

*Please show and label all the existing utility easements, and provide reception number or book, and page numbers.
 *Please show the proposed gas and electric meter locations.
 *Please show the proposed transformer location.

1919 MAIN STREET, LLC
 1919 MAIN STREET
 PARCEL NO: 65020-00-028
 ZONE: CC CAD-O
 USE: SERVICE GARAGE

GREAT DANE VENTURES, LLC
 MAIN STREET
 PARCEL NO: 65020-00-061
 ZONE: CC CAD-O
 USE: OFFICE/WAREHOUSE

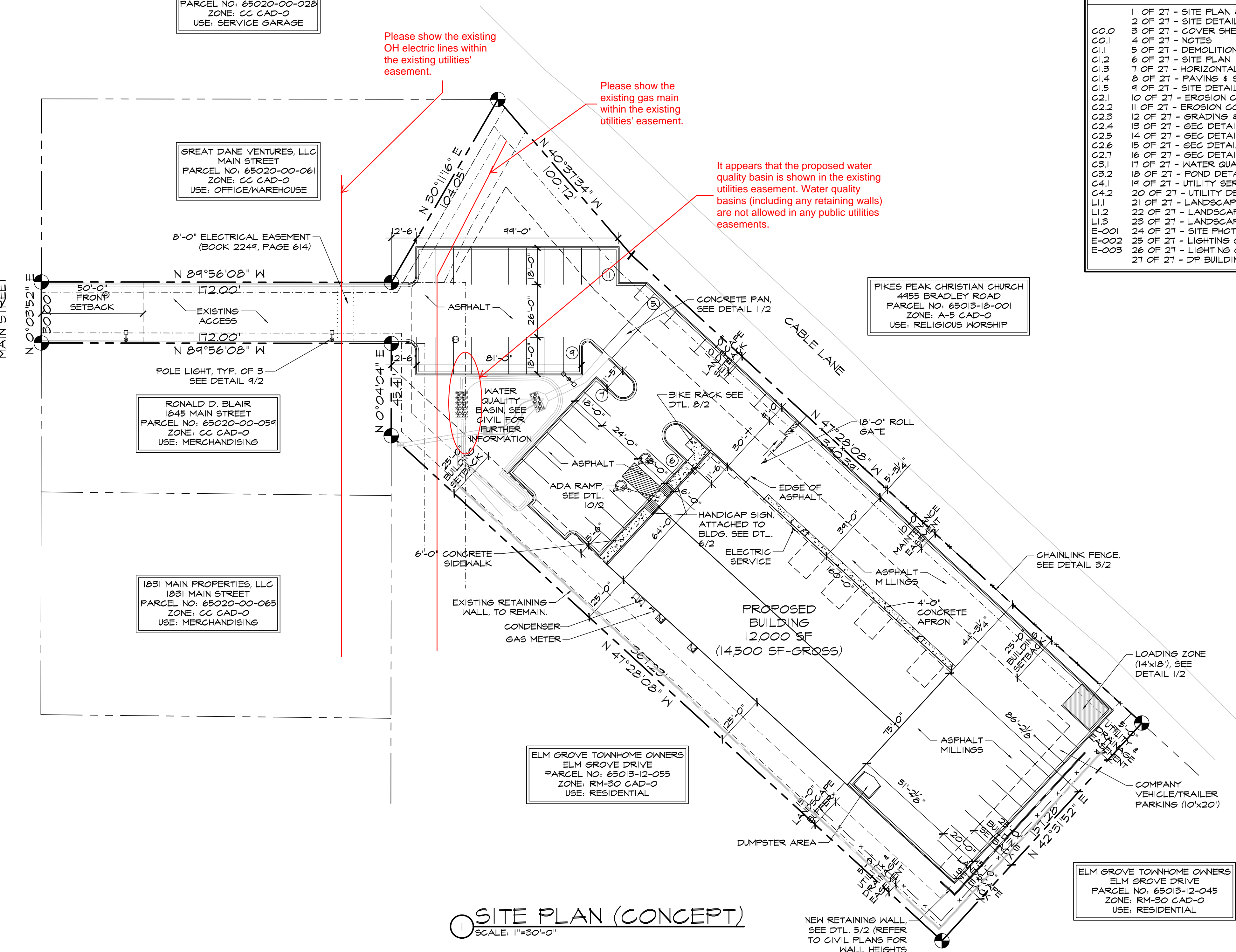
RONALD D. BLAIR
 1845 MAIN STREET
 PARCEL NO: 65020-00-059
 ZONE: CC CAD-O
 USE: MERCHANDISING

