC - 11.42 AC TOTAL (497,455 SF)
 ADDRESS: 7045 & 7065 TEMPLETON GAP ROAD
 TSN: 53070-00-045 & 53070-00-011
 ZONING: CURRENT - PUD AO, PROPOSED - PUD AO (R5)
 BUILDING SETBACKS: FRONT: 10', WEST SIDE: 10', EAST SIDE: 15', REAR: 15'
 LANDSCAPING SETBACKS: EAST SIDE: 15', REAR: 15'
 MASTER PLAN: DUBLIN NORTH (CITY # CPC MP 04-00369)

BUILDING HEIGHT: 30' MAX
LOT COVERAGE: 3.41 AC (29.8%)
MAX LOT COVERAGE: 40%
DENSITY: 168 DU, 14.7 DU/AC
MAX DENSITY: 20 DU/AC

PROPOSED USE: MULTI-FAMILY (3 BEDROOM TOWNHOMES)

PARKING: 336 GARAGE SPACES, 164 PRIVATE SPACES, 43 VISITOR SPACES
INCLUDING 4 HANDICAP SPACES (VAN ACCESSIBLE)
PARKING REQUIRED: 336 SPACES (2 SPACES PER DU)

THE SITE IS NOT WITHIN A 100-YEAR FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, EL PASO COUNTY, COLORADO # 08041C0537G, EFFECTIVE DATE DECEMBER 7, 2018.

THE SCHEDULE FOR CONSTRUCTION OF THE PROPOSED BUILDING
WILL PROCEED IMMEDIATELY AFTER ALL GOVERNMENTAL
APPROVALS ARE OBTAINED.

CONTOURS FOR THIS DOCUMENT ARE 2.0' INTERVALS.

THE SITE IS WITHIN BOTH THE COTTONWOOD CREEK DRAINAGE BASIN AND THE SAND CREEK DRAINAGE BASIN. THE WESTERN QUARTER± OF THE SITE IS WITHIN THE COTTONWOOD CREEK DRAINAGE BASIN.

LEGAL DESCRIPTION

WEST PARCEL - THAT TRACT IN THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER LYING SOUTHEASTERLY OF HIGHWAY 189, SECTION 7 IN TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO.

EXCEPT ANY PORTION LYING WITHIN DUBLIN NORTH KWAN PARCEL FILING NO. 8, RECORDED MAY 12, 2016 UNDER RECEPTION NO. 216713766.

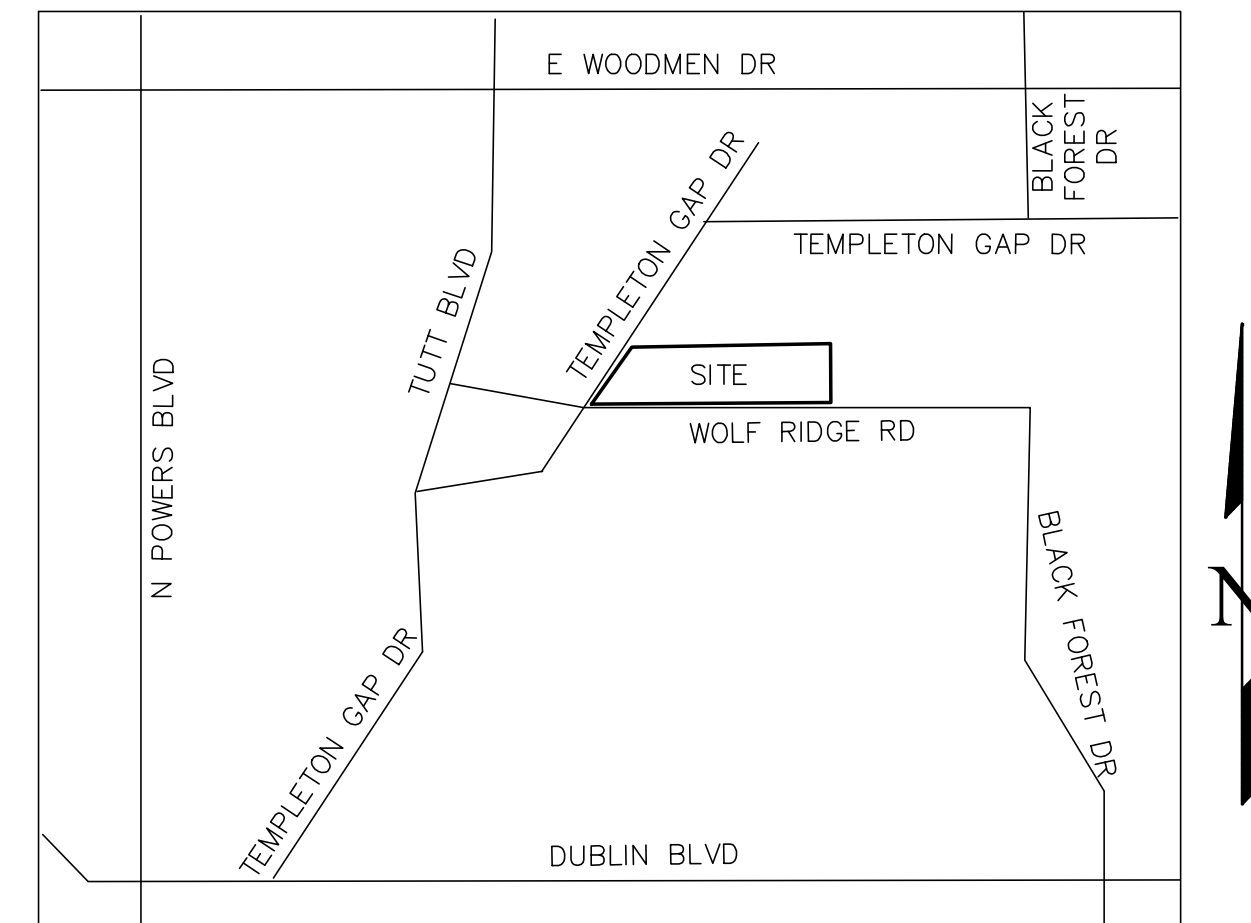
EAST PARCEL — THAT PORTION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 7 IN TOWNSHIP 13 NORTH, RANGE 65 WEST OF THE 6TH P.M., LYING SOUTHEASTERLY OF THE SOUTHEASTERLY LINE OF STATE HIGHWAY NO. 189 AND LYING SOUTHERLY OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT A POINT ON THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID NORTHEAST QUARTER WHICH IS 971.84 FEET SOUTHERLY THEREOF FROM THE NORTHEAST CORNER THEREOF; THENCE WESTERLY PARALLEL WITH THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID NORTHEAST QUARTER TO INTERSECT THE WEST LINE OF SAID NORTHEAST QUARTER, IN EL PASO COUNTY, COLORADO.

EXCEPT ANY PORTION LYING WITHIN DUBLIN NORTH KWAN PARCEL FILING NO 8, RECORDED MAY 12, 2016 UNDER RECEPTION NO. 216713766.

TO BE PLATTED AS LOT 1, TEMPLETON GAP TOWNHOMES.

NOTES:

