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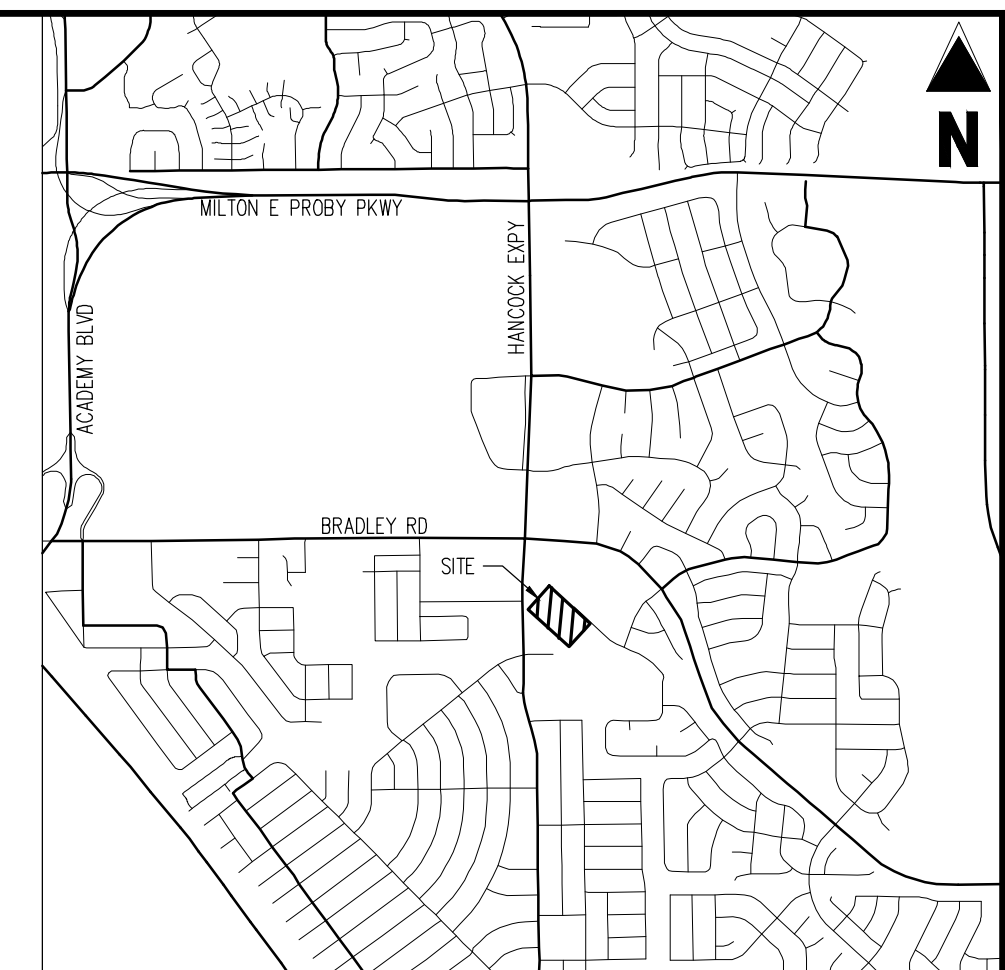
**CONSTRUCTION DOCUMENTS
 SMITH PLUMBING & HEATING
 FOR
 HAMMERS CONSTRUCTION, LLC**
 1875 MAIN STREET
 COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

#	Date	Issue / Description	Init.

Project No: HCl000008
 Drawn By: TPPT
 Checked By: CMD
 Date: 02/02/2022

HORIZONTAL CONTROL PLAN

PCD FILING NO. PPR2143
C1.3
 Sheet 5 of 18



VICINITY MAP
 SCALE: 1"=500'

SITE LEGEND

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	PROPOSED BUILDING HATCH
	PROPOSED CONCRETE PAVING
	PROPOSED BUILDING OUTLINE
	PROPOSED EASEMENT
	PROPOSED FENCE
	EXISTING EASEMENT LINE
	EXISTING LANDSCAPE BUFFER
	EXISTING ASPHALT EDGE
	EXISTING CURB & GUTTER
	EXISTING BUILDING HATCH
	EXISTING ASPHALT PAVING

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FLOWLINE OF CURB UNLESS OTHERWISE NOTED.

BASIS OF BEARINGS

BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6" WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, T24S R66W W.C. 6.00' S 35 536 S2 S1 11 1/4 S R55W 2012 PLS 2431.3" AND ON THE SOUTH END BY A 3.5" ALUMINUM CAP, FOUND, RMP5 1962'S, AND IS CONSIDERED TO BEAR N0042°04'W.

BENCHMARK

PUBLISHED BENCHMARK
 FMS MONUMENT F335
 ELEVATION = 5980.39 (NAVD83)

NOTE: CONTRACTOR MUST COORDINATE WORK WITH WIDEFIELD WATER AND SANITATION DISTRICT AND EL PASO COUNTY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

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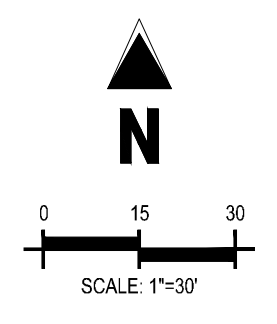
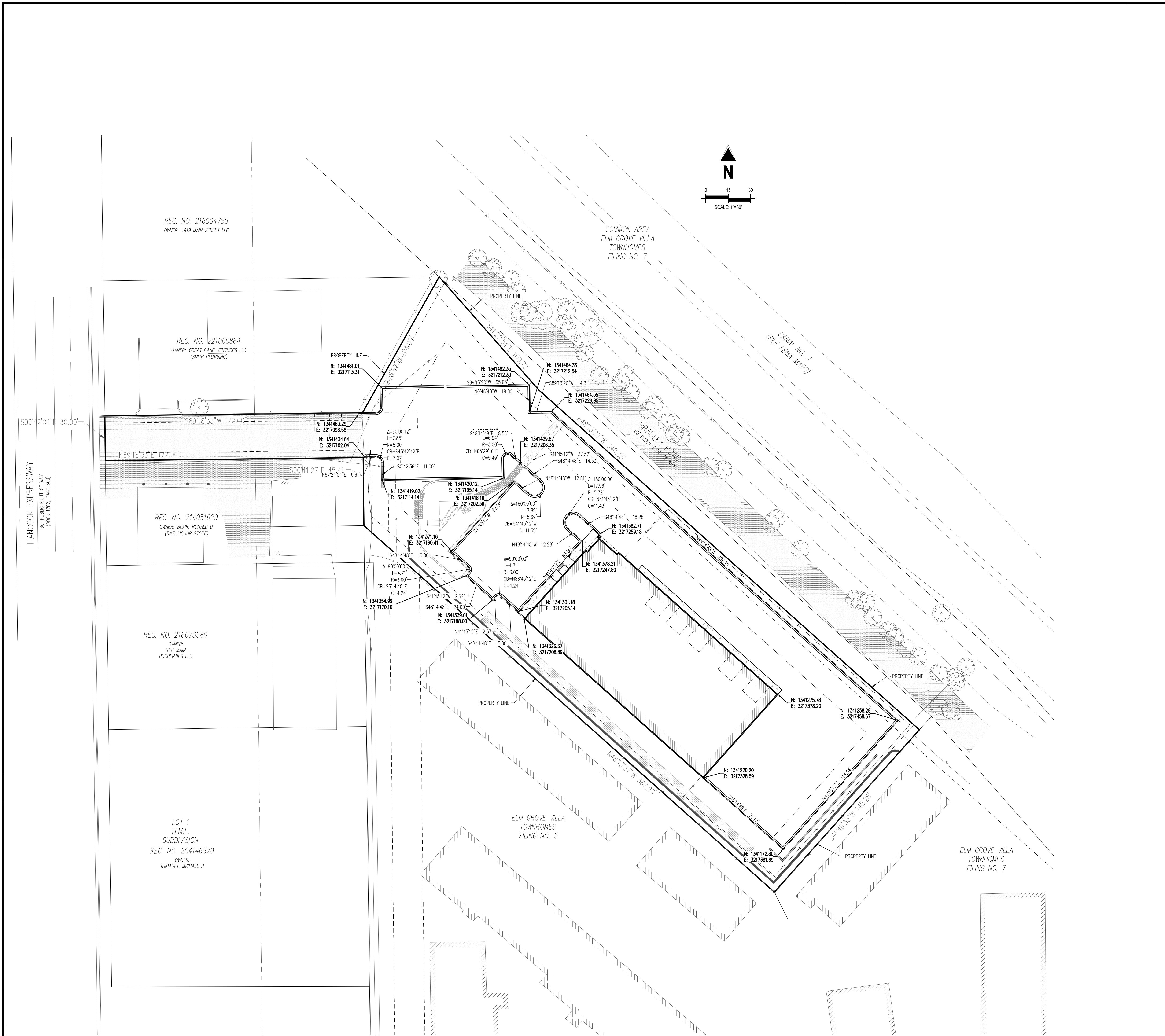
NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

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2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



EPC 5/18/2022



REC. NO. 216004785
 OWNER: 1919 MAIN STREET LLC

REC. NO. 221000864
 OWNER: GREAT DOME VENTURES LLC
 (SMITH PLUMBING)

REC. NO. 214051629
 OWNER: BLAIR, RONALD D.
 (R&R LIQUOR STORE)

REC. NO. 216073586
 OWNER:
 1831 MAIN PROPERTIES LLC

LOT 1
 H.M.L.
 SUBDIVISION
 REC. NO. 204146870
 OWNER:
 THIBAUT, MICHAEL R

COMMON AREA
 ELM GROVE VILLA
 TOWNHOMES
 FILING NO. 7

CANAL NO. 4
 (PER FEMA MAPS)

ELM GROVE VILLA
 TOWNHOMES
 FILING NO. 5

ELM GROVE VILLA
 TOWNHOMES
 FILING NO. 7

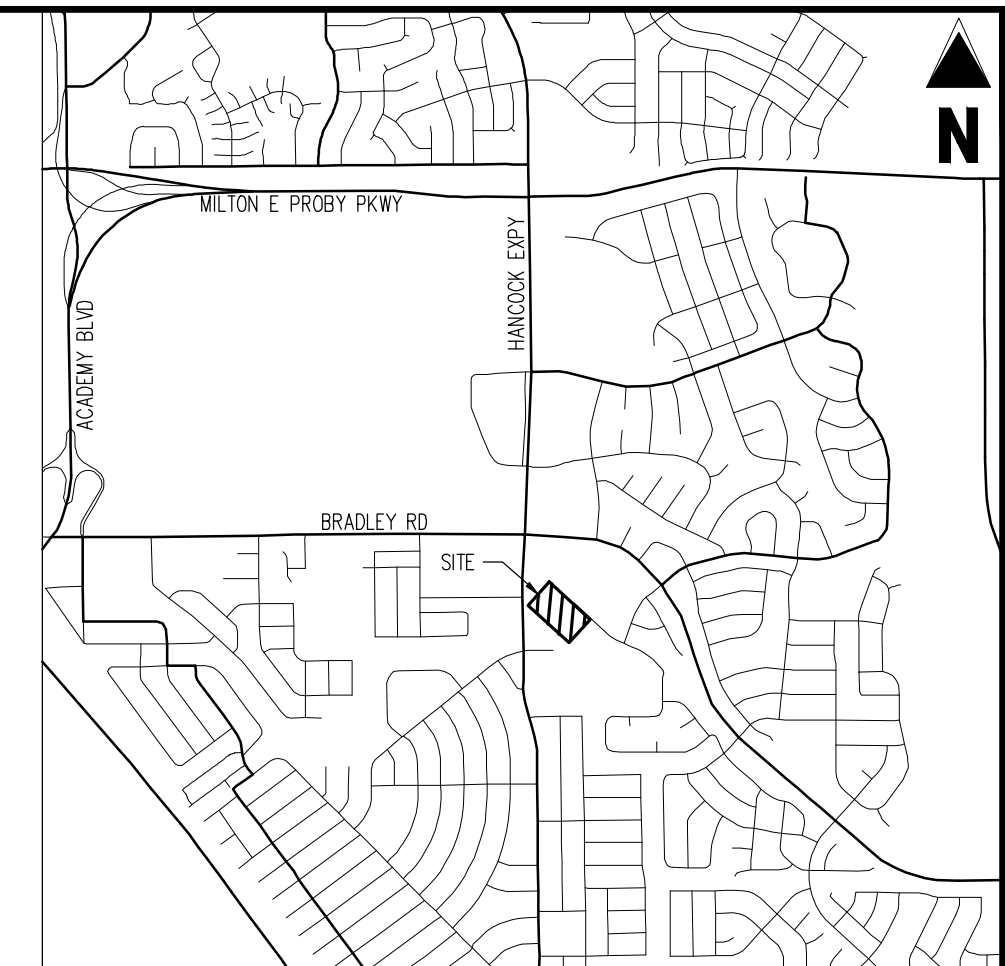
11/18/2022 10:00 AM P:\Projects\2022\2022-01-1875 Main Street\2022-01-1875 Main Street.dwg (P) Paul D. Smith



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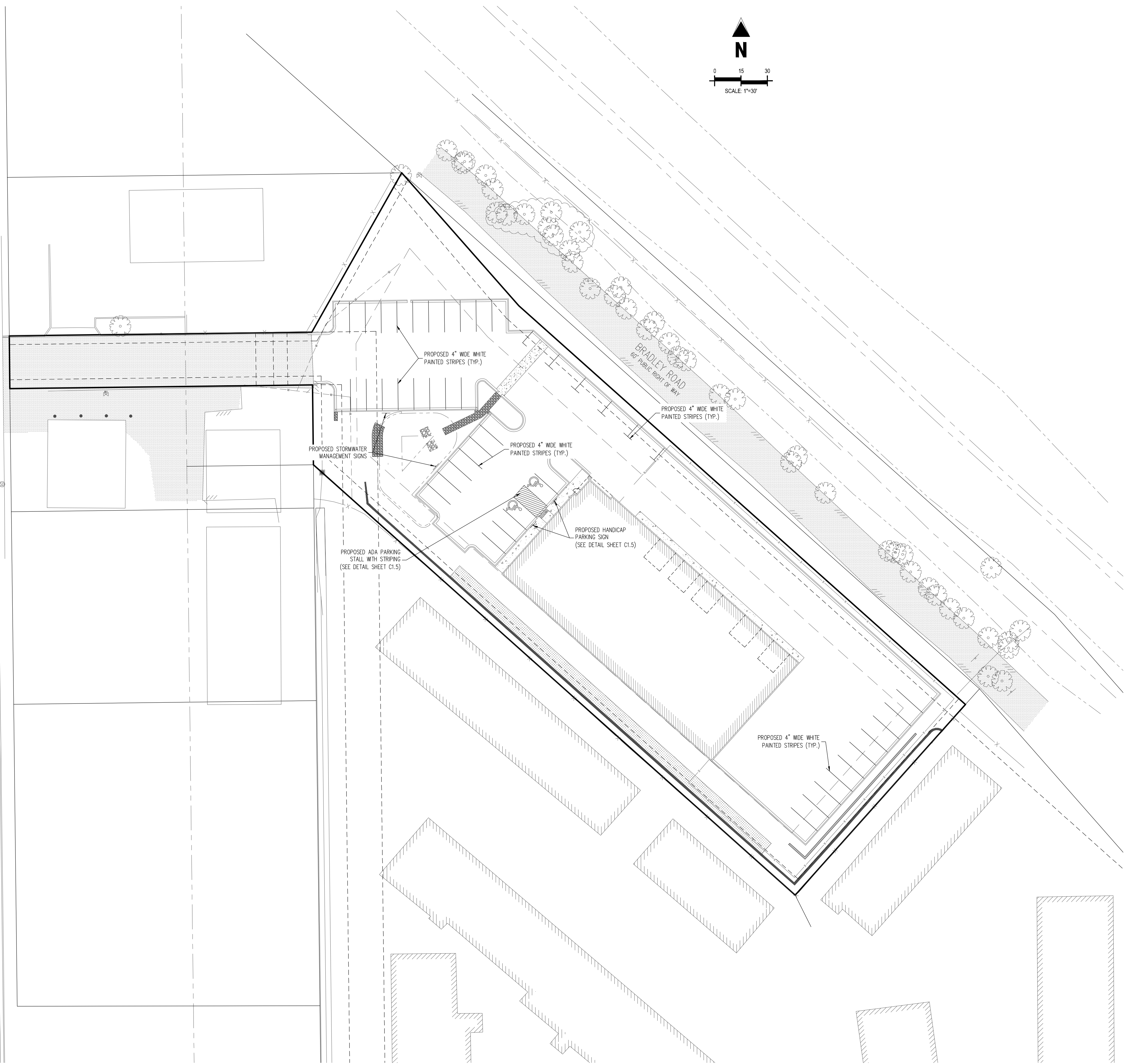
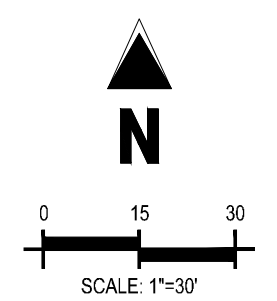
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1875 MAIN STREET
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY



VICINITY MAP
SCALE: 1"=500'

SITE LEGEND

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	PROPOSED BUILDING HATCH
	PROPOSED CONCRETE PAVING
	PROPOSED BUILDING OUTLINE
	PROPOSED EASEMENT
	PROPOSED FENCE
	EXISTING EASEMENT LINE
	EXISTING LANDSCAPE BUFFER
	EXISTING ASPHALT EDGE
	EXISTING CURB & GUTTER
	EXISTING FENCE
	EXISTING BUILDING HATCH
	EXISTING ASPHALT PAVING



GENERAL NOTES

1. REFER TO GRADING & EROSION CONTROL PLAN FOR ADA RAMP & FINE GRADING.
2. REFER TO UTILITY SERVICE PLANS FOR WATER AND WASTEWATER CONSTRUCTION PLANS.
3. ALL WORK & MATERIAL SHALL COMPLY WITH ALL COUNTY REGULATIONS AND CODES AND OSHA STANDARD.
4. NO WETLANDS ARE PRESENT ON SITE.
5. ALL PROPOSED PAVING AREAS & DRIVE AISLES TO BE PAVED W/ ASPHALT.
6. ALL PROPOSED SIDEWALKS TO BE CONSTRUCTED W/ CONCRETE, 4" THICK.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGE TO ANY EXISTING ITEMS THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION AND DEMOLITION ARE COMPLETE. THOSE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, DRAINAGE SYSTEMS, UTILITIES, CURBING, PAVING, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN EXISTING CONDITIONS.

ADA DESIGN PROFESSIONAL STATEMENT

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

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BENCHMARK

PUBLISHED BENCHMARK
FMS MONUMENT F335
ELEVATION = 5880.39 (NAVD88)

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Project No: HCI000008
Drawn By: TPPT
Checked By: CMD
Date: 02/02/2022

PAVING & STRIPING PLAN

PCD FILING NO. PPR2143

C1.4

Sheet 6 of 18

HANCOCK EXPRESSWAY
60' PUBLIC RIGHT OF WAY
(BOOK 192L PAGE 600)



02/02/2022

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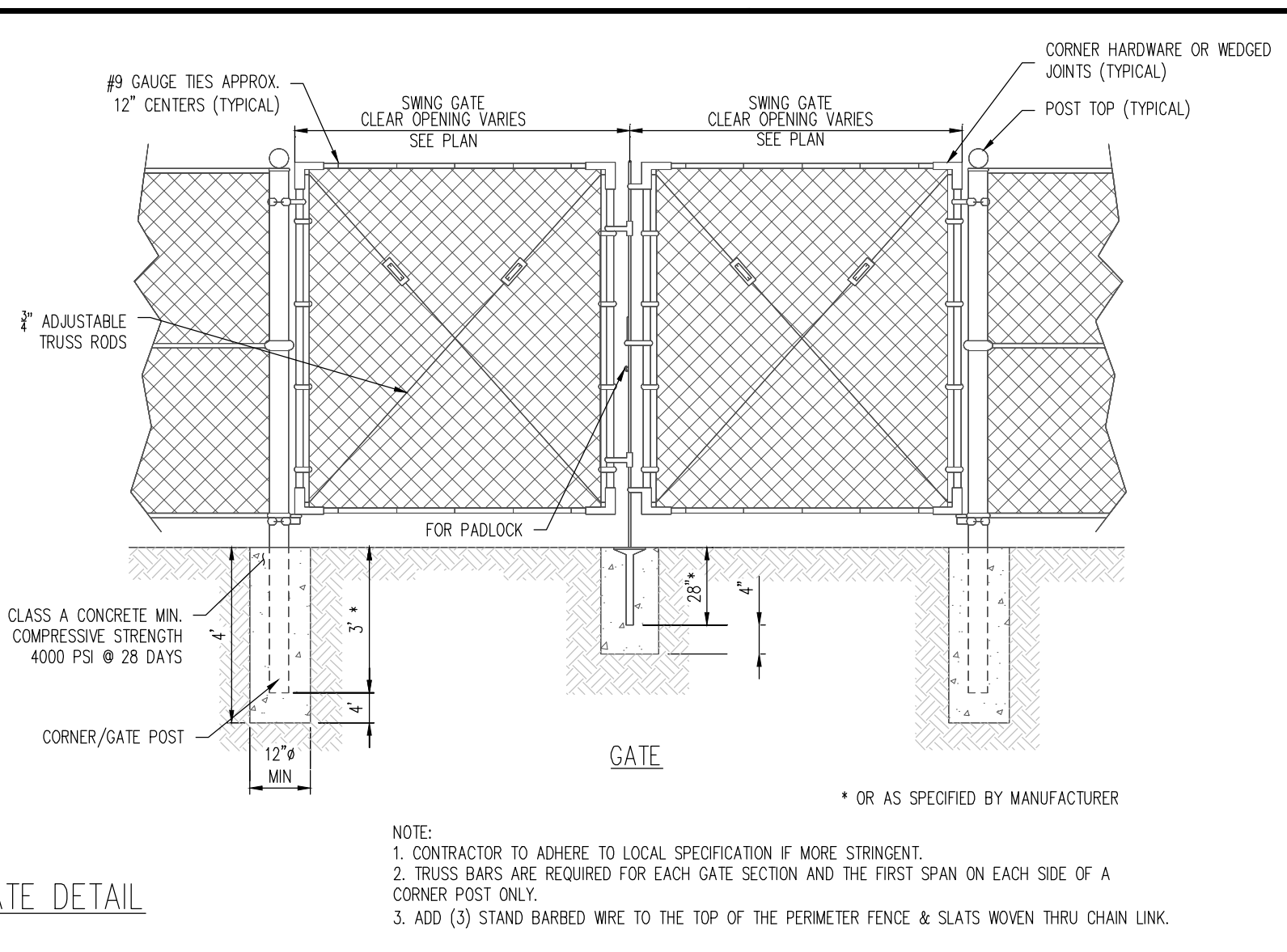
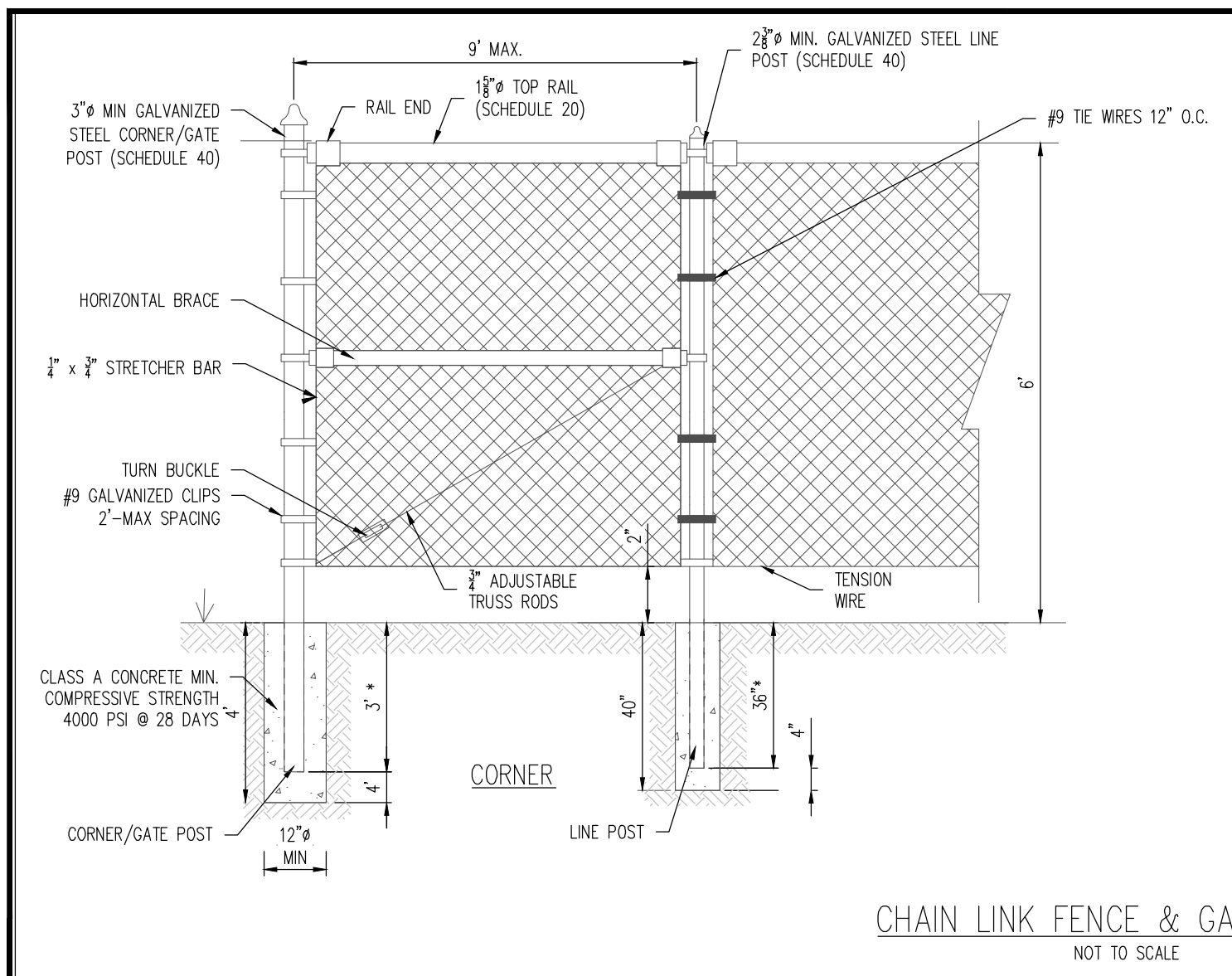
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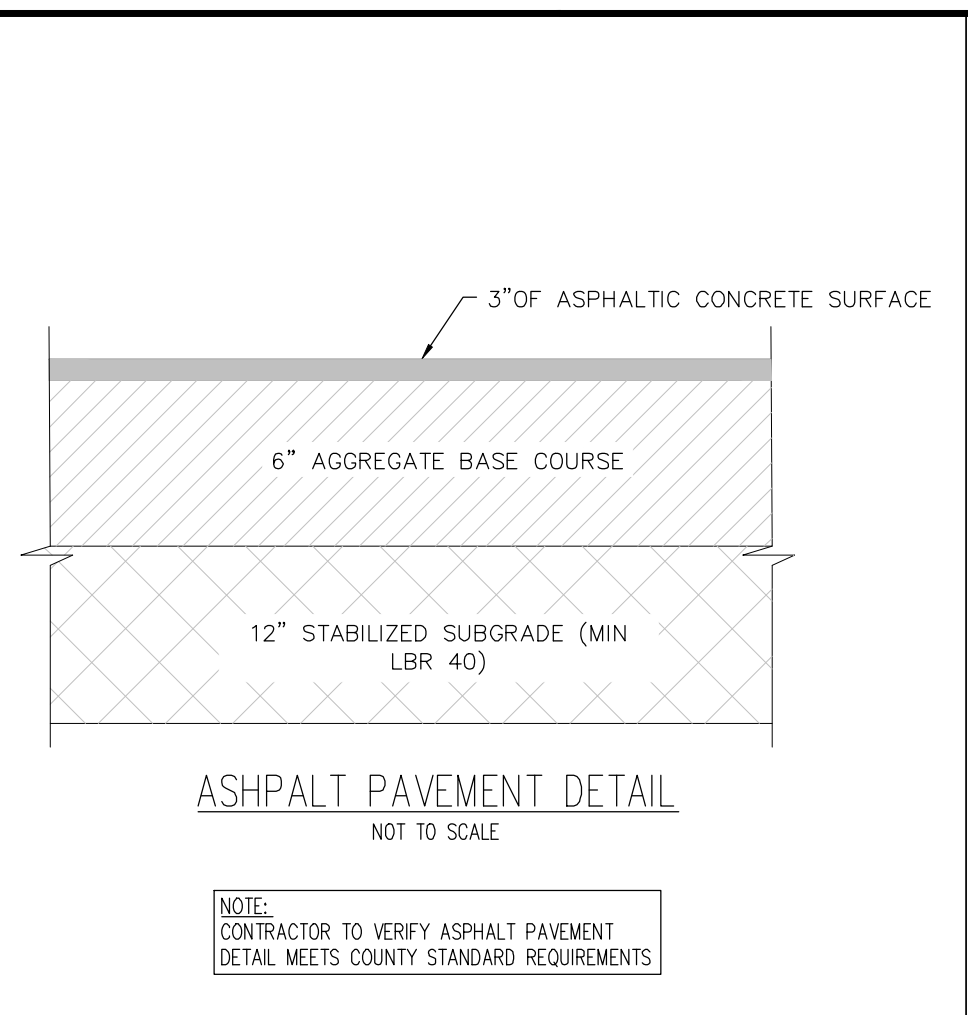
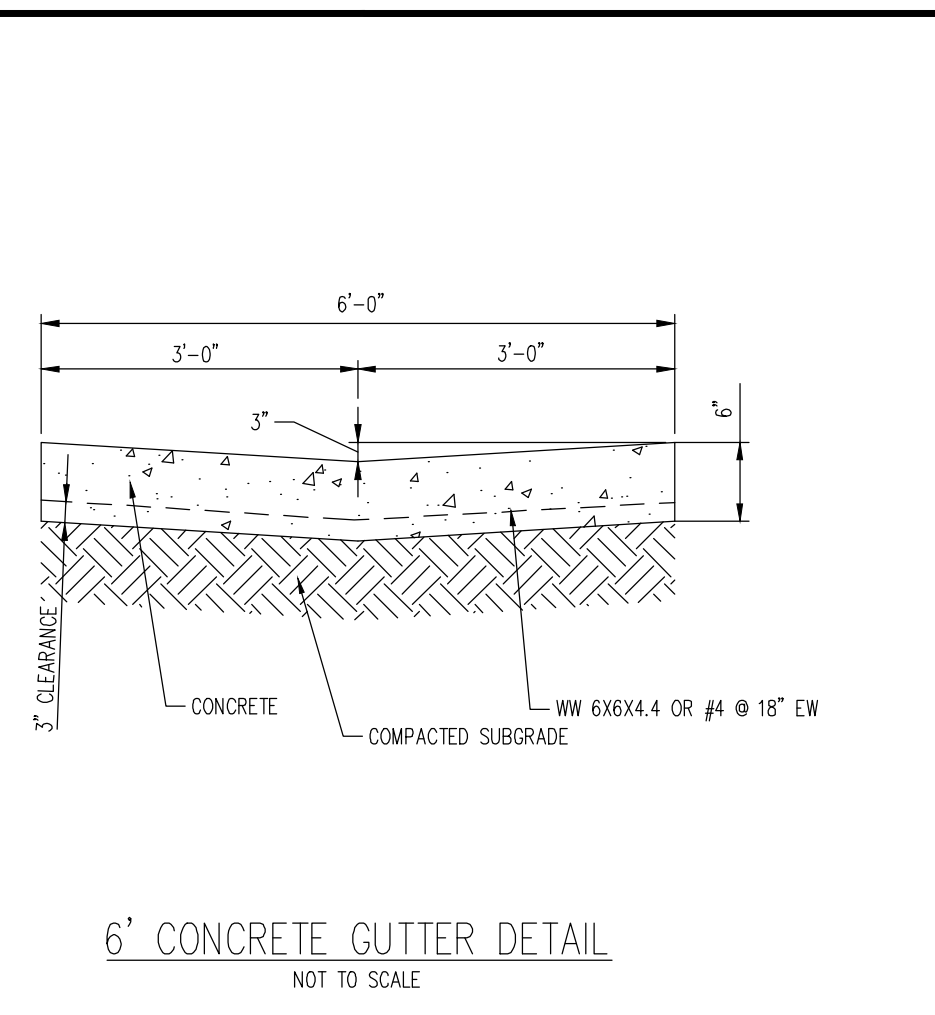
Project No: HCl000008
Drawn By: TPT
Checked By: CMD
Date: 02/02/2022