1831 MAIN PROPERTIES, LLC
 1831 MAIN STREET
 PARCEL NO: 65020-00-065
 ZONE: CC CAD-O
 USE: MERCHANDISING

ELM GROVE TOWNHOME OWNERS
 ELM GROVE DRIVE
 PARCEL NO: 65013-12-055
 ZONE: RM-30 CAD-O
 USE: RESIDENTIAL

ELM GROVE TOWNHOME OWNERS
 ELM GROVE DRIVE
 PARCEL NO: 65013-12-045
 ZONE: RM-30 CAD-O
 USE: RESIDENTIAL

PIKES PEAK CHRISTIAN CHURCH
 4485 BRADLEY ROAD
 PARCEL NO: 65013-18-001
 ZONE: A-5 CAD-O
 USE: RELIGIOUS WORSHIP



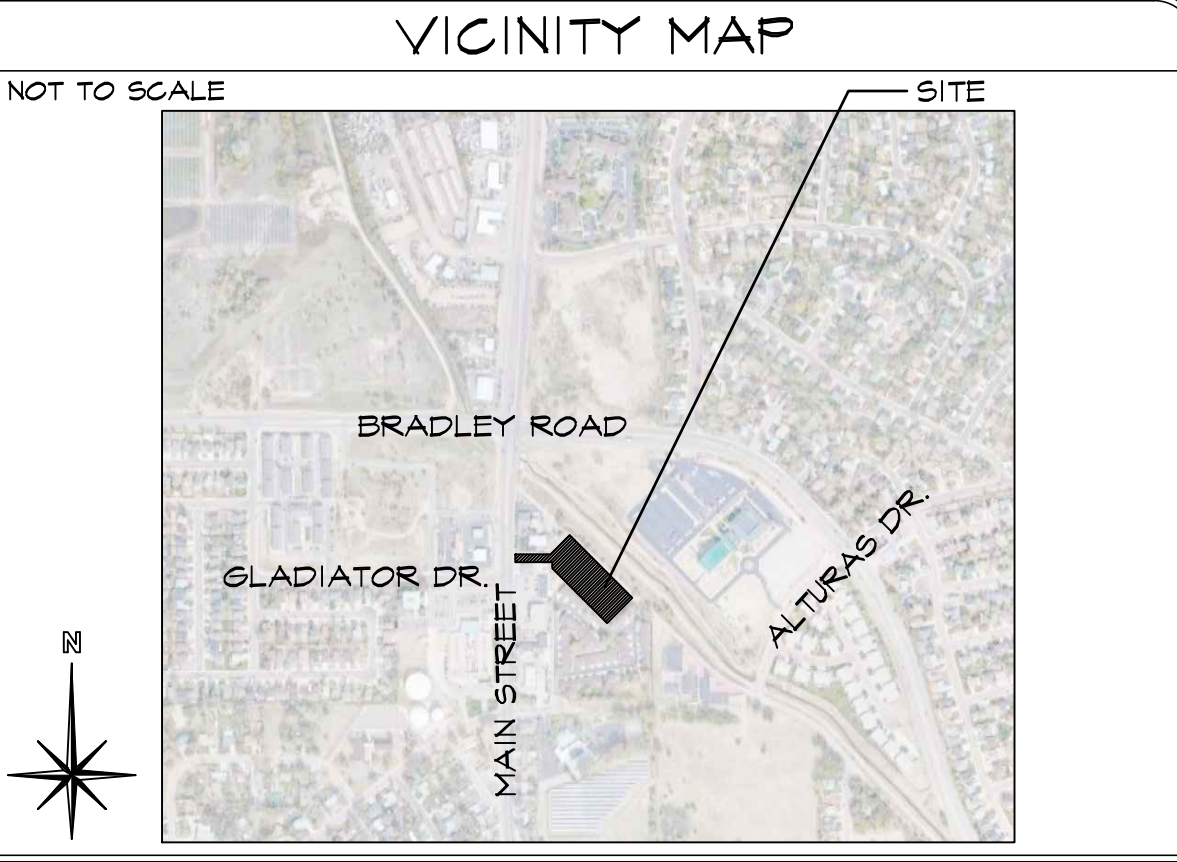
1 SITE PLAN (CONCEPT)
 SCALE: 1"=30'-0"

ADA NOTES

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

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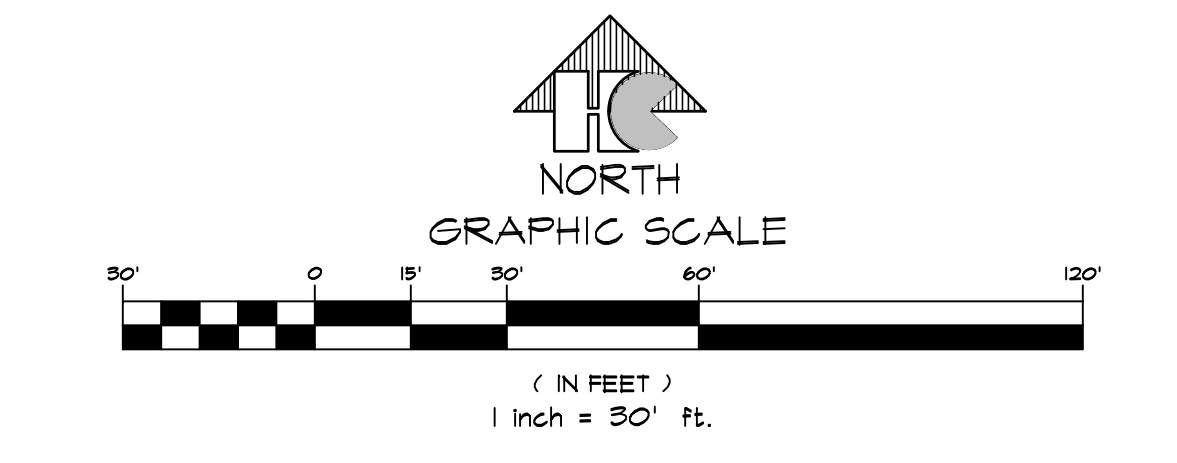


PROJECT INFORMATION

PROPERTY INFORMATION	
OWNER NAME:	GREAT DANE VENTURES, LLC
ADDRESS:	5403 HIGH NOON AVE COLORADO SPRINGS, CO 80923
LEGAL DESCRIPTION: LOT 2, ELM GROVE VILLA SUBDIVISION	
PARCEL NUMBER:	65013-12-002
ZONING:	CC CAD-O
LOT SIZE:	10,567 SF (1.62 ACRES)
CURRENT USE:	VACANT
FLOODPLAIN STATEMENT:	ZONE X (MAP NO. 08041C07636, DATED DEC 7, 2018)
ZONING CODE STUDY	
PROPOSED PRINCIPAL USE:	OFFICE, WAREHOUSE, WASH BAY & AUTO REPAIR, CONT. EQUIP. YARD
STRUCTURAL COVERAGE:	17%
PAVEMENT COVERAGE:	26%
STREET COVERAGE:	0%
LANDSCAPE COVERAGE:	6%
BUILDING STRUCTURAL HEIGHT:	27'-4 3/4" (45'-0" MAX)
FRONT YARD SETBACK:	50'-0"
SIDE YARD SETBACK:	25'-0"
REAR YARD SETBACK:	25'-0"
BUILDING INFORMATION	
GROSS BUILDING AREA:	14,500 SF
BUILDING FOOTPRINT:	12,000 SF
BUILDING OCCUPANCY:	B/S-1
TYPE OF CONSTRUCTION:	11-B
FIRE SYSTEMS:	NONE
AREA SEPARATION WALLS:	NONE
REQUIRED PARKING SPACES	
OFFICE-(1 SPACE/200 S.F.) (3,500 S.F. / 200 S.F.):	18
STORAGE/MEZZ-(1 SPACE/1,000 S.F.) (2,500 S.F. / 1,000 S.F.):	3
WAREHOUSE-(1 SPACE/1,000 S.F.) (8,500 S.F. / 1,000 S.F.):	4
H.C.-(1 SPACE/25 REQ'D):	2
TOTAL PARKING SPACES REQUIRED:	30
TOTAL PARKING SPACES PROVIDED:	30
STANDARD SPACES PROVIDED:	31
H.C. SPACES PROVIDED:	2
PARALLEL SPACES PROVIDED:	5
LOADING SPACE PROVIDED:	1 (14'x18')
(SEE DETAIL 1/2 FOR DIMENSIONS)	
DEVELOPMENT SCHEDULE	
CONSTRUCTION:	FALL 2021
LANDSCAPING:	SPRING 2022
DEVELOPMENT APPLICANT	
COMPANY:	HAMMERS CONSTRUCTION, INC. 1411 ADOLPHEY HEIGHTS COLO. SPRGS, CO 80915
PHONE NUMBER:	(719)-570-1544
FAX NUMBER:	(719)-570-7008
APPLICANT NAME:	LISA PETERSON
APPLICANT E-MAIL:	lpeterson@hammersconstruction.com