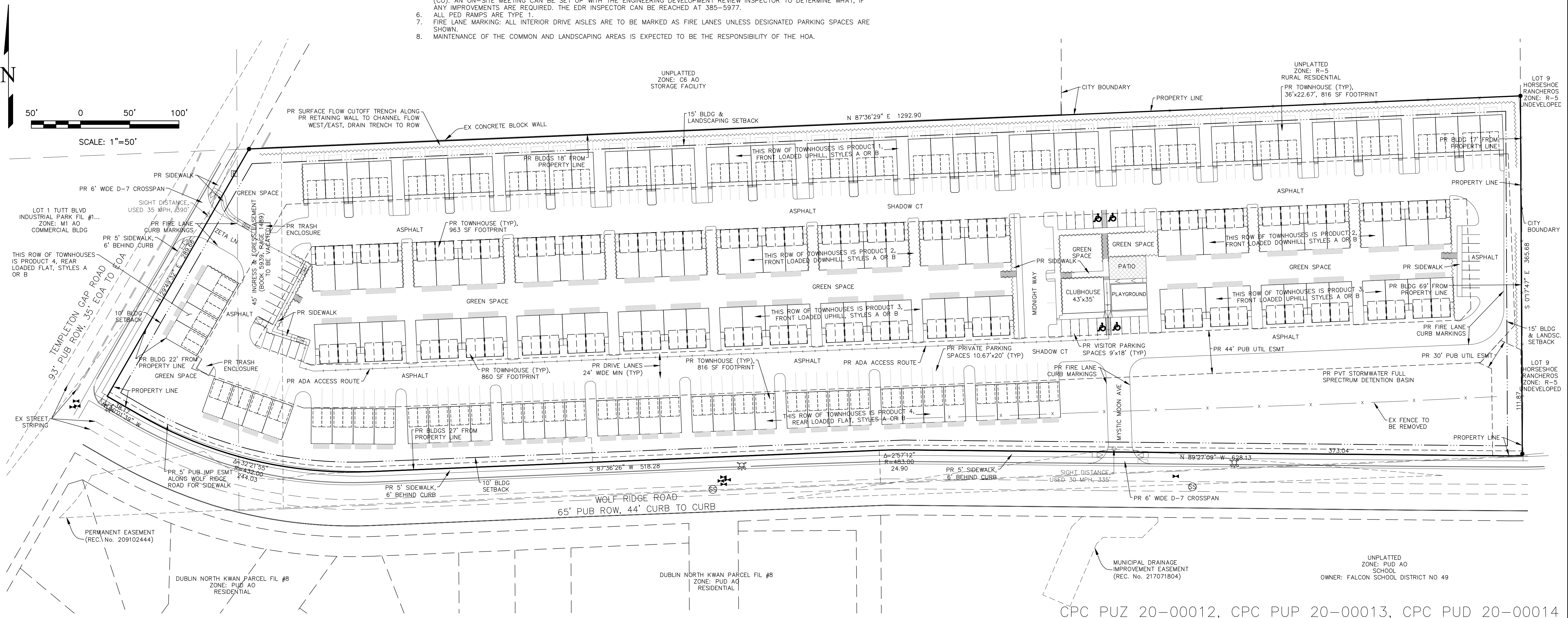
1. EASEMENTS AND OTHER RECORD DOCUMENTS SHOWN OR NOTED ON THIS SURVEY WERE EXAMINED AS TO LOCATION AND PURPOSE AND WERE NOT EXAMINED AS TO RESTRICTIONS, EXCLUSIONS, CONDITIONS, OBLIGATIONS, TERMS, OR AS TO THE RIGHT TO GRANT THE SAME.
2. THE LINEAL UNITS USED IN THIS DRAWING ARE U.S. SURVEY FEET.
3. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY OTHER REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS IS WITH THE PROPERTY OWNER.
4. AN AVIGATION EASEMENT EFFECTING THE SUBJECT PROPERTY AND DEVELOPMENT IS THEREIN ESTABLISHED BY THE "TEMPLETON GAP TOWNHOMES" SUBDIVISION PLAT. THIS EASEMENT IS SUBJECT TO THE TERMS AND CONDITIONS AS SPECIFIED IN THE INSTRUMENT RECORDED UNDER RECEPTION NO. 217069667 OF THE RECORDS OF EL PASO COUNTY, COLORADO.
5. ALL CURB, GUTTER, PEDESTRIAN RAMPS, AND SIDEWALK POSING A SAFETY HAZARD, EXHIBITING EXCESSIVE DETERIORATION, OR OTHERWISE ENDANGERING THE CURRENT OR FUTURE TRAVEL OF ANY VEHICLE OR PEDESTRIAN ALONG ANY ADJACENT ROAD ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (CO). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE EDR INSPECTOR CAN BE REACHED AT 385-5977.
6. ALL PED RAMPS ARE TYPE 1.
7. FIRE LANE MARKING: ALL INTERIOR DRIVE AISLES ARE TO BE MARKED AS FIRE LANES UNLESS DESIGNATED PARKING SPACES ARE SHOWN.
8. MAINTENANCE OF THE COMMON AND LANDSCAPING AREAS IS EXPECTED TO BE THE RESPONSIBILITY OF THE HOA.







VICINITY MAP
N.T.S.

SHEET INDEX:

1. SITE PLAN
2. PRELIMINARY GRADING PLAN
3. PRELIMINARY UTILITIES & PUBLIC FACILITIES PLAN
4. FINAL LANDSCAPING PLAN
5. FINAL LANDSCAPING PLAN
6. FINAL LANDSCAPING PLAN
7. LIGHTING PLAN

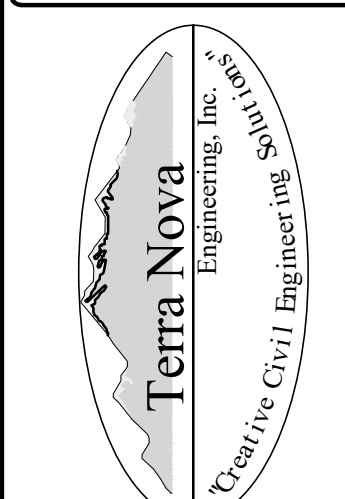


LEGEND

EXISTING CONTOURS - MINOR	— 61.32 —
EXISTING CONTOURS - MAJOR	— 61.30 —
PROPOSED	PR
EXISTING	EX
CONCRETE EDGE	CE
PROPOSED FINISHED GROUND	FG
PROPOSED FINISHED SURFACE	FS
PROPOSED FLOWLINE	FL
SPOT ELEVATION	SE
ASPHALT EDGE	AE
LOW POINT	LP
HIGH POINT	HP
EXISTING ELEVATION	12.00*
GRADE & DIRECTION	<u>2.2%</u>
PROPOSED CONTOUR	
EXISTING SPOT GRADE	× EX 7314.00
PROPOSED SPOT GRADE	× 7314.00
SETBACK LINE	— ····· —
UNDERGROUND GAS LINE	— UG —
UNDERGROUND ELECTRIC LINE	— UE —
BARBED WIRE FENCE	— X —
UNDERGROUND WATER LINE	— v — v — v — v —
SANITARY SEWER LINE	— SS — SS — SS —
STORM SEWER LINE	— ST — ST — ST —
SANITARY SEWER MANHOLE	
WATER VALVE	
FIRE HYDRANT	
PROPOSED RETAINING WALL	— ~~~~~ —

[illegible]

