

CIVIL CONSTRUCTION PLANS

LOT 2 ELM GROVE VILLA

COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

SMITH PLUMBING & HEATING

PROJECT CONTACTS

OWNER/DEVELOPER

GREAT DANE VENTURES, LLC
5903 HIGH NOON AVE.
COLORADO SPRINGS, CO 80923
TELE: (719) 570-1549
ATTN: EVA ROBINSON
EMAIL: EVAROBINSON@GREATDANE.COM

APPLICANT

HAMMERS CONSTRUCTION, INC.
1411 WOOLSEY HEIGHTS
COLORADO SPRINGS, CO 80915
TELE: (719) 570-1549
ATTN: USA PETERSON
EMAIL: LPETERSON@HAMMERSCONSTRUCTION.COM

CIVIL ENGINEER

GALLOWAY & CO., INC.
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, CO 80920
TELE: (719) 900-7220
ATTN: GRANT DENNIS, P.E.
EMAIL: GRANTDENNIS@GALLOWAYUS.COM

GEOTECHNICAL ENGINEER

ENTTECH ENGINEERING, INC.
505 ELKTON DRIVE
COLORADO SPRINGS, CO 80907
TELE: (719) 531-5599
ATTN: EMAIL:

SURVEYOR

GALLOWAY & CO., INC.
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, CO 80920
TELE: (719) 537-1262
ATTN: BRIAN DENNIS
EMAIL: BRIANDENNIS@GALLOWAYUS.COM

UTILITY CONTACTS

WATER & WASTEWATER

WIDEFIELD WATER & SANITATION DISTRICT
8495 FONTAINE BLVD.
COLORADO SPRINGS, CO 80925
TELE: (719) 590-7111
ATTN: EMAIL:

ELECTRIC

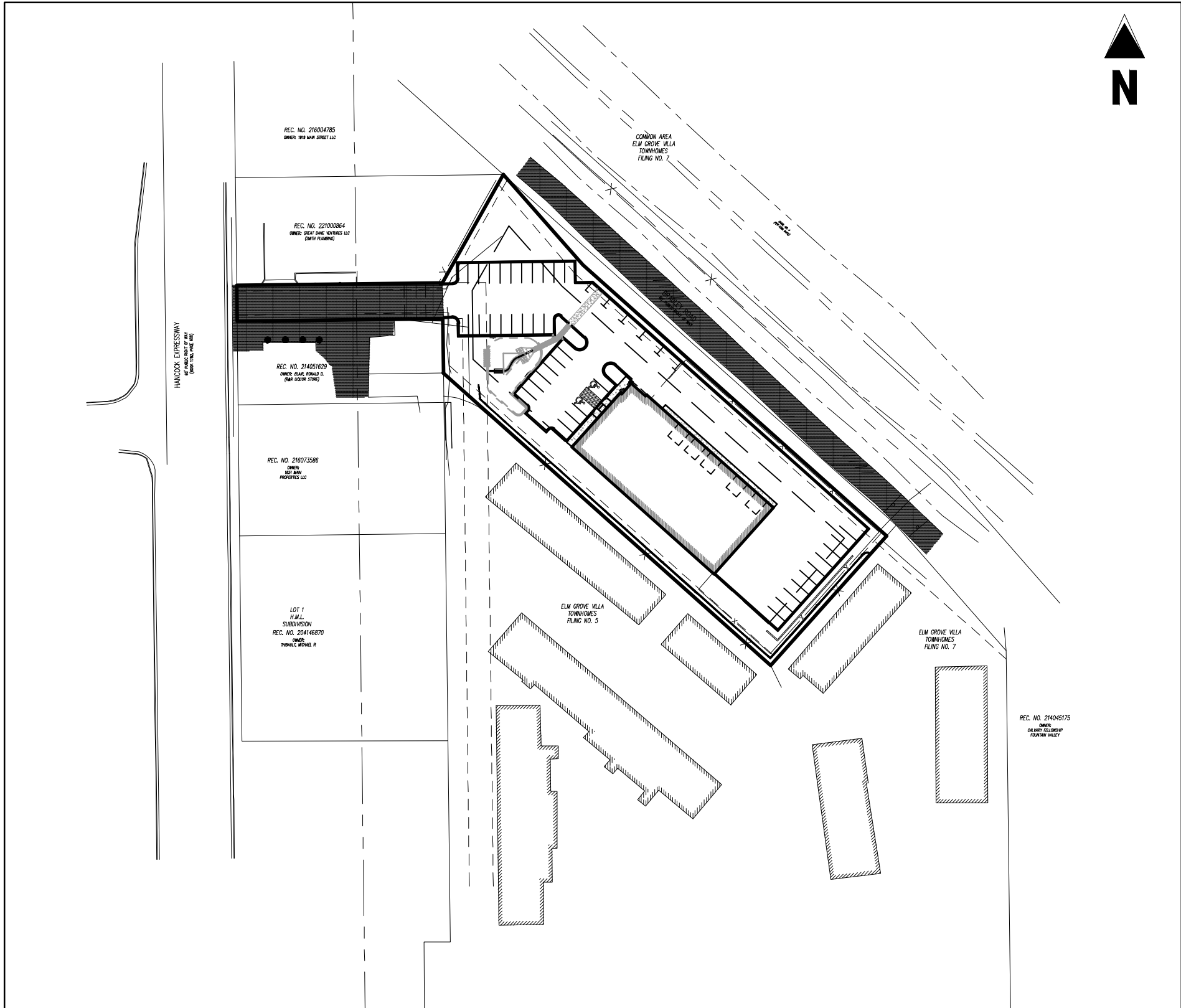
COLORADO SPRINGS UTILITIES (CSU)
111 S. CASCADE AVE.
COLORADO SPRINGS, CO 80903
TELE: (719) 448-4800
ATTN: EMAIL:

NATURAL GAS

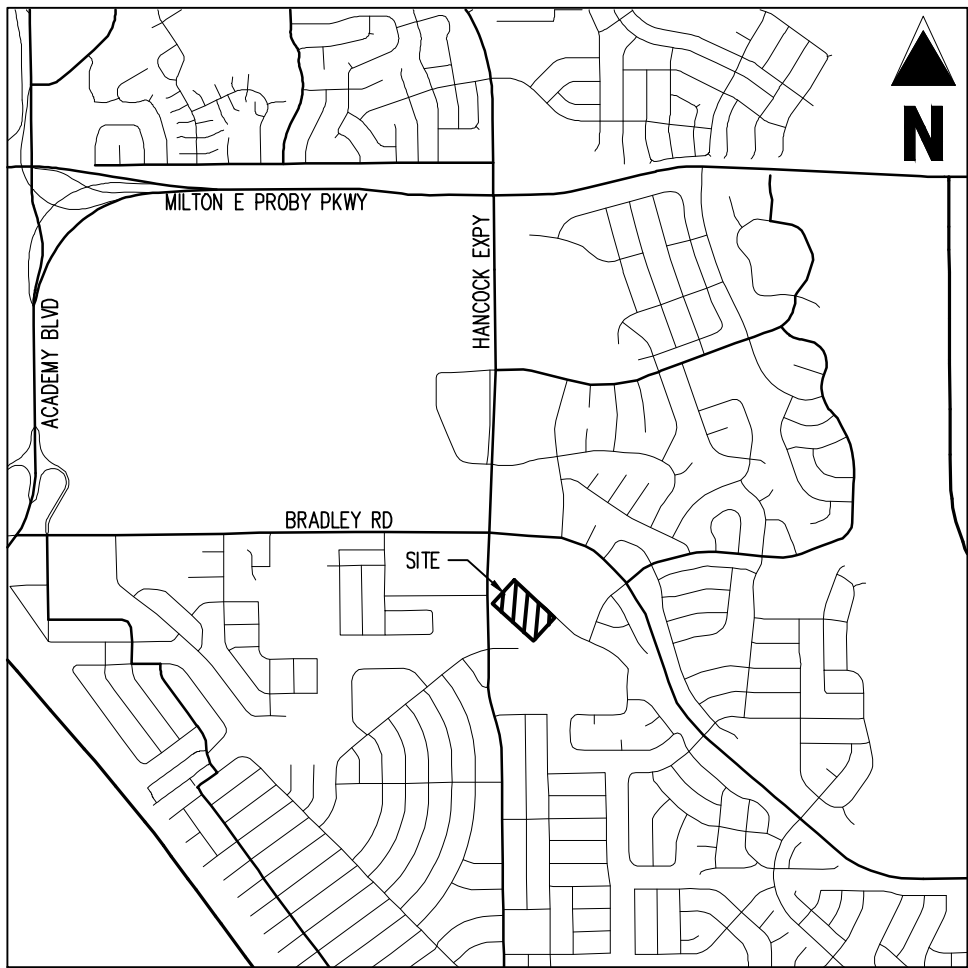
COLORADO SPRINGS UTILITIES (CSU)
7710 DURANT DRIVE, P.O. BOX 1103, MAIL CODE 2150
COLORADO SPRINGS, CO 80947-2150
TELE: (719) 668-5573
ATTN: EMAIL:

FIRE

SECURITY FIRE DEPARTMENT
400 SECURITY BLVD.
SECURITY, CO 80911
TELE: (719) 392-7121
EMAIL:



SITE MAP
SCALE: 1"=100'



VICINITY MAP
SCALE: 1"=500'

ENGINEER'S STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

RONALD G. DENNIS, COLORADO P.E. NO. 0051622

DATE

OWNER'S STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENT SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

EVA ROBINSON
GREAT DANE VENTURES, LLC.

DATE

EL PASO COUNTY

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT. FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH EGM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

JENNIFER IRVINE, P.E.
COUNTY ENGINEER / EGM ADMINISTRATOR

DATE

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BASIS OF BEARINGS

BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6" WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, "T24S R66W W.C. 6.00' S 35 S36 S2 S1 T1 1/2 S R55W 2012 PLS 2431.3" AND ON THE SOUTH END BY A 3.5" ALUMINUM CAP, FOUND, "RMP5 1962.5", AND IS CONSIDERED TO BEAR N00°42'04"W.

BENCHMARK

PUBLISHED BENCHMARK
FMS MONUMENT FX35
ELEVATION = 5980.39 (NAVD88)

CAUTION -- NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT; PRIOR TO CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's below.
Call before you dig.

- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

Galloway

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Colorado Springs, CO 80920
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CONSTRUCTION DOCUMENTS
SMITH PLUMBING & HEATING
FOR

HAMMERS CONSTRUCTION, LLC

1875 MAIN STREET
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

#	Date	Issue / Description	Init.
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Project No:	HCI000008
Drawn By:	TPT
Checked By:	CMD
Date:	6/7/2021

COVER SHEET

C0.0

Sheet 1 of 18

1. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EROSION CONTROL SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFFSITE WATER, INCLUDING WETLANDS.
2. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, EROSION CONTROL MEASURES SHALL BE DESIGNED TO PREVENT DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT EDITION OF THE RELEVANT ADOPTED ELP PASADU COUNTY STANDARDS, INCLUDING THE LAND DISTURBANCE ACT, THE EROSION CONTROL MANUAL AND THE MOST RECENT CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL, VOLUME 2. ANY DEVIATIONS TO REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
3. A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE EROSION CONTROL SPECIALIST, EROSION CONTROL OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
4. ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS AUTHORIZED BY THE PERMIT. PRIOR TO A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER AND ELP PASADU COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
5. CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT MAY CONTRIBUTE POLLUTANTS TO STORMWATER. TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE LAND AREA THAT SHALL BE COMPLETED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
6. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THESE CONTROL MEASURES IS NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN PRIOR TO IMPLEMENTATION.
7. TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR WHERE ACTIVITIES CEASED FOR LONGER THAN AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE STABILIZED.
8. FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-EXISTING LEVELS ESTABLISHED OR EQUIVALENT NATURAL VEGETATION. TEMPORARY STABILIZATION SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
9. ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED OR DEFINED IN THE APPROVED PLANS, ANY PROPOSED CHANGES THAT EFFECT THE HYDROLOGY OF THE PROJECT OR PERMANENT FACILITIES SHALL BE REVIEWED BY THE STRUCTURES MUST BE APPROVED BY THE ECOM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
10. EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO AVOID EFFECTS FROM ACCELERATED EROSION AND RESULTING SEDIMENTATION. ALL DISTURBED AREAS SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. EROSION CONTROL MEASURES SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
11. COMPACTION OF SOIL MUST BE DESIGNED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED.
12. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER THROUGH, OVER, OR FROM THE EARTH'S SURFACE SHALL BE DESIGNED TO PREVENT CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.

1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATING EXISTING UTILITIES SHALL BE PERFORMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - A. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - B. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - C. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - D. CDOT M & S STANDARDS
4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT APPLICABLE EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET COUNTRY AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ON-SITE AND OFF-SITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) – INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (EQUCC), REGIONAL BUILDING FLOODPLAIN MANAGEMENT DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS–ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
9. ALL STORM DRAIN PIPE SHALL BE CLASS II OR ANY HIGHER OTHERWISE NOTED AND APPROVED BY PCD.
10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAYMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAYMENT.
11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
13. SLOPING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SLOPING AND STRIPING NOTES WILL BE PROVIDED.]
14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHEN REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

1. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.
2. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPLACED AT THE CONTRACTORS EXPENSE AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
3. ADDITIONAL EROSION CONTROL STRUCTURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.
4. ALL BACKFILL, SUB-BASE AND / OR BASE COURSE (CLASS 6) MATERIAL SHALL BE COMPACTED TO THE SOLS ENGINEERS RECOMMENDATIONS, AND APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION.
5. ALL STATIONING IS CENTERLINE UNLESS OTHERWISE INDICATED. ALL ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE INDICATED.
6. ALL DISTURBED PAVEMENT EDGES SHALL BE CUT TO NEAT LINES. REPAIR SHALL CONFORM TO THE EPC ECD APPENDIX K - 1.2C.
7. ALL CULVERT AND STORM PIPES SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE (HDPE), OR REINFORCED CONCRETE PIPE (RCP). ALL CULVERTS SHALL BE PLACED COMPLETE WITH FLARED END SECTIONS. ADEQUACY OF MATERIAL THICKNESS FOR ANY CSP INSTALLED SHALL BE VERIFIED BY OWNERS GEOTECHNICAL ENGINEER TO SUPPORT MINIMUM 50 YEAR DESIGN LIFE. CULVERTS MUST CONFORM TO EPC ECD SECTION 3.32 - CULVERTS.
8. TYPE II RIP-RAP WITH 4" OF TYPE II GRANULAR BEDDING AND MIRAFL 180N OR EQUAL MAY BE SUBSTITUTED WHERE TYPE I RIP-RAP WITH MIRAFL FW 700 OR EQUAL IS SPECIFIED.
9. ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN COMPLIANCE WITH ANY AND ALL APPLICABLE EL PASO COUNTY STANDARDS AND WITH WOODMAN HILLS METRO DISTRICT CONSULTING ENGINEER APPROVAL.
10. ALL POTABLE WATER MAINS SHALL BE AWWA C900-SDR18 PVC WITH PUSH-ON SINGLE GASKET TYPE JOINTS AND SHALL MEET THE REQUIREMENTS OF ANSI / NSF 61.
11. SANITARY SEWER PIPE AND FITTINGS: PVC 4" ASTM D3034, TYPE PSM, SDR 35: PUSH-ON JOINTS AND MOLDED RUBBER GASKETS MAXIMUM DIMENSIONAL DEFLECTIONS, AFTER INSTALLATION AND BACK FILLING SHALL NOT EXCEED 3% OF THE PIPE DIAMETER. (MINIMUM CURVE RADIUS IS 100' FOR 8" PVC SANITARY SEWER MAIN)

1. AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF THE CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY CONTROL DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SNMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC
HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WOOD - PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT
2. ALL DISTURBED AREAS TO BE RESEEDD UPON COMPLETION OF OVERLOT GRADING AND EROSION CONTROL MEASURES HAVE BEEN INSTALLED OR WITHIN 60 DAYS, WHICHEVER IS LESS TIME.
3. CONSTRUCTION FENCE AND SILT FENCE OFFSET FOR CLARITY. CONTRACTOR TO ENSURE BMPs ARE PLACED DOWNSTREAM OF DISTURBED AREAS TO PREVENT SEDIMENT FROM LEAVING THE SITE.