SITE LEGEND

---	PROPERTY LINE
- - - -	RIGHT OF WAY
----	BUILDING SETBACK
----	LANDSCAPE SETBACK
----	UTILITY/DRAINAGE EASEMENT
----	ELECTRICAL EASEMENT
----	ACCESS EASEMENT
x-x-x-x-x-x-x-x-x-x	OPAQUE CHAINLINK FENCE
o-o-o-o-o-o-o-o-o-o	6' HIGH WROUGHT IRON FENCE
g-g-g-g-g-g-g-g-g-g	GAS LINE
w-w-w-w-w-w-w-w-w-w	WATER LINE
e-e-e-e-e-e-e-e-e-e	ELECTRICAL LINE
s-s-s-s-s-s-s-s-s-s	SANITARY SEWER LINE
-----	STORM SEWER LINE
-----	RETAINING WALL
-----	NEW SIDEWALK LOCATIONS W/ CONTROL JOINTS @ 5'-0" O.C.
■	PROPERTY CORNER
→	TRAFFIC FLOW
□	WALL PACK LIGHTING
+	SIGN
○	MANHOLE
⊞	ELECTRICAL TRANSFORMER
○	EXISTING FIRE HYDRANT
○	PROPOSED FIRE HYDRANT
⊞	WALK DOOR OR OVERHEAD DOOR LOCATIONS



HAMMERS CONSTRUCTION INC.
 COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD
 PRESIDENT: STEVE R. HAMMERS
 VICE PRES: DAVID J. HAMMERS
 1411 ADOLPHEY HEIGHTS
 COLORADO SPRINGS, CO 80915
 (719) 570-1544 FAX (719) 570-7008
 www.hammersconstruction.com

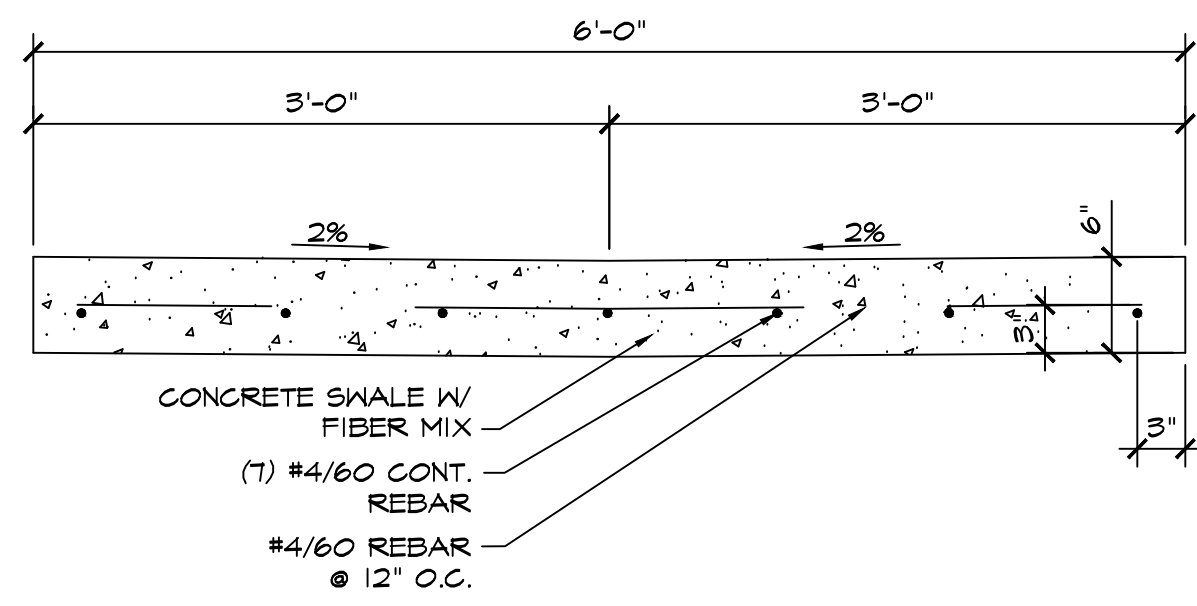
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SMITH PLUMBING & HTG
 1875 MAIN STREET
 COLORADO SPRINGS, CO 80911
 EL PASO COUNTY, COLORADO

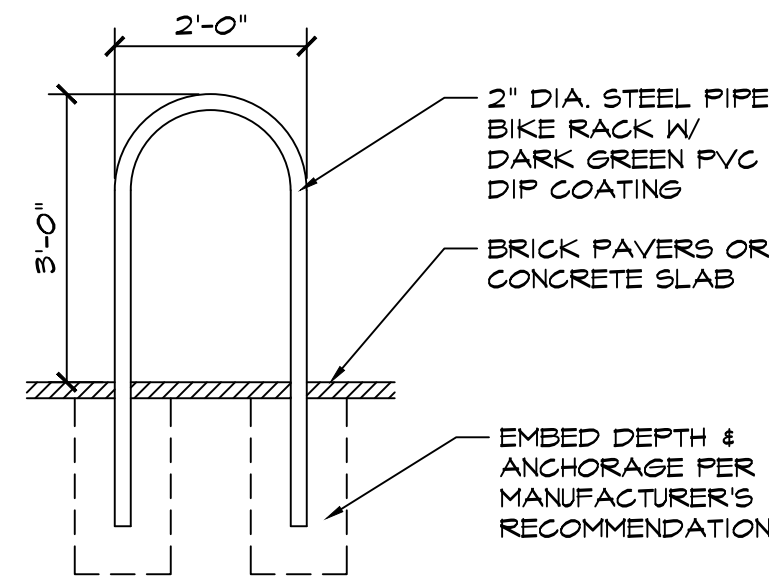
DATE: SEP 1, 2021
 DRAWN BY: J. LATHAM
 PROJ. MGR: R. GREEN
 SCALE: SEE PLAN
 APPROVED BY:
 JOB NO: 1244

