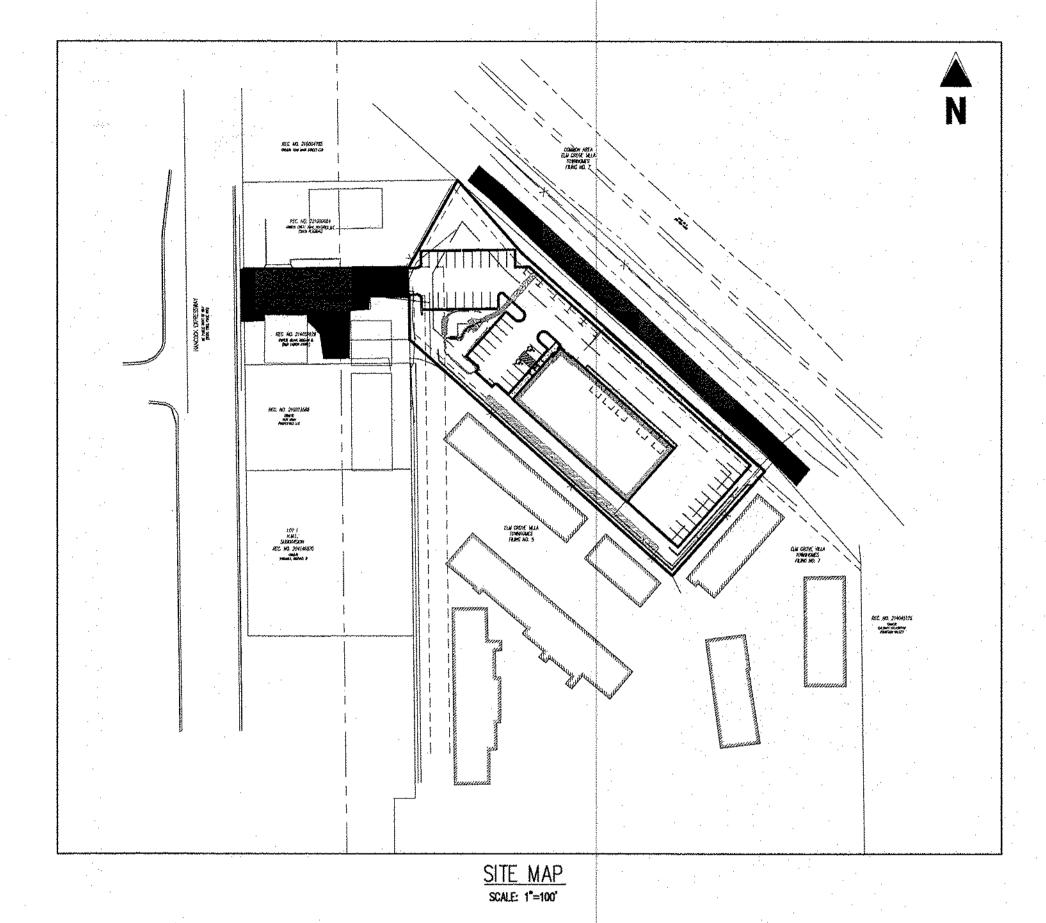
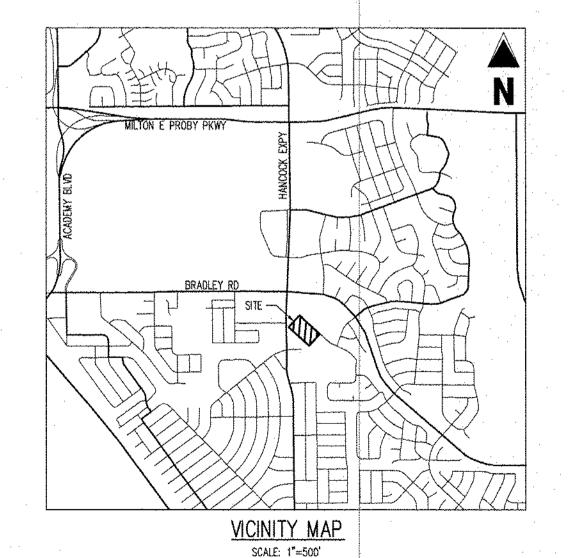
# CIVIL CONSTRUCTION PLANS LOT 2 ELM GROVE VILLA COLORADO SPRINGS, CO 80911 - EL PASO COUNTY SMITH PLUMBING & HEATING