PREPARED FOR:
GALANT HOMES
ATTN: **STEVE MILLER**
6265 LEHMAN DRIVE #160
COLORADO SPRINGS, CO 80918
719.445.6264



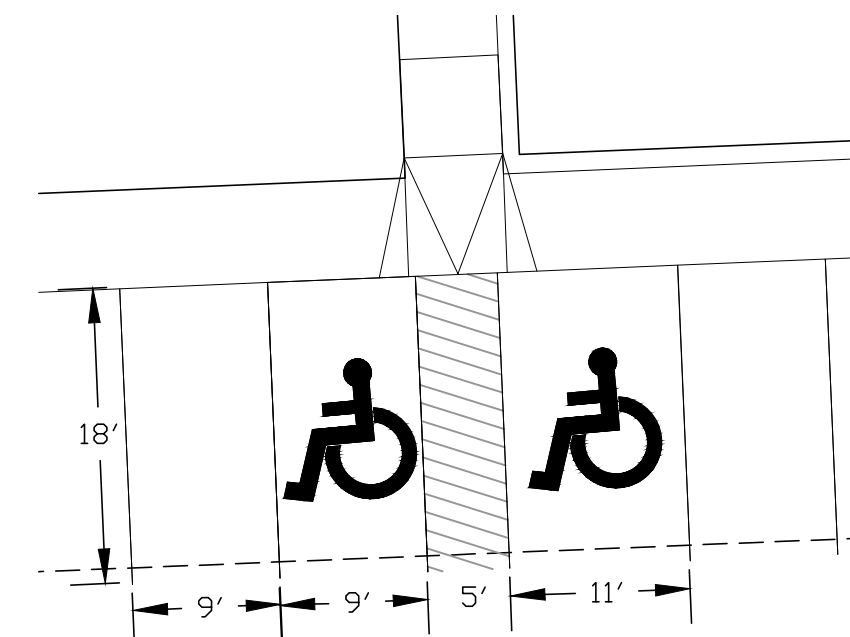
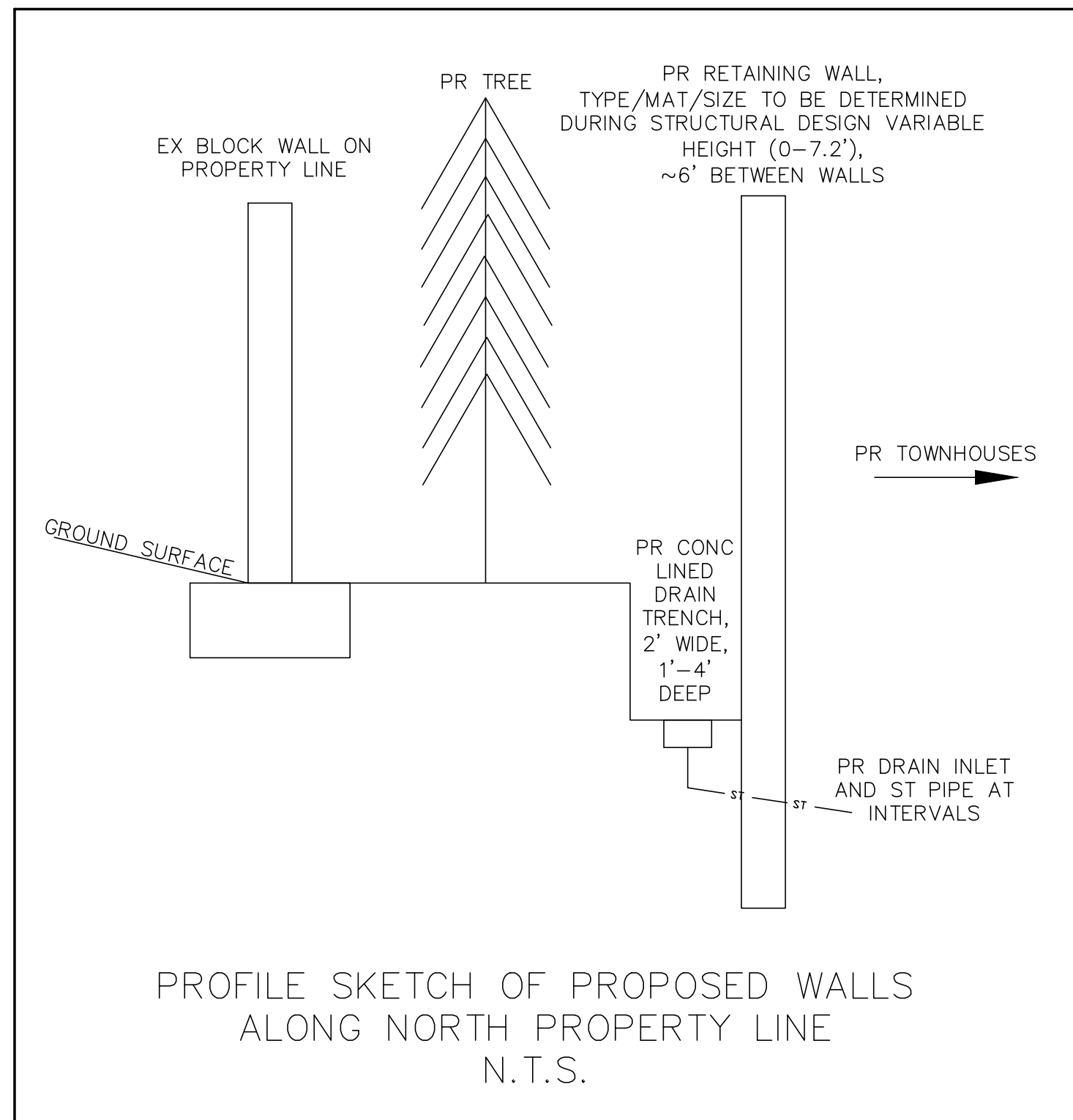
21 S. 23RD STREET
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OFFICE: 719-635-6422
FAX: 719-635-6426
www.tthesinc.com

TEMPETON GAP TOWNHOMES

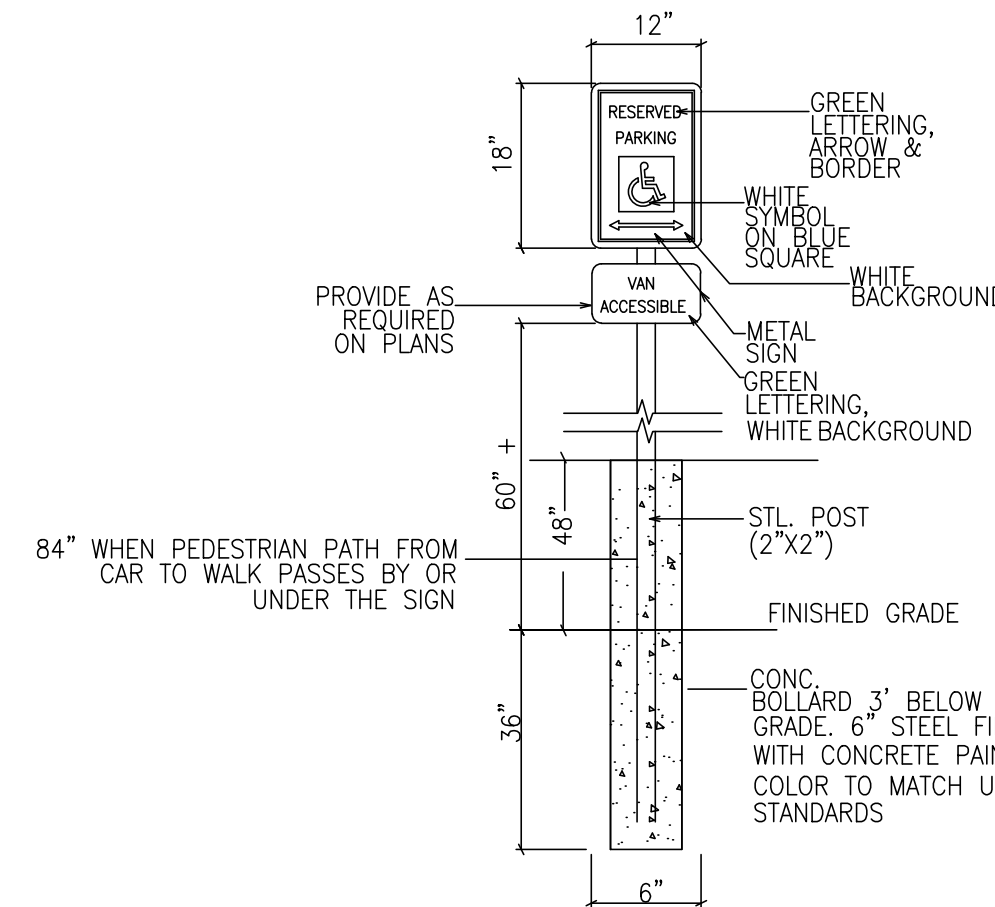
DESIGNED BY	DLF
DRAWN BY	DLF
CHECKED BY	LD
H-SCALE	AS NOTED
V-SCALE	N/A
JOB NO.	1893.00
DATE ISSUED	05/20/20
SHEET NO.	1 OF 7