RESUBMITTALS:

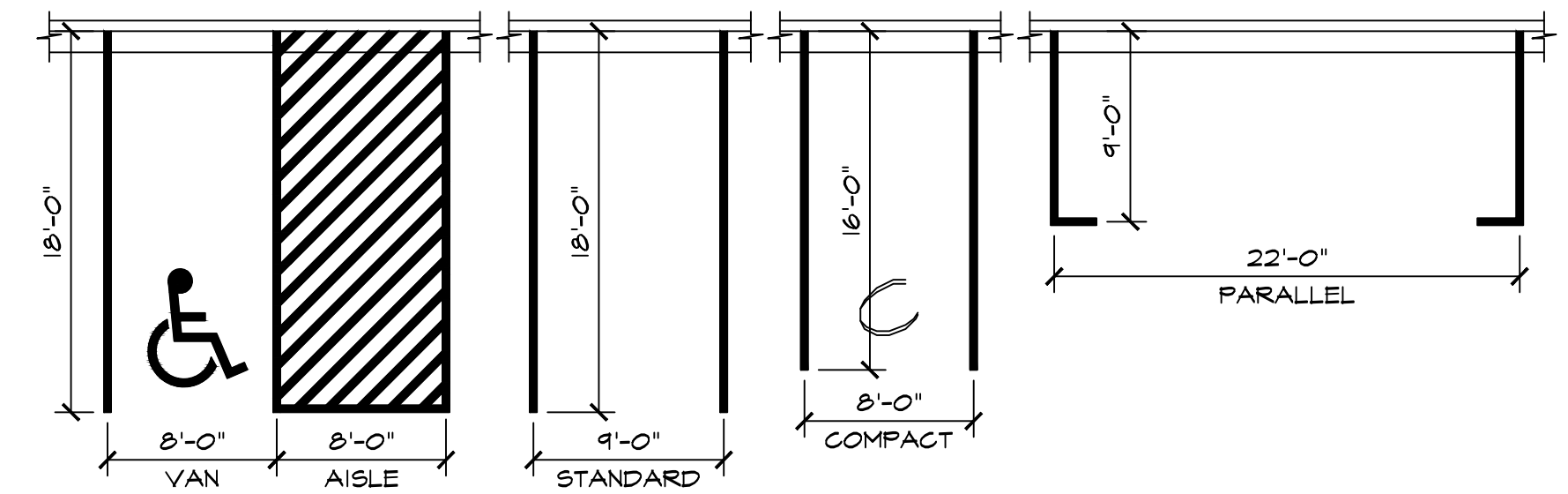
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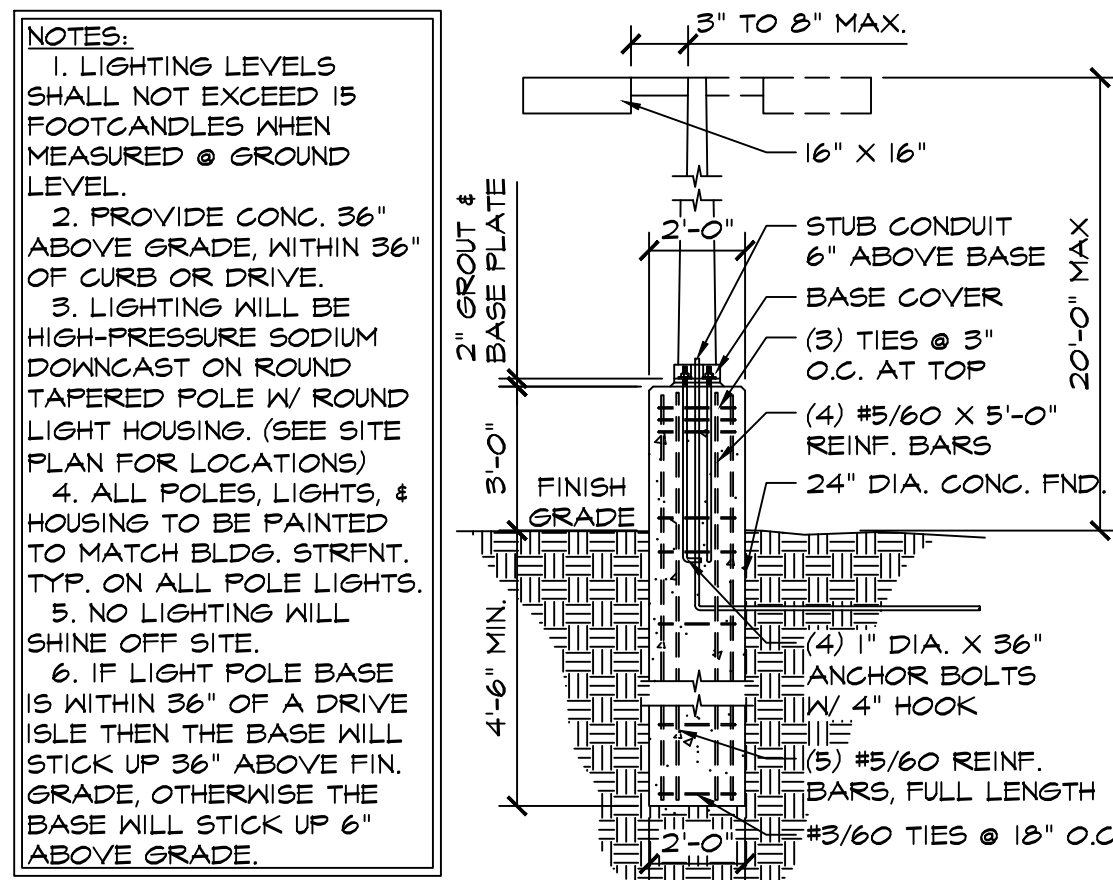
11 6'-0" CROSSSPAN DETAIL
SCALE: 1"=1'-0"