Galloway

1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
719.900.7220
GallowayUS.com

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CONSTRUCTION DOCUMENTS
SMITH PLUMBING & HEATING
FOR
HAMMERS CONSTRUCTION, LLC

1875 MAIN STREET
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

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NOTES

C0.1

Sheet 2 of 18

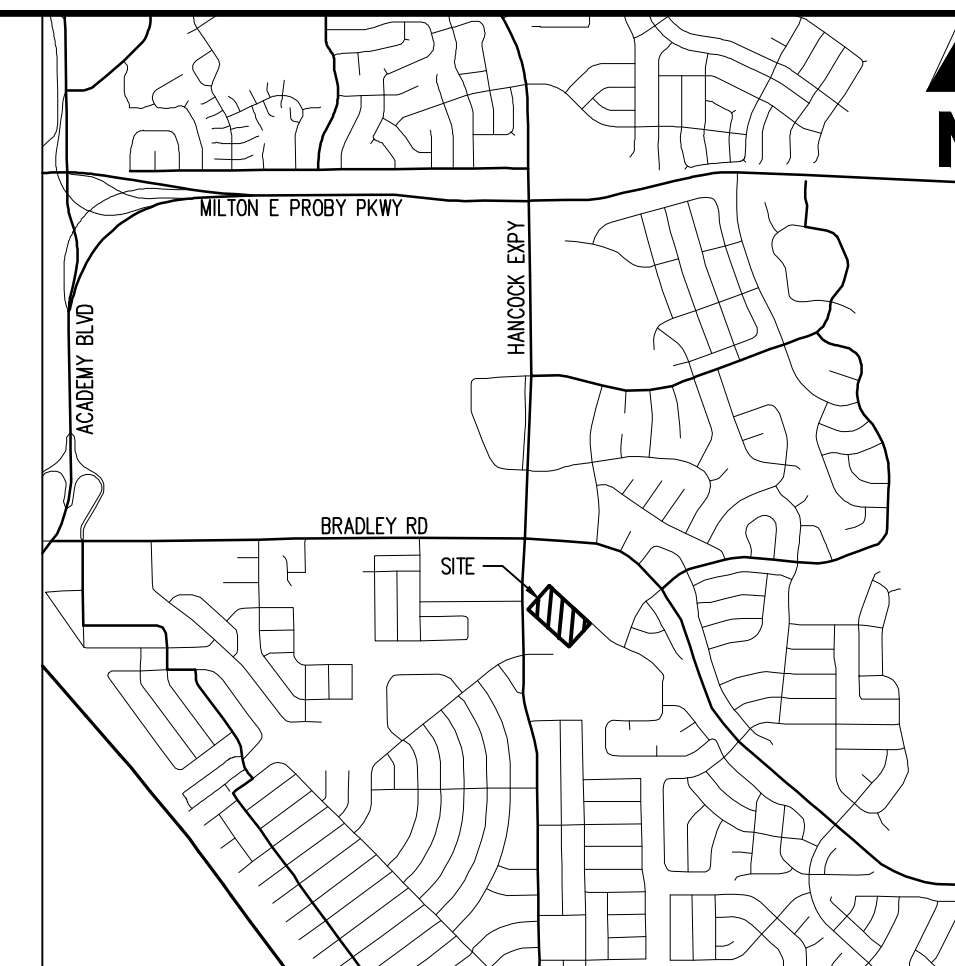
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Project No:	HCI000008
Drawn By:	TPT
Checked By:	CMD
Date:	6/7/2021

DEMOLITION PLAN

C1.1

Sheet 3 of 18



VICINITY MAP

SCALE: 1"=500'

DEMOLITION LEGEND

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	EXISTING EASEMENT LINE
	EXISTING CURB & GUTTER
	EXISTING ASPHALT EDGE
	EXISTING FENCE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING GAS LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING STORM DRAIN LINE
	EXISTING BUILDING HATCH
	EXISTING ASPHALT PAVING
	EXISTING FIRE HYDRANT
	EXISTING STORM STRUCTURES
	EXISTING ELECTRIC STRUCTURES
	EXISTING TELEPHONE STRUCTURES
	EXISTING SIGN
	EXISTING SANITARY SEWER MANHOLE
	EXISTING WATER STRUCTURES
	EXISTING TREES

DEMOLITION NOTES

1. ALL DEMOLITION TO BE IN ACCORDANCE WITH STATE, LOCAL, AND FEDERAL REQUIREMENTS.
2. CONTRACTOR TO VERIFY ALL UTILITY SERVICE LOCATIONS AND EXISTING SITE CONDITIONS PRIOR TO PROCEEDING IN SUCH A MANNER AS TO ENSURE THAT ARE NOT AS SHOWN MUST BE REPORTED TO THE COMPANY REPRESENTATIVE PRIOR TO BID.
3. CONTRACTOR TO REMOVE OR RELOCATE EXISTING UTILITIES PER UTILITY COMPANY REQUIREMENTS.
4. ALL UNDERGROUND STORM SEWER, WATER, AND SANITARY SEWER MAIN LOCATIONS ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY.
5. ALL UNDERGROUND GAS AND ELECTRIC UTILITY INFORMATION SHOWN IS BASED ON MAPS PROVIDED BY UTILITY COMPANY AND ARE TO BE CONSIDERED AS AN APPROXIMATE LOCATION ONLY BASED ON SAID MAPS.
6. CONTRACTOR TO OBTAIN ALL PERMITS AND LICENSES REQUIRED FOR DEMOLITION OF WORK SHOWN.

NOTE: CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

CAUTION – NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's **below**.
Call before you dig.

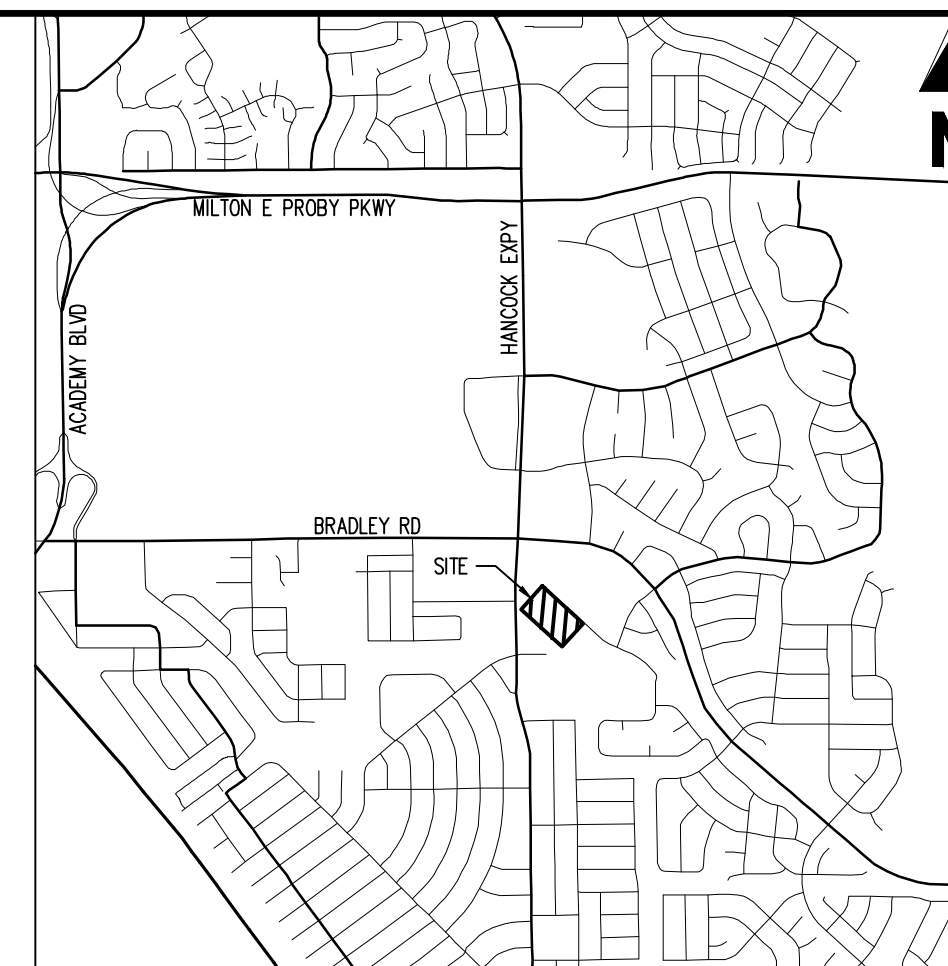
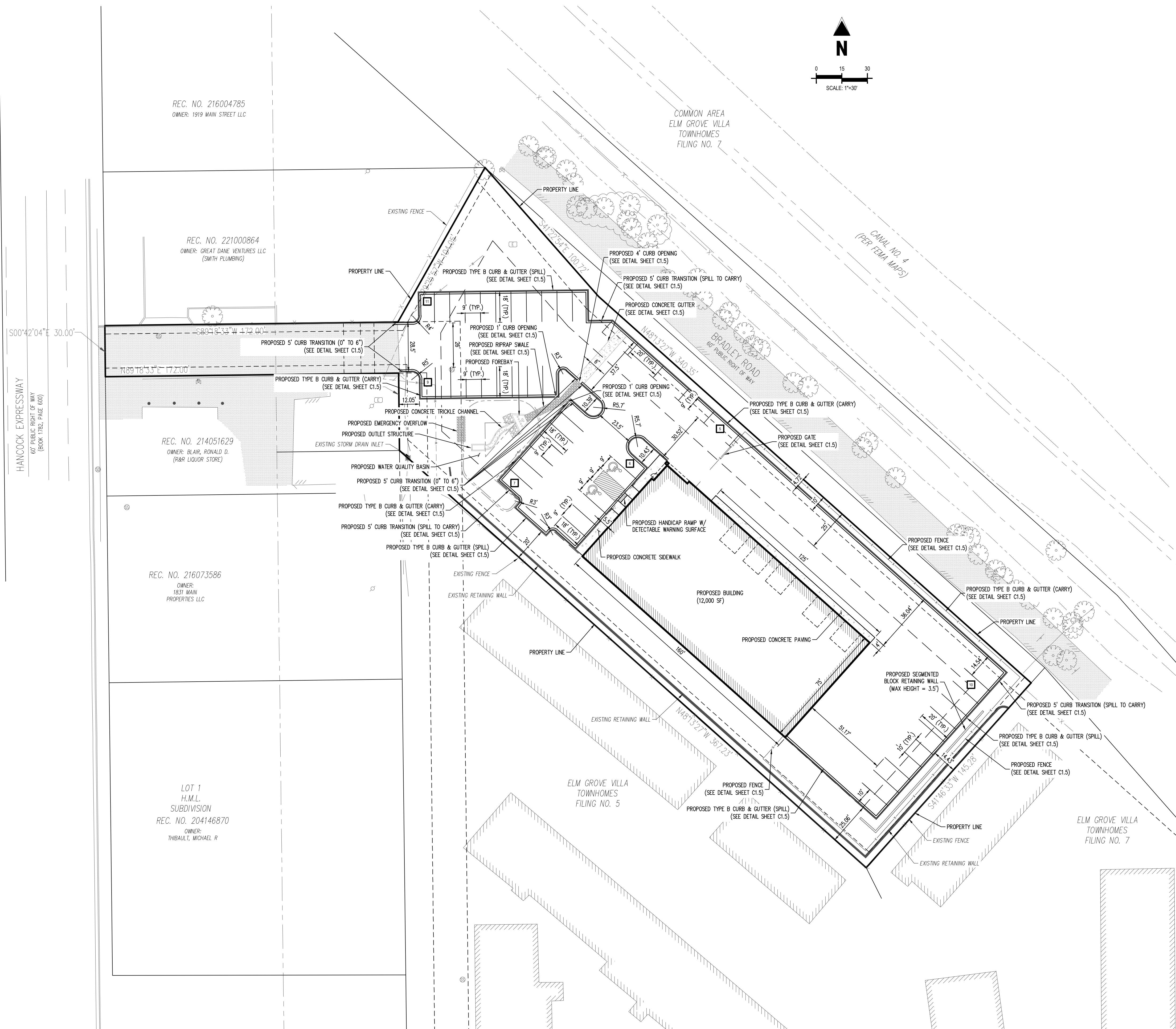
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Project No:	HCI000008
Drawn By:	TPT
Checked By:	CMD
Date:	6/7/2021

SITE PLAN

C1.2


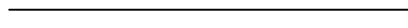
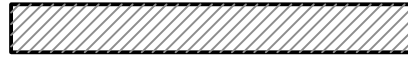


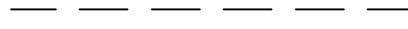
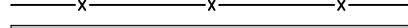




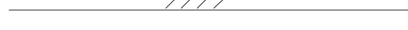

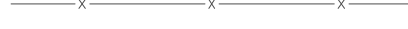


















Sheet 4 of 18



VICINITY MAP

SCALE: 1"=500'

SITE LEGEND

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	PROPOSED BUILDING HATCH
	PROPOSED CONCRETE PAVING
	PROPOSED BUILDING OUTLINE
	PROPOSED EASEMENT
	PROPOSED FENCE
	PROPOSED RETAINING WALL
	EXISTING RETAINING WALL
	EXISTING LANDSCAPE BUFFER
	EXISTING ASPHALT EDGE
	EXISTING CURB & GUTTER
	EXISTING FENCE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING GAS LINE
	EXISTING FIBER OPTIC LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING STORM DRAIN LINE
	EXISTING BUILDING HATCH
	EXISTING ASPHALT PAVING
	EXISTING FIRE HYDRANT
	EXISTING STORM STRUCTURES
	EXISTING ELECTRIC STRUCTURES
	EXISTING SIGN
	EXISTING SANITARY SEWER MANHOLE
	EXISTING WATER STRUCTURES
	EXISTING TREES
	PROPOSED SITE LIGHTING
	PROPOSED SIGN
	PARKING COUNT

GENERAL NOTES

1. REFER TO GRADING & EROSION CONTROL PLAN FOR ADA RAMP & FINE GRADING.
2. REFER TO UTILITY SERVICE PLANS FOR WATER AND WASTEWATER CONSTRUCTION PLANS.
3. ALL WORK & MATERIAL SHALL COMPLY WITH ALL COUNTY REGULATIONS AND CODES AND OSHA STANDARD.
4. NO WEIPLANDS ARE PRESENT ON SITE.
5. ALL PROPOSED PAVING AREAS & DRIVE AISLES TO BE PAVED W/ ASPHALT.
6. ALL PROPOSED SIDEWALKS ARE TO BE CONSTRUCTED W/ CONCRETE, 4" THICK.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGE TO ANY EXISTING ITEMS THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION AND DEMOLITION ARE COMPLETE. THOSE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, DRAINAGE SYSTEMS, UTILITIES, CURBING, PAVING, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN EXISTING CONDITIONS.

ADA DESIGN PROFESSIONAL STATEMENT

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BASIS OF BEARINGS

BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST,
MONUMENTED ON THE NORTH END BY A 6" WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, "T24S
R66W W.C. 6.00' S 35 S36 S2 S1 T1 1/4 S R55W 2012 PLS 24313" AND ON THE SOUTH END BY A
3.5" ALUMINUM CAP, FOUND, "RMP5 19625", AND IS CONSIDERED TO BEAR N00°42'04"W.

BENCHMARK

PUBLISHED BENCHMARK
FIMS MONUMENT FX35
ELEVATION = 5980.39 (NAVD88)

NOTE: CONTRACTOR MUST COORDINATE WORK WITH WIDEFIELD WATER AND SANITATION DISTRICT AND EL PASO COUNTY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

NOTE: CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

CAUTION - NOTICE TO CONTRACTOR

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2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY EITHER THROUGH POT-HOLING OR ALTERNATE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

Know what's **below**.
Call before you dig.