TEMPLETON GAP TOWNHOMES
COLORADO SPRINGS, CO
PRELIMINARY GRADING PLAN
MAY 2020

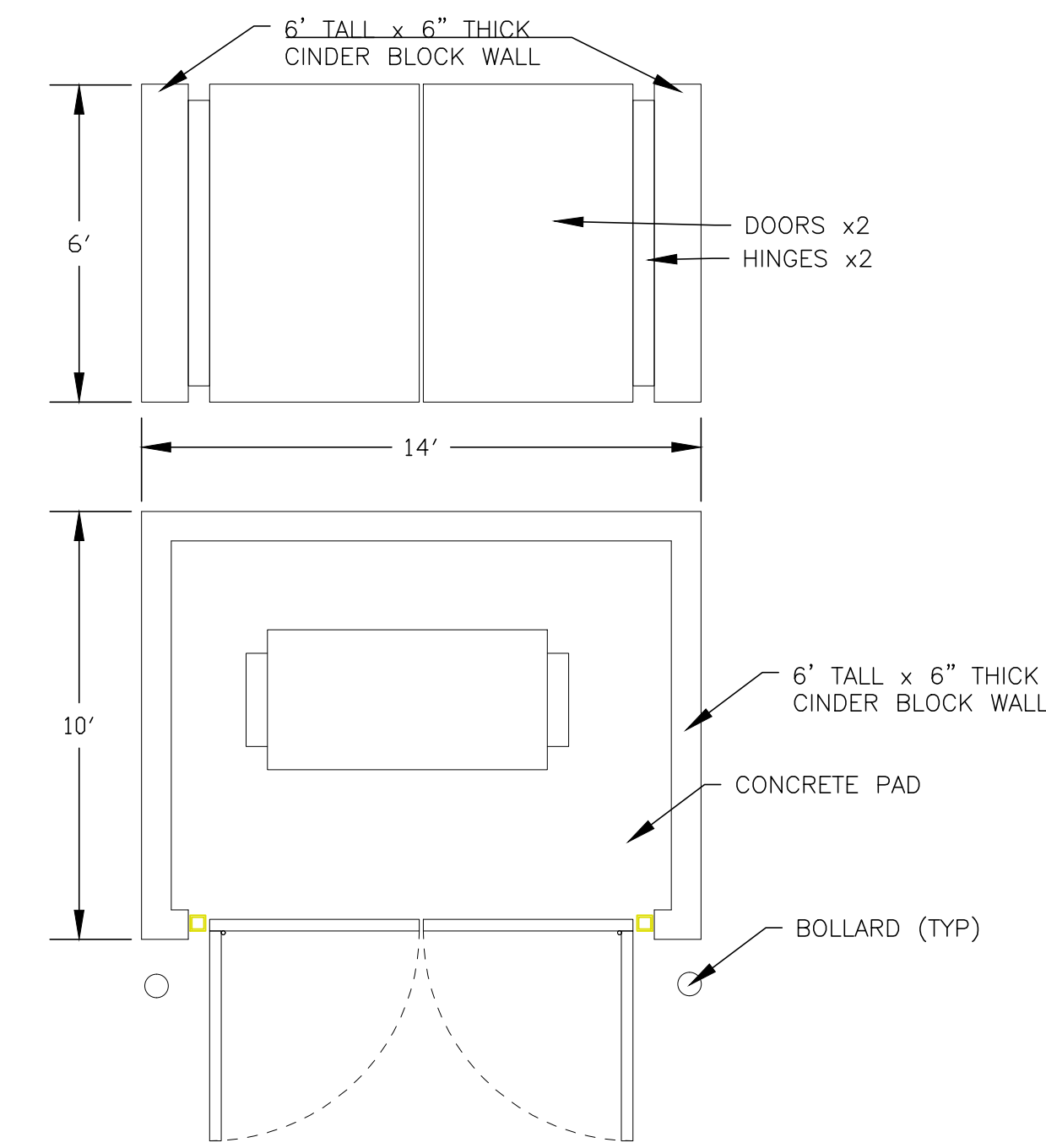
MAY 2020







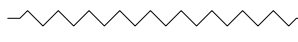


TYPICAL & ADA PARKING SPACE DETAIL
N.T.S.




ADA PARKING SIGN DETAIL
N.T.S.



TRASH ENCLOSURE DETAIL
N.T.S.

LEGEND	
EXISTING CONTOURS - MINOR	— 6132 —
EXISTING CONTOURS - MAJOR	— 6130 —
PROPOSED	PR
EXISTING	EX
CONCRETE EDGE	CE
PROPOSED FINISHED GROUND	FG
PROPOSED FINISHED SURFACE	FS
PROPOSED FLOWLINE	FL
SPOT ELEVATION	SE
ASPHALT EDGE	AE
LOW POINT	LP
HIGH POINT	HP
TOP OF WALL	TW
BOTTOM OF WALL (GROUND SURFACE)	BW
EXISTING ELEVATION	12.00*
GRADE & DIRECTION	<u>2.2%</u>
PROPOSED CONTOUR	
EXISTING SPOT GRADE	× EX 7314.00
PROPOSED SPOT GRADE	× 7314.00
SETBACK LINE	— ····· —
UNDERGROUND GAS LINE	— UG —
UNDERGROUND ELECTRIC LINE	— UE —
BARBED WIRE FENCE	— x —
UNDERGROUND WATER LINE	— v — v — v — v —
SANITARY SEWER LINE	— ss — ss — ss —
STORM SEWER LINE	— st — st — st —
SANITARY SEWER MANHOLE	
WATER VALVE	
FIRE HYDRANT	
PROPOSED RETAINING WALL	
ROAD AND DITCH FLOW DIRECTION	
GROUND SURFACE FLOW DIRECTION	

PREPARED FOR:
GALANT HOMES
ATTN: STEVE MILLER
6265 LEHMAN DRIVE
COLORADO SPRINGS, CO
719.445.6264



Terra Nova
Engineering, Inc.

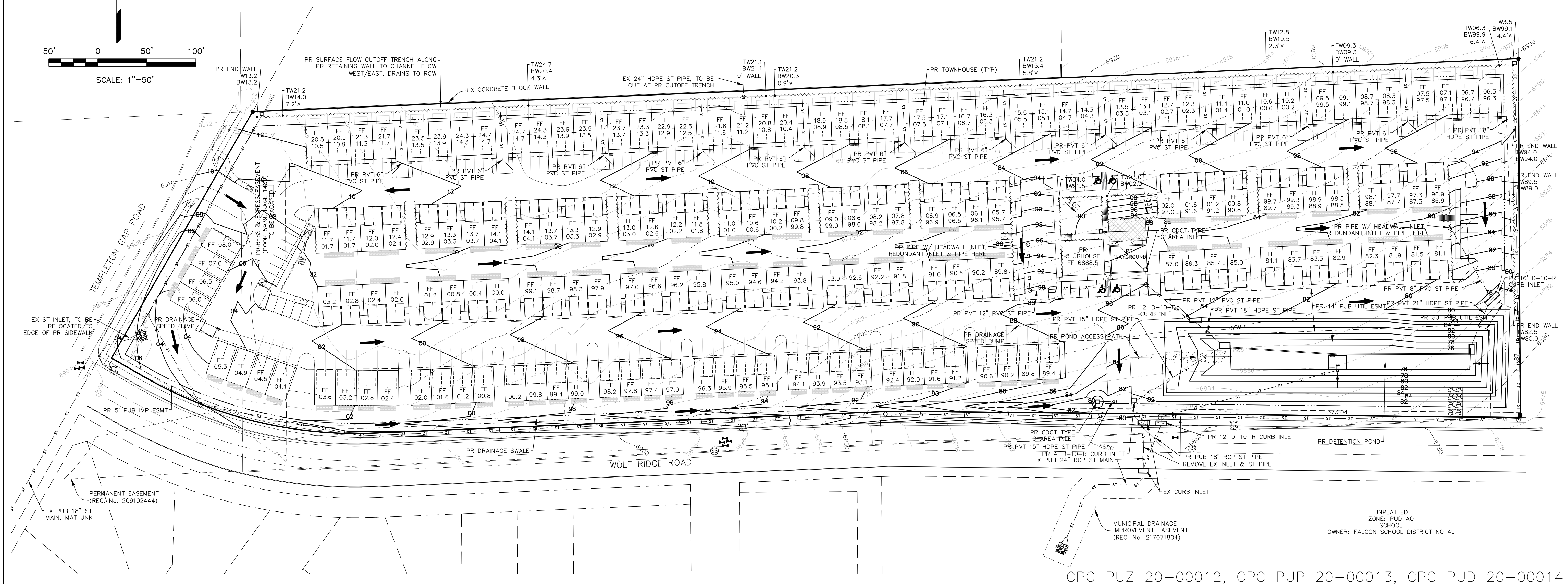
Creative Civil Engineering Solutions

21 S. 23RD STREET
COLORADO SPRINGS, CO 80904
OFFICE: 719-635-6422
FAX: 719-635-6426
www.tnslnc.com

TEMPETON GAP TOWNHOMES

PRELIMINARY GRADING PLAN

DESIGNED BY	DLF
DRAWN BY	DLF
CHECKED BY	LD
SCALE	AS NOTED
SCALE	N/A
PB NO. 1893.00	
DATE ISSUED 05/20/20	
SHEET NO. 2 OF 7	



CPC PUZ 20-00012, CPC PUP 20-00013, CPC PUD 20-00014

TEMPLETON GAP TOWNHOMES
COLORADO SPRINGS, CO
PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN
MAY 2020

PROPERTY OWNERS ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATION OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NESC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

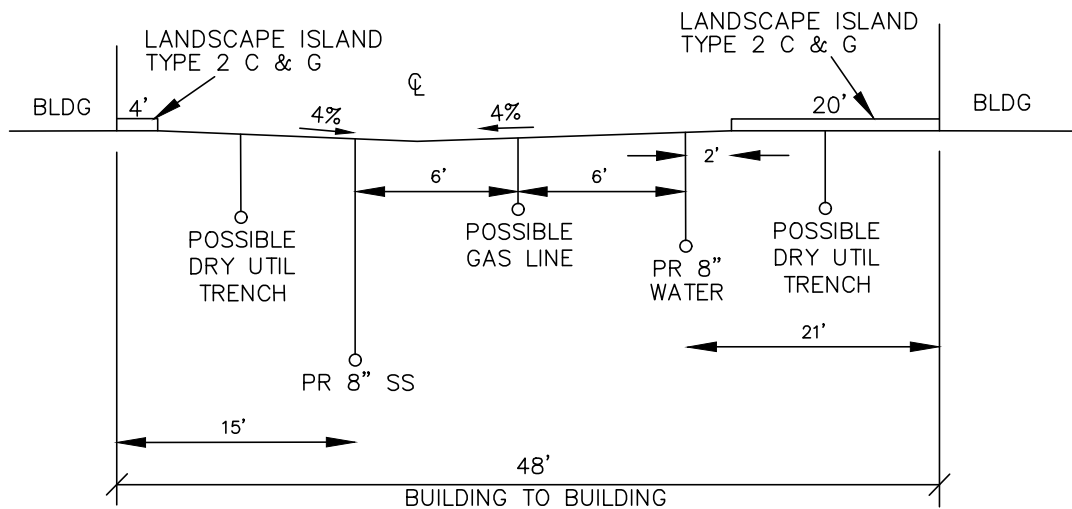
FIRE INFORMATION

SF	3756 SF (MAX), 2 UNITS
BLDG TYPE	V-B
SPRINKLERED	NO
GPM REQ'D	1750
GPM PROVIDED	2100
FH REQUIRED	1
FH PROVIDED	1
FIRE FLOW	2 HRS
AVE FH SPACING	500'
HOSE LAY	250'

PRESSURE ZONE: BRIARGATE

NOTES:

- EXISTING UTILITY LOCATIONS HAVE NOT BEEN SURVEYED AND ARE APPROXIMATE.