PROJECT CONTACTS OWNER/DEVELOPER GREAT DANE VENTURES, LLC 5903 HIGH NOON AVE. COLORADO SPRINGS, CO 80923 ATTN: EVA ROBINSON **APPLICANT** HAMMERS CONSTRUCTION, INC. 1411 WOOLSEY HEIGHTS COLORADO SPRINGS, CO 80915 TELE: (719) 570-1599 ATTN: LISA PETERSON EMAIL: LPETERSON@HAMMERSCONSTRUCTION.COM CIVIL ENGINEER GALLOWAY & CO., INC. 1155 KELLY JOHNSON BLVD., SUITE 305 COLORADO SPRINGS, CO 80920 TELE: (719) 900-7220 ATTN: GRANT DENNIS, P.E. EMAIL: GRANTDENNIS@GALLOWAYUS.COM GEOTECHNICAL ENGINEER ENTECH ENGINEERING, INC. 505 ELKTON DRIVE COLORADO SPRINGS, CO 80907 TELE: (719) 531-5599 ATTN: SURVEYOR GALLOWAY & CO., INC. 1155 KELLY JOHNSON BLVD., SUITE 305 COLORADO SPRINGS, CO 80920 TELE: (719) 337-1262 ATTN: BRIAN DENNIS EMAIL: BRIANDENNIS@GALLOWAYUS.COM UTILITY CONTACTS WATER & WASTEWATER WIDEFIELD WATER & SANITATION DISTRICT COLORADO SPRINGS, CO 80925 TELE: (719) 390-7111 COLORADO SPRINGS UTILITIES (CSU) 111 S. CASCADE AVE. COLORADO SPRINGS, CO 80903 TELE: (719) 448-4800 NATURAL GAS COLORADO SPRINGS UTILITIES (CSU) 7710 DURANT DRIVE, P.O. BOX 1103, MAIL CODE 2150 COLORADO SPRINGS, CO 80947-2150 TELE: (719) 668–5573 SECURITY FIRE DEPARTMENT 400 SECURITY BLVD.

SECURITY, CO 80911 TELE: (719) 392-7121





ENGINEER'S STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCESS RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

02/02/2022

OWNER'S STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND

EVA ROBINSON

GREAT DANE VENTURES, LLC.

EL PASO COUNTY

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/ OR ACCURACY OF THIS DOCUMENT. FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT **APPROVED** 

**Engineering Department** 

JENNIFER IRVINE, P.E. COUNTY ENGINEER / ECM ADMINISTRATOR

	05/18/2022 9:41:52 AM dsdnijkamp	
•	EPC Planning & Community Development Department	

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2	NOTES	C0.1
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4	SITE PLAN	C1.2
5	HORIZONTAL CONTROL PLAN	C1.3
6	PAVING & STRIPING PLAN	C1.4
7	SITE DETAILS	C1.5
8	EROSION CONTROL INITIAL PLAN	C2.1
9	EROSION CONTROL INTERIM PLAN	C2.2
10	GRADING & EROSION CONTROL FINAL PLAN	C2.3
11	GEC DETAILS	C2.4
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14	GEC DETAILS	C2.7
15	WATER QUALITY DETENTION POND	C3.1
16	POND DETAILS	C3.2
17	UTILITY SERVICE PLAN	C4.1
18	UTILITY DETAILS	C4.2

BASIS OF BEARINGS

BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6' WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, "T24S R66W W.C. 6.00' S 35 S36 S2 S1 T1 \$ S R55W 2012 PLS 24313" AND ON THE SOUTH END BY A 3.5" ALUMINUM CAP, FOUND, "RMPS 19625", AND IS CONSIDERED TO BEAR NO0'42'04"W.

