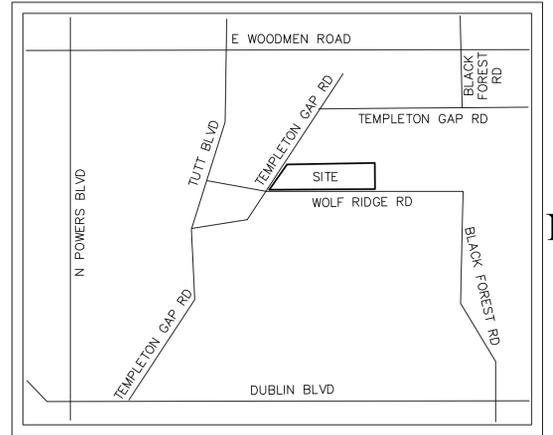


# FINAL PLAT TEMPLETON GAP TOWNHOMES

A SUBDIVISION OF A PORTION OF THE NORTH HALF  
OF SECTION 7, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M.,  
CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO



VICINITY MAP  
N.T.S.

**KNOW ALL MEN BY THESE PRESENTS:**

That Beyond Development, LLC, a Colorado limited liability company, being the owner of the following described tracts of land to wit:

**Parcel A:**

That portion of the Southwest Quarter of the Northeast Quarter of Section 7 in Township 13 South, Range 65 West of the 6th P.M., lying southeasterly of the southeasterly line of State Highway No. 189 and lying southerly of the following described line: Beginning at a point on the east line of the Southwest Quarter of said Northeast Quarter which is 371.84 feet southerly thereon from the northeast corner thereof; thence westerly parallel with the north line of the Southwest Quarter of said Northeast Quarter to intersect the west line of said Northeast Quarter, in El Paso County, Colorado.

Except any portion lying within Dublin North Kwan Parcel Filing No. 8, recorded May 12, 2016 under Reception No. 216713766.

**Parcel B:**

That tract in the Southeast Quarter of the Northwest Quarter lying southeasterly of Highway 189, Section 7 in Township 13 South, Range 65 West of the 6th P.M., El Paso County, Colorado.

Except any portion lying within Dublin North Kwan Parcel Filing No. 8, recorded May 12, 2016 under Reception No. 216713766.

Containing a calculated area of 463,505 square feet (10.64061 acres), more or less.

The above is described by metes and bounds as follows:

Commencing at the northeast corner of said Southwest Quarter of the Northeast Quarter; thence along the east line of said Southwest Quarter of the Northeast Quarter South 0 degrees 17 minutes 47 seconds East, 971.84 feet to the point of beginning;

- 1) thence continuing along said east line South 0 degrees 17 minutes 47 seconds East, 365.68 feet to the north line of Wolf Ridge Road as recorded at Reception Number 216713766 ( the following six courses are along said north line);
- 2) thence along a non-tangent curve concave to the north, said curve having a central angle of 1 degrees 29 minutes 03 seconds, a radius of 417.00 feet, for an arc length of 10.80 feet (the center of said curve bears North 0 degrees 55 minutes 26 seconds West);
- 3) thence North 89 degrees 26 minutes 23 seconds West, 617.33 feet;
- 4) thence along a tangential curve concave to the south, said curve having a central angle of 2 degrees 57 minutes 12 seconds, a radius of 483.00 feet, for an arc length of 24.90 feet;
- 5) thence South 87 degrees 36 minutes 26 seconds West, 518.28 feet;
- 6) thence along a tangential curve concave to the north, said curve having a central angle of 32 degrees 21 minutes 55 seconds, a radius of 432.00 feet, for an arc length of 244.03 feet;
- 7) thence North 60 degrees 01 minutes 39 seconds West, 38.17 feet to the southeasterly line of Templeton Gap Road (formerly known as State Highway 189);
- 8) thence along said southeasterly line North 29 degrees 49 minutes 32 seconds East, 289.66 feet;
- 9) thence North 87 degrees 36 minutes 29 seconds East, 1,292.90 feet to the point of beginning.

**DEDICATION:**

The above owner has caused said tract of land to be surveyed and platted into a lot and public easements, as shown on the accompanying plat. This tract of land as herein platted shall be known as **TEMPLETON GAP TOWNHOMES** in the City of Colorado Springs, El Paso County, State of Colorado. The undersigned does hereby dedicate, grant and convey to the City of Colorado Springs those Public Easements as shown on the plat; and further restricts the use of all Public Easements to the City of Colorado Springs and/or its assigns, provided however, that the sole right and authority to vacate, release, or quitclaim all or any such Public Easements shall remain exclusively vested in the City of Colorado Springs.

**IN WITNESS WHEREOF:**

The aforementioned, Beyond Development, LLC, a Colorado limited liability company, has executed this instrument this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

By \_\_\_\_\_ as Manager of Beyond Development, LLC, a Colorado limited liability company

**NOTARIAL:**

STATE OF COLORADO }  
COUNTY OF EL PASO } SS

The above and aforementioned was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2020, by \_\_\_\_\_ as Manager of Beyond Development, LLC, a Colorado limited liability company.