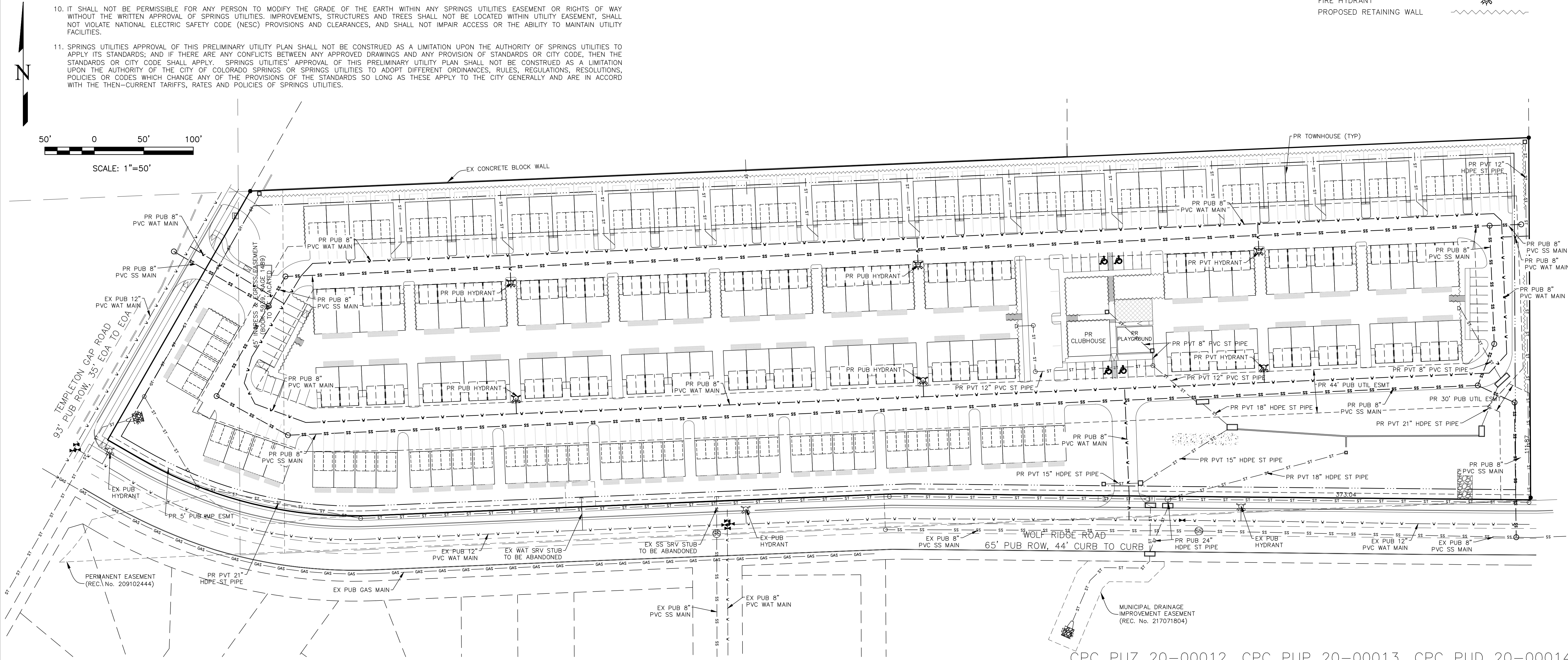


TYPICAL DRIVE AISLE SECTION

NOT TO SCALE

LEGEND

EXISTING CONTOURS - MINOR	--- 6132 ---
EXISTING CONTOURS - MAJOR	--- 6130 ---
PROPOSED	PR
EXISTING	EX
CONCRETE EDGE	CE
PROPOSED FINISHED GROUND	FG
PROPOSED FINISHED SURFACE	FS
PROPOSED FLOWLINE	FL
SPOT ELEVATION	SE
ASPHALT EDGE	AE
LOW POINT	LP
HIGH POINT	HP
EXISTING ELEVATION	12.00*
GRADE & DIRECTION	2.2%
PROPOSED CONTOUR	62
EXISTING SPOT GRADE	X EX 7314.00
PROPOSED SPOT GRADE	X 7314.00
SETBACK LINE	---
UNDERGROUND GAS LINE	--- UG ---
UNDERGROUND ELECTRIC LINE	--- UE ---
BARBED WIRE FENCE	--- X ---
UNDERGROUND WATER LINE	--- W ---
SANITARY SEWER LINE	--- SS ---
STORM SEWER LINE	--- ST ---
SANITARY SEWER MANHOLE	SS
WATER VALVE	WV
FIRE HYDRANT	HD
PROPOSED RETAINING WALL	---



DATE

DESCRIPTION

REVISIONS

NO.

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, TERRA NOVA ENGINEERING, INC. MAKES NO WARRANTY OR REPRESENTATION FOR ANY PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR:

GALIAN HOMES

ATTN: STEVE MILLER

6265 LEHMAN DRIVE #160

COLORADO SPRINGS, CO 80918

719.445.6264

721 S. 23RD STREET

COLORADO SPRINGS, CO 80904

OFFICE: 719-635-6422

FAX: 719-635-6426

www.tresinc.com

DESIGNED BY LD

DRAWN BY JGF

CHECKED BY LD

H-SCALE AS NOTED

V-SCALE N/A

JOB NO. 1807.00

DATE ISSUED 05/20/20

SHEET NO. 3 OF 7

TEMPLETON GAP TOWNHOMES

DEVELOPMENT PLAN

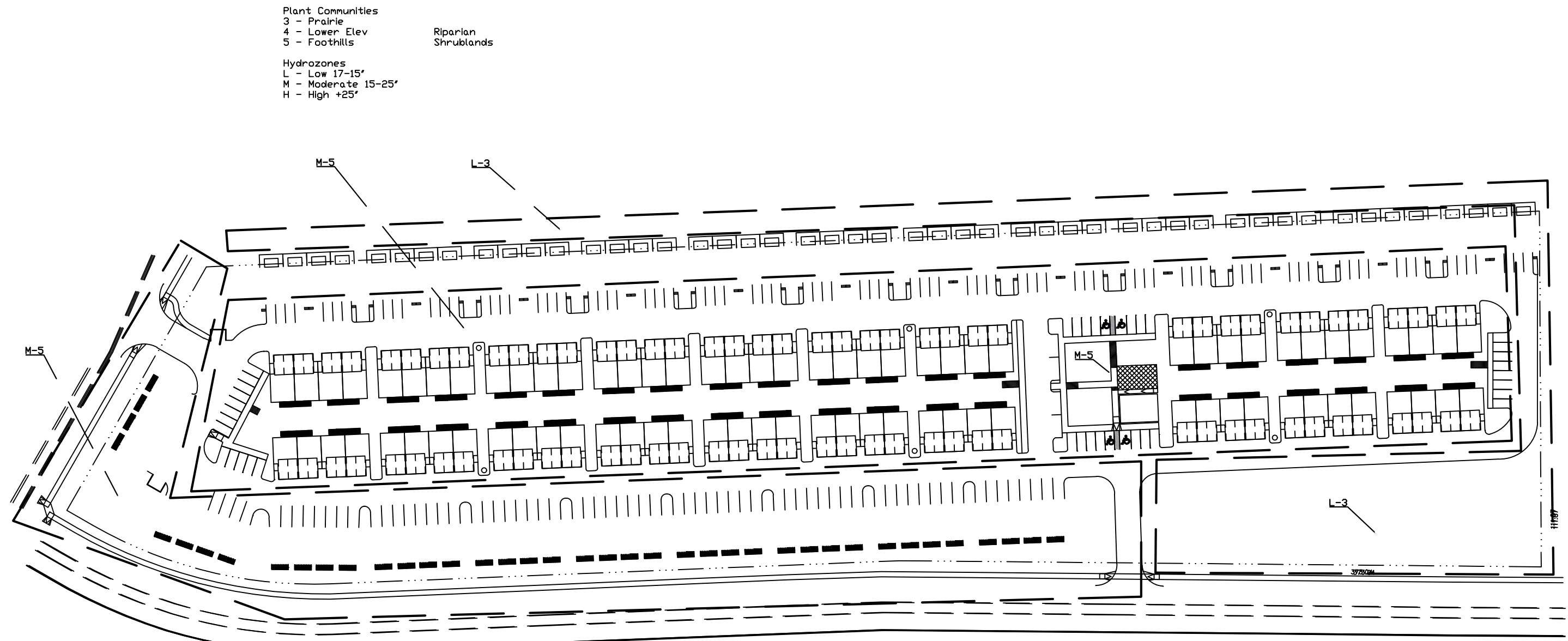
PRELIMINARY UTILITY AND PUBLIC FACILITIES PLAN

