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Matthew Lepke
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Land Use Review Division
P.O. Box 1575, Mail Code 155
Colorado Springs, Colorado 80901-1575

RE: Request for Landscape Alternative Compliance – Templeton Gap Townhomes. – PUD
Development Plan

Mr. Lepke

This proposed project requests approval for townhomes in a PUD Zone. For the reasons stated below, we request administrative relief from the following requirements:

Request #1: Landscape Setback along Wolfe Ridge Road.

Code Section: 320, B3, D3

Requirement: B3. Adjacent to any nonarterial street on the City's Major Thoroughfare Plan the landscape setback shall be twenty feet (10') wide.

Requirement D2: Each landscape setback or double frontage lot streetscape adjacent to a non-arterial on the City's Major Thoroughfare Plan shall contain at least one tree for every thirty linear feet (30') of setback, streetscape or fraction thereof, as measured from the corners of the property

Proposal: 1) Allow the required trees to be placed outside the required setback area. All the required trees will be provide but placed closer to the buildings.

Justification: The setback area will contain a drainage swale needed to direct storm water to the retention pond facility. Locating the trees within the swale is not good for the health of the trees.

There are also several utility lines planned within the area. Locating the trees closer to the buildings will avoid the utilities and also provide shade along the south facing side of the units.

Request #2: North Side Buffer Requirement

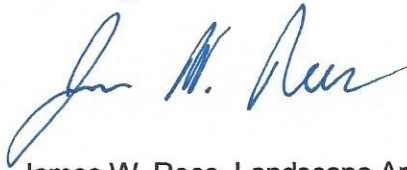
Code Section: 323, E

Requirement E: A buffer shall be at least fifteen feet (15') wide where required.

Proposal: 1) Allow for the encroachment of patios into the buffer area. All of the required buffer trees will be located between an existing wall along the property line and a new wall that will be adjacent to the patios.

Justification: There is a substantial elevation change from the property line to the patios and a wall will be provided along the patios which will screen the units from the adjacent commercial property. The required buffer trees will be placed at the same elevation as the property line which will provide additional screening when they mature.

Sincerely,



James W. Rees, Landscape Architect