8 BIKE RACK DETAIL
SCALE: 1/2"=1'-0"

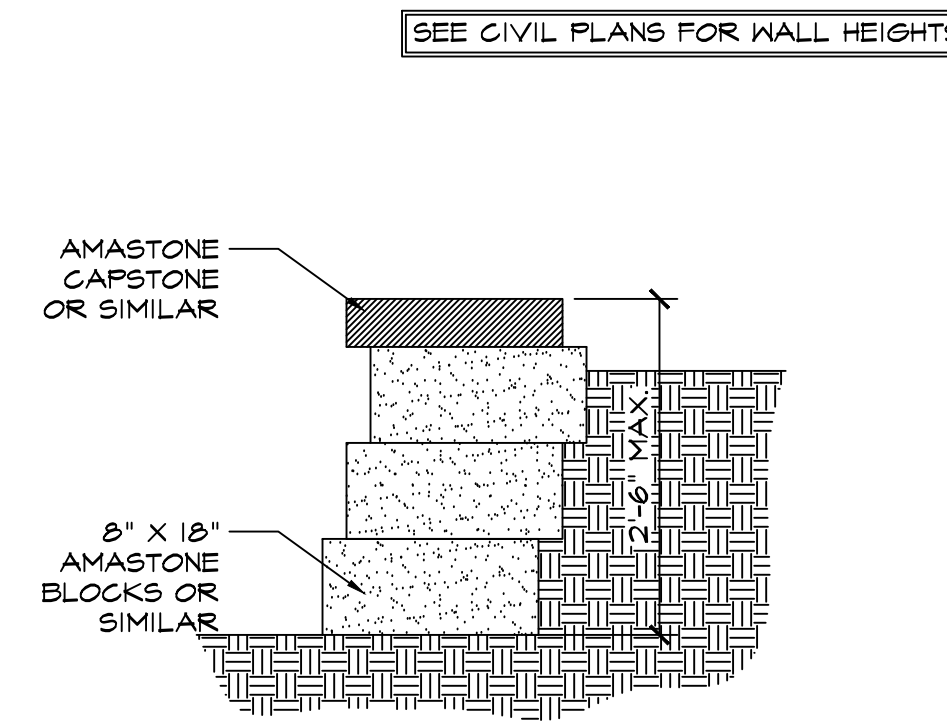


1 ADA / STANDARD PARKING
SCALE: 1/8"=1'-0"



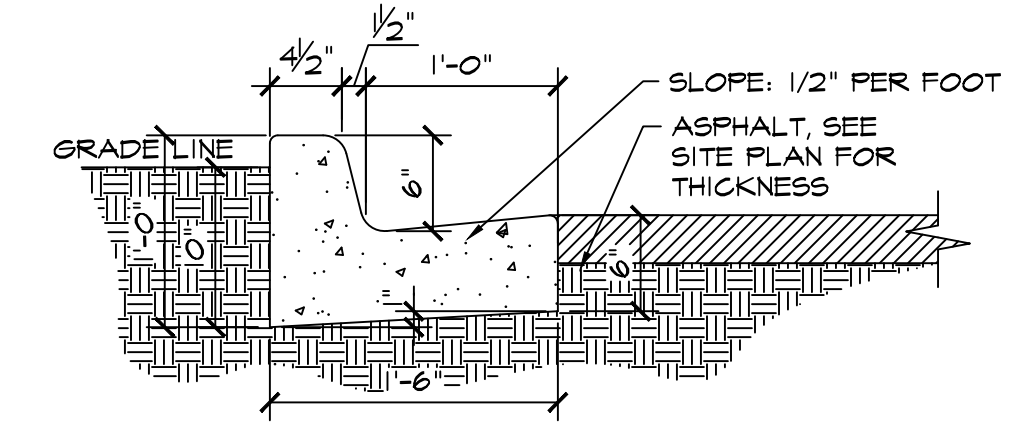
9 LIGHT POLE BASE DETAIL
SCALE: 1/4"=1'-0"

NOTES:
1. LIGHTING LEVELS SHALL NOT EXCEED 15 FOOTCANDLES WHEN MEASURED @ GROUND LEVEL.
2. PROVIDE CONC. 36" ABOVE GRADE, WITHIN 36" OF CURB OR DRIVE.
3. LIGHTING WILL BE HIGH-PRESSURE SODIUM DOWNCAST ON ROUND TAPERED POLE W/ ROUND LIGHT HOUSING. (SEE SITE PLAN FOR LOCATIONS)
4. ALL POLES, LIGHTS, & HOUSING TO BE PAINTED TO MATCH BLDG. STRENT. TYP. ON ALL POLE LIGHTS.
5. NO LIGHTING WILL SHINE OFF SITE.
6. IF LIGHT POLE BASE IS WITHIN 36" OF A DRIVE ISLE THEN THE BASE WILL STICK UP 36" ABOVE FIN. GRADE, OTHERWISE THE BASE WILL STICK UP 6" ABOVE GRADE.



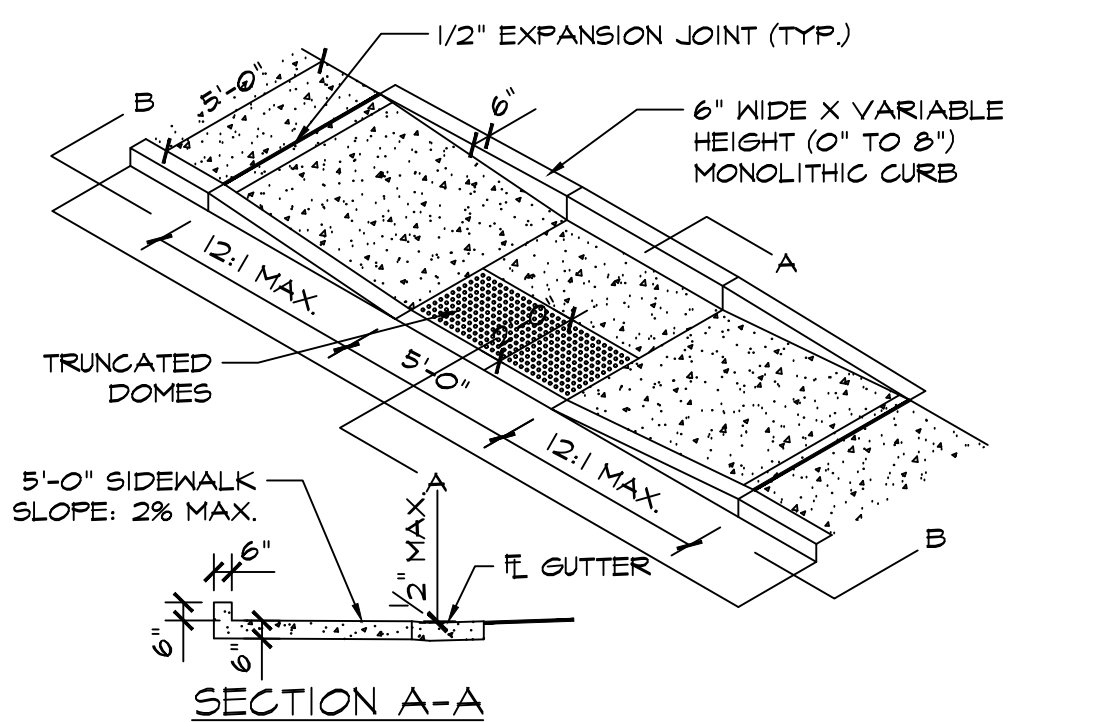
5 RETAINING WALL DETAIL
SCALE: 3/4"=1'-0"