SITE DETAILS

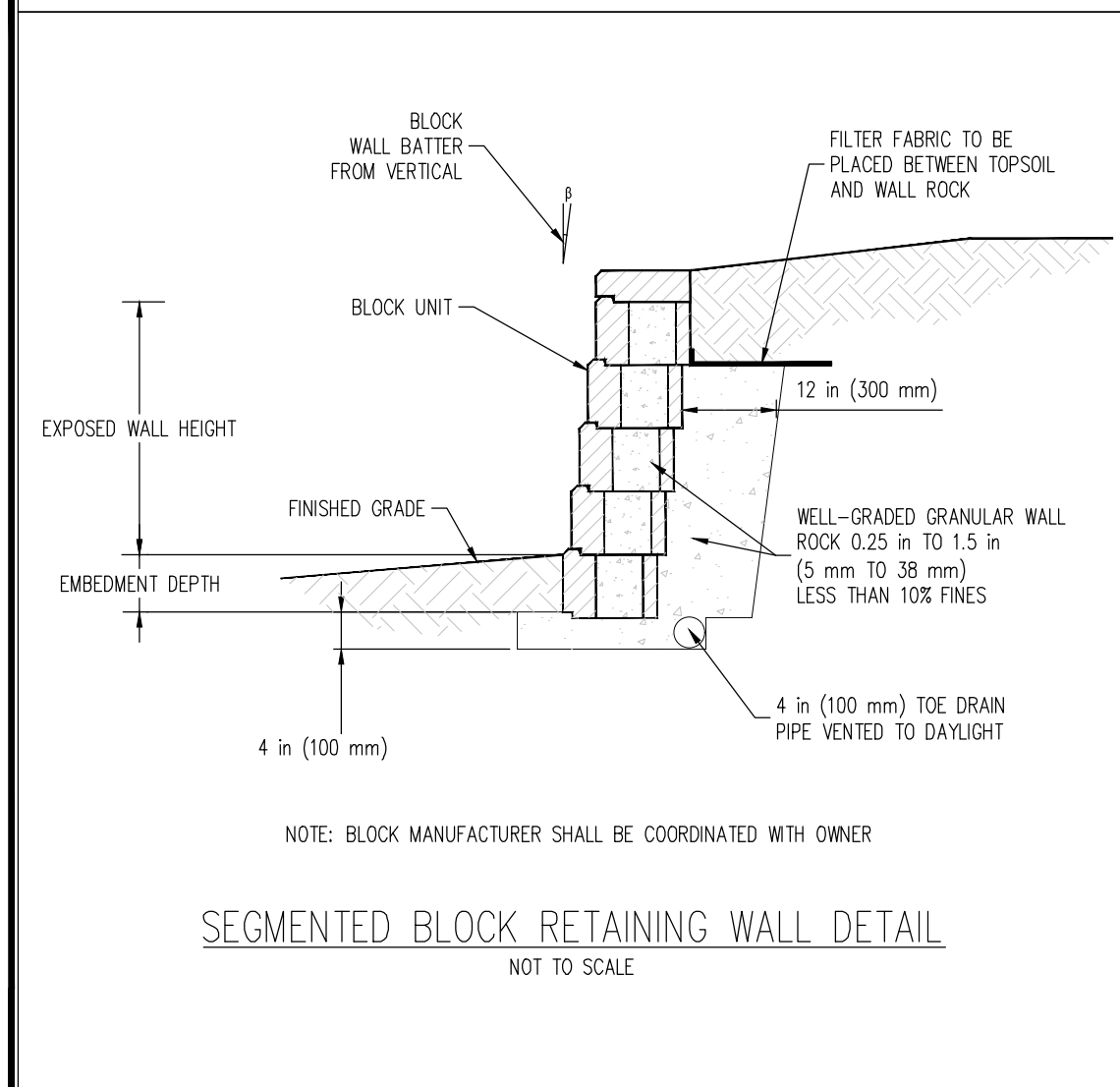
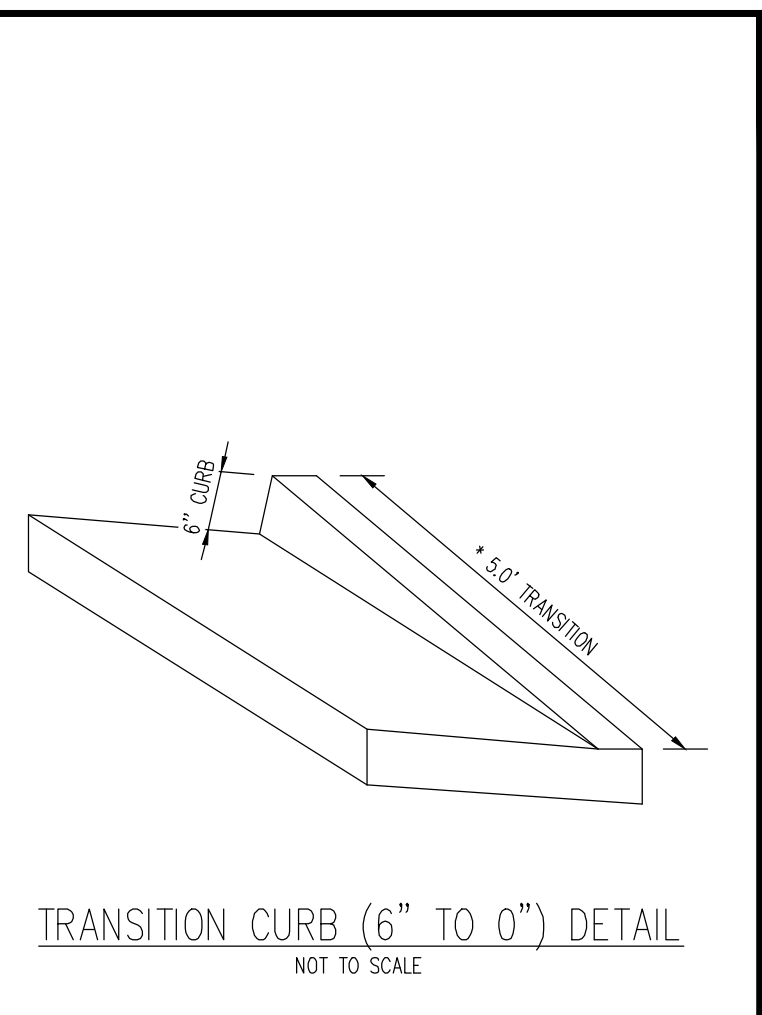
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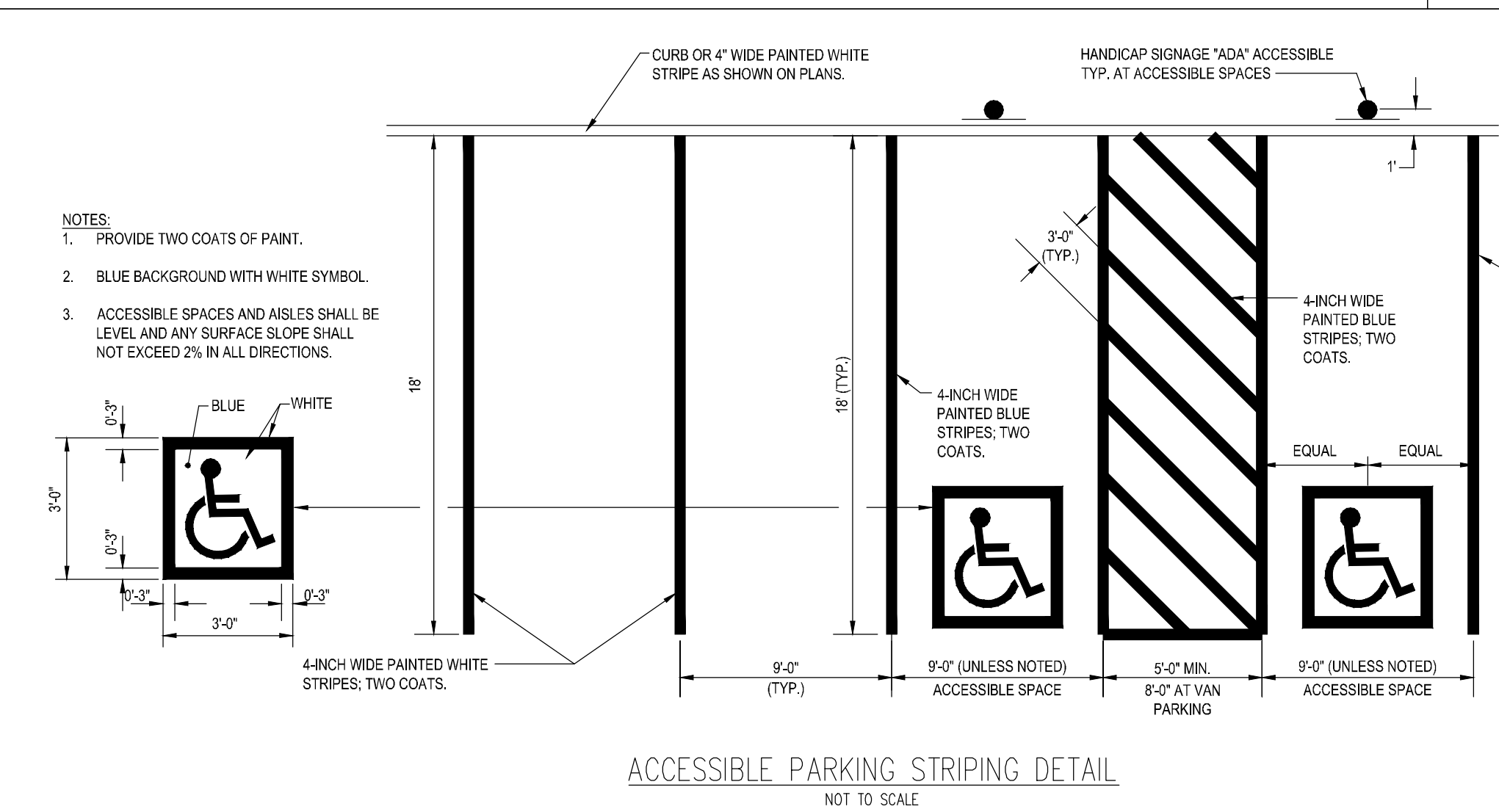
NOTE:
1. CONTRACTOR TO ADHERE TO LOCAL SPECIFICATION IF MORE STRINGENT.
2. TRUSS BARS ARE REQUIRED FOR EACH GATE SECTION AND THE FIRST SPAN ON EACH SIDE OF A CORNER POST ONLY.
3. ADD (3) STAND BARBED WIRE TO THE TOP OF THE PERIMETER FENCE & SLATS WOVEN THRU CHAIN LINK.