TEMPLETON GAP TOWNHOMES

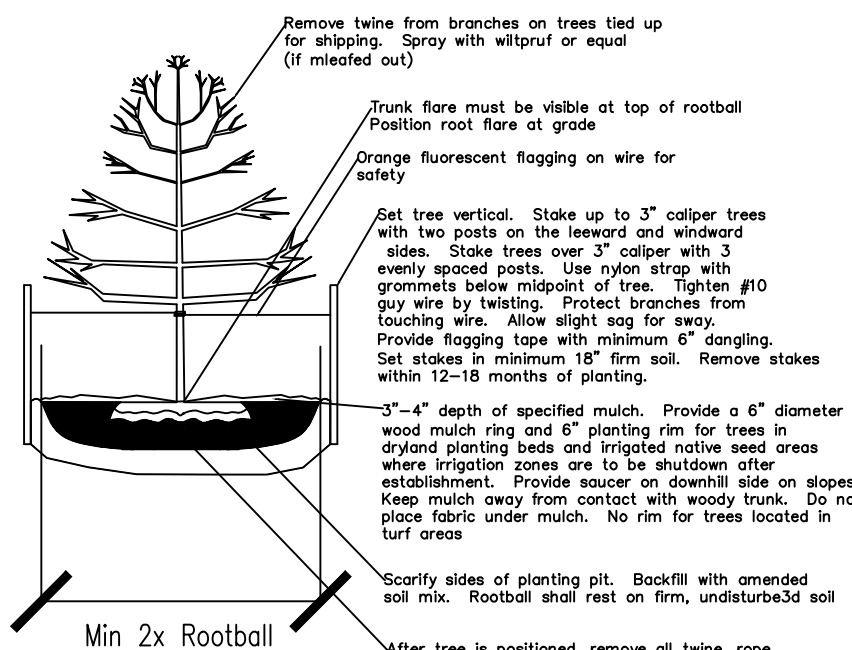
COLORADO SPRINGS, CO

FINAL LANDSCAPE PLAN

MAY 11, 2020



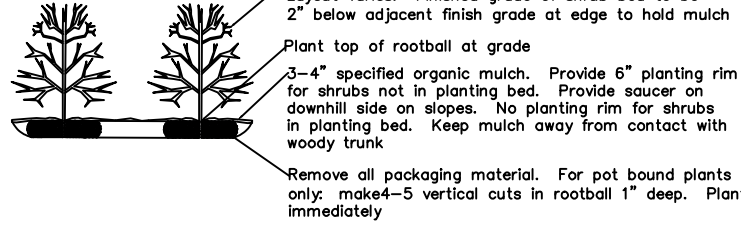
SCHEMATIC LANDSCAPE DESIGN



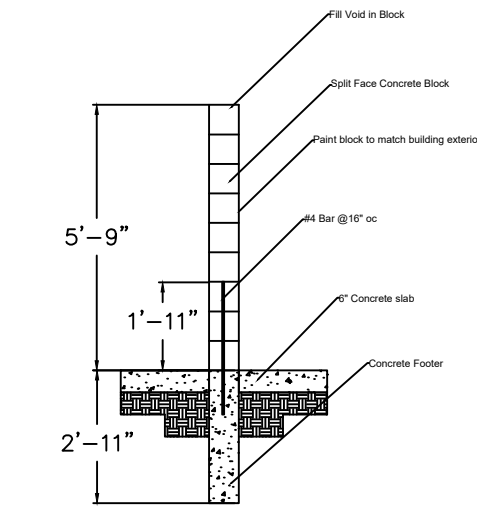
DECIDUOUS TREE PLANTING DETAIL

- Notes:
- Mark the north side of the tree in the nursery, and rotate to face north at the site.
 - At the time of planting, do not remove or cut feeder and pruned only dead or broken branches, cross over branches, and weak or narrow crotches. Some interior limbs and lateral branches may be pruned, however, do not remove the terminal buds of branches that extend to the edge of the crown.
 - Structural pruning should not begin until after establishment period, usually two growing seasons.
 - Keep plants moist and shaded until planting.
 - Do not fertilize for at least one growing season.
 - Amended backfill shall be 1/3 compost (Class 1, 10comp by 1-1 Organic or equal) and 2/3 native and/or imported topsoil.
 - Wrap trunk on exposed sides one wrap with two rows. Use electrical or rock tape. Not same.
 - Coordinate with City Forestry for current insect and disease recommendations prior to planting.
 - Deep water all plants at time of planting.

- NOTES
- Prune only dead or broken branches and weak or narrow crotches.
 - Keep plants moist and shaded until planting.
 - Do not fertilize for at least one growing season.
 - Amended backfill shall be 1/3 class 1 compost and 2/3 native and/or imported soil.
 - All shrubs in rock areas to receive shredded mulch rings.
 - Deep water all plants at time of planting.



SHRUB PLANTING DETAIL



DUMPSTER ENCLOSURE WALL

"Foothills Mix"		
COMMON NAME	SCIENTIFIC NAME	lbs. PLS/Acre
Annual Ryegrass	Lolium multiflorum Lamarck	5.0
Slender Wheatgrass	Elymus trachycaulus	3.75
Mountain Brome	Bromus marginatus	2.5
Pubescent Wheatgrass	Agropyron trichophorum	2.5
Hard Fescue	Festuca brevipila	2.5
Canada Bluegrass	Poa compressa	2.5
Indian Grass	Sorghastrum nutans	2.0
Sideots Grama	Bouteloua curtipendula	1.75
Blue Grama	Bouteloua gracilis	1.25
Switchgrass	Panicum virgatum	1.25
TOTAL PLS PER ACRE		

Climate Zone: Foothills-Plains
Plant Communities: Foothills Shrublands, Ponderosa Pine Forest
Lower Elevation Riparian, Pinon Juniper Woods
Irrigation: An irrigation system with drip components to be used to irrigate all plants and a pop up spray system will be used to irrigate all turf areas and seeded areas (temporary).
If the irrigation system is not submitted with Final LP, it must be submitted within 90 days after building permit is issued.
The plan must be approved prior to installation and before issuance of certificate of occupancy.
Mulch: All shrub beds and tree wells to be covered with 4" shredded pole shavings over fabric weed barrier.
Edging: All planting beds adjacent to turf to be edged with steel edging.
Soil Treatment: A soils report will be submitted with Final Landscape Plan. Fertilizer to be tilled into top 6" of soil.
Seed Mix: Native grass areas to be seeded with Foothills Mix by Arkansas Valley Seed Co. Drill seed at 40 lbs. per acre. Temporary irrigation to be provided for establishment prior to construction.
Underground Utilities: Contractor is required to locate all utilities prior to construction.
Maintenance: Landscape improvements and maintenance shall be the responsibility of the owners and/or their assigns.
A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF BUILDING PERMIT.

SYMBOL/ SITE CALLOUT NOTES	
	SOD: To be Kentucky Bluegrass/ Fescue Blend on prepared soil bed per specifications/ details. Submit soil test of species mix for approval prior to installation. Average: 127 tons.
	WOOD MULCH: To be 2" dia. River Rock placed 3" deep over filter fabric/ weed barrier. Submit sample for approval prior to installation. 27,256 sf.
	NATIVE SEED: To be Foothills Mix. See table below. Average: 40,708 sf.
	STEEL EDGE: Steel edge to be Ryerson (or approved equal) 1/2" Thick x 4" Wide Rolled Top Steel Edge.