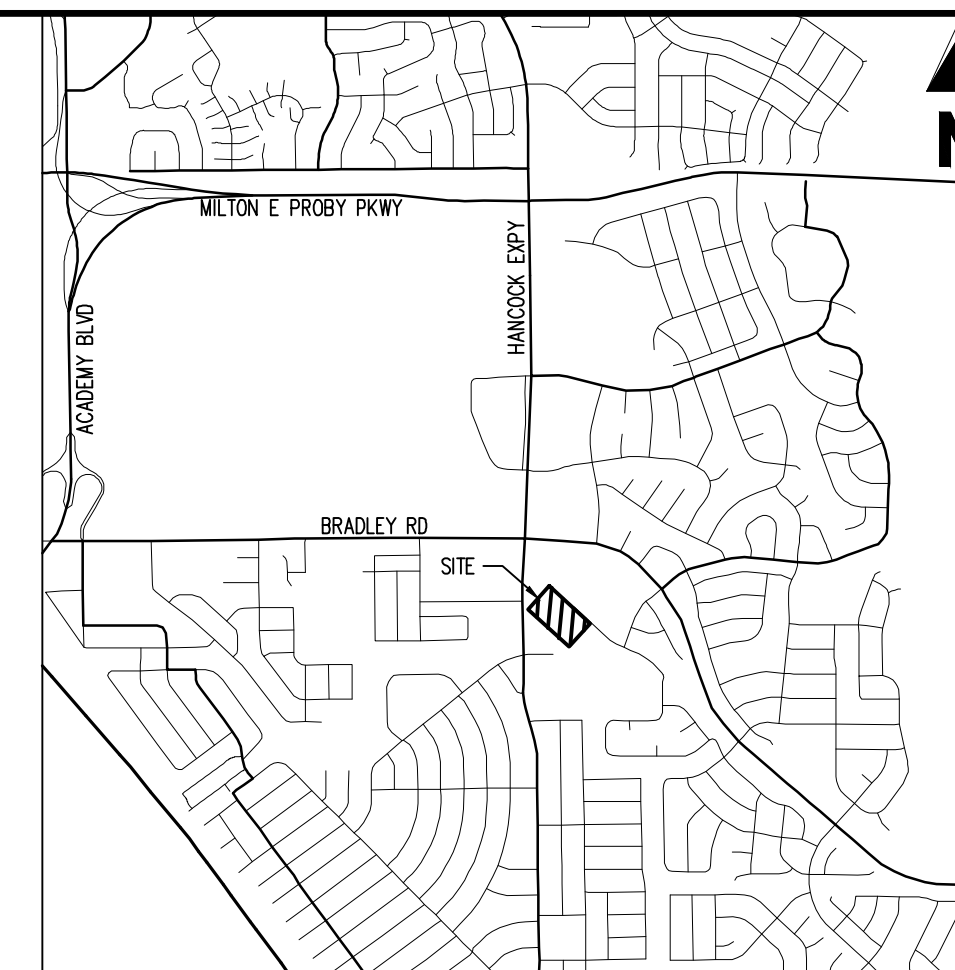
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Project No:	HCI000008
Drawn By:	TPT
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HORIZONTAL CONTROL
PLAN

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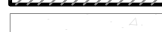








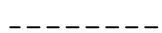
Sheet 5 of 18



VICINITY MAP

SCALE: 1"=500'

SITE LEGEND

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	PROPOSED BUILDING HATCH
	PROPOSED CONCRETE PAVING
	PROPOSED BUILDING OUTLINE
	PROPOSED EASEMENT
	PROPOSED FENCE
	EXISTING EASEMENT LINE
	EXISTING LANDSCAPE BUFFER
	EXISTING ASPHALT EDGE
	EXISTING CURB & GUTTER
	EXISTING BUILDING HATCH
	EXISTING ASPHALT PAVING

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FLOWLINE OF CURB UNLESS OTHERWISE NOTED.

BASIS OF BEARINGS

BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6' WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, "T24S R66W W.C. 6.00' S 35 S36 S2 S1 T1 1/2 S R55W 2012 PLS 24313" AND ON THE SOUTH END BY A 3.5" ALUMINUM CAP, FOUND, "RMPS 19625", AND IS CONSIDERED TO BEAR N00°42'04"W.

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PUBLISHED BENCHMARK
FIMS MONUMENT FX35
ELEVATION = 5980.39 (NAVD88)

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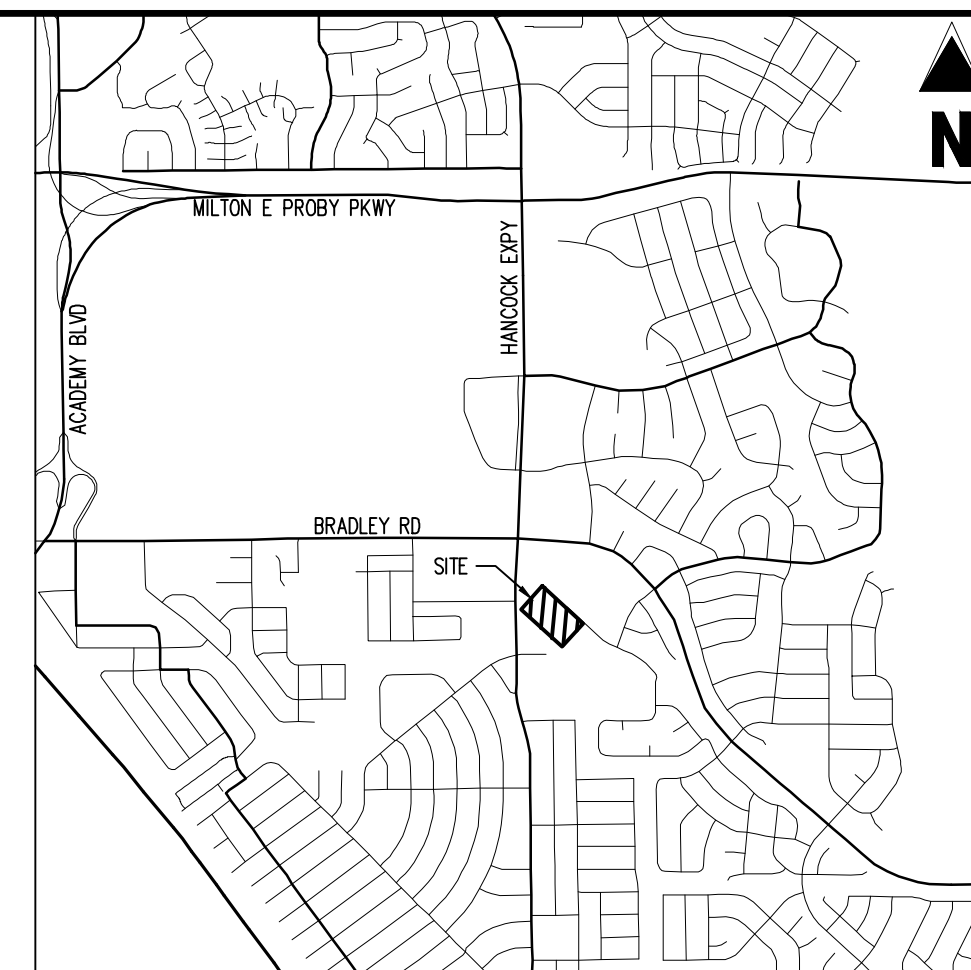
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Project No:	HCI000008
Drawn By:	TPT
Checked By:	CMD
Date:	6/7/2021



VICINITY MAP

SCALE: 1"=500'

SITE LEGEND

PROPERTY BOUNDARY LINE
ADJACENT PROPERTY BOUNDARY LINE

PROPOSED BUILDING HATCH

PROPOSED CONCRETE PAVING

PROPOSED BUILDING OUTLINE

PROPOSED EASEMENT

PROPOSED FENCE

EXISTING EASEMENT LINE

EXISTING LANDSCAPE BUFFER

EXISTING ASPHALT

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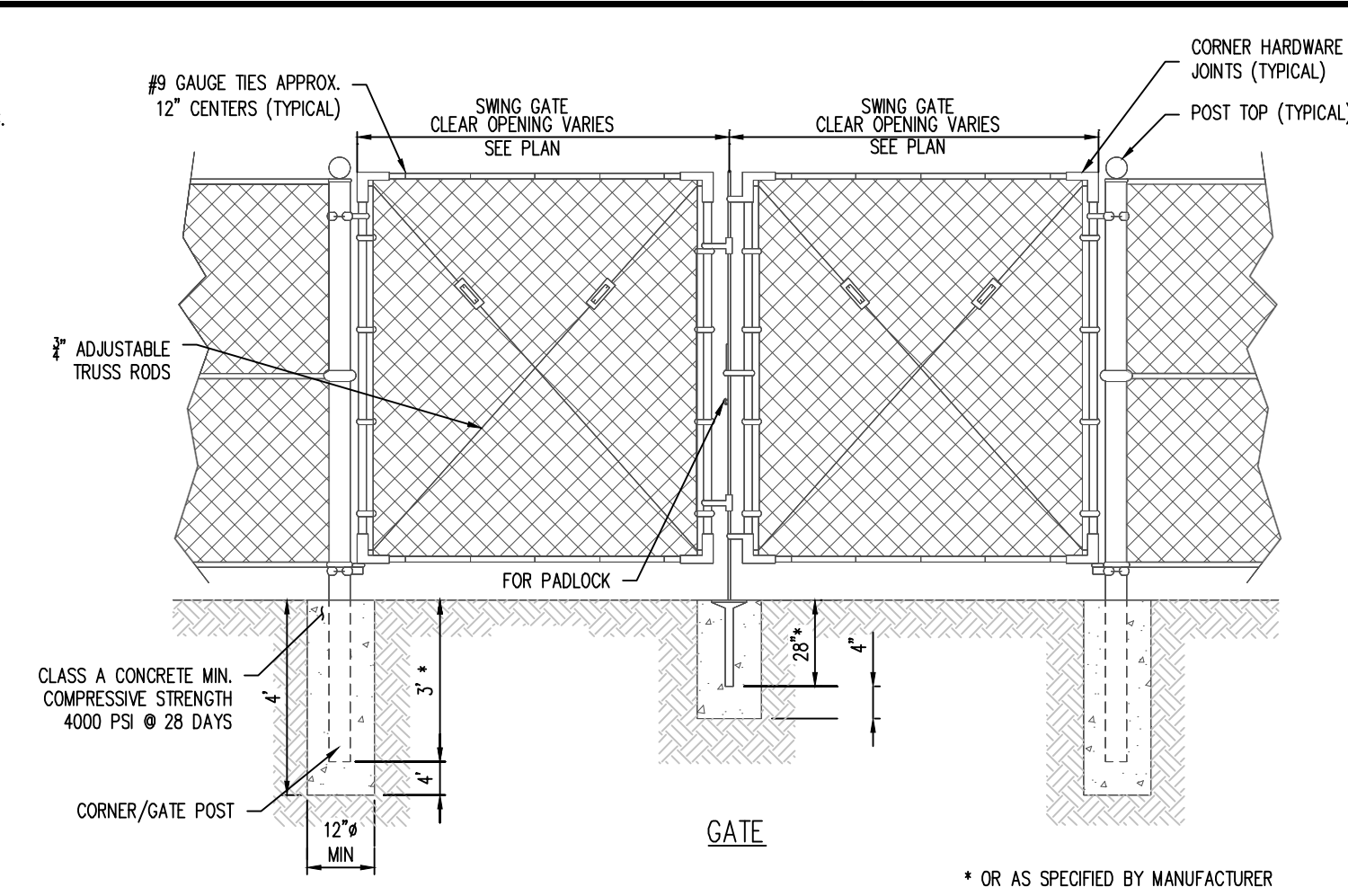
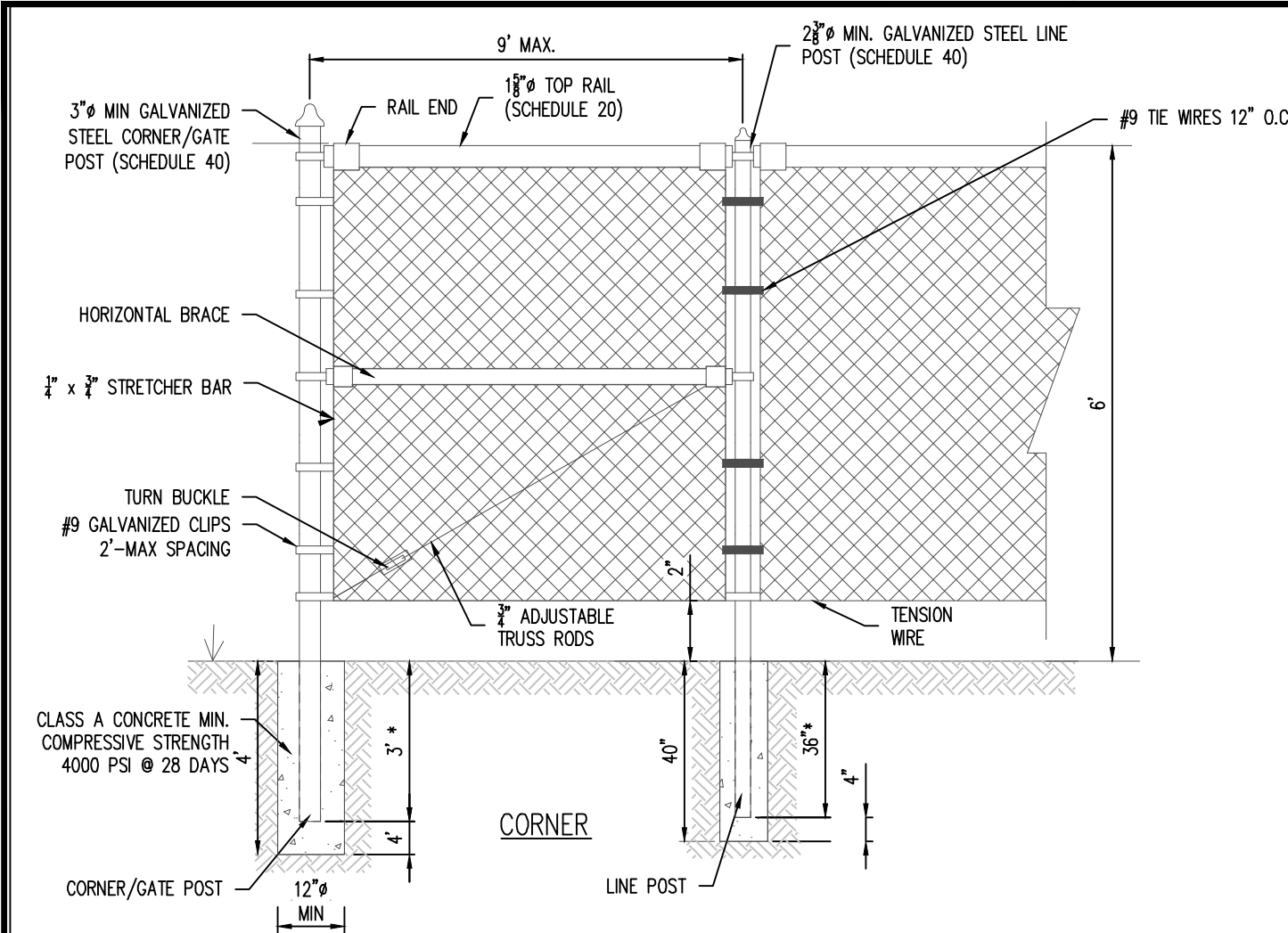
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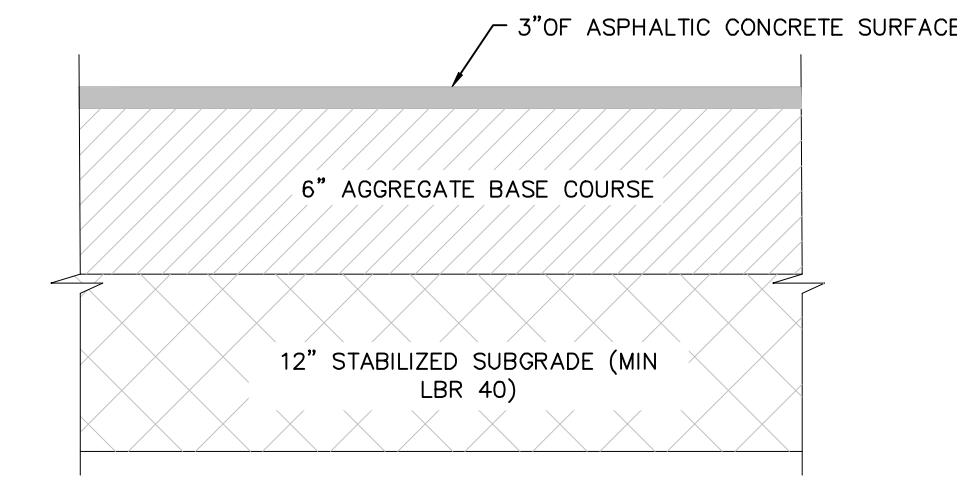
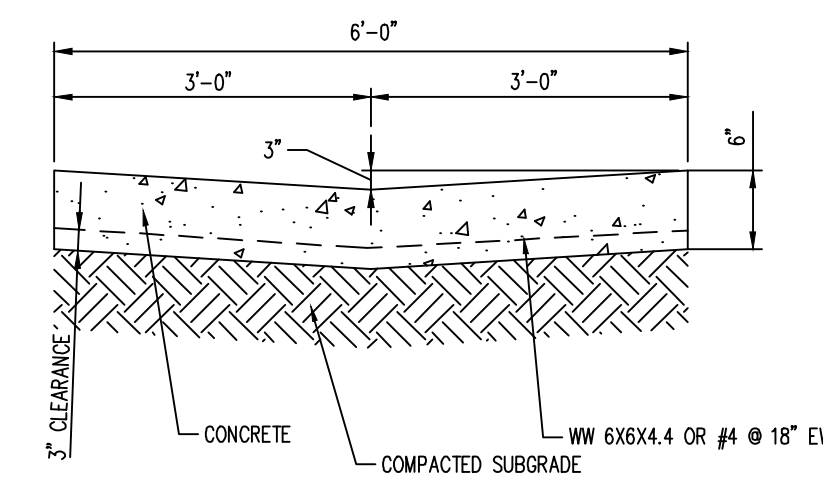
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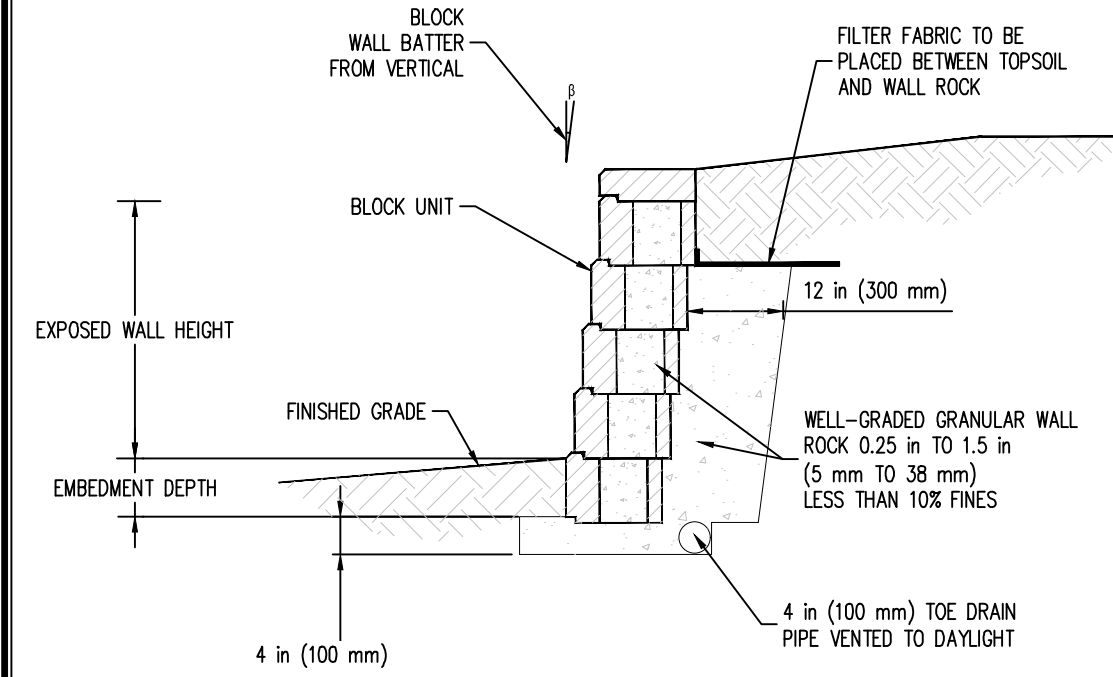
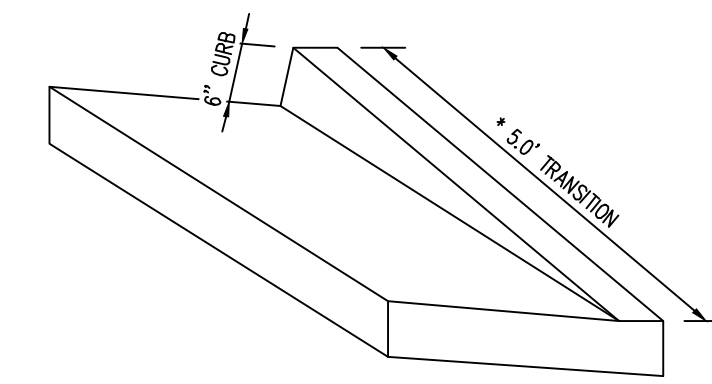