SEE CIVIL PLANS FOR WALL HEIGHTS

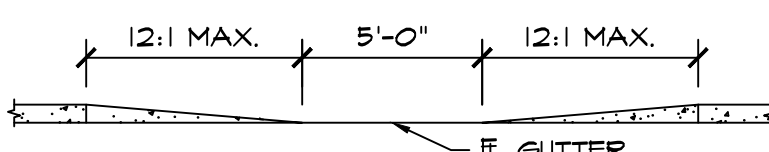


2 EPC TYPE B CURB
SCALE: 1"=1'-0"

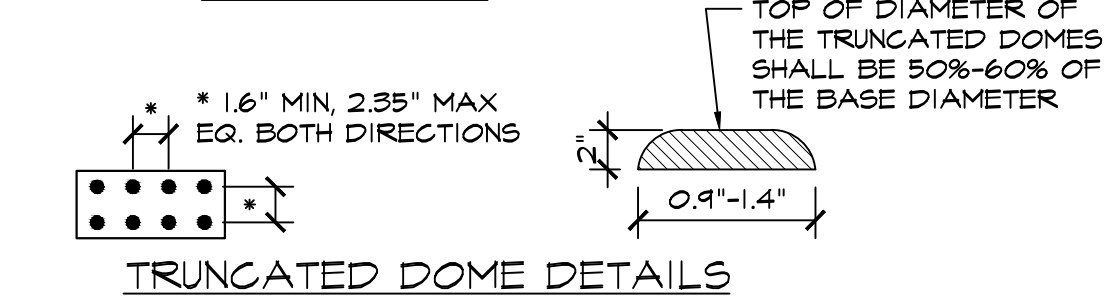
NOTE:
-ALL INTERNAL CURB THIS TYPE UNLESS NOTED OTHERWISE
-SEE CIVIL PLANS FOR CARRY OR SPILL CURB LOCATIONS