LANDSCAPE SCHEDULE						
SYMBOL	CODE	QUANTITY	BOTANICAL NAME	COMMON NAME	KEY #	WIDTH SIZE NOTES
TREES						
	Pe	25	Pinus edulis	Pinon Pine	1256D	25'-0" 6' B&B
	Pp	3	Picea pungens	Colorado Blue Spruce	678S	40'-0" 6' B&B
	Gd	15	Gymnocladus dioica	Espresso Kentucky Coffee Tree	34AS	40'-0" 2-1/2" B&B Fruitless
	Pc	21	Prunus cerasifera	Purple Leaf Plum	457S	25'-0" 1-1/2" B&B
	Co	13	Celtis occidentalis	Common Hackberry	3457DA	40'-0" 2-1/2" B&B
	Gt	18	Gleditsia triacanthos	Skyline Honeylocust	45A	40'-0" 2-1/2" B&B
	Cp	36	Crataegus laevigata	Crimson Cloud Hawthorn	45AS	25'-0" 1-1/2" B&B
	Jc	42	Juniperus chinensis	Blue Point Juniper	DA	4'-0" 6' B&B 6" Min. Size at Planting
	Jsc	140	Juniperus scopulorum	Gray Glean Juniper	125678D	5'-0" 6' B&B 6" Min. Size at Planting
		313	Total Trees	Signature Trees: 81X		
SHRUBS						
	Jsq	134	Juniperus Squanata	Blue Star Juniper	A	3'-0" 5 Gal
	Jh	93	Juniperus horizontalis	Blue Chip Juniper	2568A	4'-0" 5 Gal
	Js	73	Juniperus sabina	Scandalo Juniper	568A	4'-0" 5 Gal
	Bt	21	Berberis thunbergii	Red Barberry	45A	4'-0" 5 Gal
	SJ	32	Spiraea japonica	Froebel Spirea	SA	3'-0" 5 Gal
	Cc	92	Caryopteris clandondensis	Blue Mist Spirea	1235A	3'-0" 5 Gal
	Ch	76	Cotoneaster horizontalis	Rock Cotoneaster	2345S	3'-0" 5 Gal
	PF	46	Potentilla fruticosa	Jackman Potentilla	4567S	3'-0" 5 Gal
	Ra	65	Ribes alpinum	Alpine Currant	5678A	3'-0" 5 Gal
	Sn	89	Syringa Meyerii	Dwarf Korean Lilac	568A	3'-0" 5 Gal
		721	Total Shrubs	77X Signature Shrubs		
DRN GRASS						
	Ca	222	Calamagrostis Acutiflora	Karl Foerster Feather Reed Grass	A	2'-0" 1 Gal
	Hs	142	Helleborus viridis	Blue Avena Grass	1235D	2'-0" 1 Gal
	He	50	Hemerocallis Stella D'Oro	Stella D'Oro Daylily	D	2'-0" 1 Gal
	Cn	97	Chrysanthemum Max	Shasta Daisy		2'-0" 1 Gal
	Ep	50	Echinacea purpurea	Coneflower	345A	2'-0" 1 Gal
	Lu	72	Lupinus 'Russell Hybrid'	Lupine	S	2'-0" 1 Gal
	Aq	33	Acquilegia coerulea	Rocky Mtn. Columbine	578A	2'-0" 1 Gal

SITE CATEGORY CALCULATIONS					
Landscape Setbacks					
Street Name	Classification	Width (Req/Prov)	Linear Footage	Tree/Ft Req	No. Trees Req/Prov
Templeton Gap (Ws)	Nonarterial	10'/10'	290	1 per 30'	10 Req/10 Prov
Wolf Ridge Rd (Ss)	Nonarterial	10'/10'	1454	1 per 30'	49 Req/49 Prov
North Buffer (Nb)	Commercial Nonstreet	15'/15'	1293	1 per 20'	65 Req/72 Prov
East Buffer (Eb)	Vacant Nonstreet	15'/15'	366	1 per 20'	18 Req/18 Prov
Motor Vehicle Lots					
No Spaces Provided	Trees Req/Prov (1 per 150 (sq)	Symbol	Length	% Frontage	
211	14 Req/14 Prov	Mv	No Frontage		
Screening Plants Req/Prov	50% Evergreen				
No Frontage					
Internal Landscaping					
Net Site Area	% Min Internal Area	Internal Area Req/Prov	Internal Trees Req/Prov		
470,678sf	Resid. 15%	105,600 Req 154,149 Prov	211 Req/139 Prov	Small Lot PUD	
Shrub substitutes	Orn. Grasses				
720 Req/721 Prov	None Required (screen)				
Dumpster Screen	11 Req/11 Prov				

REVISIONS		DESCRIPTION	DATE
NO.			

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, THIS DRAWING IS NOT TO BE USED FOR ANY PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR:
GALIAN HOMES
ATTN: STEVE MILLER
6265 LEHMAN DRIVE, #160
COLORADO SPRINGS, CO 80918
719.445.6264

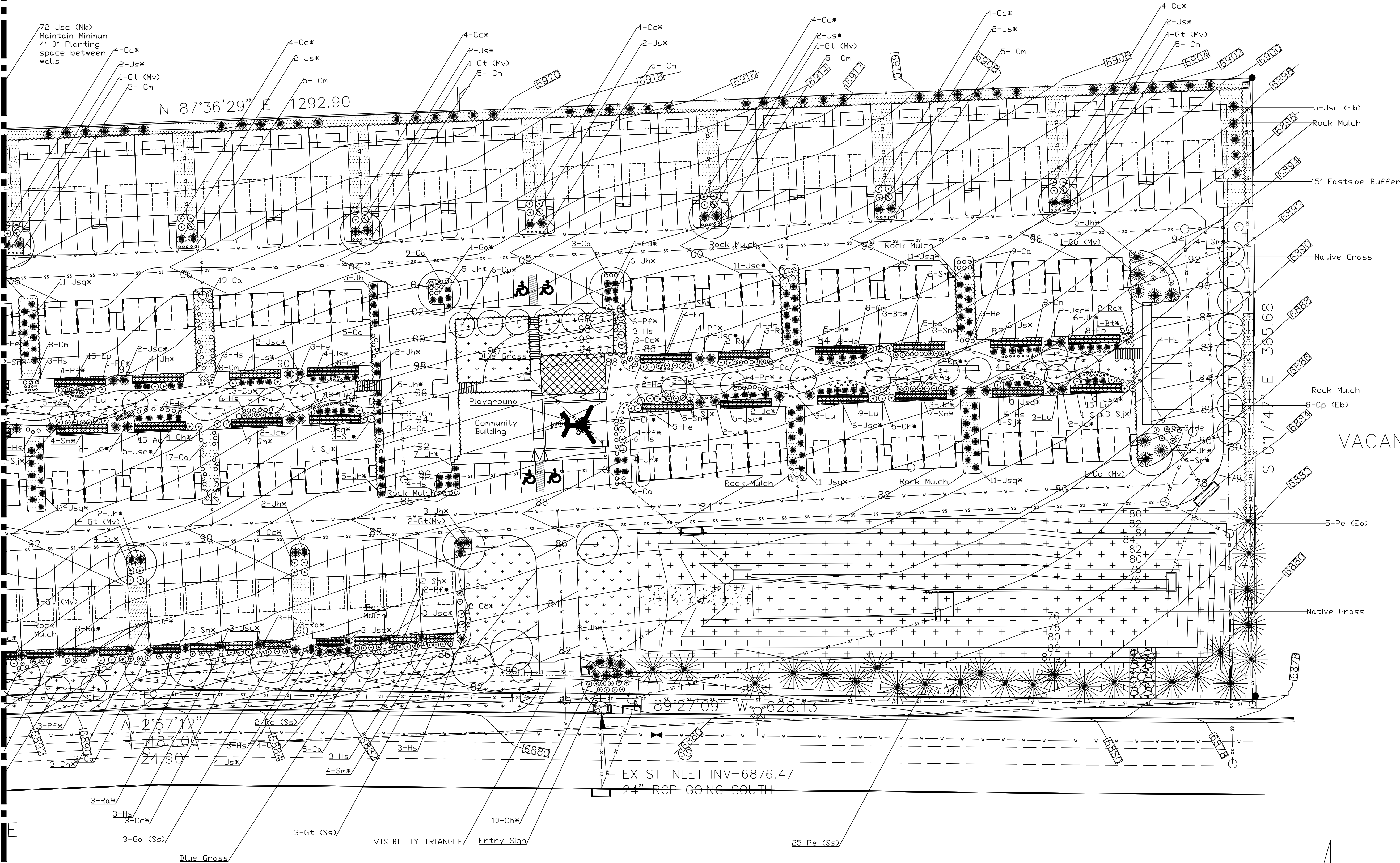
JAMES W REES
LANDSCAPE ARCHITECT
520 SILVER SPRING CIRCLE
COLORADO SPRINGS, CO 80919
719-651-3136