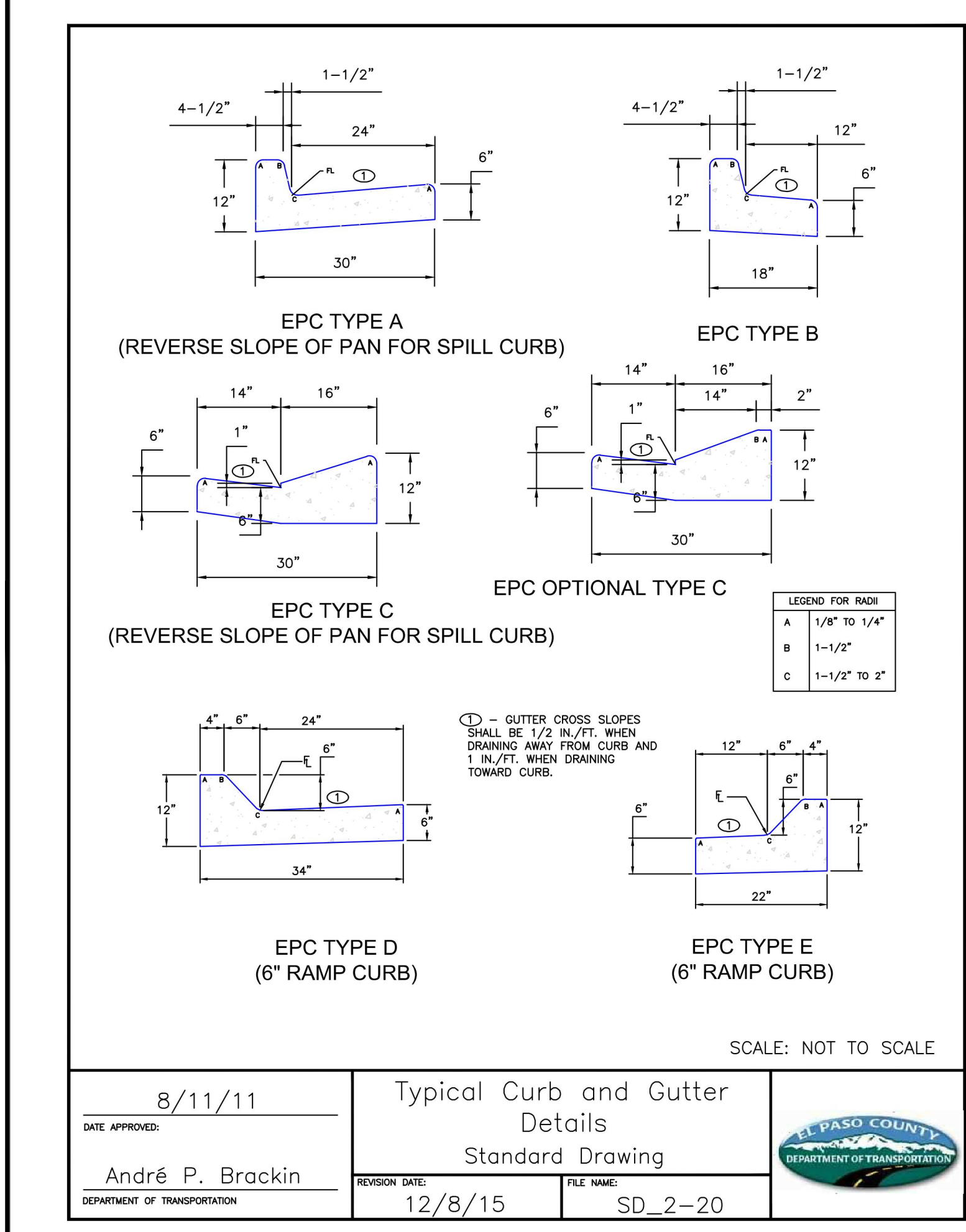
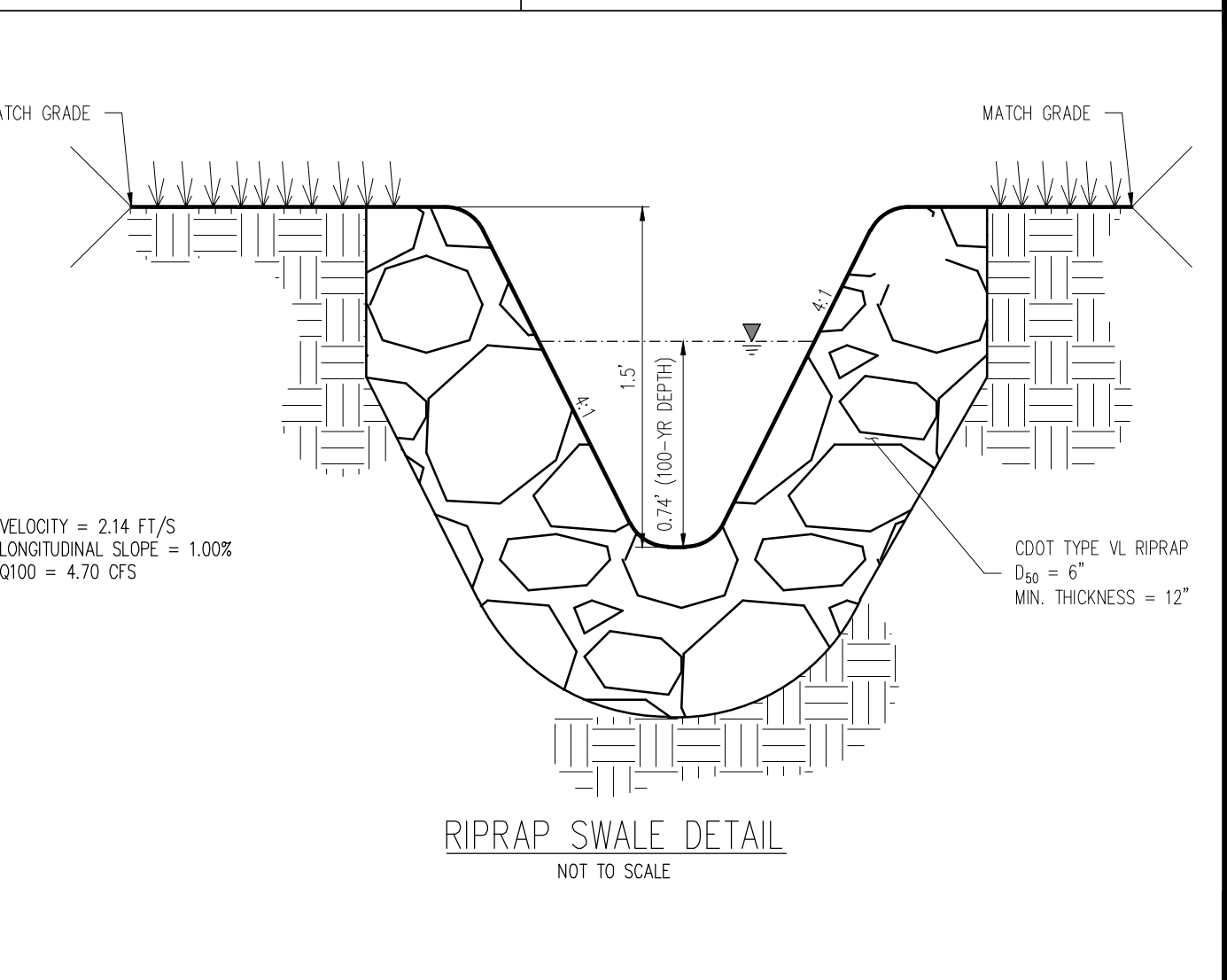
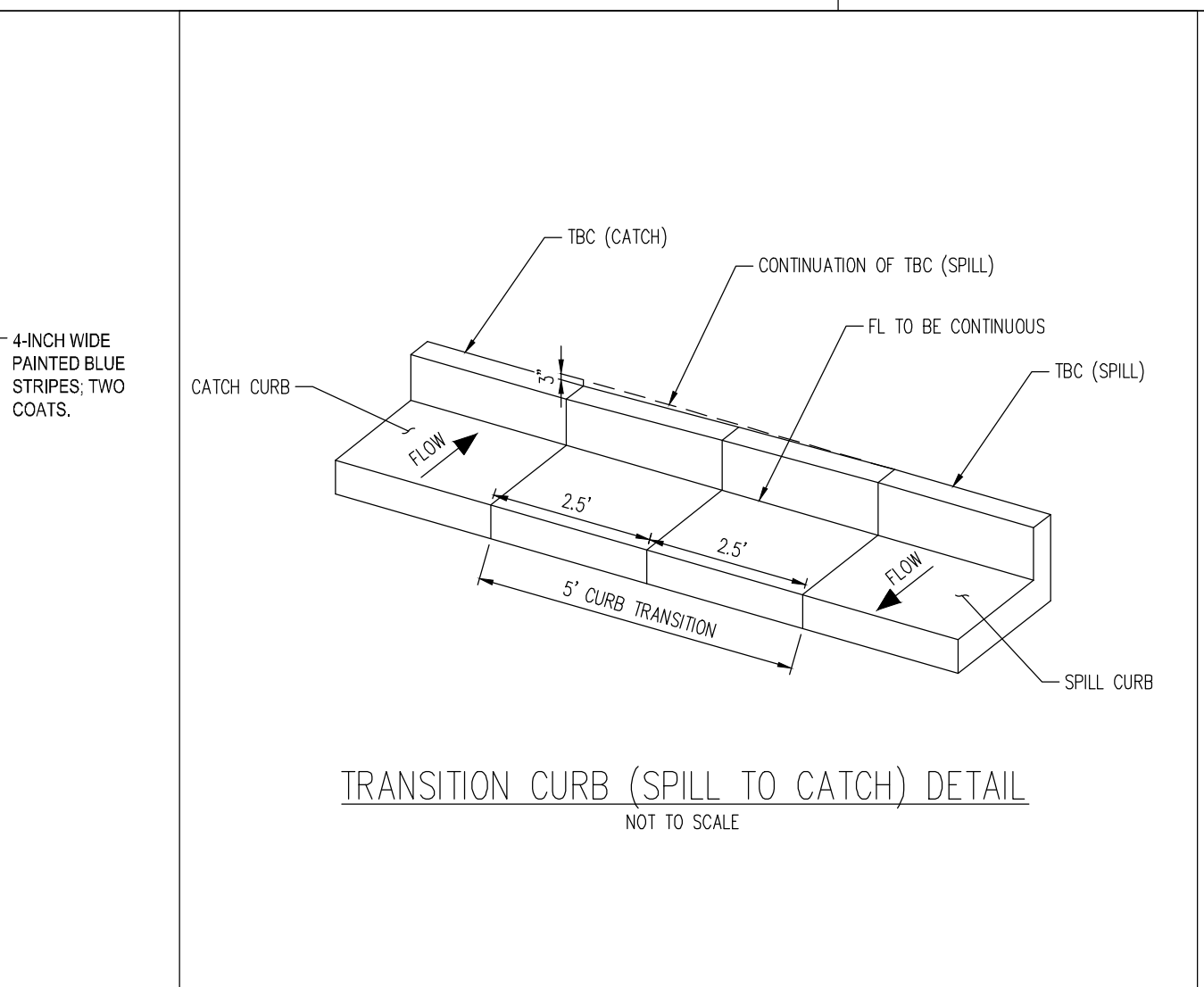
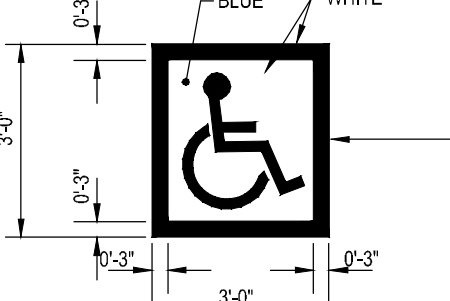
NOTE:
CONTRACTOR TO VERIFY ASPHALT PAVEMENT DETAIL MEETS COUNTY STANDARD REQUIREMENTS



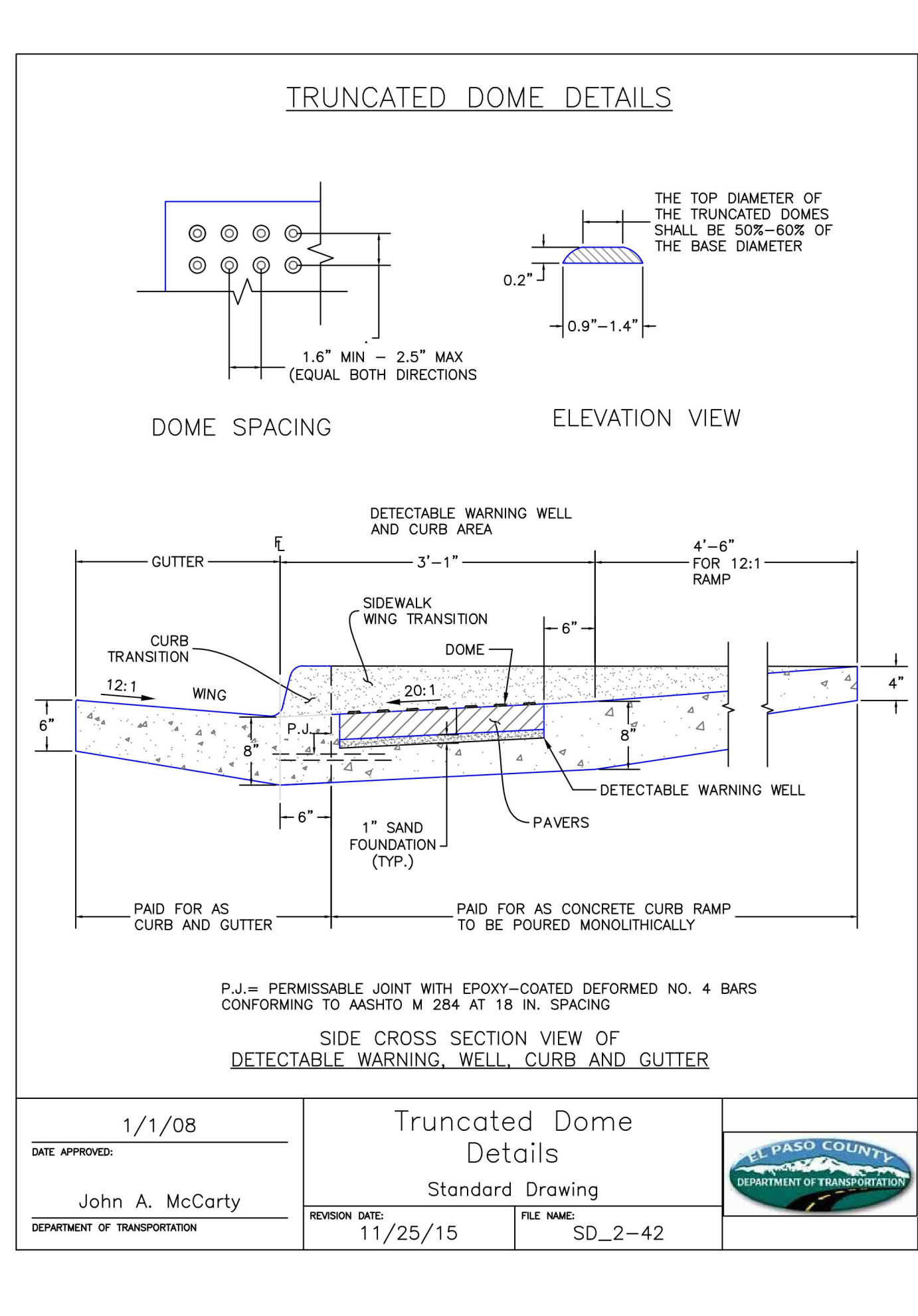
NOTE: BLOCK MANUFACTURER SHALL BE COORDINATED WITH OWNER



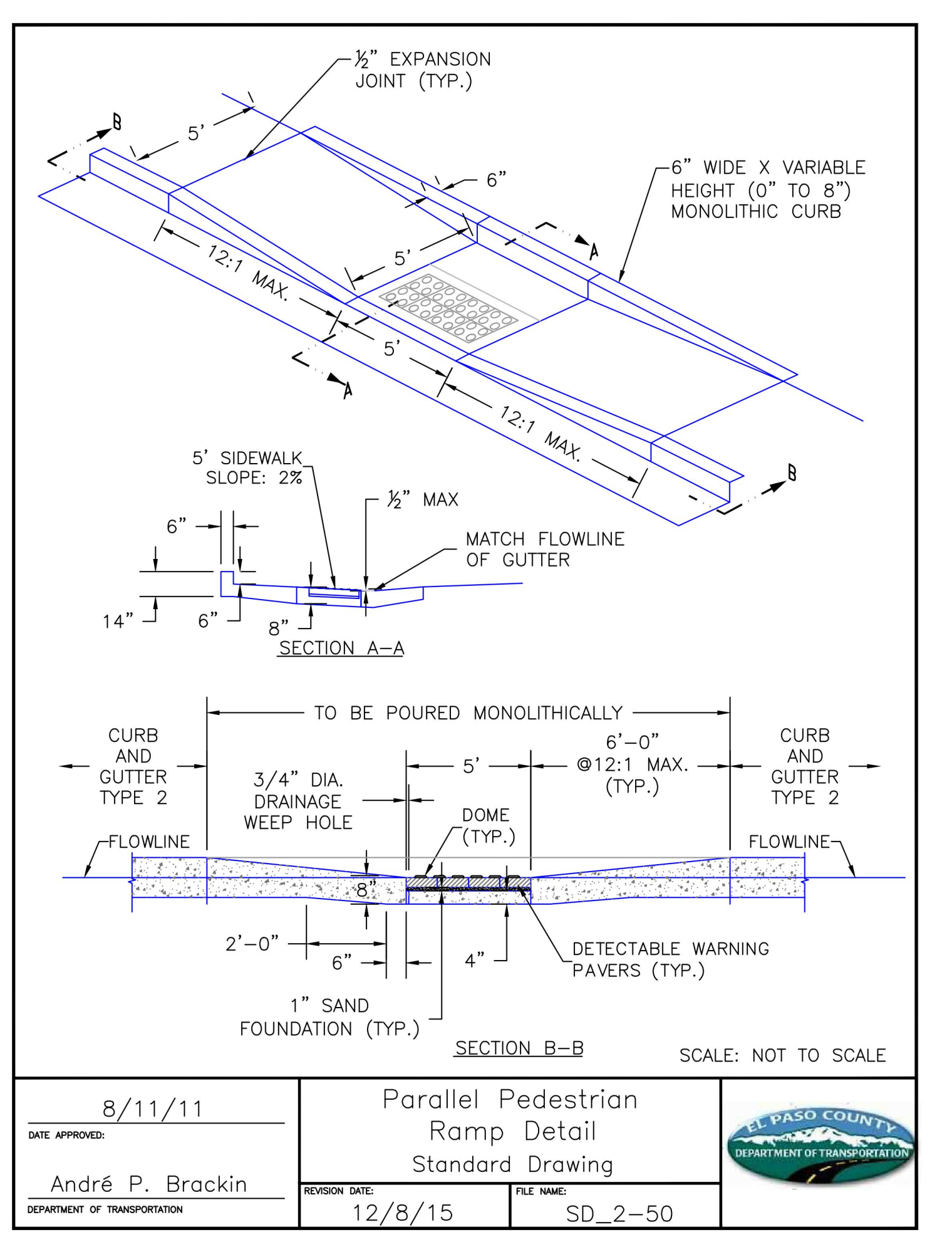
NOTES:
1. PROVIDE TWO COATS OF PAINT.
2. BLUE BACKGROUND WITH WHITE SYMBOL.
3. ACCESSIBLE SPACES AND AISLES SHALL BE LEVEL AND ANY SURFACE SLOPE SHALL NOT EXCEED 2% IN ALL DIRECTIONS.