BENCHMARK

PUBLISHED BENCHMARK FIMS MONUMENT FX35 ELEVATION = 5980.39 (NAVD88)

CAUTION - NOTICE TO CONTRACTOR 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS

PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD ( ) LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT Call before you dig. IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

1155 Kelly Johnson Blvd., Suite 305 Colorado Springs, CO 80920 719.900.7220 GallowayUS.com



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HAMMERS

CONSTRUCTION DOCUMENTS
SMITH PLUMBING & HEATING
FOR
HAMMERS CONSTRUCTION, I

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Project No:	HCi000008
Drawn By:	TPT
Checked By:	CMD
Date:	02/02/2022

**COVER SHEET** 

PCD FILING NO. PPR2143

Sheet 1 of 18

#### STANDARD NOTES FOR GEC PLANS

- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFFSITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS. STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS TO REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN
- 3. A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- 4. ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED. THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACOTR, ENGINEER AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
- 5. CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT MAY CONTRIBUTE POLLUTANTS TO STORMWATER. TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
- 6. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES IS NFFDFD TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN PRIOR TO IMPLEMENTATION.
- TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE STABILIZED.
- 8. FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLAN DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
- 9. ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE HYDROLOGY OR HYDRAULICS OF A PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
- 10. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
- 11. COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED.
- 12. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
- 13. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNDEF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUT SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY.
- 14. DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
- 15. EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
- 16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED OR DISCHARGED AT THE SITE.
- 17. WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STRFFT. ALLEY. OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- 18. TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFFSITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- 19. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- 20. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- 21. NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- 22. BULK STORAGE OF PETROLEUM PRODUCTS OR OTHER LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL HAVE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- 23. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
- 24. OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS) AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS. RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES OR REGULATIONS SHALL APPLY.
- 25. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION
- 26. PRIOR TO ACTUAL CONSTRUCTION THE PERMITEE SHALL VERIFY THE LOCATION OF EXISTING
- 27. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- 28. THE SOILS REPORT, TITLED "SUBSURFACE SOIL INVESTIGATION UPDATE 1875 MAIN STREET" FOR THIS SITE HAS BEEN PREPARED BY ENTECH ENGINEERING, DATED APRIL 15, 2021 AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- 29. AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TOT HE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT WATER QUALITY CONTROL DIVISION

WQCD - PERMITS 4300 CHERRY CREEK DRIVE SOUTH DENVER. CO 80246-1530

ATTN: PERMITS UNIT

#### STANDARD NOTES FOR CONSTRUCTION PLANS

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- 3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT. AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
- A. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
- B. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 C. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR
- ROAD AND BRIDGE CONSTRUCTION D. CDOT M & S STANDARDS
- 4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS. INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- 5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- 6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- 7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESOCP). REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST
- 8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- 9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED
- 10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND
- 11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION
- 12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- 13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
- 14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- 15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED. FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

#### EROSION CONTROL NOTES

- 1. SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN TWENTY-ONE (21) CALENDAR DAY AFTER FINAL GRADING, OR FINAL EARTH DISTURBANCE, HAS BEEN COMPLETED, DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL FROSION CONTROL MEASURES AND BMPS SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.
- CONSTRUCTION FENCE AND SILT FENCE OFFSET FOR CLARITY. CONTRACTOR TO ENSURE BMPS ARE PLACED DOWNSTREAM OF DISTURBED AREAS TO PREVENT SEDIMENT FROM LEAVING THE SITE.