SECTION A-A

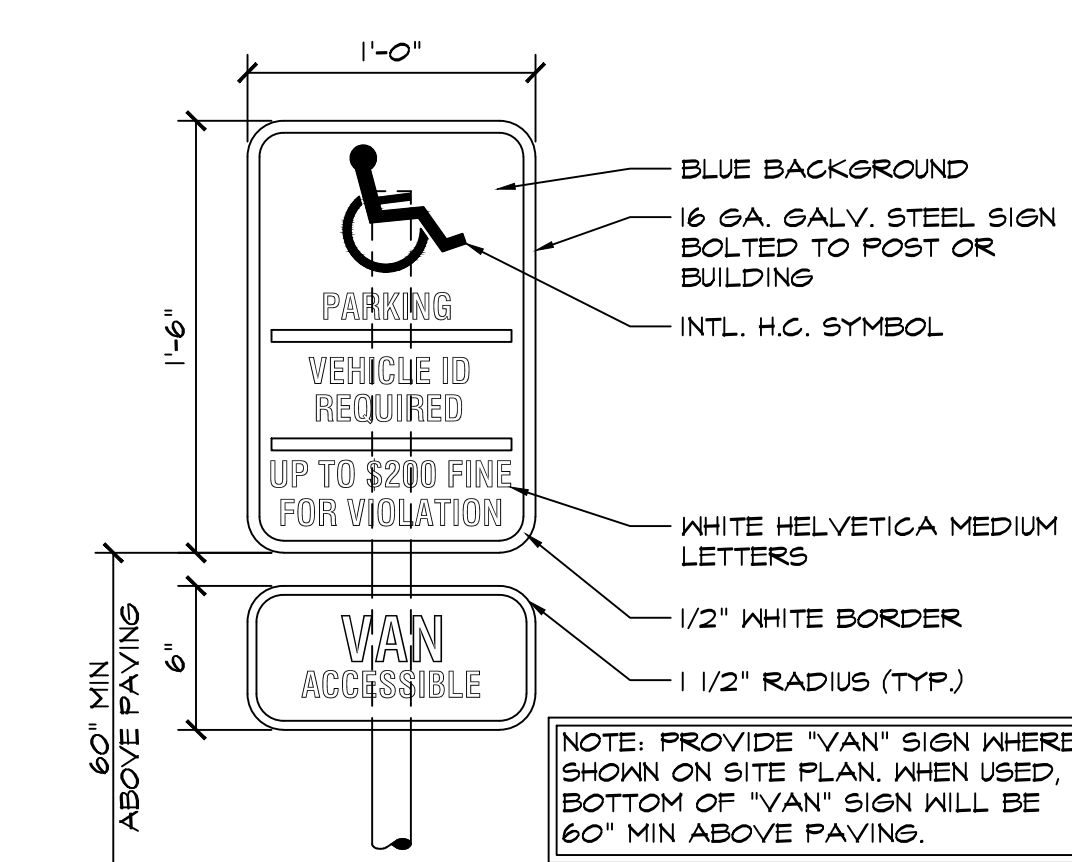


SECTION B-B

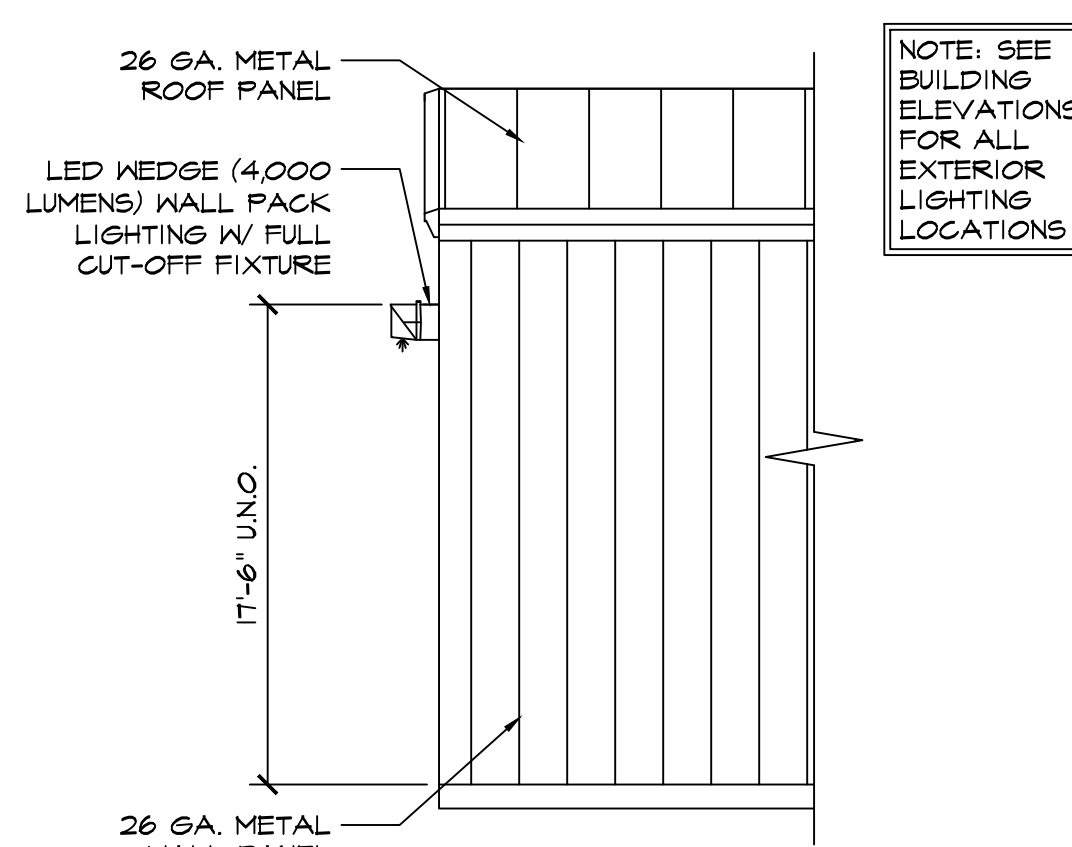


GENERAL NOTES:
1. ALL WORK TO BE DONE IN ACCORDANCE WITH CURRENT EL PASO COUNTY ENGINEERING DIVISION STANDARD SPECIFICATIONS.
2. SIDEWALK CROSS-SLOPE: 1/4"/FT.
3. CONTRACTOR TO OBTAIN REQUIRED CONCRETE PERMIT AND RAMP PERMIT AT ENGINEERING DIVISION INSPECTION OFFICE PRIOR TO CONSTRUCTION.
4. CONTRACTOR TO NOTIFY ENGINEERING DIVISION INSPECTION OFFICE AT LEAST 24 HOURS PRIOR TO PLACEMENT OF ANY CONCRETE.
5. THE RAMP SURFACES SHALL BE FINISHED WITH A COARSE BROOM FINISH, PARALLEL WITH THE SCORING, IN ACCORDANCE WITH SECTION 504.05 OF THE STANDARD SPECIFICATIONS.
6. CONTRACTOR SHALL STAMP THE COMPANY NAME AND CONSTRUCTION DATE WITHIN THE PEDESTRIAN RAMP AREA.
7. PEDESTRIAN TRAVELWAY AND/OR LOCATION OF EXISTING OR FUTURE PEDESTRIAN RAMP ON OPPOSITE CORNERS SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMP. NEW RAMP SHALL ALIGN WITH EXISTING RAMP AND PEDESTRIAN TRAVELWAY.
8. SHADED AREA: 6" THICK CONCRETE

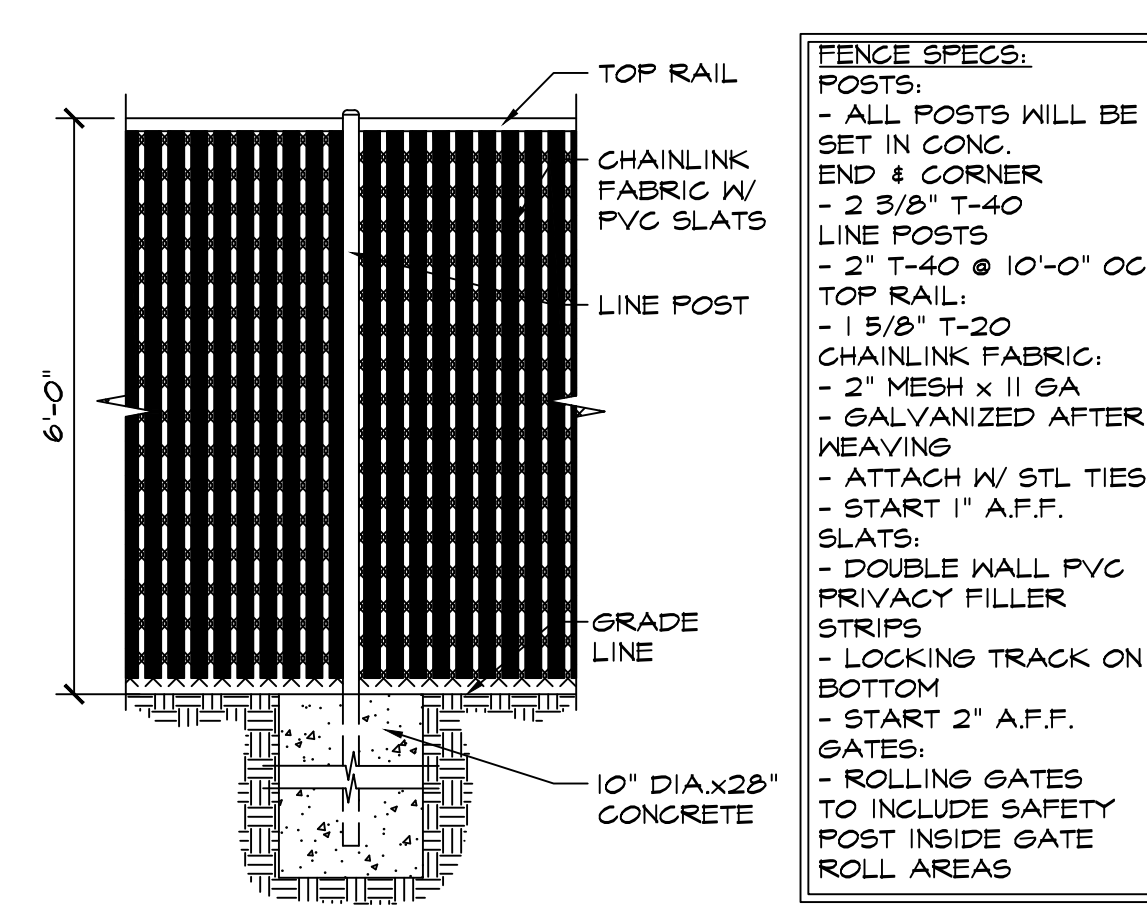
10 PEDESTRIAN RAMP DETAIL D-8J
SCALE: 3/16"=1'-0"