NOTE:

1. CONTRACTOR TO ADHERE TO LOCAL SPECIFICATION IF MORE STRINGENT.
2. TRUSS BARS ARE REQUIRED FOR EACH GATE SECTION AND THE FIRST SPAN ON EACH SIDE OF A CORNER POST ONLY.
3. ADD (3) STAND BARBED WIRE TO THE TOP OF THE PERIMETER FENCE & SLATS WOVEN THRU CHAIN LINK

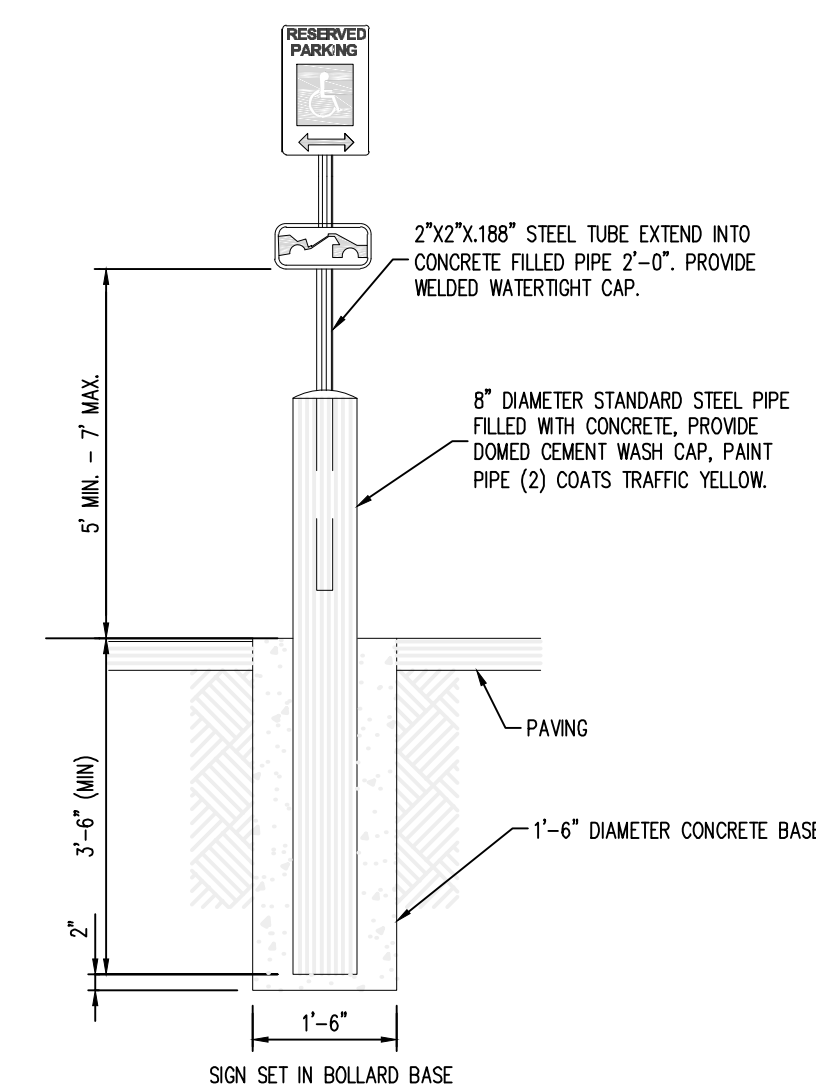
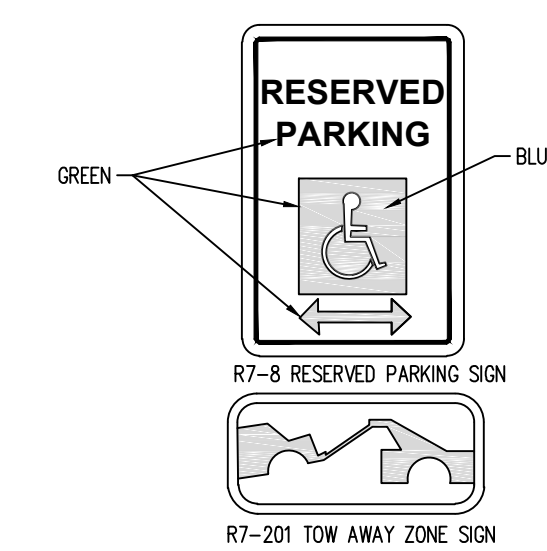
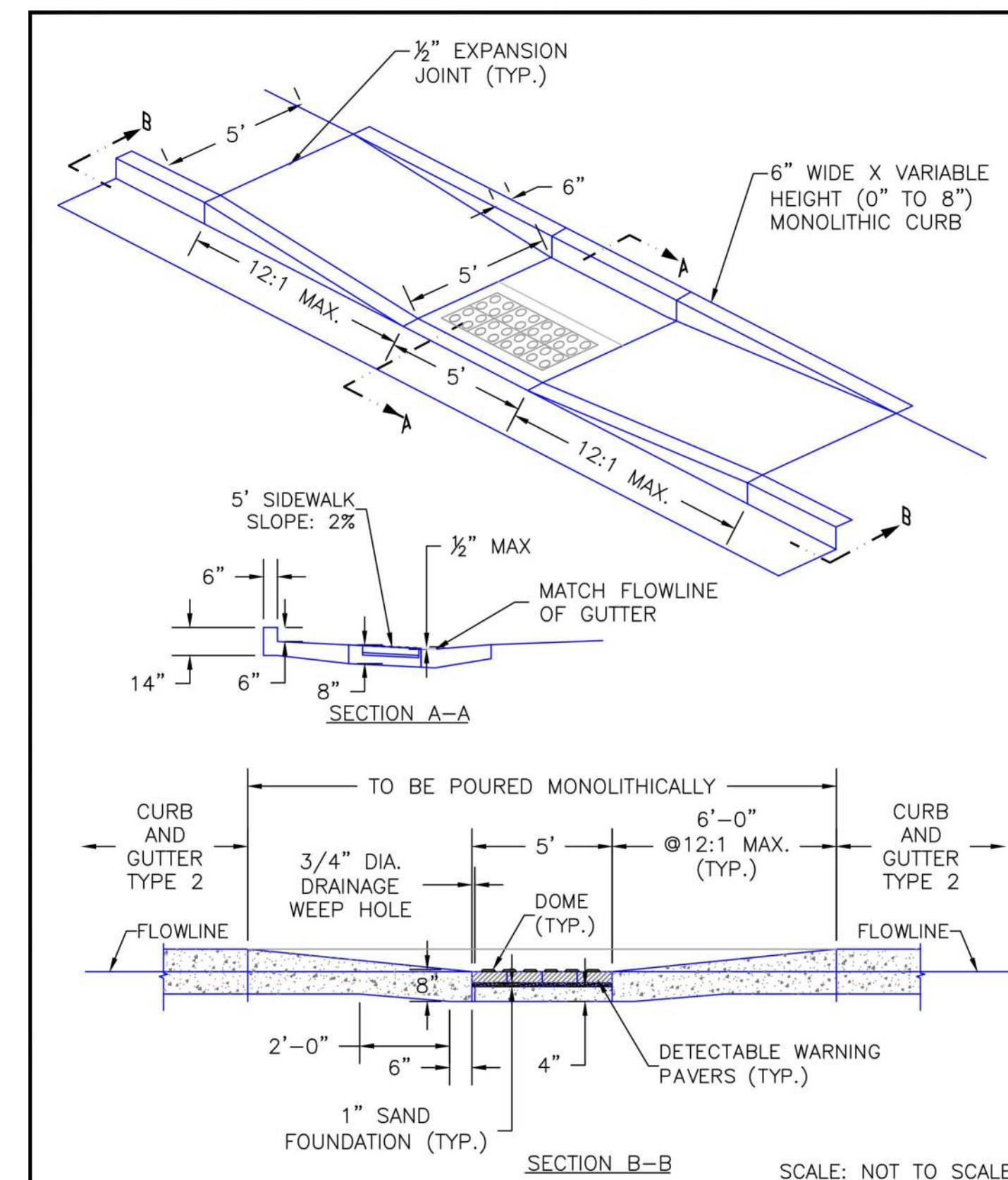
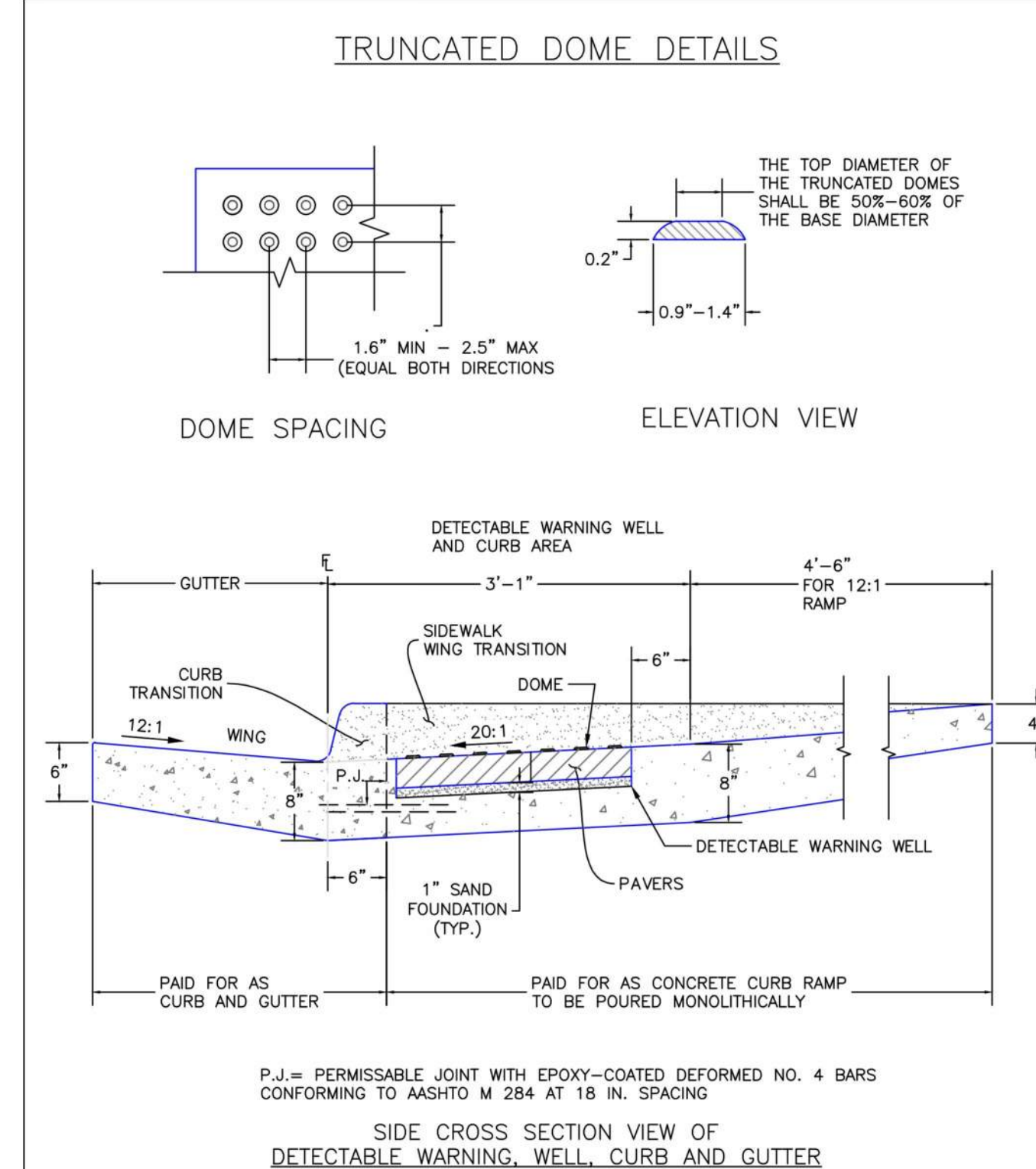
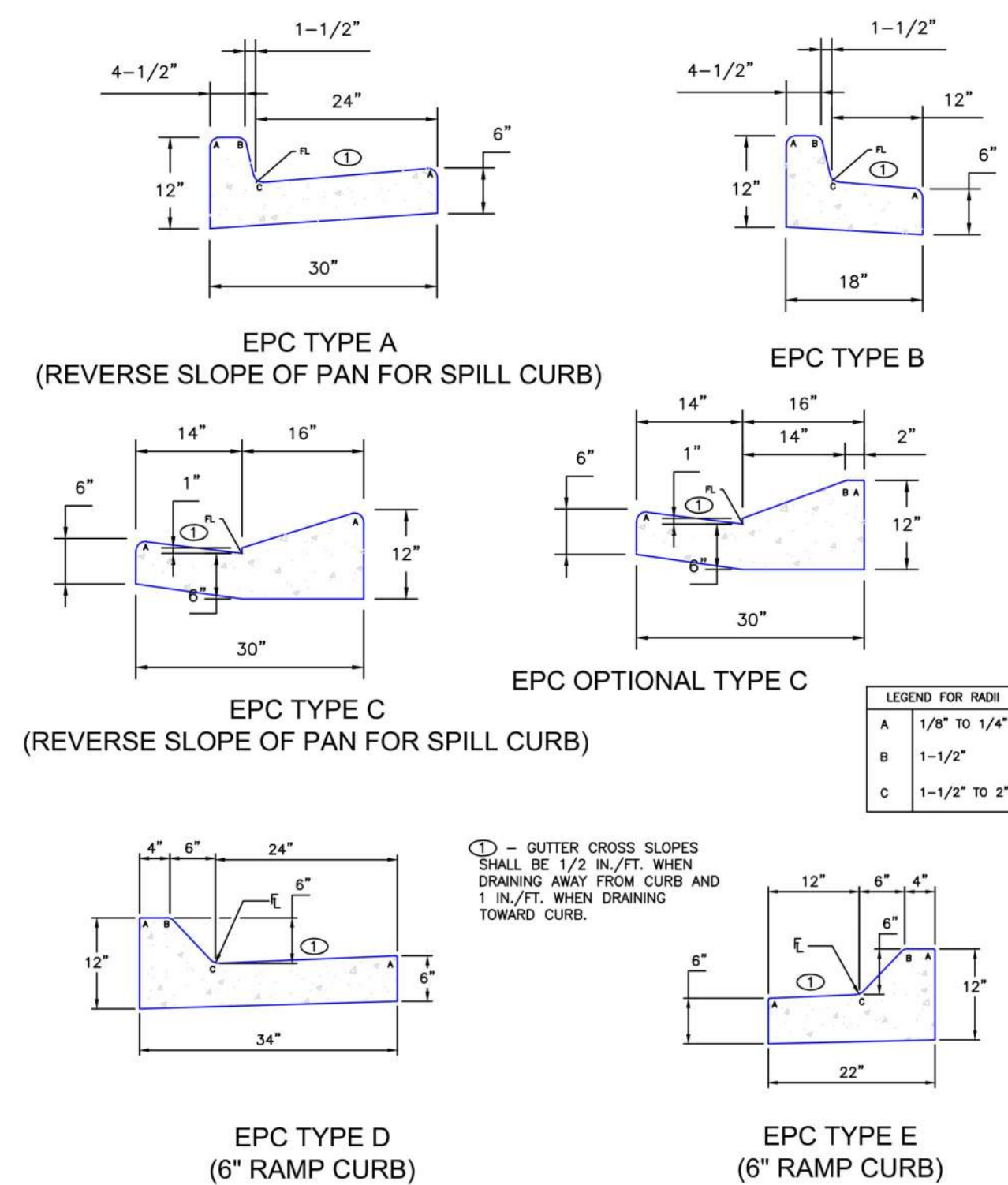
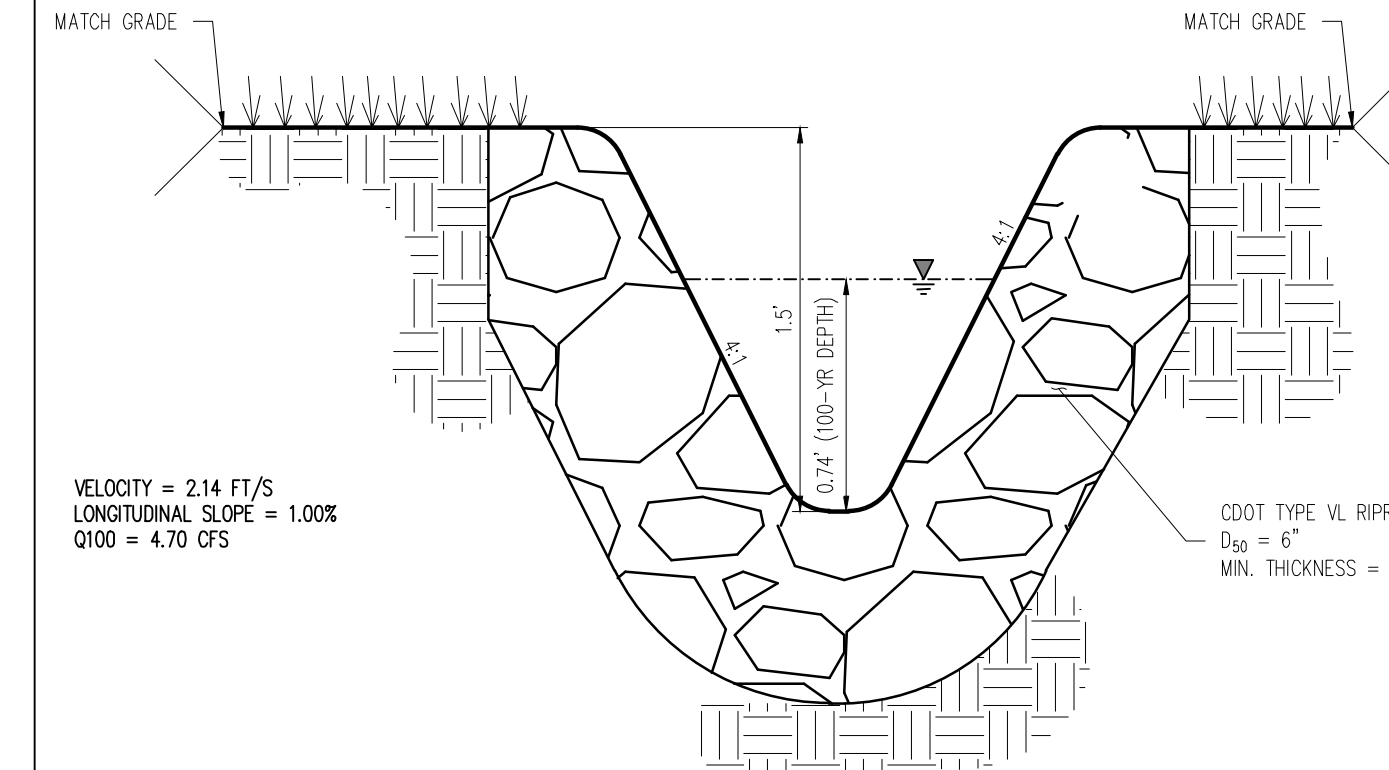
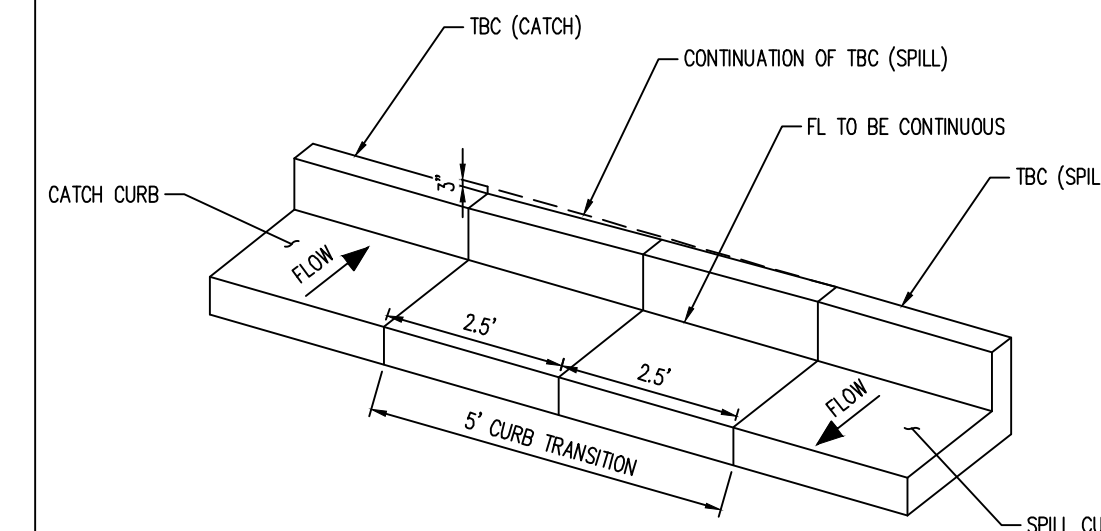
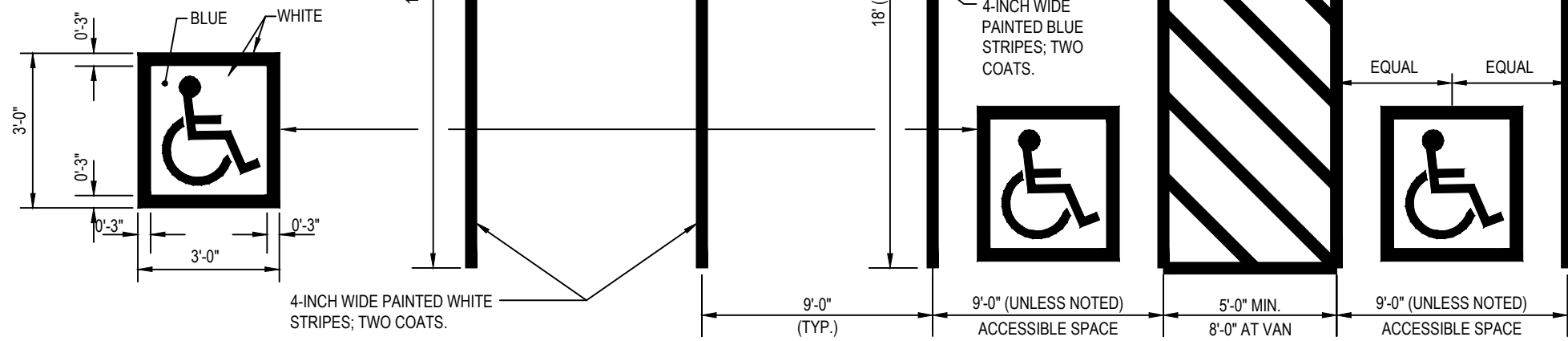