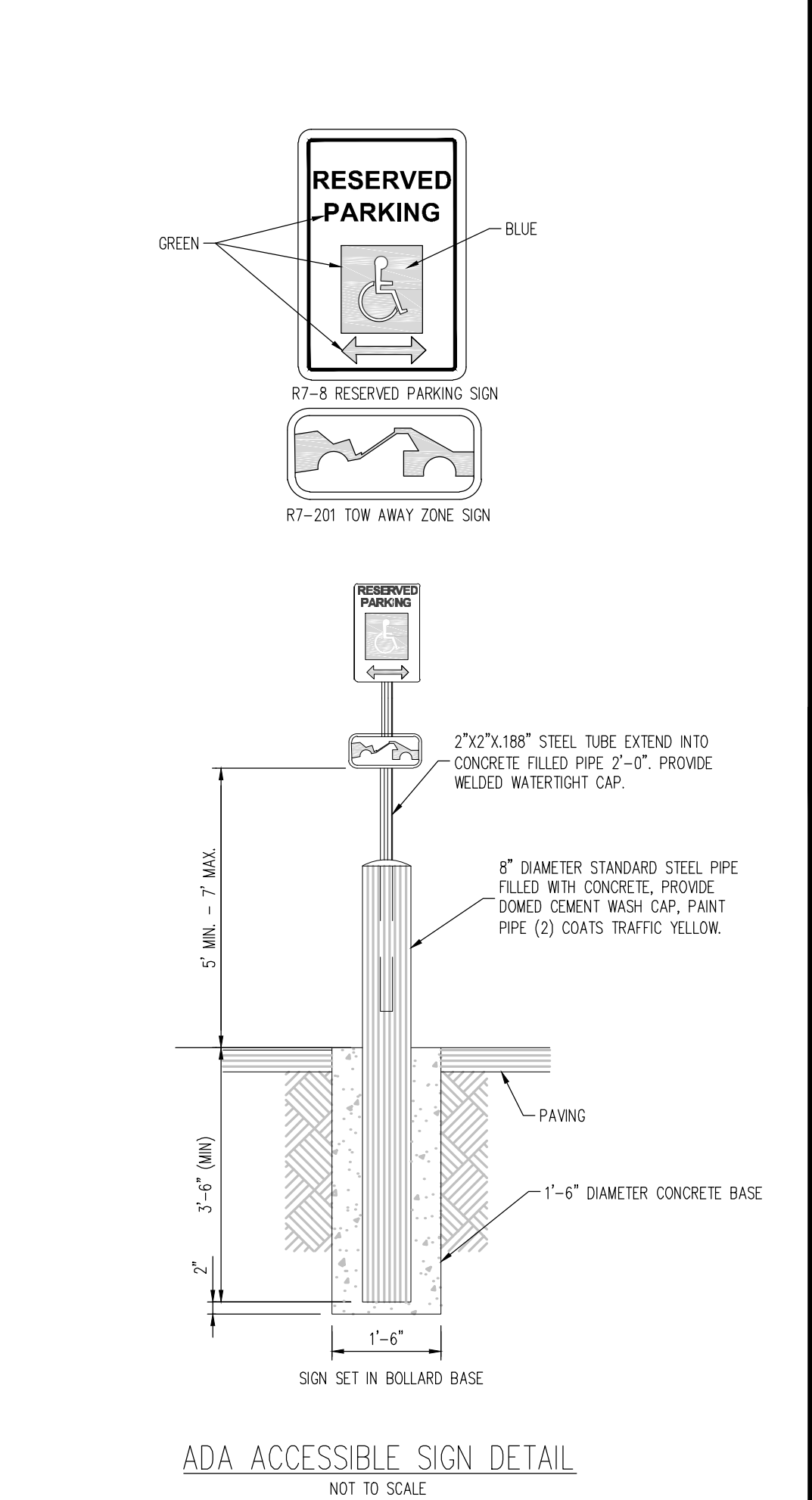
8/11/11 DATE APPROVED: André P. Brackin DEPARTMENT OF TRANSPORTATION
12/8/15 REVISION DATE: SD_2-20 FILE NAME:



1/1/08 DATE APPROVED: John A. McCarty DEPARTMENT OF TRANSPORTATION
11/25/15 REVISION DATE: Truncated Dome Details Standard Drawing FILE NAME: SD_2-42



8/11/11 DATE APPROVED: André P. Brackin DEPARTMENT OF TRANSPORTATION
12/8/15 REVISION DATE: Parallel Pedestrian Ramp Detail Standard Drawing FILE NAME: SD_2-50

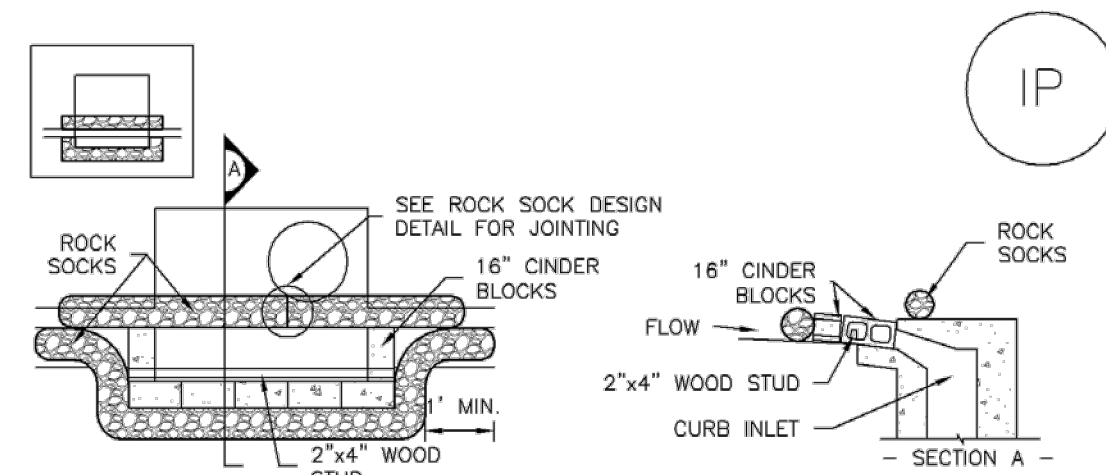


ADA ACCESSIBLE SIGN DETAIL NOT TO SCALE

EPC 5/18/2022

SC-6

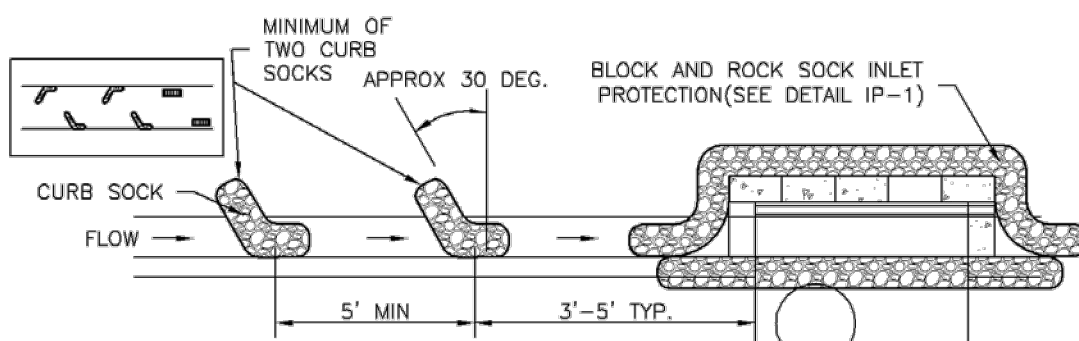
Inlet Protection (IP)



IP-1. BLOCK AND ROCK SOCK SUMP OR ON GRADE INLET PROTECTION

BLOCK AND CURB SOCK INLET PROTECTION INSTALLATION NOTES

- 1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. CONCRETE "CINDER" BLOCKS SHALL BE LAID ON THEIR SIDES AROUND THE INLET IN A SINGLE ROW, ABUTTING ONE ANOTHER WITH THE OPEN END FACING AWAY FROM THE CURB.
3. GRAVEL BAGS SHALL BE PLACED AROUND CONCRETE BLOCKS, CLOSELY ABUTTING ONE ANOTHER AND JOINTED TOGETHER IN ACCORDANCE WITH ROCK SOCK DESIGN DETAIL.



IP-2. CURB ROCK SOCKS UPSTREAM OF INLET PROTECTION

CURB ROCK SOCK INLET PROTECTION INSTALLATION NOTES

- 1. SEE ROCK SOCK DESIGN DETAIL INSTALLATION REQUIREMENTS.
2. PLACEMENT OF THE SOCK SHALL BE APPROXIMATELY 30 DEGREES FROM PERPENDICULAR IN THE OPPOSITE DIRECTION OF FLOW.
3. SOCKS ARE TO BE FLUSH WITH THE CURB AND SPACED A MINIMUM OF 5 FEET APART.
4. AT LEAST TWO CURB SOCKS IN SERIES ARE REQUIRED UPSTREAM OF ON-GRADE INLETS.

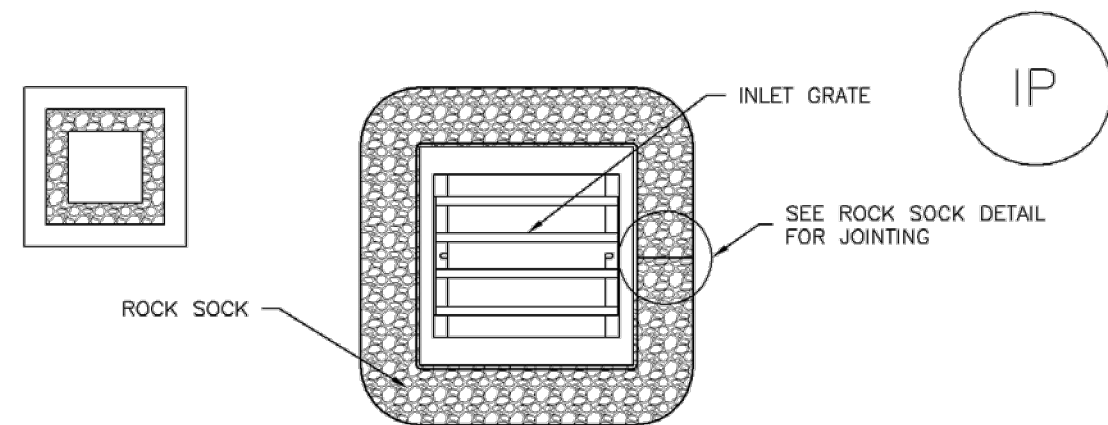
IP-4

Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3

August 2013

Inlet Protection (IP)

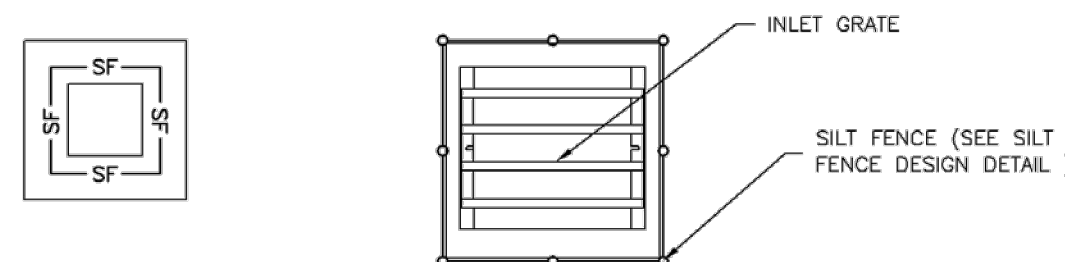
SC-6



IP-3. ROCK SOCK SUMP/AREA INLET PROTECTION

ROCK SOCK SUMP/AREA INLET PROTECTION INSTALLATION NOTES

- 1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF ROCK SOCKS FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.



IP-4. SILT FENCE FOR SUMP INLET PROTECTION

SILT FENCE INLET PROTECTION INSTALLATION NOTES

- 1. SEE SILT FENCE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. POSTS SHALL BE PLACED AT EACH CORNER OF THE INLET AND AROUND THE EDGES AT A MAXIMUM SPACING OF 3 FEET.
3. STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF SILT FENCE FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.

August 2013

Urban Drainage and Flood Control District
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IP-5

SC-6

Inlet Protection (IP)

GENERAL INLET PROTECTION INSTALLATION NOTES

- 1. SEE PLAN VIEW FOR:
- LOCATION OF INLET PROTECTION.
- TYPE OF INLET PROTECTION (IP.1, IP.2, IP.3, IP.4, IP.5, IP.6)
2. INLET PROTECTION SHALL BE INSTALLED PROMPTLY AFTER INLET CONSTRUCTION OR PAVING IS COMPLETE (TYPICALLY WITHIN 48 HOURS). IF A RAINFALL/RUNOFF EVENT IS FORECAST, INSTALL INLET PROTECTION PRIOR TO ONSET OF EVENT.
3. MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

INLET PROTECTION MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF INLET PROTECTION SHALL BE REMOVED AS NECESSARY TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN STORAGE VOLUME REACHES 50% OF CAPACITY, A DEPTH OF 6" WHEN SILT FENCE IS USED, OR 1/4 OF THE HEIGHT FOR STRAW BALES.
5. INLET PROTECTION IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED, UNLESS THE LOCAL JURISDICTION APPROVES EARLIER REMOVAL OF INLET PROTECTION IN STREETS.
6. WHEN INLET PROTECTION AT AREA INLETS IS REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF INLET PROTECTION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY PROPRIETARY INLET PROTECTION METHODS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY INLET PROTECTION; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER SHOULD BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

NOTE: SOME MUNICIPALITIES DISCOURAGE OR PROHIBIT THE USE OF STRAW BALES FOR INLET PROTECTION. CHECK WITH LOCAL JURISDICTION TO DETERMINE IF STRAW BALE INLET PROTECTION IS ACCEPTABLE.

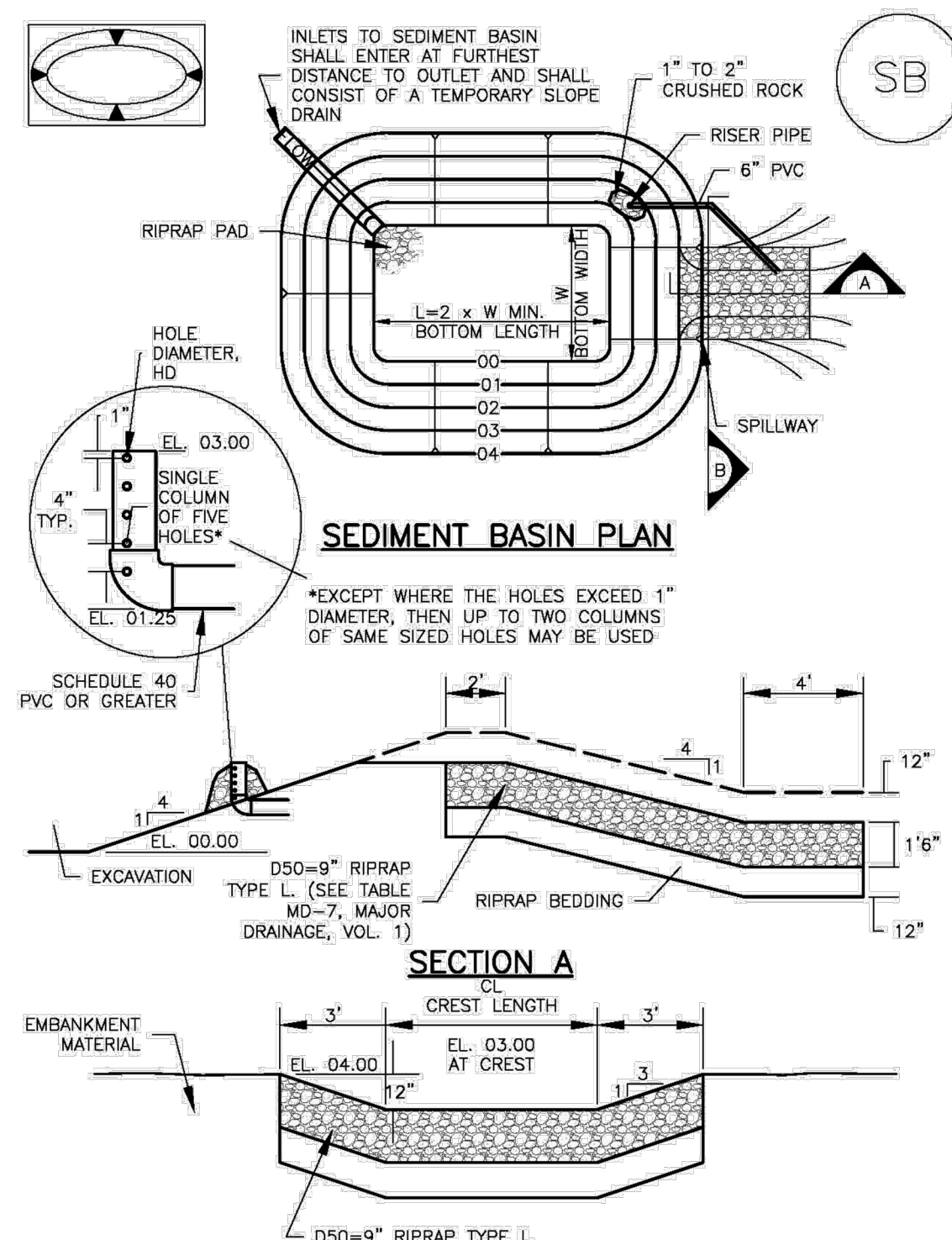
IP-8

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August 2013

Sediment Basin (SB)

SC-7



August 2013

Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3

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Sediment Basin (SB)

Table SB-1. SIZING INFORMATION FOR STANDARD SEDIMENT BASIN. Columns: Upstream Drainage Area (ac), Basin Bottom Width (ft), Spillway Crest Length (ft), Hole Diameter (in).