#### GENERAL CONSTRUCTION NOTES

- 1. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- 2. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPLACED AT THE CONTRACTORS EXPENSE AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
- 3. ADDITIONAL EROSION CONTROL STRUCTURES MAY BE REQUIRED AT THE TIME OF
- 4. ALL BACKFILL, SUB-BASE AND / OR BASE COURSE (CLASS 6) MATERIAL SHALL BE COMPACTED TO THE SOILS ENGINEERS RECOMMENDATIONS, AND APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION.
  - 5. ALL STATIONING IS CENTERLINE UNLESS OTHERWISE INDICATED. ALL ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE INDICATED.
- 6. ALL DISTURBED PAVEMENT EDGES SHALL BE CUT TO NEAT LINES. REPAIR SHALL CONFORM TO THE EPC ECM APPENDIX K - 1.2C.
- 7. ALL CULVERT AND STORM PIPES SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE (HDPE), OR REINFORCED CONCRETE PIPE (RCP), ALL CULVERTS SHALL BE PLACED COMPLETE WITH FLARED END SECTIONS. ADEQUACY OF MATERIAL THICKNESS FOR ANY CSP INSTALLED SHALL BE VERIFIED BY OWNERS GEOTECHNICAL ENGINEER TO SUPPORT MINIMUM 50 YEAR DESIGN LIFE. CULVERTS MUST CONFORM TO EPC ECM SECTION 3.32 - CULVERTS.
- 8. TYPE M RIP-RAP WITH 4" OF TYPE II GRANULAR BEDDING AND MIRAFI 180N OR EQUAL MAY BE SUBSTITUTED WHERE TYPE L RIP-RAP WITH MIRAFI FW 700 OR EQUAL IS SPECIFIED.
- 9. ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN COMPLIANCE WITH ANY AND ALL APPLICABLE EL PASO COUNTY STANDARDS AND WITH WOODMAN HILLS METRO DISTRICT CONSULTING ENGINEER APPROVAL.
- 10. ALL POTABLE WATER MAINS SHALL BE AWWA C900-SDR18 PVC WITH PUSH-ON SINGLE GASKET TYPE JOINTS AND SHALL MEET THE REQUIREMENTS OF ANSI / NSF 61.
- 11. SANITARY SEWER PIPE AND FITTINGS: PVC 4" ASTM D3034, TYPE PSM, SDR 35: PUSH-ON JOINTS AND MOLDED RUBBER GASKETS MAXIMUM HORIZONTAL DEFLECTIONS, AFTER INSTALLATION AND BACK FILLING SHALL NOT EXCEED 3% OF THE PIPE DIAMETER. (MINIMUM CURVE RADIUS IS 100' FOR 8" PVC SANITARY SEWER MAIN)



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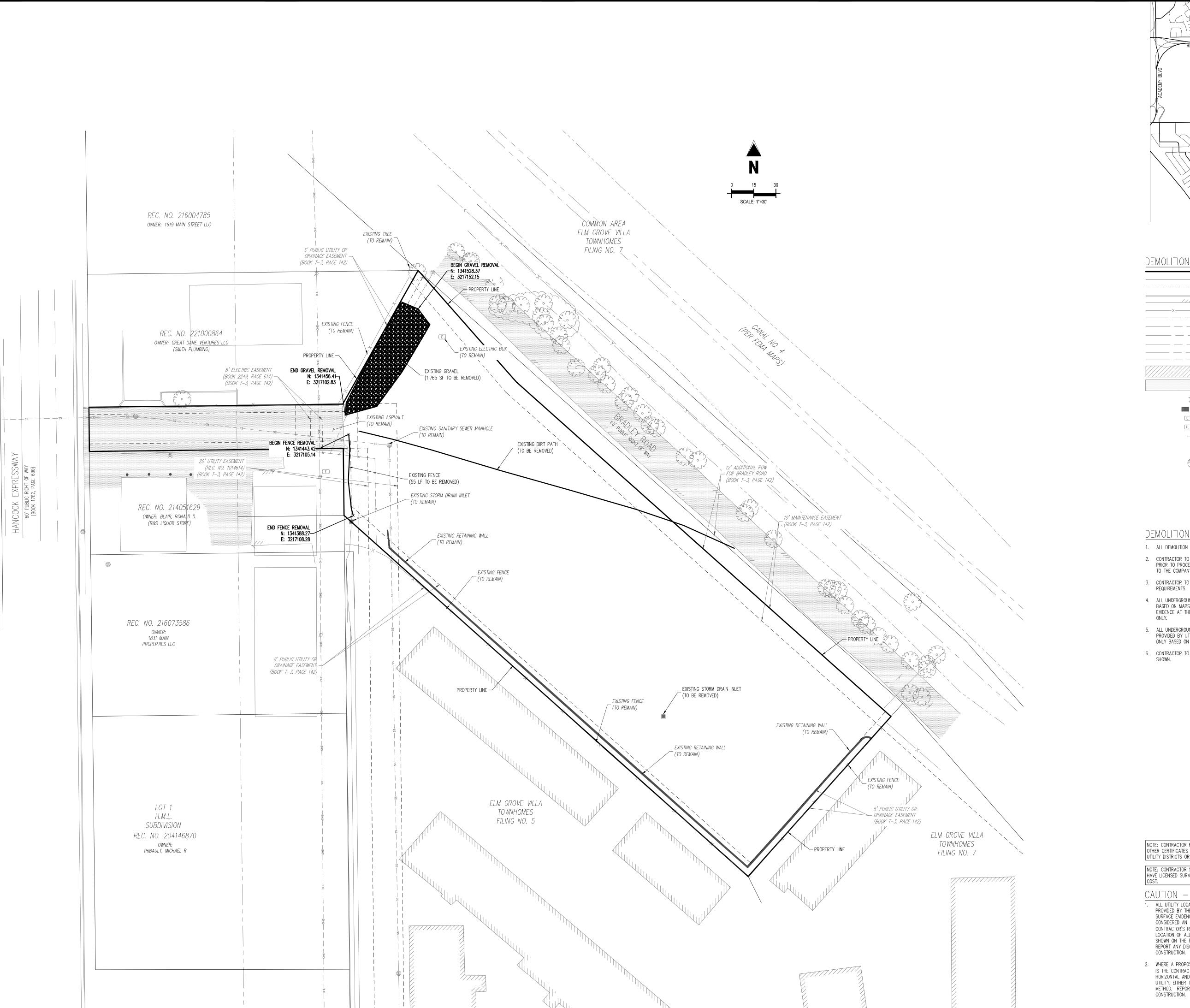
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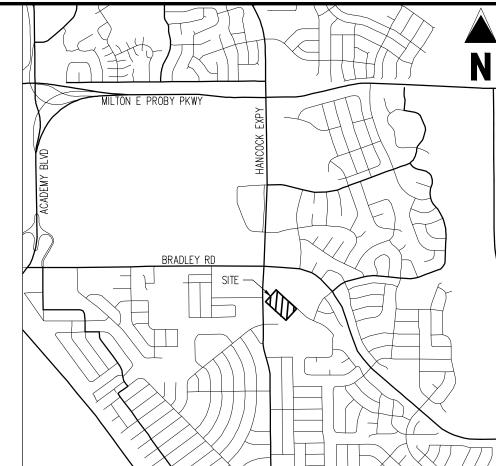
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Date:	02/02/2022