TEMPETON GAP TOWNHOMES
DEVELOPMENT PLAN
FINAL LANDSCAPE PLAN

DESIGNED BY	JWR
DRAWN BY	JWR
CHECKED BY	JWR
H-SCALE	AS NOTED
V-SCALE	N/A
JOB NO.	1909
DATE ISSUED	05/11/20
SHEET NO.	4 OF 7

TEMPLETON GAP TOWNHOMES
COLORADO SPRINGS, CO
FINAL LANDSCAPE PLAN
MAY 11, 2020

MATCH LINE



REVISIONS		DATE
NO.	DESCRIPTION	
UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE AGENCIES AND THE TERRACON ENGINEERING INC. APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.		
PREPARED FOR: GALANT HOMES ATTN: STEVE MILLER 6265 LEHMAN DRIVE #160 COLORADO SPRINGS, CO 80918 719.445.6264		
JAMES W REES LANDSCAPE ARCHITECT 520 SILVER SPRING CIRCLE COLORADO SPRINGS, CO 80919 719-651-3136		
TEMPLETON GAP TOWNHOMES DEVELOPMENT PLAN FINAL LANDSCAPE PLAN		
DESIGNED BY JWR DRAWN BY JWR CHECKED BY JWR		
H-SCALE AS NOTED V-SCALE N/A		
JOB NO. 1909 DATE ISSUED 05/11/20 SHEET NO. 5 OF 7		

TEMPLETON GAP TOWNHOMES
COLORADO SPRINGS, CO
FINAL LANDSCAPE PLAN
MAY 11, 2020

MATCH LINE

COMMERCIAL

15' WIDE North Buffer

EX CONCRETE BLOCK WALL

RESIDENTIAL

WOLF RIDGE

FINAL LANDSCAPE PLAN

NORTH

CPC PUP 20-00013

DESIGNED BY JWR	<p>TEMPETON GAP TOWNHOMES</p> <p>DEVELOPMENT PLAN</p> <p>FINAL LANDSCAPE PLAN</p>	<p>JAMES W REES LANDSCAPE ARCHITECT 520 SILVER SPRING CIRCLE COLORADO SPRINGS, CO 80919 719-651-3136</p> <p>PREPARED FOR: GALANT HOMES ATTN: STEVE MILLER 6265 LEHMAN DRIVE #160 COLORADO SPRINGS, CO 80918 719.445.6264</p>	<p>UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE LOCAL GOVERNMENT REVIEWING AGENCIES, TERRANOVA ENGINEERING, INC. WILL BE THE SOLE AUTHORITY FOR THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.</p>	REVISIONS	DATE
DRAWN BY JWR				NO.	DESCRIPTION
CHECKED BY JWR					
1-SCALE AS NOTED					
2-SCALE N/A					
DATE ISSUED 05/11/20					
SHEET NO. 6 OF 20					

TEMPETON GAP TOWNHOMES

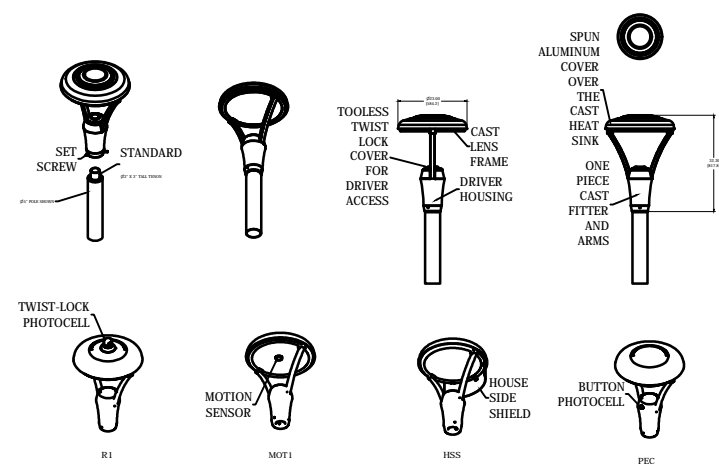
ETON GAP TOWNHO

DEVELOPMENT PLAN

FINAL LANDSCAPE PLAN

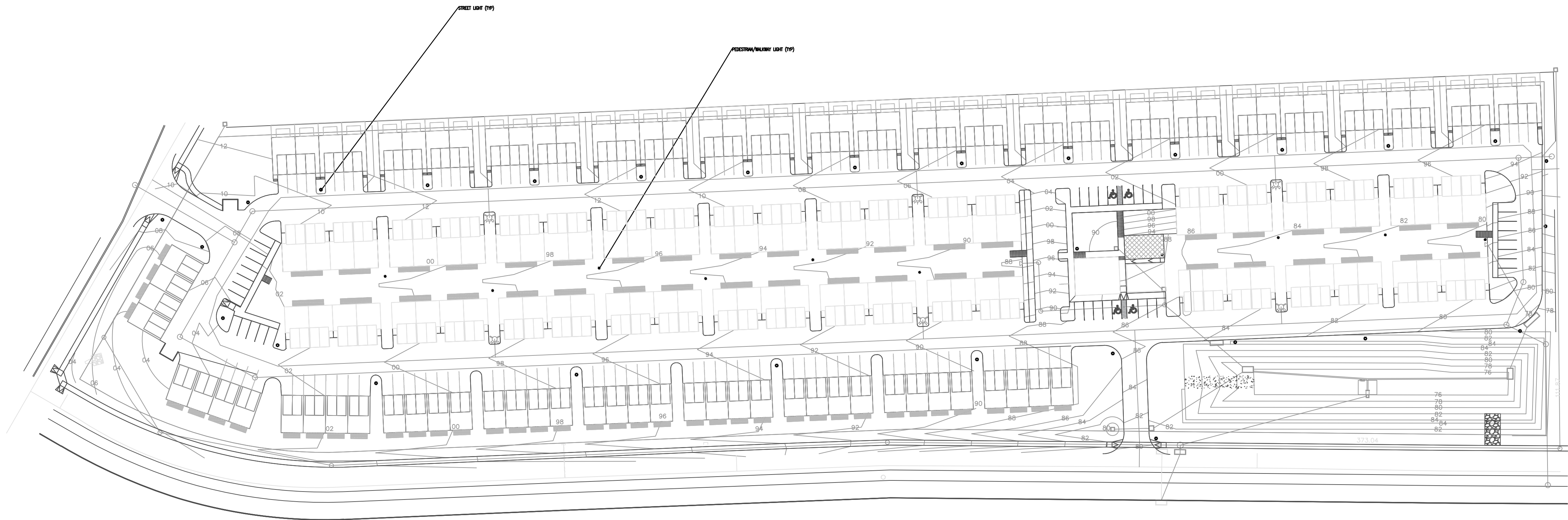
DESIGNED BY JWR
DRAWN BY JWR
CHECKED BY JWR
1"=10'-0" SCALE AS NOTED
1"=10'-0" SCALE N/A
PROJECT NO. 1909
DATE ISSUED 05/11/20
SHEET NO. 6 OF 7

TEMPLETON_GAP_TOWNHOMES
COLORADO_SPRINGS
LIGHTING_PLAN
MAY_13_2020



LIGHTING NOTES

1. ALL FIXTURES TO BE STEINBERG SOLANA SL760
2. LUMINAIRES TO BE DARK SKY FRIENDLY LED LUMINAIRES ARE ROOF MOUNTED TO DIRECT LIGHT DOWNWARD
3. ALL STREET LIGHTS TO BE 20' TALL
4. ALL WALKWAY LIGHTS TO BE 12' TALL
5. POLES TO BE URBAN LINE ALUMINUM 5" SHAFT
6. BASE COVERS TO BE SOLANA SL900



LIGHTING PLAN

CPC PUP 20-00013

REVISIONS		DESCRIPTION	DATE
NO.			
UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE CITY OF COLORADO SPRINGS, COLORADO, FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.			
PREPARED FOR: GALANT HOMES ATTN: STEVE MILLER 6265 LEHMAN DRIVE, #160 COLORADO SPRINGS, CO 80918 719-445-6264			
TEMPLETON_GAP_TOWNHOMES		LIGHTING_PLAN	
DESIGNED BY JWR		DRAWN BY JWR	
CHECKED BY JWR		H-SCALE 1"=50'	
JOB NO. _		V-SCALE _	
DATE ISSUED 5-13-20		SHEET NO. _ OF _	