SEDIMENT BASIN INSTALLATION NOTES

- 1. SEE PLAN VIEW FOR:
- LOCATION OF SEDIMENT BASIN.
- TYPE OF BASIN (STANDARD BASIN OR NONSTANDARD BASIN).
- FOR STANDARD BASIN, BOTTOM WIDTH W, CREST LENGTH CL, AND HOLE DIAMETER, HD.
- FOR NONSTANDARD BASIN, SEE CONSTRUCTION DRAWINGS FOR DESIGN OF BASIN INCLUDING RISER HEIGHT H, NUMBER OF COLUMNS N, HOLE DIAMETER HD AND PIPE DIAMETER D.
2. FOR STANDARD BASIN, BOTTOM DIMENSION MAY BE MODIFIED AS LONG AS BOTTOM AREA IS NOT REDUCED.
3. SEDIMENT BASINS SHALL BE INSTALLED PRIOR TO ANY OTHER LAND-DISTURBING ACTIVITY THAT RELIES ON BASINS AS A STORMWATER CONTROL.
4. EMBANKMENT MATERIAL SHALL CONSIST OF SOIL FREE OF DEBRIS, ORGANIC MATERIAL, AND ROCKS OR CONCRETE GREATER THAN 3 INCHES AND SHALL HAVE A MINIMUM OF 15 PERCENT BY WEIGHT PASSING THE NO. 200 SIEVE.
5. EMBANKMENT MATERIAL SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D698.
6. PIPE SCH 40 OR GREATER SHALL BE USED.
7. THE DETAILS SHOWN ON THESE SHEETS PERTAIN TO STANDARD SEDIMENT BASIN(S) FOR DRAINAGE AREAS LESS THAN 15 ACRES. SEE CONSTRUCTION DRAWINGS FOR EMBANKMENT, STORAGE VOLUME, SPILLWAY, OUTLET, AND OUTLET PROTECTION DETAILS FOR ANY SEDIMENT BASIN(S) THAT HAVE BEEN INDIVIDUALLY DESIGNED FOR DRAINAGE AREAS LARGER THAN 15 ACRES.

SB-6

Urban Drainage and Flood Control District
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August 2013

Sediment Basin (SB)

SC-7

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2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED IN BASIN SHALL BE REMOVED AS NEEDED TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN SEDIMENT DEPTH REACHES ONE FOOT (I.E., TWO FEET BELOW THE SPILLWAY CREST).
5. SEDIMENT BASINS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND GRASS COVER IS ACCEPTED BY THE LOCAL JURISDICTION.
6. WHEN SEDIMENT BASINS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

August 2013

Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3

SB-7



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CONSTRUCTION DOCUMENTS
SMITH PLUMBING & HEATING
FOR
HAMMERS CONSTRUCTION, LLC
1875 MAIN STREET
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

Table with 4 columns: #, Date, Issue / Description, Init. It contains a list of revision entries.

Project No: HCI000008
Drawn By: TPT
Checked By: CMD
Date: 02/02/2022

GEC DETAILS

PCD FILE NO. PPR2143

C2.6

Sheet 13 of 18

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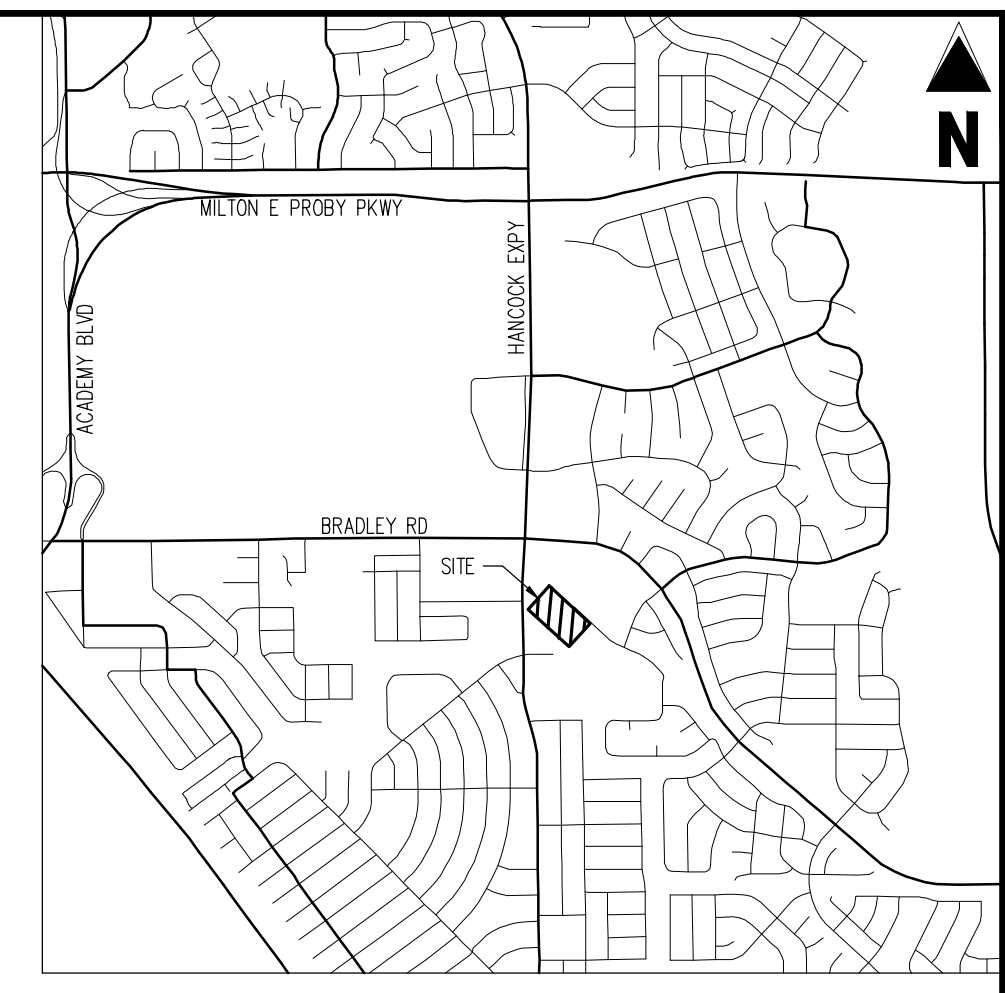


CONSTRUCTION DOCUMENTS
SMITH PLUMBING & HEATING
FOR
HAMMERS CONSTRUCTION, LLC
 1875 MAIN STREET
 COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

#	Date	Issue / Description	Init.

Project No:	HCI000008
Drawn By:	TPPT
Checked By:	CMD
Date:	02/02/2022

UTILITY SERVICE PLAN



WIDEFIELD WATER AND SANITATION DISTRICT GENERAL NOTES

1. ALL UTILITY CONSTRUCTION TO BE CONDUCTED IN CONFORMANCE WITH THE CURRENT WIDEFIELD WATER AND SANITATION DISTRICT SPECIFICATIONS. COMPACTOR REQUIREMENTS SHALL BE 95% STANDARD PROCTOR AS DETERMINED BY ASTM D698, UNLESS OTHERWISE APPROVED BY THE WIDEFIELD WATER AND SANITATION DISTRICT OR A HIGHER STANDARD IS IMPOSED BY ANOTHER AGENCY HAVING RIGHT-OF-WAY JURISDICTION.
2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE WIDEFIELD WATER AND SANITATION DISTRICT. THE WIDEFIELD WATER AND SANITATION DISTRICT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
3. THE DEVELOPER OR HIS ENGINEER HAS LOCATED ALL FIRE HYDRANTS AND FUTURE SERVICE STUBS. ANY REQUIRED REALIGNMENT, EITHER HORIZONTAL OR VERTICAL, SHALL BE AT THE EXPENSE OF THE DEVELOPER.
4. ALL DUCTILE IRON PIPE, TO INCLUDE FITTINGS, VALVES AND FIRE HYDRANTS WILL BE WRAPPED WITH POLYETHYLENE TUBING, AND ELECTRICALLY ISOLATED.
5. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE DOUBLE BONDED. SPECIFICATIONS FOR CATHODIC PROTECTION ON BOTH DIP MAINS AND PVC MAINS IS SPECIFIED IN THE STANDARDS AND SPECIFICATIONS.
6. PVC MAIN LINES SHALL BE INSTALLED WITH COATED NO. 12 TRACER WIRE.
7. THE CONTRACTOR IS REQUIRED TO NOTIFY THE WIDEFIELD WATER AND SANITATION DISTRICT (390-7111) A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY AFFECTED UTILITY COMPANIES 48 HOURS PRIOR TO CONSTRUCTION ADJACENT TO THE KNOWN UTILITY LINES.
8. THE LOCATION OF ALL UTILITIES AS SHOWN ON THESE DRAWINGS ARE APPROXIMATE ONLY. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED PRIOR TO CONSTRUCTION BY THE CONTRACTOR.
9. THE CONTRACTOR SHALL FIELD EXCAVATE AND VERIFY THE VERTICAL AND HORIZONTAL LOCATION OF ALL TI-INS. CONTRACTOR SHALL NOTIFY THE WIDEFIELD WATER AND SANITATION DISTRICT AND THE ENGINEER OF THE FIELD VERIFIED INFORMATION PRIOR TO CONSTRUCTION.
10. ALL BENDS SHALL BE FIELD STAVED PRIOR TO CONSTRUCTION.
11. ANY WATER UTILITY MATERIAL REMOVED AND NOT REUSED SHALL BE RETURNED TO THE WIDEFIELD WATER AND SANITATION DISTRICT IF THE DISTRICT SO REQUESTS.
12. THE CONTRACTOR SHALL AT HIS EXPENSE SUPPORT AND PROTECT ALL UTILITY MAINS SO THAT THEY WILL FUNCTION CONTINUOUSLY DURING CONSTRUCTION. SHOULD A UTILITY MAIN FAIL AS A RESULT OF THE CONTRACTOR'S OPERATION, IT WILL BE REPLACED IMMEDIATELY BY EITHER THE CONTRACTOR OR THE WIDEFIELD WATER AND SANITATION DISTRICT AT FULL COST OF LABOR AND MATERIALS TO THE CONTRACTOR.
13. ANY PUMPING OR BYPASS OPERATIONS MUST BE REVIEWED AND APPROVED PRIOR TO EXECUTION BY BOTH THE WIDEFIELD WATER AND SANITATION DISTRICT AND THE ENGINEER.
14. CONTRACTOR MUST REPLACE OR REPAIR ANY DAMAGE TO ALL SURFACE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO FENCES, CURBS AND GUTTER AND/OR ASPHALT THAT MAY BE CAUSED DURING CONSTRUCTION.
15. ALL WATER LINES 6" AND LARGER, AND ALL SEWER LINES 8" AND LARGER, SHALL HAVE AS "AS-BUILT" PLANS PREPARED AND APPROVED PRIOR TO FINAL ACCEPTANCE BY THE WIDEFIELD WATER AND SANITATION DISTRICT.
16. PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE IS REQUIRED A MINIMUM OF 72 HOURS IN ADVANCE OF COMMENCEMENT OF WORK. TO SET THE PRE-CONSTRUCTION CONFERENCE, CONTACT BRANDON BERNARD - WATER DIVISION MANAGER AND/OR JASON DREESSEN, WASTEWATER DIVISION MANAGER AT (719)955-0548 OF THE WIDEFIELD WATER AND SANITATION DISTRICT FOR A TIME. NO PRE-CONSTRUCTION CONFERENCE TIMES WILL BE SET UNTIL 4 SETS OF SIGNED DRAWINGS ARE RECEIVED BY THE WIDEFIELD W & S DISTRICT. PRE-CONSTRUCTION DATE/INITIALS.

UTILITY LEGEND

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	PROPOSED EASEMENT
	PROPOSED BUILDING OUTLINE
	PROPOSED WATER LINE
	EXISTING WATER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED STORM DRAIN LINE
	EXISTING STORM DRAIN LINE
	PROPOSED RIP RAP
	EXISTING ASPHALT PAVING
	PROPOSED FIRE HYDRANT
	PROPOSED GATE VALVE
	PROPOSED REDUCER
	PROPOSED WATER BEND/TEE
	PROPOSED SANITARY MANHOLE
	PROPOSED FEES
	PROPOSED STORM MANHOLE
	PROPOSED CDDT TYPE R STORM INLET

WIDEFIELD WATER AND SANITATION DISTRICT WASTEWATER DESIGN APPROVAL

THE WIDEFIELD WATER AND SANITATION DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.
 DATE: _____ BY: _____
 PROJECT NO. _____
 IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE RULES AND REGULATIONS FOR INSTALLATION OF WASTEWATER MAINS AND SERVICES SHALL RULE.
 APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL.

WIDEFIELD WATER AND SANITATION DISTRICT WATER DESIGN APPROVAL

THE WIDEFIELD WATER AND SANITATION DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.
 DATE: _____ BY: _____
 PROJECT NO. _____
 IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE RULES AND REGULATIONS FOR INSTALLATION OF WATER MAINS AND SERVICES SHALL RULE.
 APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL.

BASIS OF BEARINGS

BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6' WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, "1245 R66W W.C. 6.00' S 35 35 52 S1 T1 1 S R55W 2012 PLS 24313" AND ON THE SOUTH END BY A 3.5" ALUMINUM CAP, FOUND, "RMP5 19625", AND IS CONSIDERED TO BEAR N0074204" W.