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NOTES

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#### VICINITY MAP

#### DEMOLITION LEGEND

PROPERTY BOUNDARY LINE —— ADJACENT PROPERTY BOUNDARY LINE — — — — — — — EXISTING EASEMENT LINE EXISTING CURB & GUTTER —— EXISTING ASPHALT EDGE — × — EXISTING FENCE ----- SS------ EXISTING SANITARY SEWER LINE ---- EXISTING UNDERGROUND ELECTRIC LINE EXISTING STORM DRAIN LINE EXISTING BUILDING HATCH

#### EXISTING ASPHALT PAVING EXISTING FIRE HYDRANT

EXISTING STORM STRUCTURES E -\$-EXISTING ELECTRIC STRUCTURES TL RI EXISTING TELEPHONE STRUCTURES EXISTING SIGN EXISTING SANITARY SEWER MANHOLE EXISTING WATER STRUCTURES EXISTING TREES

- 1. ALL DEMOLITION TO BE IN ACCORDANCE WITH STATE, LOCAL, AND FEDERAL REQUIREMENTS.
- 2. CONTRACTOR TO VERIFY ALL UTILITY SERVICE LOCATIONS AND EXISTING SITE CONDITIONS PRIOR TO PROCEEDING. ANY SITE CONDITIONS THAT ARE NOT AS SHOWN MUST BE REPORTED TO THE COMPANY REPRESENTATIVE PRIOR TO BID.
- 3. CONTRACTOR TO REMOVE OR RELOCATE EXISTING UTILITIES PER UTILITY COMPANY REQUIREMENTS.
- 4. ALL UNDERGROUND STORM SEWER, WATER, AND SANITARY SEWER MAIN LOCATIONS ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION
- 5. ALL UNDERGROUND GAS AND ELECTRIC UTILITY INFORMATION SHOWN IS BASED ON MAPS PROVIDED BY UTILITY COMPANY AND ARE TO BE CONSIDERED AS AN APPROXIMATE LOCATION ONLY BASED ON SAID MAPS.
- 6. CONTRACTOR TO OBTAIN ALL PERMITS AND LICENSES REQUIRED FOR DEMOLITION OF WORK