6 HANDICAPPED PARKING SIGN
SCALE: 1 1/2"=1'-0"

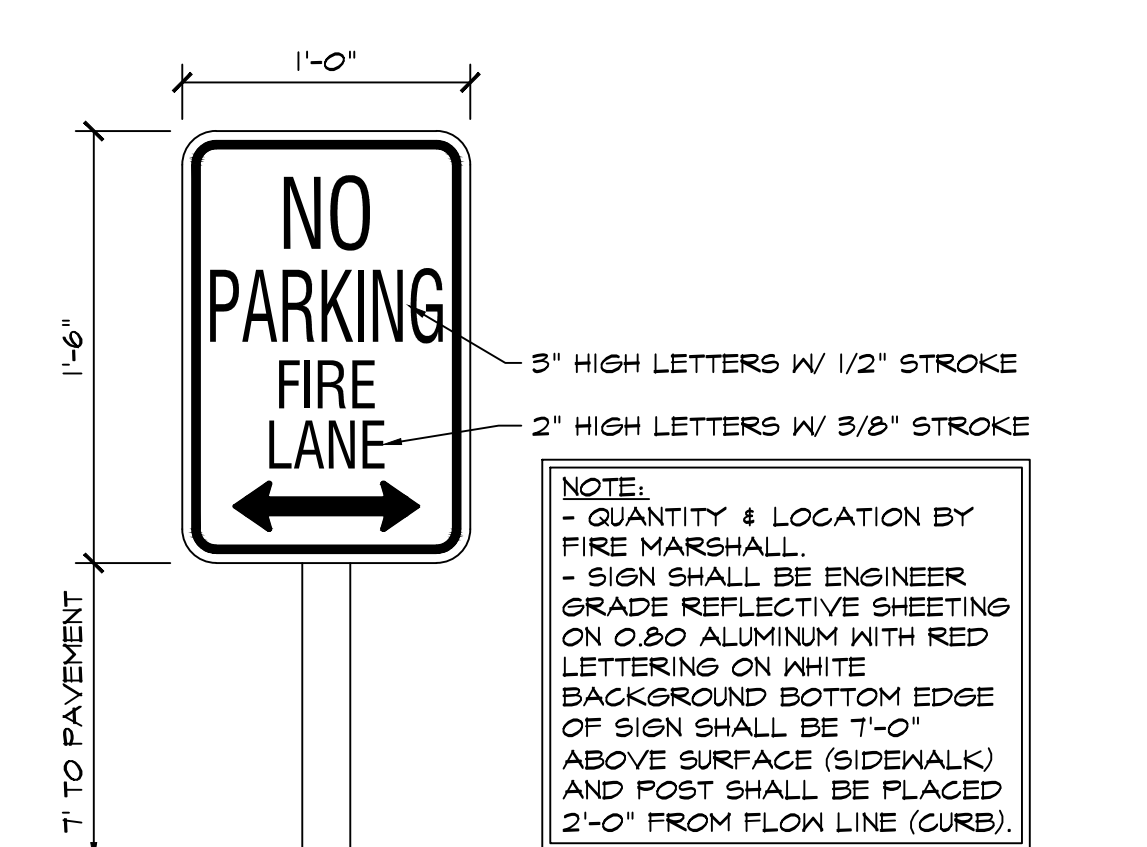


7 WALL PACK LIGHT DETAIL
SCALE: 1/4"=1'-0"



3 CHAINLINK FENCE DETAIL
SCALE: 1/2"=1'-0"

FENCE SPECS:
POSTS:
- ALL POSTS WILL BE SET IN CONC.
- END & CORNER
- 2 3/8" T-40 LINE POSTS
- 2" T-40 @ 10'-0" OC
TOP RAIL:
- 1 1/2" T-20 CHAINLINK FABRIC
- 2" MESH x 11 GA
- GALVANIZED AFTER WEAVING
- ATTACH W/ STL TIES
- START 1" A.F.F. SLATS
- DOUBLE WALL PVC PRIVACY FILLER STRIPS
- LOCKING TRACK ON BOTTOM
- START 2" A.F.F. GATES
- ROLLING GATES TO INCLUDE SAFETY POST INSIDE GATE ROLL AREAS



4 FIRE LANE SIGN
SCALE: 1 1/2"=1'-0"

NOTE:
- QUANTITY & LOCATION BY FIRE MARSHALL.
- SIGN SHALL BE ENGINEER GRADE REFLECTIVE SHEETING ON 0.80 ALUMINUM WITH RED LETTERING ON WHITE BACKGROUND BOTTOM EDGE OF SIGN SHALL BE 7'-0" ABOVE SURFACE (SIDEWALK) AND POST SHALL BE PLACED 2'-0" FROM FLOW LINE (CURB).