BENCHMARK

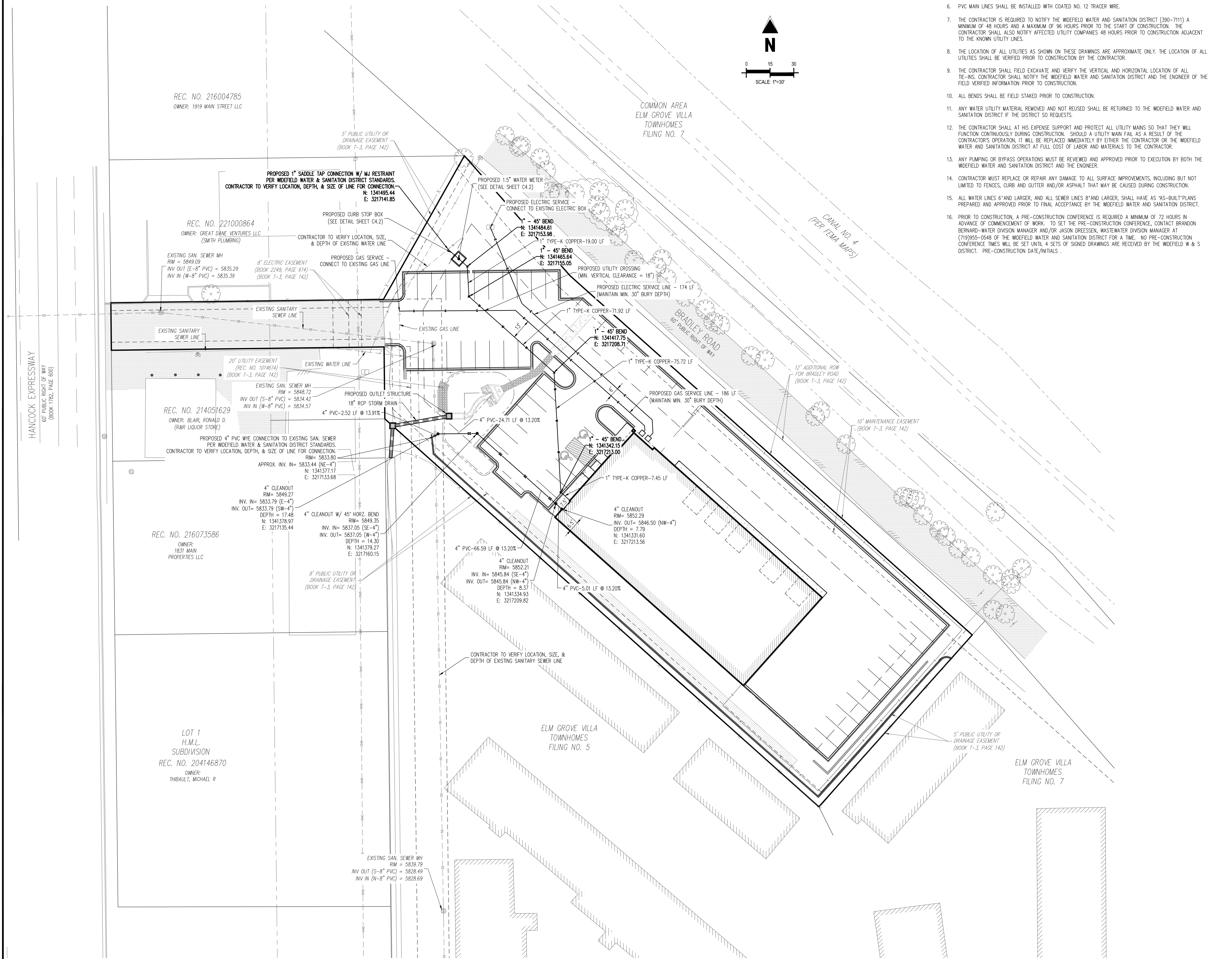
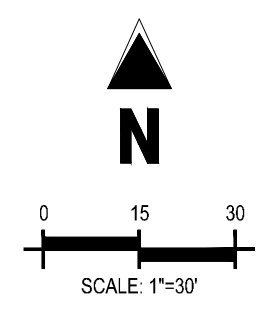
PUBLISHED BENCHMARK
 FMS MONUMENT FX35
 ELEVATION = 5980.39 (NAVD88)

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLDING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



EPC 5/18/2022



REC. NO. 216004785
 OWNER: 1919 MAIN STREET LLC

REC. NO. 221000864
 OWNER: GREAT DOME VENTURES LLC (SMITH PLUMBING)

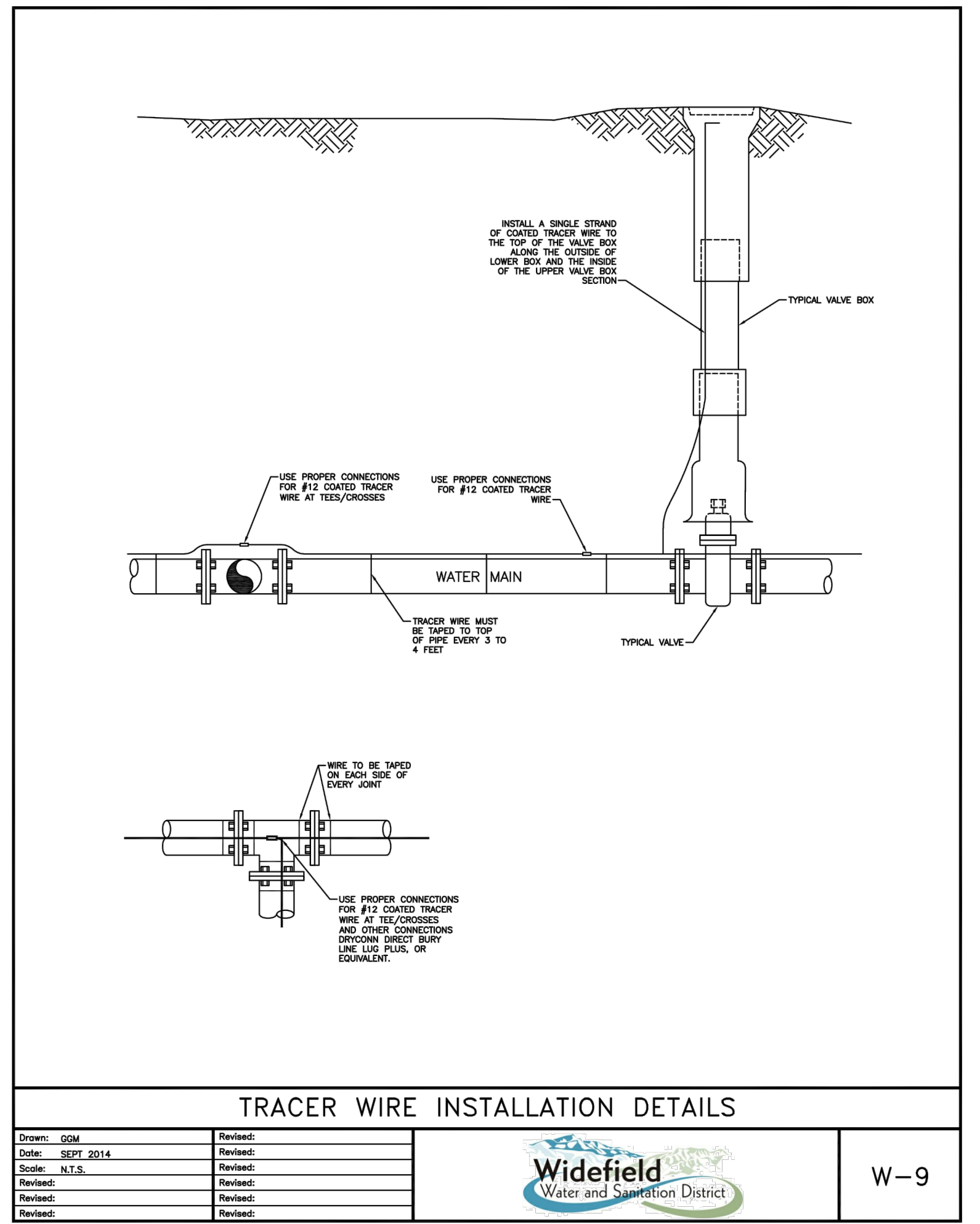
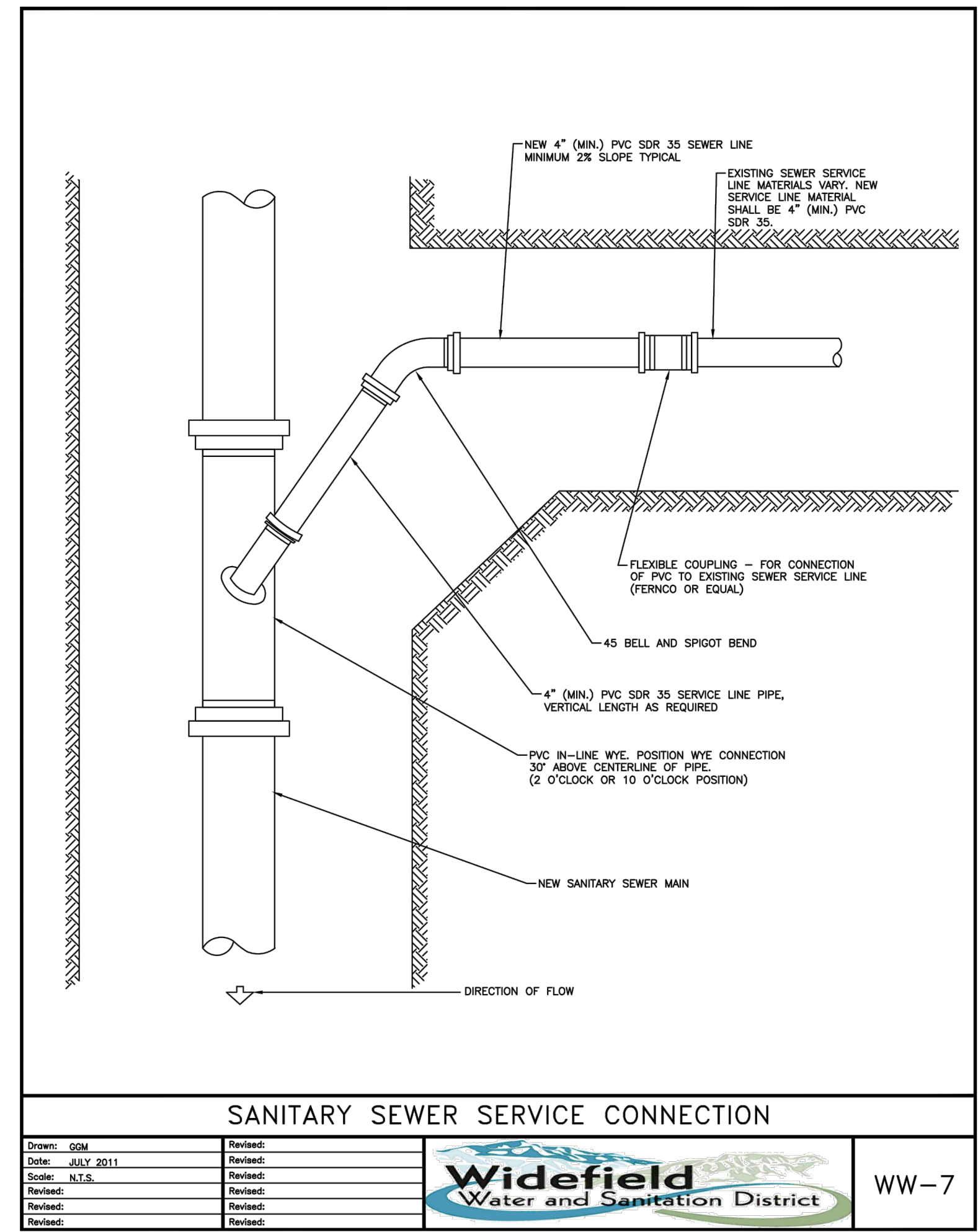
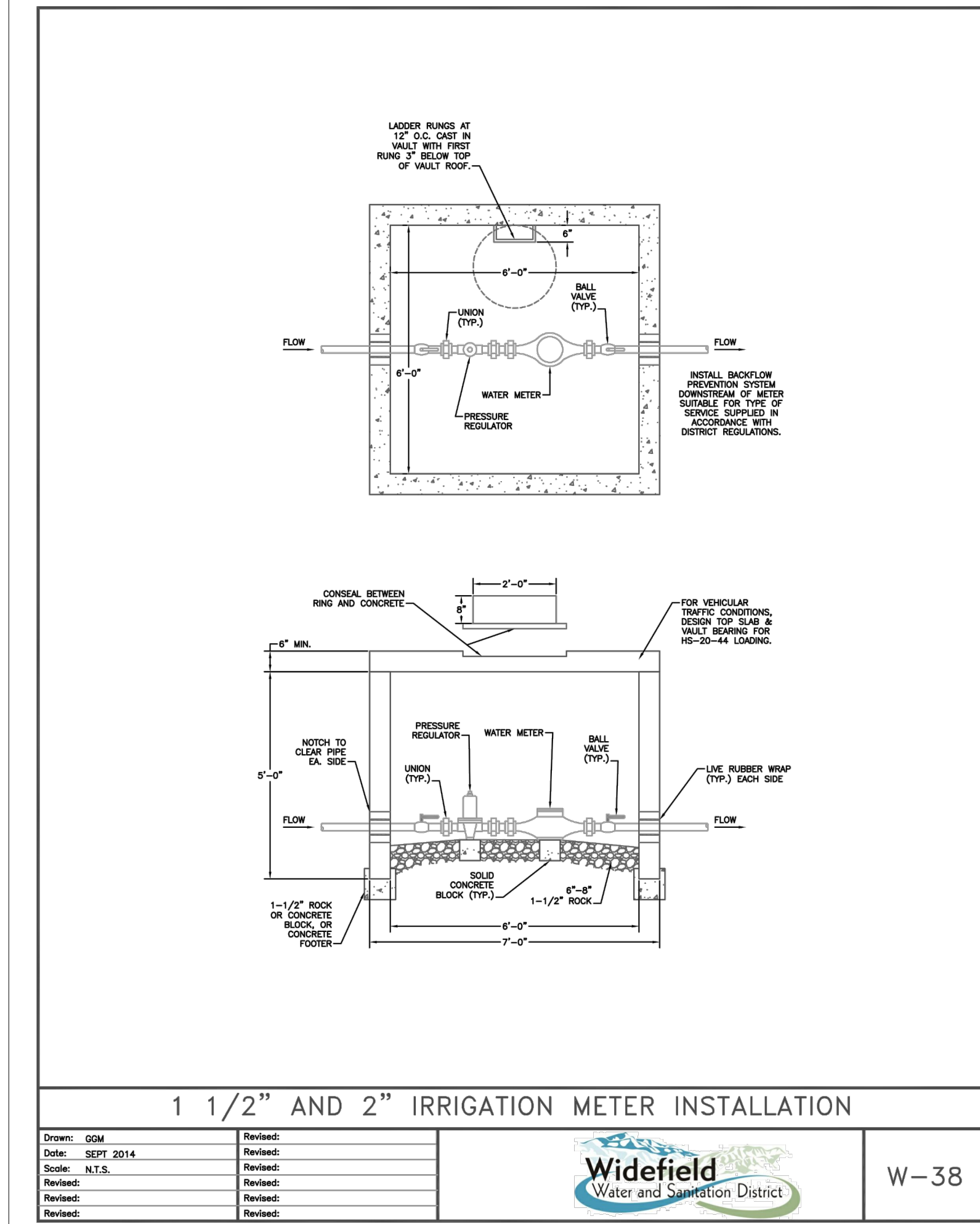
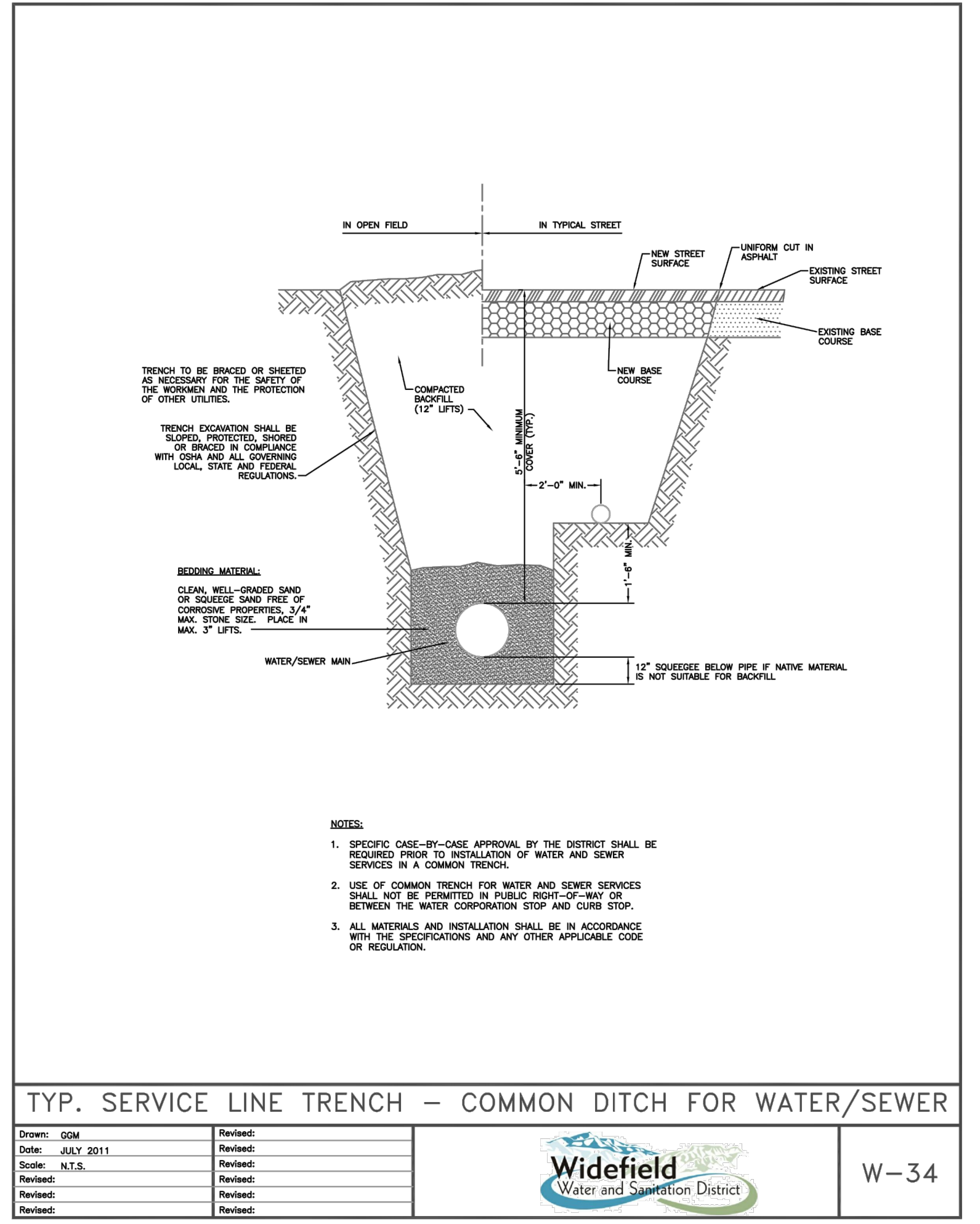
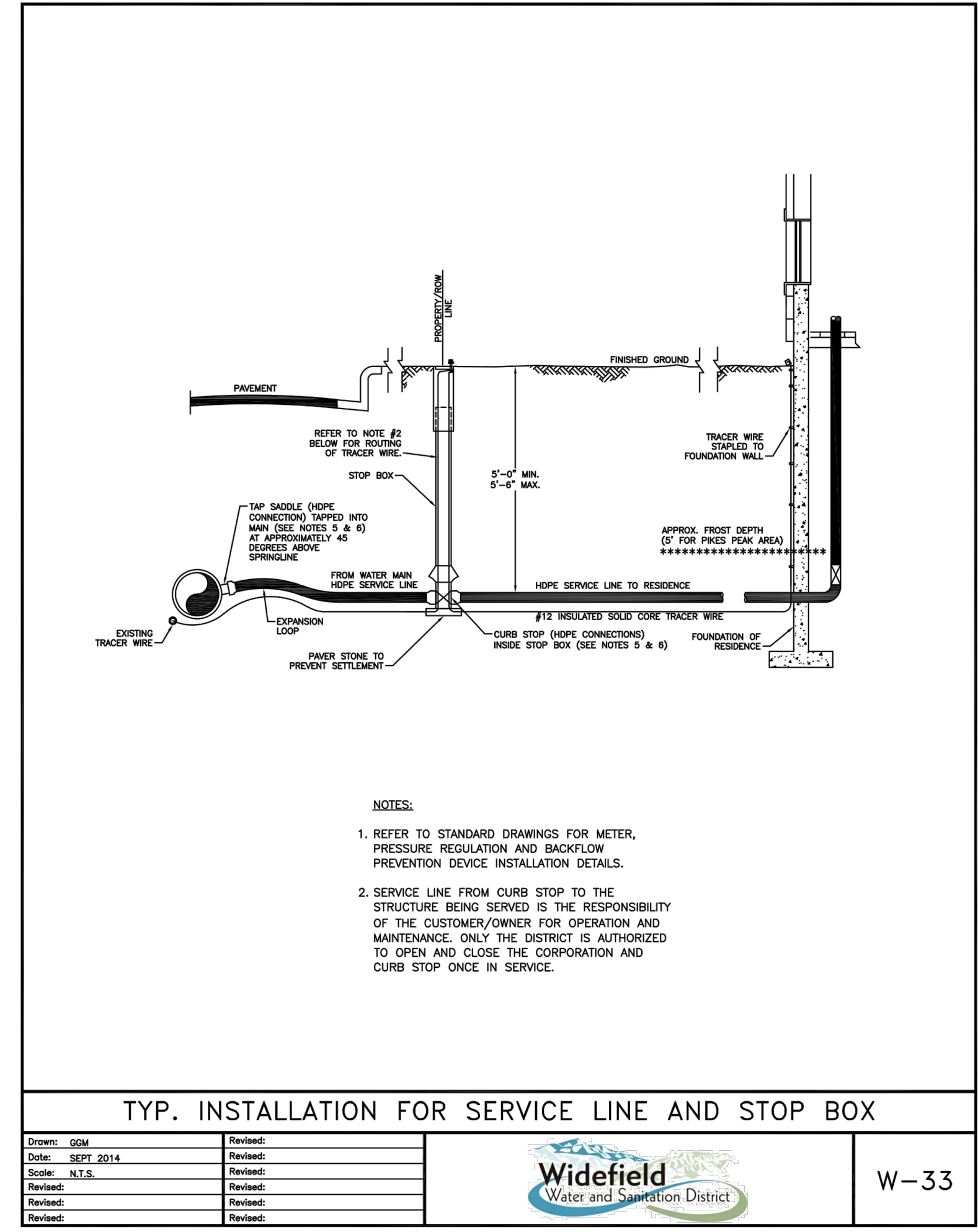
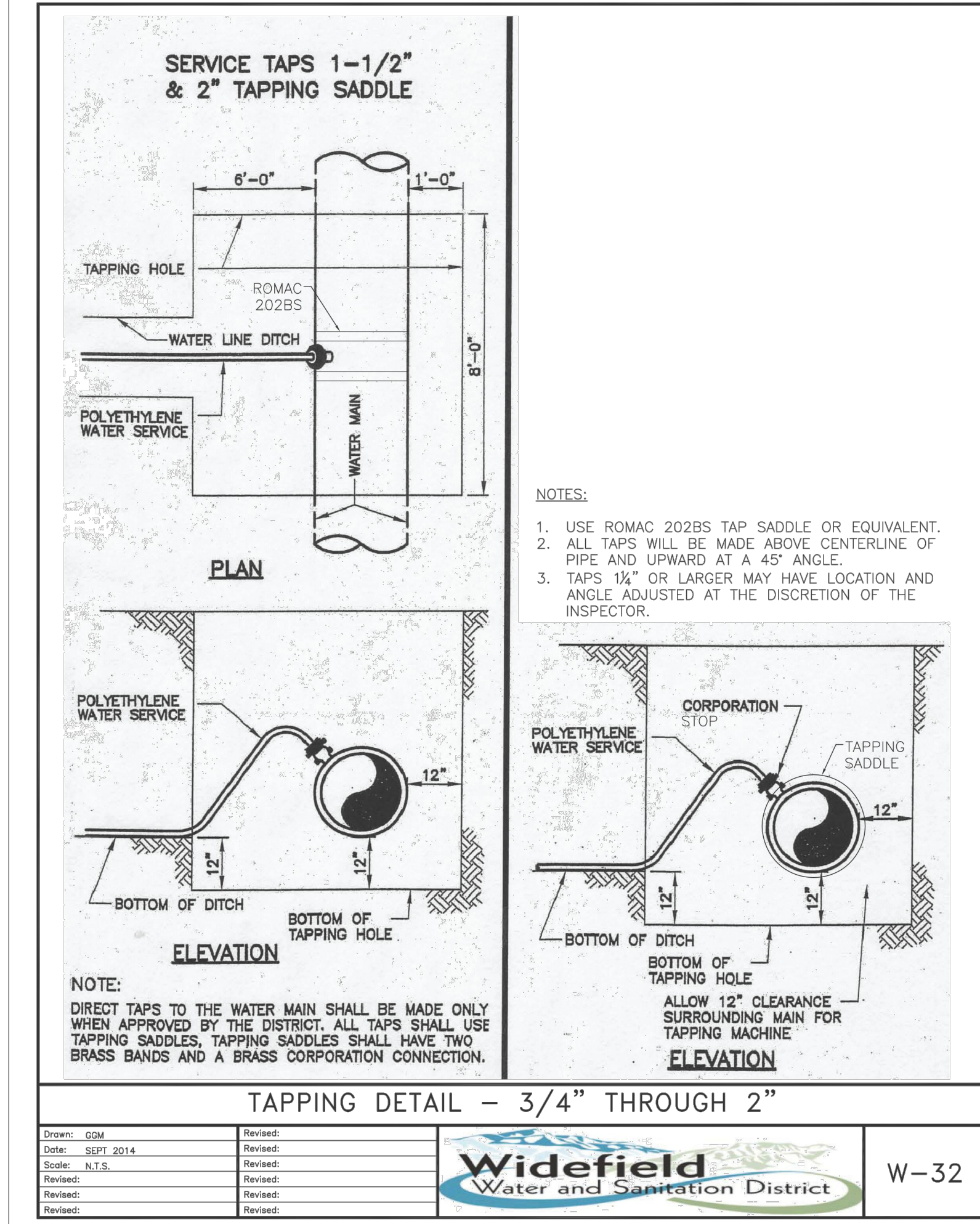
REC. NO. 214051629
 OWNER: BLAIR, RONALD D (RAP LIQUOR STORE)