NOTE:
CONTRACTOR TO VERIFY ASPHALT PAVEMENT
DETAIL MEETS COUNTY STANDARD REQUIREMENTS



NOTES:

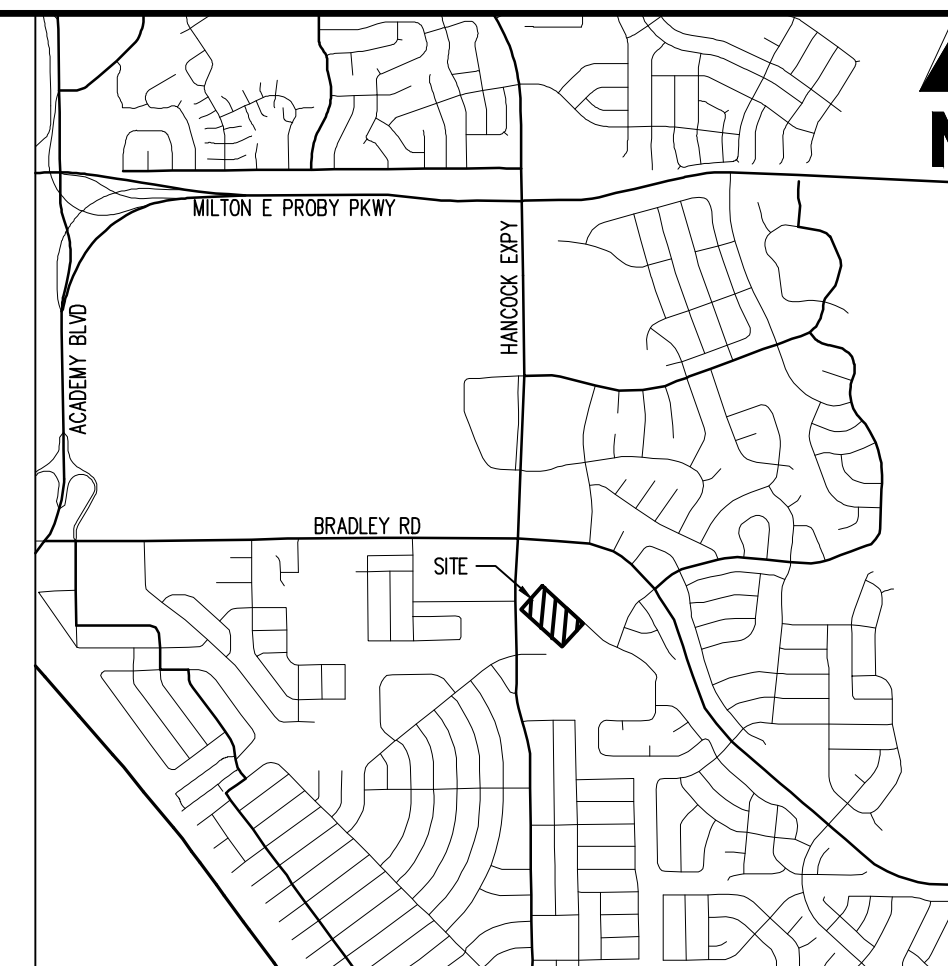
1. PROVIDE TWO COATS OF PAINT.
2. BLUE BACKGROUND WITH WHITE SYMBOLS.
3. ACCESSIBLE SPACES AND AISLES SHALL BE LEVEL AND ANY SURFACE SLOPE SHALL NOT EXCEED 2% IN ALL DIRECTIONS.

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Project No:	HC1000008
Drawn By:	TPT
Checked By:	CMD
Date:	6/7/2021

SITE DETAILS

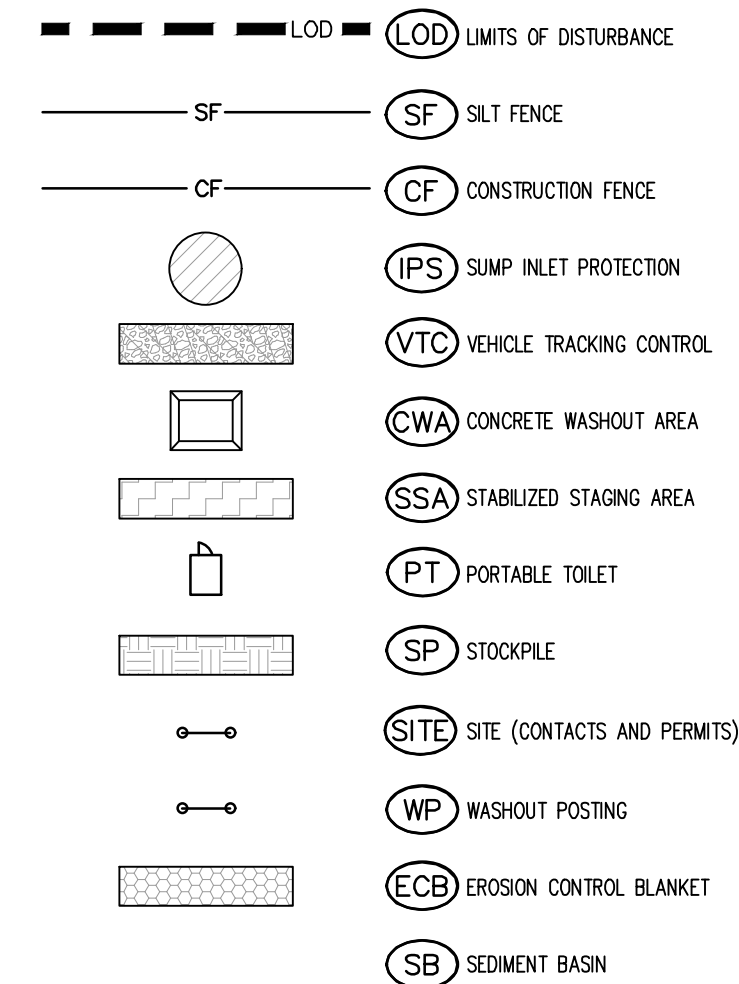
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Sheet 7 of 18