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NOTE: CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR

### CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEEER PRIOR TO

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT Call before you dig. IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO

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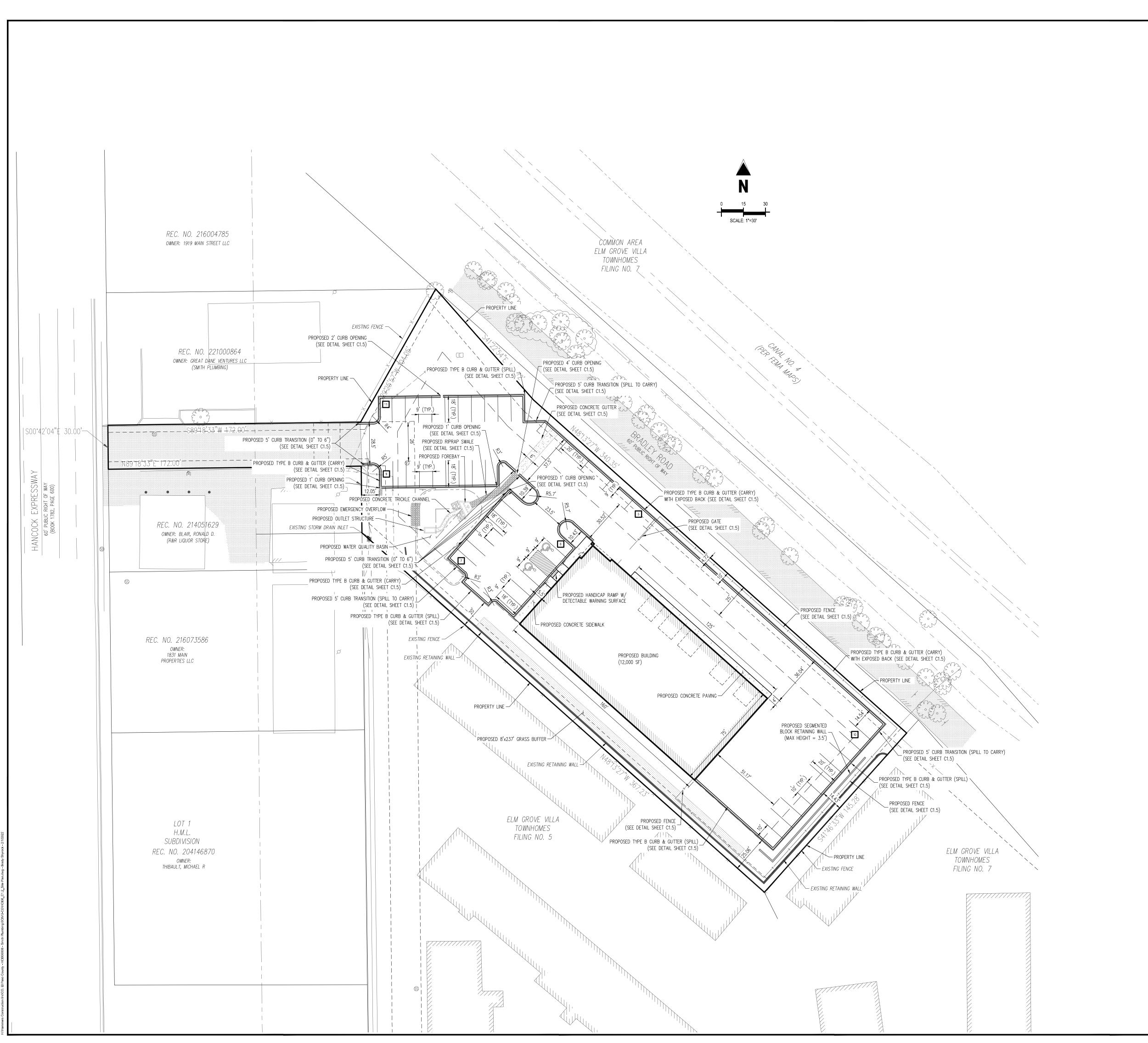
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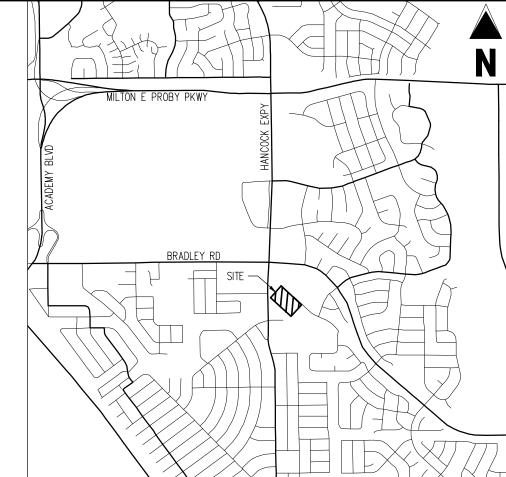
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DEMOLITION PLAN