REC. NO. 216073586
 OWNER: 1831 MAIN PROPERTIES LLC

LOT 1
 H.M.L. SUBDIVISION
 REC. NO. 204146870
 OWNER: THEBAULT, MICHAEL R

HANCOCK EXPRESSWAY
 60' PUBLIC RIGHT OF WAY (BOOK 152, PAGE 160)

THIS DRAWING CONTAINS MATERIAL FROM: 1. HANCOCK EXPY. 2. BRADLEY RD. 3. MILTON E PROBY PKWY. 4. HANCOCK EXPY. 5. BRADLEY RD. 6. MILTON E PROBY PKWY. 7. HANCOCK EXPY. 8. BRADLEY RD. 9. MILTON E PROBY PKWY. 10. HANCOCK EXPY. 11. BRADLEY RD. 12. MILTON E PROBY PKWY. 13. HANCOCK EXPY. 14. BRADLEY RD. 15. MILTON E PROBY PKWY. 16. HANCOCK EXPY. 17. BRADLEY RD. 18. MILTON E PROBY PKWY. 19. HANCOCK EXPY. 20. BRADLEY RD. 21. MILTON E PROBY PKWY. 22. HANCOCK EXPY. 23. BRADLEY RD. 24. MILTON E PROBY PKWY. 25. HANCOCK EXPY. 26. BRADLEY RD. 27. MILTON E PROBY PKWY. 28. HANCOCK EXPY. 29. BRADLEY RD. 30. MILTON E PROBY PKWY. 31. HANCOCK EXPY. 32. BRADLEY RD. 33. MILTON E PROBY PKWY. 34. HANCOCK EXPY. 35. BRADLEY RD. 36. MILTON E PROBY PKWY. 37. HANCOCK EXPY. 38. BRADLEY RD. 39. MILTON E PROBY PKWY. 40. HANCOCK EXPY. 41. BRADLEY RD. 42. MILTON E PROBY PKWY. 43. HANCOCK EXPY. 44. BRADLEY RD. 45. MILTON E PROBY PKWY. 46. HANCOCK EXPY. 47. BRADLEY RD. 48. MILTON E PROBY PKWY. 49. HANCOCK EXPY. 50. BRADLEY RD. 51. MILTON E PROBY PKWY. 52. HANCOCK EXPY. 53. BRADLEY RD. 54. MILTON E PROBY PKWY. 55. HANCOCK EXPY. 56. BRADLEY RD. 57. MILTON E PROBY PKWY. 58. HANCOCK EXPY. 59. BRADLEY RD. 60. MILTON E PROBY PKWY. 61. HANCOCK EXPY. 62. BRADLEY RD. 63. MILTON E PROBY PKWY. 64. HANCOCK EXPY. 65. BRADLEY RD. 66. MILTON E PROBY PKWY. 67. HANCOCK EXPY. 68. BRADLEY RD. 69. MILTON E PROBY PKWY. 70. HANCOCK EXPY. 71. BRADLEY RD. 72. MILTON E PROBY PKWY. 73. HANCOCK EXPY. 74. BRADLEY RD. 75. MILTON E PROBY PKWY. 76. HANCOCK EXPY. 77. BRADLEY RD. 78. MILTON E PROBY PKWY. 79. HANCOCK EXPY. 80. BRADLEY RD. 81. MILTON E PROBY PKWY. 82. HANCOCK EXPY. 83. BRADLEY RD. 84. MILTON E PROBY PKWY. 85. HANCOCK EXPY. 86. BRADLEY RD. 87. MILTON E PROBY PKWY. 88. HANCOCK EXPY. 89. BRADLEY RD. 90. MILTON E PROBY PKWY. 91. HANCOCK EXPY. 92. BRADLEY RD. 93. MILTON E PROBY PKWY. 94. HANCOCK EXPY. 95. BRADLEY RD. 96. MILTON E PROBY PKWY. 97. HANCOCK EXPY. 98. BRADLEY RD. 99. MILTON E PROBY PKWY. 100. HANCOCK EXPY. 101. BRADLEY RD. 102. MILTON E PROBY PKWY. 103. HANCOCK EXPY. 104. BRADLEY RD. 105. MILTON E PROBY PKWY. 106. HANCOCK EXPY. 107. BRADLEY RD. 108. MILTON E PROBY PKWY. 109. HANCOCK EXPY. 110. BRADLEY RD. 111. MILTON E PROBY PKWY. 112. HANCOCK EXPY. 113. BRADLEY RD. 114. MILTON E PROBY PKWY. 115. HANCOCK EXPY. 116. BRADLEY RD. 117. MILTON E PROBY PKWY. 118. HANCOCK EXPY. 119. BRADLEY RD. 120. MILTON E PROBY PKWY. 121. HANCOCK EXPY. 122. BRADLEY RD. 123. MILTON E PROBY PKWY. 124. HANCOCK EXPY. 125. BRADLEY RD. 126. MILTON E PROBY PKWY. 127. HANCOCK EXPY. 128. BRADLEY RD. 129. MILTON E PROBY PKWY. 130. HANCOCK EXPY. 131. BRADLEY RD. 132. MILTON E PROBY PKWY. 133. HANCOCK EXPY. 134. BRADLEY RD. 135. MILTON E PROBY PKWY. 136. HANCOCK EXPY. 137. BRADLEY RD. 138. MILTON E PROBY PKWY. 139. HANCOCK EXPY. 140. BRADLEY RD. 141. MILTON E PROBY PKWY. 142. HANCOCK EXPY. 143. BRADLEY RD. 144. MILTON E PROBY PKWY. 145. HANCOCK EXPY. 146. BRADLEY RD. 147. MILTON E PROBY PKWY. 148. HANCOCK EXPY. 149. BRADLEY RD. 150. MILTON E PROBY PKWY. 151. HANCOCK EXPY. 152. BRADLEY RD. 153. MILTON E PROBY PKWY. 154. HANCOCK EXPY. 155. BRADLEY RD. 156. MILTON E PROBY PKWY. 157. HANCOCK EXPY. 158. BRADLEY RD. 159. MILTON E PROBY PKWY. 160. HANCOCK EXPY. 161. BRADLEY RD. 162. MILTON E PROBY PKWY. 163. HANCOCK EXPY. 164. BRADLEY RD. 165. MILTON E PROBY PKWY. 166. HANCOCK EXPY. 167. BRADLEY RD. 168. MILTON E PROBY PKWY. 169. HANCOCK EXPY. 170. BRADLEY RD. 171. MILTON E PROBY PKWY. 172. HANCOCK EXPY. 173. BRADLEY RD. 174. MILTON E PROBY PKWY. 175. HANCOCK EXPY. 176. BRADLEY RD. 177. MILTON E PROBY PKWY. 178. HANCOCK EXPY. 179. BRADLEY RD. 180. MILTON E PROBY PKWY. 181. HANCOCK EXPY. 182. BRADLEY RD. 183. MILTON E PROBY PKWY. 184. HANCOCK EXPY. 185. BRADLEY RD. 186. MILTON E PROBY PKWY. 187. HANCOCK EXPY. 188. BRADLEY RD. 189. MILTON E PROBY PKWY. 190. HANCOCK EXPY. 191. BRADLEY RD. 192. MILTON E PROBY PKWY. 193. HANCOCK EXPY. 194. BRADLEY RD. 195. MILTON E PROBY PKWY. 196. HANCOCK EXPY. 197. BRADLEY RD. 198. MILTON E PROBY PKWY. 199. HANCOCK EXPY. 200. BRADLEY RD.



#	Date	Issue / Description	Init.

Project No: HCl000008
Drawn By: TPT
Checked By: CMD
Date: 02/02/2022
UTILITY DETAILS