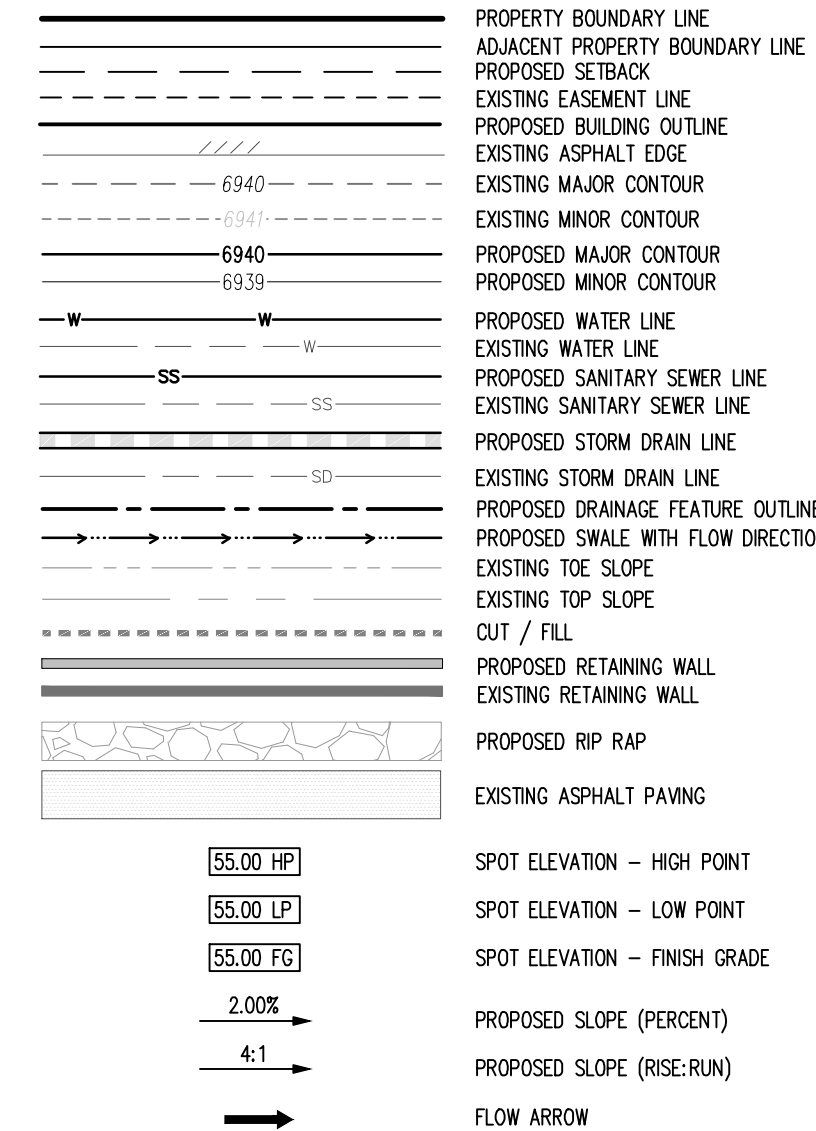
VICINITY MAP

SCALE: 1"=500'

EROSION CONTROL LEGEND



GRADING LEGEND



NOTES

1. ADD 5800 TO ALL SLOPE ELEVATIONS
2. THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE THE PLAN SHALL BE DISCUSSED AND AGREED TO BY THE AFFECTED UTILITY PRIOR TO IMPLEMENTING THE PLAN. THE RESULTING COST TO RELOCATE PROTECT UTILITIES, OR PROVIDE INTERIOR ACCESS IS AT THE EXPENSE OF THE PLAN APPLICANT.
3. NO WETLANDS ARE PRESENT ON THIS SITE.
4. THE PERSON CONTROLLED DELINEATED ON THIS PLAN SHALL BE REGULARLY UPDATED BY THE CONTRACTORS.
5. CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE OF THE CONSTRUCTION LIMITS WITH SLICE FENCE OR OTHER METHOD TO PROTECT UNDISTURBED AREAS FROM EROSION.
6. ALL EXISTING OR PERMANENT GRADING DISTURBANCES SHALL BE RE-SEEDING AND MULCHING PER LA PLASO COUNTY CRITERIA.
7. EXISTING VEGETATION CONSISTS OF NATURAL GRASSES AND SHRUBS.

EROSION CONTROL PHASING SCHEDULE

PHASE	DESCRIPTION
INITIAL	INSTALL SILT FENCE, ALL INLET PROTECTION MEASURES ON EXISTING INLETS, AND CURB SOCKS.
INTERIM	INSTALL PROPOSED WATER QUALITY CAPTURE VOLUME DETENTION BASIN W/ ALL PERMANENT CONTROL MEASURES. THEN, INSTALL STABILIZED STAGING AREA, VEHICLE TRACKING CONTROL AT ENTRANCE, AND CONCRETE WASHOUT AREA. FINALLY, INSTALL PROPOSED STORM SEWER.
FINAL	CONSTRUCT CURB/GUTTER AND PAVEMENT. REMOVE CONSTRUCTION BMP'S ONCE VERTICAL CONSTRUCTION AND APPLICABLE LANDSCAPING IS COMPLETE.

BASIS OF BEARINGS

BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6' WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, "T24S R66W W.C. 6.00' S 35 S36 S2 S1 T1 1/4 S R55W 2012 PLS 24313" AND ON THE SOUTH END BY A 3.5" ALUMINUM CAP, FOUND, "RMPS 19625", AND IS CONSIDERED TO BEAR N00°42'04"W.

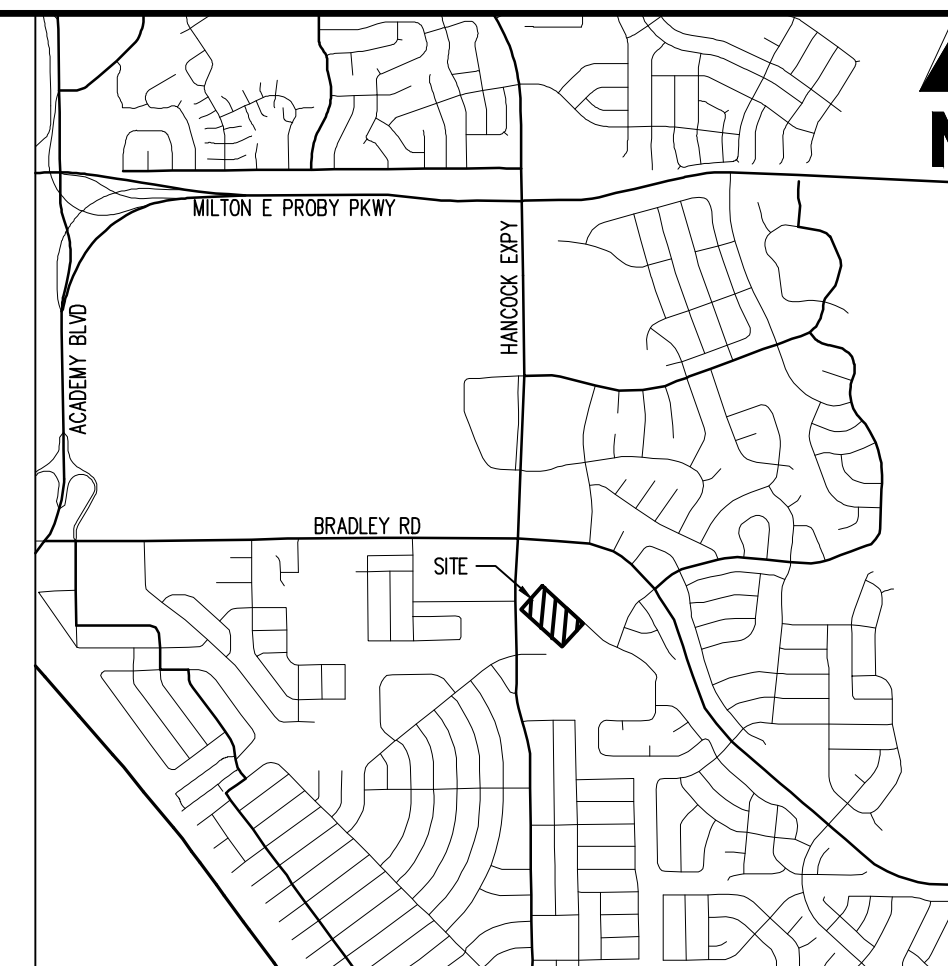
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CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY EITHER THROUGH ROUTING OR BY OTHER APPROPRIATE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

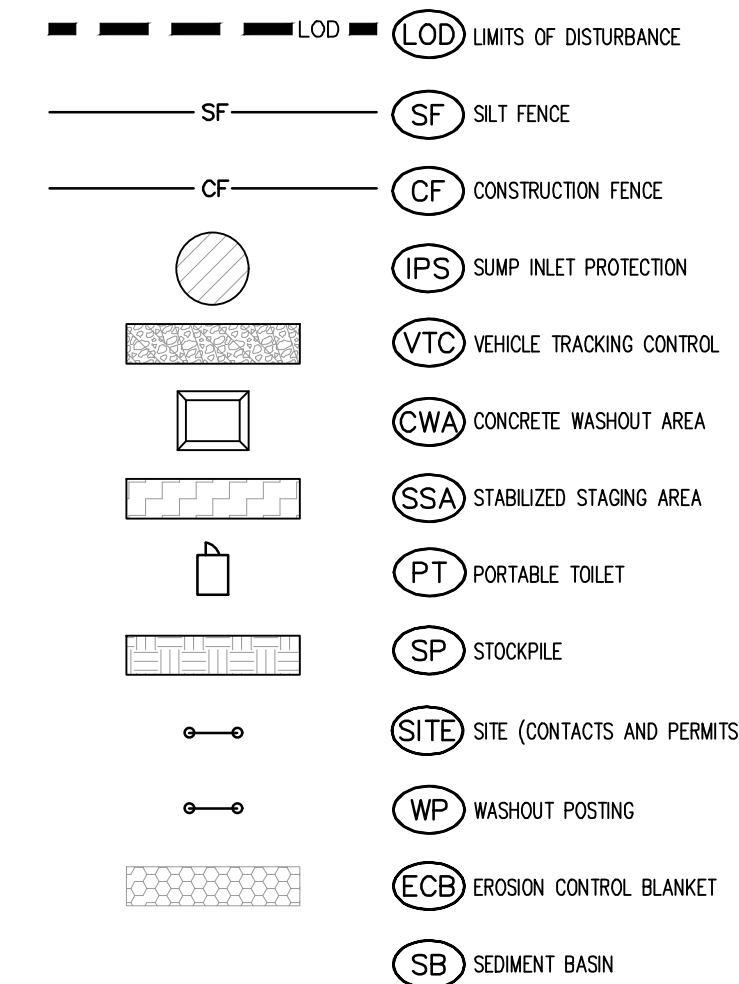
Know what's **below**.
Call before you dig.



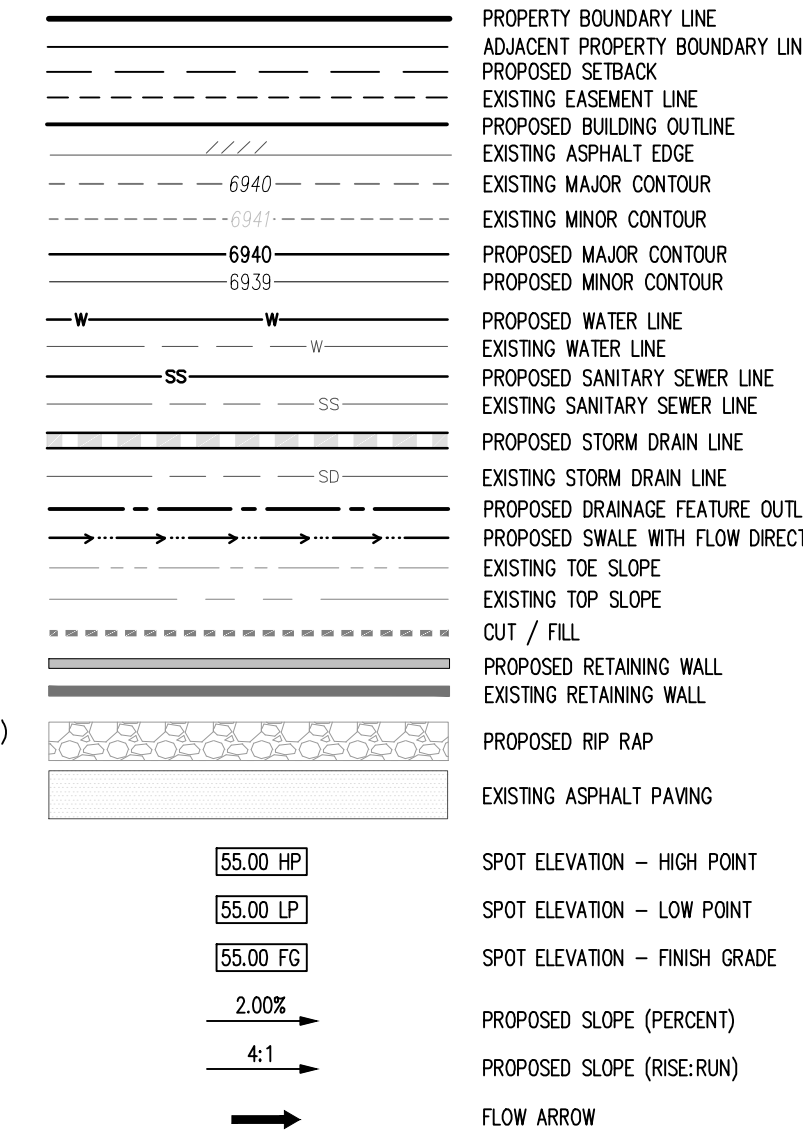
VICINITY MAP

SCALE: 1"=500'

EROSION CONTROL LEGEND



GRADING LEGEND



NOTES

1. ADD 5800 TO ALL SLOPE ELEVATIONS
2. THE PLAN SHALL NOT SPONTANEOUSLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE THE PROPOSED WORK SHALL BE DISCUSSED AND AGREED TO BY THE AFFECTED UTILITY PRIOR TO IMPLEMENTING THE PLAN. THE RESULTING COST TO RELOCATE PROTECT UTILITIES, OR PROVIDE INTERIM ACCESS IS AT THE EXPENSE OF THE PLAN APPLICANT.
3. NO WETLANDS ARE PRESENT ON THIS SITE.
4. THE EROSION CONTROL DELINEATED ON THIS PLAN SHALL BE REGULARLY UPDATED BY THE CONTRACTORS.
5. CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE OF THE CONSTRUCTION LIMITS WITH SILT FENCE OR OTHER METHOD TO PROTECT UNDISTURBED AREAS FROM EROSION.
6. ALL TEMPORARY OR PERMANENT GRADING DISTURBANCES SHALL BE RE-SEEDING AND MULCHED PER EL PASO COUNTY SPECIFICATIONS.
7. EXISTING VEGETATION CONSISTS OF NATURAL GRASSES AND SHRUBS.

EROSION CONTROL PHASING SCHEDULE

PHASE	DESCRIPTION
INITIAL	INSTALL SILT FENCE, ALL INLET PROTECTION MEASURES ON EXISTING INLETS, AND CURB SOCKS.
INTERIM	INSTALL PROPOSED WATER QUALITY CAPTURE VOLUME DETENTION BASIN W/ ALL PERMANENT CONTROL MEASURES. THEN, INSTALL STABILIZED STAGING AREA, VEHICLE TRACKING CONTROL AT ENTRANCE, AND CONCRETE WASHOUT AREA. FINALLY, INSTALL PROPOSED STORM SEWER.
FINAL	CONSTRUCT CURB/GUTTER AND PAVEMENT. REMOVE CONSTRUCTION BMP'S ONCE VERTICAL CONSTRUCTION AND APPLICABLE LANDSCAPING IS COMPLETE.

BASIS OF BEARINGS

BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6" WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, *T24S R66W W.C. 6.00' S 35 S36 S2 S1 T1 1/4 S R55W 2012 PLS 24313" AND ON THE SOUTH END BY A 3.5" ALUMINUM CAP, FOUND, "RMP5 19625", AND IS CONSIDERED TO BEAR N00°42'04"W.