Witness my hand and seal \_\_\_\_\_

Address \_\_\_\_\_

My Commission expires \_\_\_\_\_

**LIEN HOLDER:**

\_\_\_\_\_, has executed this instrument this \_\_\_\_\_ day of \_\_\_\_\_, 2020, A.D.

By: \_\_\_\_\_, as \_\_\_\_\_ of \_\_\_\_\_

**NOTARIAL:**

STATE OF COLORADO }  
COUNTY OF EL PASO } SS

The above and aforementioned was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2020, by \_\_\_\_\_ as \_\_\_\_\_ of \_\_\_\_\_

Witness my hand and seal \_\_\_\_\_

Address \_\_\_\_\_

My Commission expires \_\_\_\_\_

**NOTES:**

- 1) ● - Denotes found monument, marked as noted.  
■ - Denotes found #5 rebar w/plastic cap, PLS 32439, flush with ground.  
(3520) - Denotes street address.
- 2) This survey does not constitute a title search by Compass Surveying & Mapping, LLC to determine ownership or easements of record. For all information regarding easements, rights of way and title of record, Compass Surveying & Mapping, LLC relied upon a Commitment for Title Insurance prepared by Land Title Guarantee Company, Commitment No. SC55073925-3 with an effective date of 11/19/2018 at 5:00 P.M.
- 3) Basis of bearings is the north line of the property, monumented as shown and assumed to bear North 87 degrees 36 minutes 29 seconds East.
- 4) This property is located within Zone X (areas determined to be outside the 500-year floodplain) as established by FEMA per FIRM panel 08041C0537G, effective date, December 7, 2018.
- 5) Notice: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.
- 6) The linear units used in this drawing are U.S. Survey feet.
- 7) No building permits shall be issued for building sites within this plat until all required fees have been paid and all required public and private improvements have been installed as specified by the City of Colorado Springs or alternatively until acceptable assurances including but not limited to letters of credit, cash, subdivision bonds or combinations thereof guaranteeing the completion of all required public improvements including, but not limited to, drainage, street and erosion control have been placed on file with the City of Colorado Springs.
- 8) The area included in the plat described herein is subject to the Code of the City of Colorado Springs, 2001 as amended.
- 9) Internal private roads/alleys are to be owned and maintained by the Templeton Gap Townhomes Owners Association.

**EASEMENTS:**

Easements are as shown, with the sole responsibility for maintenance being vested with the property owners.

All utility easements that are dedicated hereon for public utility purposes shall be subject to those terms and conditions as specified in the instrument recorded at Reception Number 212112548 of the records of El Paso County, Colorado. All other easements or interests of record affecting any of the platted property depicted hereon shall not be affected and shall remain in full force and effect.

The avigation easement dedicated herein for public avigation purposes shall be considered a public easement subject to those terms and conditions as specified in the instrument recorded at Reception No. 217069667 of the records of El Paso County, Colorado. All other easements or interests of record affecting any of the platted property depicted hereon shall not be affected and shall remain in full force and effect.

**FEES:**

Drainage Fee: \_\_\_\_\_ School Fee: \_\_\_\_\_  
Bridge Fee: \_\_\_\_\_ Park Fee: \_\_\_\_\_

**SURVEYOR'S STATEMENT:**

The undersigned Professional Land Surveyor licensed in the State of Colorado, hereby states and declares that the accompanying plat was surveyed and drawn under his responsible charge and accurately shows the described tract of land, and subdivision thereof, and that the requirements of Title 38 of the Colorado Revised Statutes, 1973, as amended, have been met to the best of his knowledge and belief.

This statement is neither a warranty nor guarantee, either expressed or implied.

Mark S. Johannes  
Colorado Professional Land Surveyor No. 32439  
For and on behalf of Compass Surveying & Mapping, LLC

**CITY APPROVAL:**

On behalf of the City of Colorado Springs, the undersigned hereby approve for filing the accompanying plat of **TEMPLETON GAP TOWNHOMES**.

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

City Planning Director \_\_\_\_\_ Date \_\_\_\_\_

City Clerk \_\_\_\_\_ Date \_\_\_\_\_

**RECORDING:**

STATE OF COLORADO }  
COUNTY OF EL PASO } SS

I hereby certify that this instrument was filed for record in my office at \_\_\_\_\_ o'clock \_\_\_\_\_M., this \_\_\_\_\_ day of \_\_\_\_\_, 2020, A.D., and is duly recorded under Reception No. \_\_\_\_\_ of the records of El Paso County, Colorado.

CHUCK BROERMAN, RECORDER

BY: \_\_\_\_\_ Deputy

SURCHARGE: \_\_\_\_\_

FEE: \_\_\_\_\_

CITY FILE NO: AR FP 20-00054



COMPASS SURVEYING & MAPPING, LLC  
3249 WEST CAREFREE CIRCLE  
COLORADO SPRINGS, CO 80917  
719-354-4120  
WWW.CSAMPLLC.COM

REVISIONS:	
1	4/15/20 City comments.

PROJECT No. 19206  
OCTOBER 7, 2019  
SHEET 1 OF 2