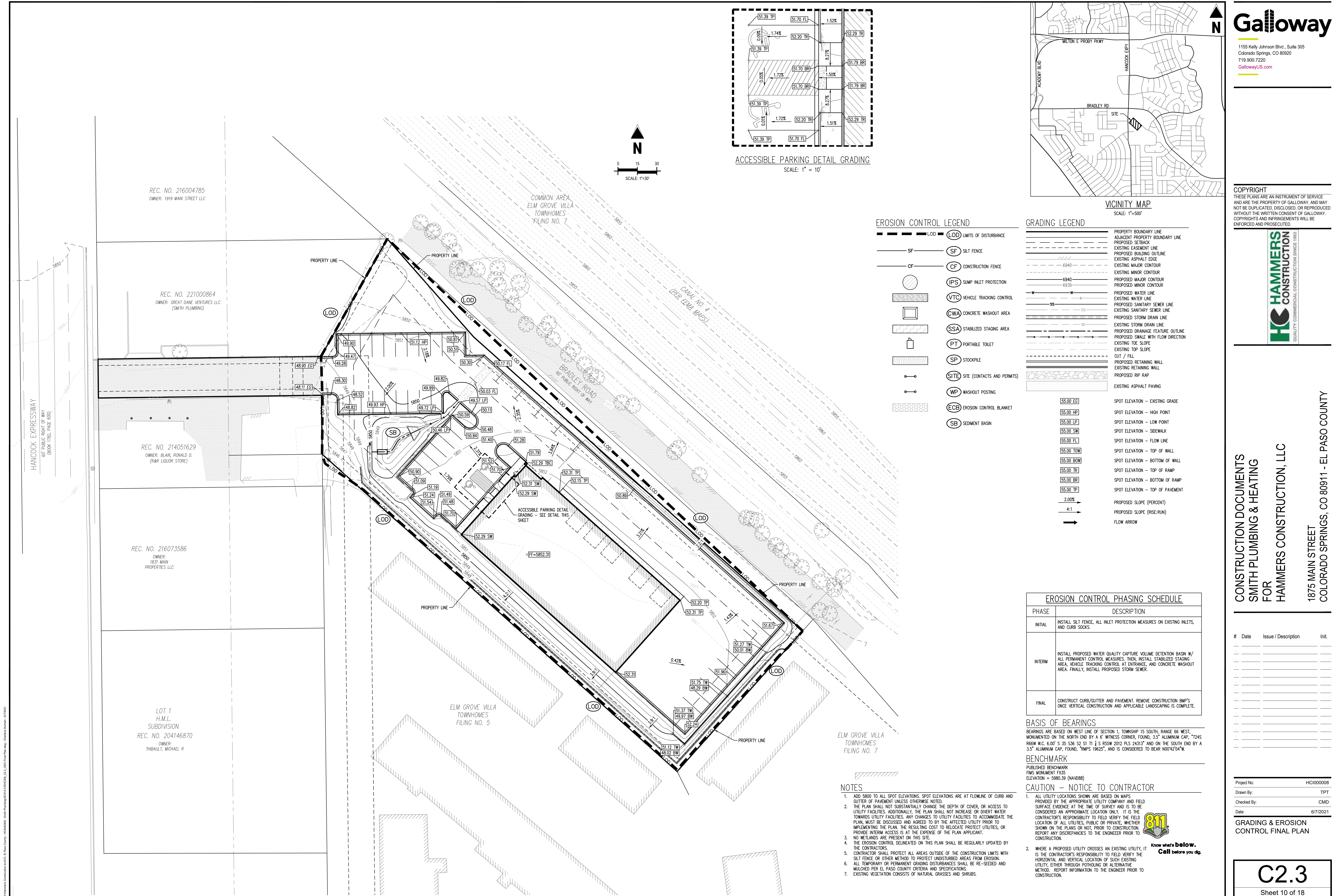
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PUBLISHED BENCHMARK
FIMS MONUMENT FX35
ELEVATION = 5980.39 (NAVD88)

CAUTION - NOTICE TO CONTRACTOR

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2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

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QUALITY COMMERCIAL CONSTRUCTION SINCE 1983

CONSTRUCTION DOCUMENTS
SMITH PLUMBING & HEATING
FOR
HAMMERS CONSTRUCTION, LLC

1875 MAIN STREET
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

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Project No: HCI000008

Drawn By: TPT

Checked By: CMD

Date: 6/7/2021

GRADING & EROSION
CONTROL FINAL PLAN

C2.3

Sheet 10 of 18

SC-1



SECTION A

SF-1. SILT FENCE

November 2010 Urban Drainage and Flood Control District SF-3
Urban Storm Drainage Criteria Manual Volume 3

SM-3

CONSTRUCTION FENCE MAINTENANCE NOTES

- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(Detail adapted from Town of Parker, Colorado. Not available in AutoCAD.)

November 2010 Urban Drainage and Flood Control District CF-3
Urban Storm Drainage Criteria Manual Volume 3

Silt Fence (SF)

SILT FENCE INSTALLATION NOTES

1. SILT FENCE MUST BE PLACED AROUND THE TOE OF THE SLOPE TO ALLOW FOR WATER PENETRATION. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST 10 FEET (3-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
2. A UNIFORM 6" x 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE, NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
3. COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACT SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
4. SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE GAP BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
5. SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
6. AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE EXTENDED PERPENDICULAR TO THE CONTOUR TO CREATE A "U-HOOK." THE "U-HOOK" BEING EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
7. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

SILT FENCE MAINTENANCE NOTES

- (DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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SM-3

CONSTRUCTION FENCE MAINTENANCE NOTES

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(Detail adapted from Town of Parker, Colorado. Not available in AutoCAD)

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Urban Storm Drainage Criteria Manual Volume 3

Rock Sock (RS)



ROCK SOCK PLAN



ROCK SOCK INSTALLATION NOTES

- | | |
|--|--|
| 1. SEE PLAN VIEW FOR:
-LOCATION(S) OF ROCK SOCKS. | PER ASHTO M43, ALL ROCK SHALL BE
FRACTURED FACE, ALL SIDES. |
| 2. CRUSHED ROCK SHALL BE 1 1/2" (MINUS) IN SIZE WITH A FRACTURED FACE (ALL SIDES)
AND SHALL COMPLY WITH GRADATION SHOWN ON THIS SHEET (1 1/2" MINUS). | |
| 3. WIRE MESH SHALL BE FABRICATED TO 10 GAGE POULTRY MESH, OR EQUIVALENT, WITH A
MAXIMUM OPENING OF 1/2", RECOMMENDED MINIMUM ROLL WIDTH OF 48" | |
| 4. WIRE MESH SHALL BE SECURED USING "HOG RINGS" OR WIRE TIES AT 6" CENTERS
ALONG ALL JOINTS AND AT 2' CENTERS ON ENDS OF SOCKS. | |
| 5. SOME MUNICIPALITIES MAY ALLOW THE USE OF FILTER FABRIC AS AN ALTERNATIVE TO WIRE
MESH FOR THE ROCK ENCLOSURE. | |

RS-1. ROCK SOCK PERIMETER CONTROL

RS-2	Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3	November 2010
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SC-5

ROCK SOCK MAINTENANCE NOTES

- (DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF ROCK SOCK INSTALLATION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY OTHER SIMILAR PROPRIETARY PRODUCTS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY PROTECTION PRODUCTS; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

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FOR
HAMMERS CONSTRUCTION, LLC

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COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

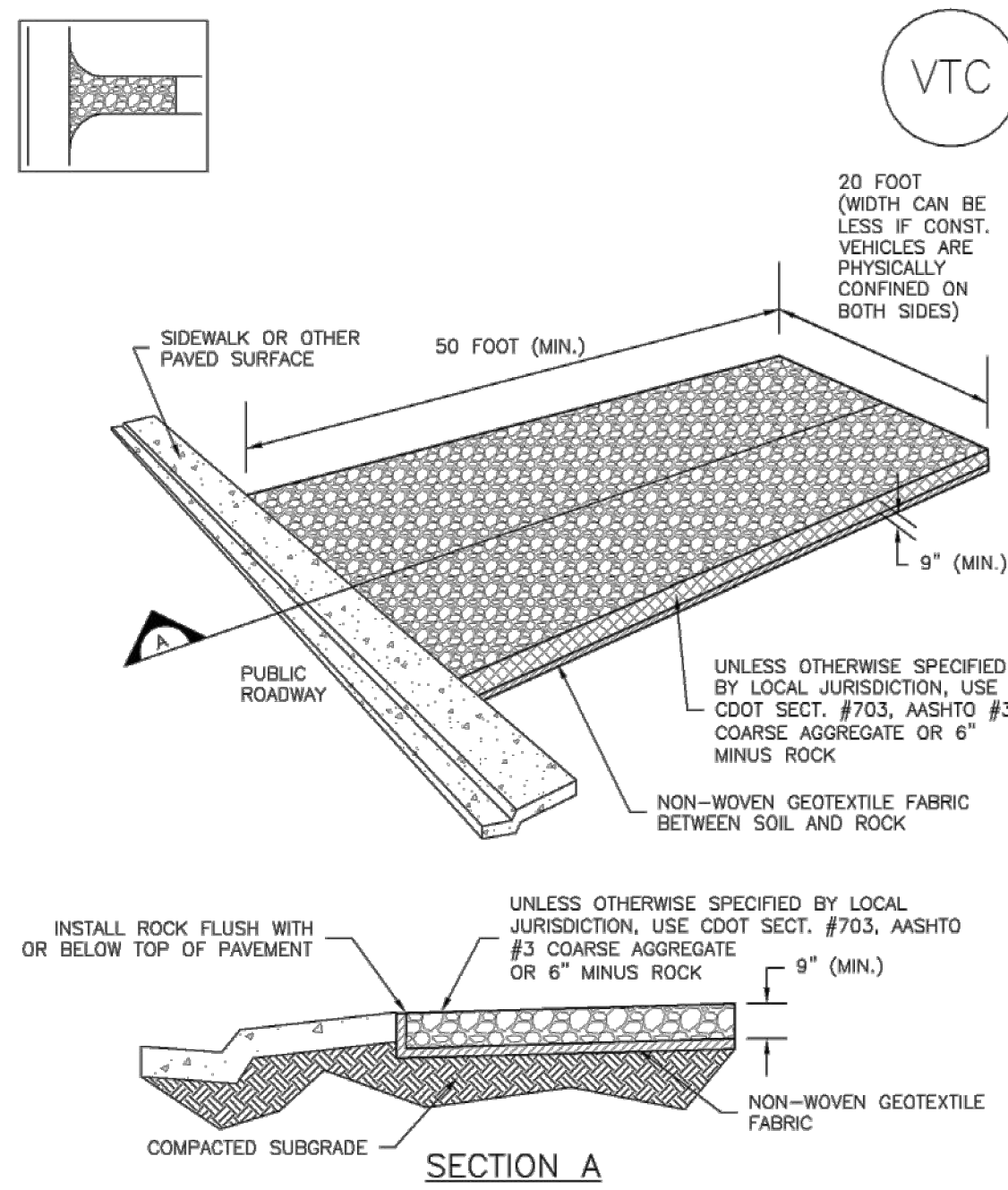
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Project No:	HCI000008
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Date:	6/7/2021

GEC DETAILS

Vehicle Tracking Control (VTC)

SM-4

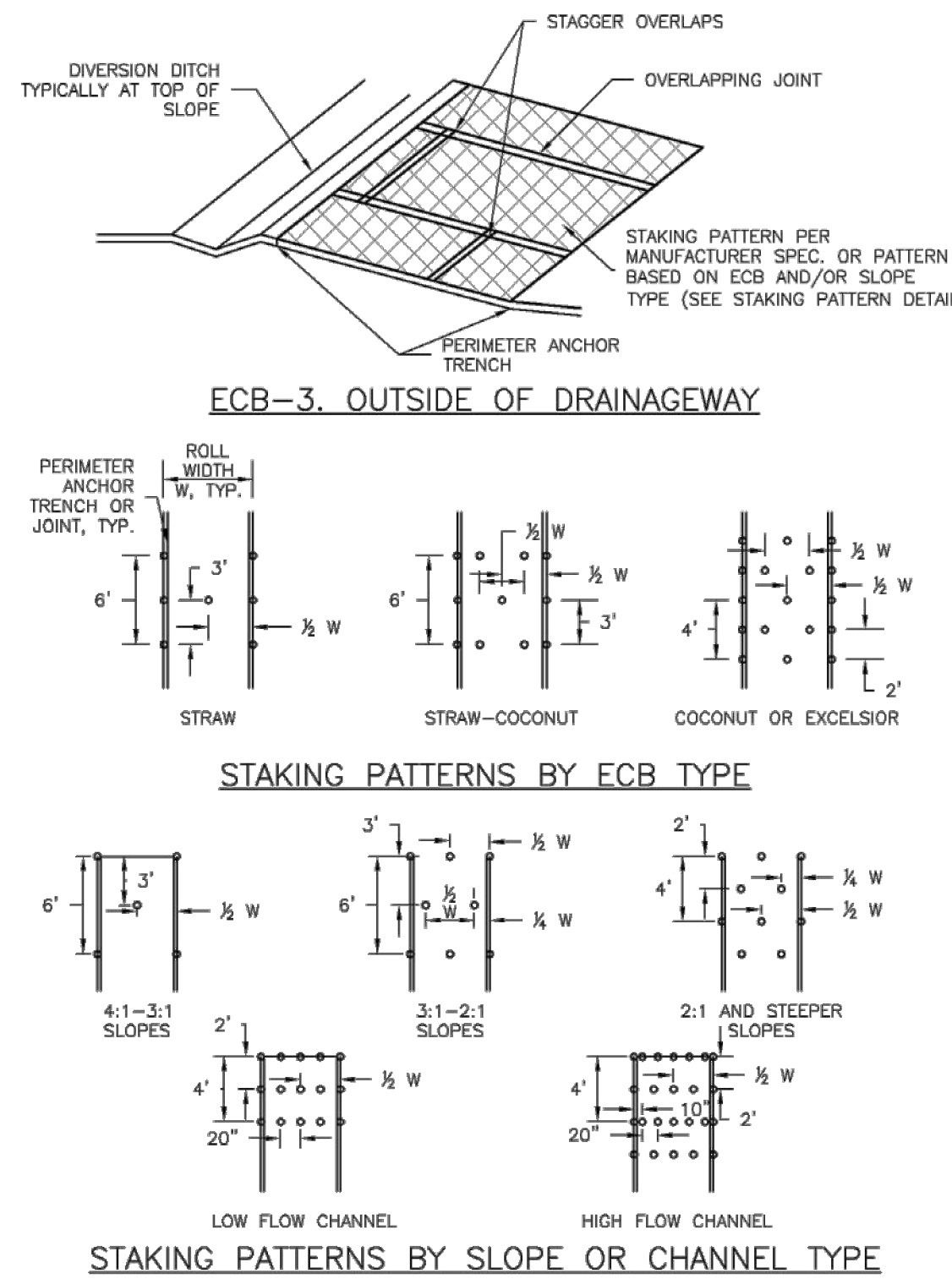


VTC-1. AGGREGATE VEHICLE TRACKING CONTROL

November 2010 Urban Drainage and Flood Control District VTC-3
Urban Storm Drainage Criteria Manual Volume 3

Rolled Erosion Control Products (RECP)

EC-6



STAKING PATTERNS BY SLOPE OR CHANNEL TYPE

November 2010 Urban Drainage and Flood Control District RECP-7
Urban Storm Drainage Criteria Manual Volume 3

SM-4

Vehicle Tracking Control (VTC)

STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
 - LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S).
 - TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM).
2. CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
3. A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
4. STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
5. A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
6. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
5. SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM CITY OF BROOMFIELD, COLORADO, NOT AVAILABLE IN AUTOCAD)

VTC-6 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3

EC-6

Rolled Erosion Control Products (RECP)

EROSION CONTROL BLANKET INSTALLATION NOTES

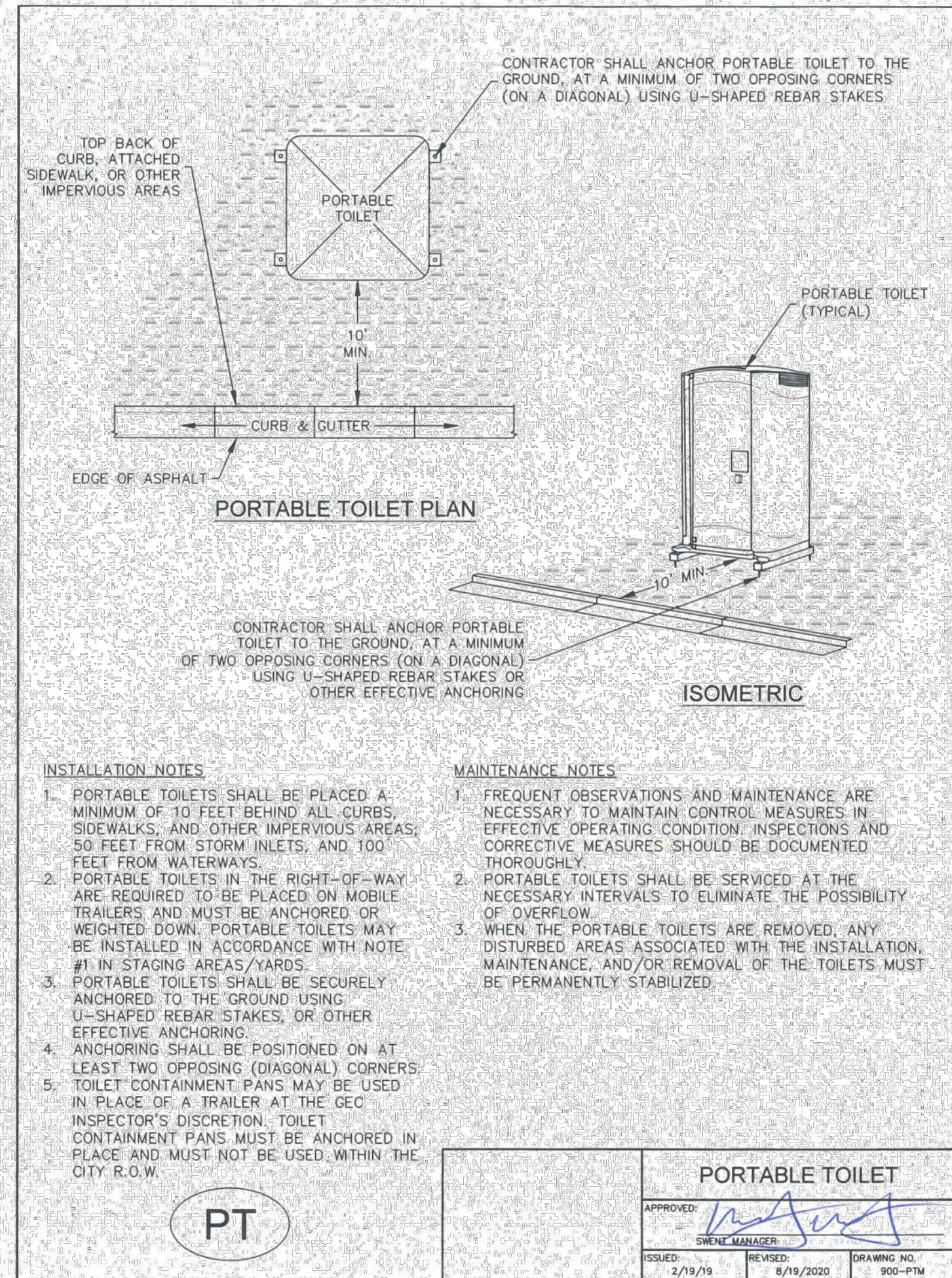
1. SEE PLAN VIEW FOR:
 - LOCATION OF ECB.
 - TYPE OF ECB (STRAW, STRAW-COCONUT, COCONUT, OR EXCELSIOR).
 - AREA, A, IN SQUARE YARDS OF EACH TYPE OF ECB.
2. 100% NATURAL AND BIODEGRADABLE MATERIALS ARE PREFERRED FOR ECBs, ALTHOUGH SOME JURISDICTIONS MAY ALLOW OTHER MATERIALS IN SOME APPLICATIONS.
3. IN AREAS WHERE ECBs ARE SHOWN ON THE PLANS, THE PERMITTEE SHALL PLACE TOPSOIL AND PERFORM FINAL GRADING, SURFACE PREPARATION, AND SEEDING AND MULCHING. SUBGRADE SHALL BE SMOOTH AND MOIST PRIOR TO ECB INSTALLATION AND THE ECB SHALL BE IN FULL CONTACT WITH SUBGRADE. NO GAPS OR VOIDS SHALL EXIST UNDER THE BLANKET.
4. PERIMETER ANCHOR TRENCH SHALL BE USED ALONG THE OUTSIDE PERIMETER OF ALL BLANKET AREAS.
5. JOINT ANCHOR TRENCH SHALL BE USED TO JOIN ROLLS OF ECBs TOGETHER (LONGITUDINALLY AND TRANSVERSELY) FOR ALL ECBs EXCEPT STRAW WHICH MAY USE AN OVERLAPPING JOINT.
6. INTERMEDIATE ANCHOR TRENCH SHALL BE USED AT SPACING OF ONE-HALF ROLL LENGTH FOR COCONUT AND EXCELSIOR ECBs.
7. OVERLAPPING JOINT DETAIL SHALL BE USED TO JOIN ROLLS OF ECBs TOGETHER FOR ECBs ON SLOPES.
8. MATERIAL SPECIFICATIONS OF ECBs SHALL CONFORM TO TABLE ECB-1.
9. ANY AREAS OF SEEDING AND MULCHING DISTURBED IN THE PROCESS OF INSTALLING ECBs SHALL BE RESEEDED AND MULCHED.
10. DETAILS ON DESIGN PLANS FOR MAJOR DRAINAGEWAY STABILIZATION WILL GOVERN IF DIFFERENT FROM THOSE SHOWN HERE.

TABLE ECB-1. ECB MATERIAL SPECIFICATIONS				
TYPE	COCONUT CONTENT	STRAW CONTENT	EXCELSIOR CONTENT	RECOMMENDED NETTING**
STRAW*	-	100%	-	DOUBLE/NATURAL
STRAW-COCONUT	30% MIN	70% MAX	-	DOUBLE/NATURAL
COCONUT	100%	-	-	DOUBLE/NATURAL
EXCELSIOR	-	-	100%	DOUBLE/NATURAL

*STRAW ECBs MAY ONLY BE USED OUTSIDE OF STREETS AND DRAINAGE CHANNELS.

**ALTERNATE NETTING MAY BE ACCEPTABLE IN SOME JURISDICTIONS

RECP-8 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3



INSTALLATION NOTES

1. PORTABLE TOILETS SHALL BE PLACED A MINIMUM OF 10 FEET BEHIND ALL CURBS, SIDEWALKS, AND OTHER IMPERVIOUS AREAS, 50 FEET FROM STORM INLETS, AND 100 FEET FROM WATERWAYS.
2. PORTABLE TOILETS IN THE RIGHT-OF-WAY ARE REQUIRED TO BE PLACED ON MOBILE TRAILERS AND MUST BE ANCHORED OR WEIGHTED DOWN. PORTABLE TOILETS MAY BE INSTALLED IN ACCORDANCE WITH NOTE #1 IN STAGING AREAS/YARDS.
3. PORTABLE TOILETS SHALL BE SECURELY ANCHORED TO THE GROUND USING U-SHAPED REBAR STAKES, OR OTHER EFFECTIVE ANCHORING.
4. ANCHORING SHALL BE POSITIONED ON AT LEAST TWO OPPOSING (DIAGONAL) CORNERS OF TWO OPPOSING CORNERS (ON A DIAGONAL) USING U-SHAPED REBAR STAKES OR OTHER EFFECTIVE ANCHORING.
5. TOILET CONTAINMENT PANS MAY BE USED IN PLACE OF A TRAILER AT THE GEO INSPECTOR'S DISCRETION. TOILET CONTAINMENT PANS MUST BE ANCHORED IN PLACE AND MUST NOT BE USED WITHIN THE CITY R.O.W.

MAINTENANCE NOTES

1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
2. PORTABLE TOILETS SHALL BE SERVICED AT THE NECESSARY INTERVALS TO ELIMINATE THE POSSIBILITY OF OVERFLOW.
3. WHEN THE PORTABLE TOILETS ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE TOILETS MUST BE PERMANENTLY STABILIZED.

PORTABLE TOILET

APPROVED:	
ENGINEER:	
ISSUED:	2/19/19
REVISED:	8/19/2020
DRAWING NO.:	900-PTM

Rolled Erosion Control Products (RECP)

EC-6

EROSION CONTROL BLANKET MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. ECBs SHALL BE LEFT IN PLACE TO EVENTUALLY BIODEGRADE, UNLESS REQUESTED TO BE REMOVED BY THE LOCAL JURISDICTION.
5. ANY ECB PULLED OUT, TORN, OR OTHERWISE DAMAGED SHALL BE REPAIRED OR REINSTALLED. ANY SUBGRADE AREAS BELOW THE GEOTEXTILE THAT HAVE ERODED TO CREATED A VOID UNDER THE BLANKET, OR THAT REMAIN DEVOID OF GRASS SHALL BE REPAIRED, RESEEDED AND MULCHED AND THE ECB REINSTALLED.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO AND TOWN OF PARKER COLORADO, NOT AVAILABLE IN AUTOCAD)

RECP-9 Urban Drainage and Flood Control District November 2010
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CONSTRUCTION DOCUMENTS
SMITH PLUMBING & HEATING
FOR

HAMMERS CONSTRUCTION, LLC

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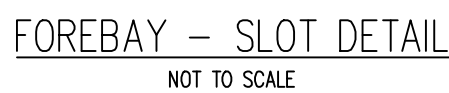
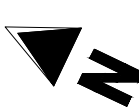
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Drawn By: TPT
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Date: 6/7/2021

GEC DETAILS

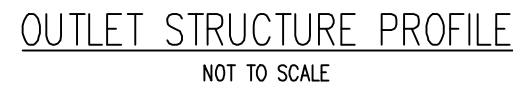
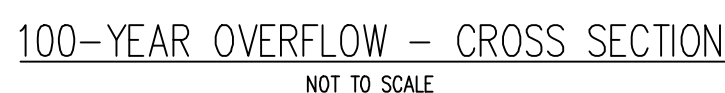
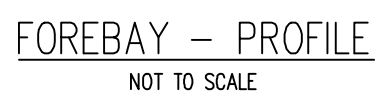
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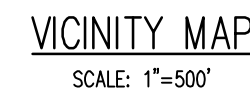
NOTES:

- TWO (2) SIGNS WITH THE ABOVE MESSAGE, EACH WITH A MINIMUM AREA OF 3 SQUARE FEET SHALL BE PROVIDED AROUND THE PERIMETER OF THE DETENTION POND, AS SHOWN ON THESE PLANS.
- SIGNS SHALL BE DURABLE MATERIALS, SUCH AS METAL OR PLASTIC, USING RED LETTERING ON A WHITE BACKGROUND.



(Hammers Construction Inc/CO, El Paso County - HC000003 - Smith Plumbing/OCA3-C/DH/C08 C3.2 BMP Details diag - 6/7/2021

1. ALL UTILITY CONSTRUCTION TO BE CONDUCTED IN CONFORMANCE WITH THE CURRENT WOEFIELD WATER AND SANITATION DISTRICT SPECIFICATIONS. COMPACTION REQUIREMENTS SHALL BE 95% STANDARD PROCTOR AS DETERMINED BY ASTM D698, UNLESS OTHERWISE APPROVED BY THE WOEFIELD WATER AND SANITATION DISTRICT OR A HIGHER STANDARD IS IMPOSED BY ANY OTHER AGENCY HAVING RIGHT-OF-WAY JURISDICTION.
2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE WOEFIELD WATER AND SANITATION DISTRICT. THE WOEFIELD WATER AND SANITATION DISTRICT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
3. THE DEVELOPER OR HIS ENGINEER HAS LOCATED ALL FIELD HYDRANTS AND FUTURE SERVICE STUDS, ANY REQUIRED REALIGNMENT, EITHER HORIZONTAL OR VERTICAL, SHALL BE AT THE EXPENSE OF THE DEVELOPER.
4. ALL DUCTILE IRON PIPE, TO INCLUDE FITTINGS, VALVES AND FIELD HYDRANTS WILL BE WRAPPED WITH POLYETHYLENE TUBING, AND ELECTRICALLY ISOLATED.
5. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE DOUBLE BONDED. SPECIFICATIONS FOR CATHODIC PROTECTION ON BOTH PIP MAINS AND PVC MAINS IS SPECIFIED IN THE STANDARDS AND SPECIFICATIONS.
6. PVC MAIN MANIS SHALL BE INSTALLED WITH COATED NO. 12 TRACER WIRE.
7. THE CONTRACTOR IS REQUIRED TO NOTIFY THE WOEFIELD WATER AND SANITATION DISTRICT (390-7111) A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY AFFECTED UTILITY COMPANIES 48 HOURS PRIOR TO CONSTRUCTION ADJACENT TO THE KNOWN UTILITY LINES.
8. THE LOCATION OF ALL UTILITIES AS SHOWN ON THESE DRAWINGS ARE APPROXIMATE ONLY. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED PRIOR TO CONSTRUCTION BY THE CONTRACTOR.
9. THE CONTRACTOR SHALL FIELD EXCAVATE AND VERIFY THE VERTICAL AND HORIZONTAL LOCATION OF ALL TIE-INS. CONTRACTOR SHALL NOTIFY THE WOEFIELD WATER AND SANITATION DISTRICT AND THE ENGINEER OF THE FIELD VERIFIED INFORMATION PRIOR TO CONSTRUCTION.
10. ALL BENDS SHALL BE FIELD STAKED PRIOR TO CONSTRUCTION.
11. ANY WATER UTILITY MATERIAL REMOVED AND NOT REUSED SHALL BE RETURNED TO THE WOEFIELD WATER AND SANITATION DISTRICT IF THE DISTRICT SO REQUESTS.
12. THE CONTRACTOR SHALL AT HIS EXPENSE SUPPORT AND PROTECT ALL UTILITY MAINS SO THAT THEY WILL FUNCTION CONTINUOUSLY DURING CONSTRUCTION. SHOULD A UTILITY MAIN FAIL AS A RESULT OF THE CONTRACTOR'S OPERATION, IT WILL BE REPLACED IMMEDIATELY BY EITHER THE CONTRACTOR OR THE WOEFIELD WATER AND SANITATION DISTRICT AT FULL COST OF LABOR AND MATERIALS TO THE CONTRACTOR.
13. ANY PUMPING OR BYPASS OPERATIONS MUST BE REVIEWED AND APPROVED PRIOR TO EXECUTION BY BOTH THE WOEFIELD WATER AND SANITATION DISTRICT AND THE ENGINEER.
14. CONTRACTOR MUST REPLACE OR REPAIR ANY DAMAGE TO ALL SURFACE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO FENCES, CURBS AND GUTTER AND/OR ASPHALT THAT MAY BE CAUSED DURING CONSTRUCTION.
15. ALL WATER LINES 6" & LARGER, AND ALL SEWER LINES 8" & LARGER, SHALL HAVE AS "AS-BUILT" PLANS PREPARED AND APPROVED PRIOR TO FINAL ACCEPTANCE BY THE WOEFIELD WATER AND SANITATION DISTRICT.
16. PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE IS REQUIRED A MINIMUM OF 72 HOURS IN ADVANCE OF COMMENCEMENT OF WORK. TO SET THE PRE-CONSTRUCTION CONFERENCE, CONTACT BRANDON BERNARD - WATER DIVISION MANAGER AND/OR JASON DRESSSEN, WASTEWATER DIVISION MANAGER AT (719)955-0548 OF THE WOEFIELD WATER AND SANITATION DISTRICT FOR A TIME. NO PRE-CONSTRUCTION CONFERENCE WILL BE SET UNTIL THE PRE-CONSTRUCTION CONFERENCE DATES HAVE BEEN SET BY THE WOEFIELD WATER AND SANITATION DISTRICT. PRE-CONSTRUCTION DATE/INITIALS OF SIGNED DRAWINGS ARE RECEIVED BY THE WOEFIELD W & S DISTRICT.



	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	PROPOSED EASEMENT
	EXISTING EASEMENT LINE
	PROPOSED BUILDING OUTLINE
	PROPOSED WATER LINE
	EXISTING WATER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED STORM DRAIN LINE
	EXISTING STORM DRAIN LINE
	EXISTING STORM DRAIN LINE
	PROPOSED RIP RAP
	EXISTING ASPHALT PAVING
	PROPOSED FIRE HYDRANT
	PROPOSED GATE VALVE
	PROPOSED REDUCER
	PROPOSED WATER BEND/TEE
	PROPOSED SANITARY MANHOLE
	PROPOSED FES
	PROPOSED STORM MANHOLE
	PROPOSED COOT TYPE R STORM INLET

THE WIDEFIELD WATER AND SANITATION DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

DATE: _____ BY: _____

PROJECT NO. _____

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE 'RULES AND REGULATIONS FOR INSTALLATION OF WASTEWATER MAINS AND SERVICES' SHALL RULE.

APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL

THE WIDEFIELD WATER AND SANITATION DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

DATE: _____ BY: _____

PROJECT NO. _____

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE RULES AND REGULATIONS FOR INSTALLATION OF WATER MAINS AND SERVICES SHALL RULE.

APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL

BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6" WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, "T24S R66W W.C. 6.00' S 35 S36 S2 S1 T1 1/4 S R55W 2012 PLS 24313" AND ON THE SOUTH END BY A 3.5" ALUMINUM CAP, FOUND, "RMPS 19625", AND IS CONSIDERED TO BEAR N00°42'04"W.

PUBLISHED BENCHMARK
FIMS MONUMENT FX35
ELEVATION = 5980.39 (NAVD88)

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

Know what's **below**.
Call before you dig.