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Sheet 3 of 18

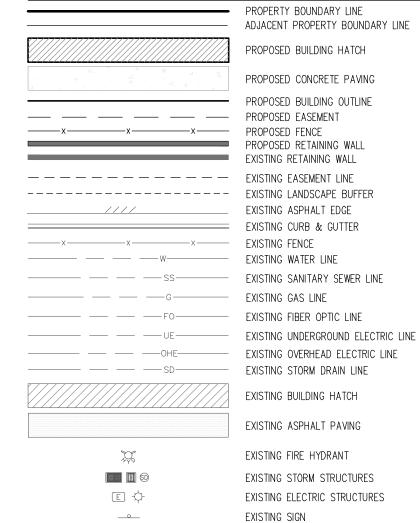




### VICINITY MAP

SCALE: 1"=500'

SITE LEGEND



#### GENERAL NOTES

- 1. REFER TO GRADING & EROSION CONTROL PLAN FOR ADA RMAP & FINE GRADING.
- REFER TO UTILITY SERVICE PLANS FOR WATER AND WASTEWATER CONSTRUCTION PLANS.
   ALL WORK & MATERIAL SHALL COMPLY WITH ALL COUNTY REGULATIONS AND CODES AND

EXISTING SANITARY SEWER MANHOLE

EXISTING WATER STRUCTURES

PROPOSED SITE LIGHTING

PROPOSED SIGN
PARKING COUNT

- OSHA STANDARD.
  4. NO WETLANDS ARE PRESENT ON SITE.
- 5. ALL PROPOSED PAVING AREAS & DRIVE AISLES TO BE PAVED W/ ASPHALT.
- 6. ALL PROPOSED SIDEWALKS TO BE CONSTRUCTED W/ CONCRETE, 4" THICK.
- 7. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGE TO ANY EXISTING ITEMS THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION AND DEMOLITION ARE COMPLETE. THOSE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, DRAINAGE SYSTEMS, UTILITIES, CURBING, PAVING, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN EXISTING CONDITIONS.

#### ADA DESIGN PROFESSIONAL STATEMENT

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

#### BASIS OF BEARINGS

BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6' WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, "T24S R66W W.C. 6.00' S 35 S36 S2 S1 T1 ¼ S R55W 2012 PLS 24313" AND ON THE SOUTH END BY A 3.5" ALUMINUM CAP, FOUND, "RMPS 19625", AND IS CONSIDERED TO BEAR NO0'42'04"W.

#### BENCHMARK

PUBLISHED BENCHMARK FIMS MONUMENT FX35

CONSTRUCTION.

ELEVATION = 5980.39 (NAVD88)

NOTE: CONTRACTOR MUST COORDINATE WORK WITH WIDEFIELD WATER AND SANITATION DISTRICT AND EL PASO COUNTY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO

STARTING WORK.

NOTE: CONTRACTOR RESPONSIBLE FOR AS—BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

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#### CAUTION - NOTICE TO CONTRACTOR

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METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO

REPORT ANY DISCREPANCIES TO THE ENGINEEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY. EITHER THROUGH POTHOLING OR ALTERNATIVE

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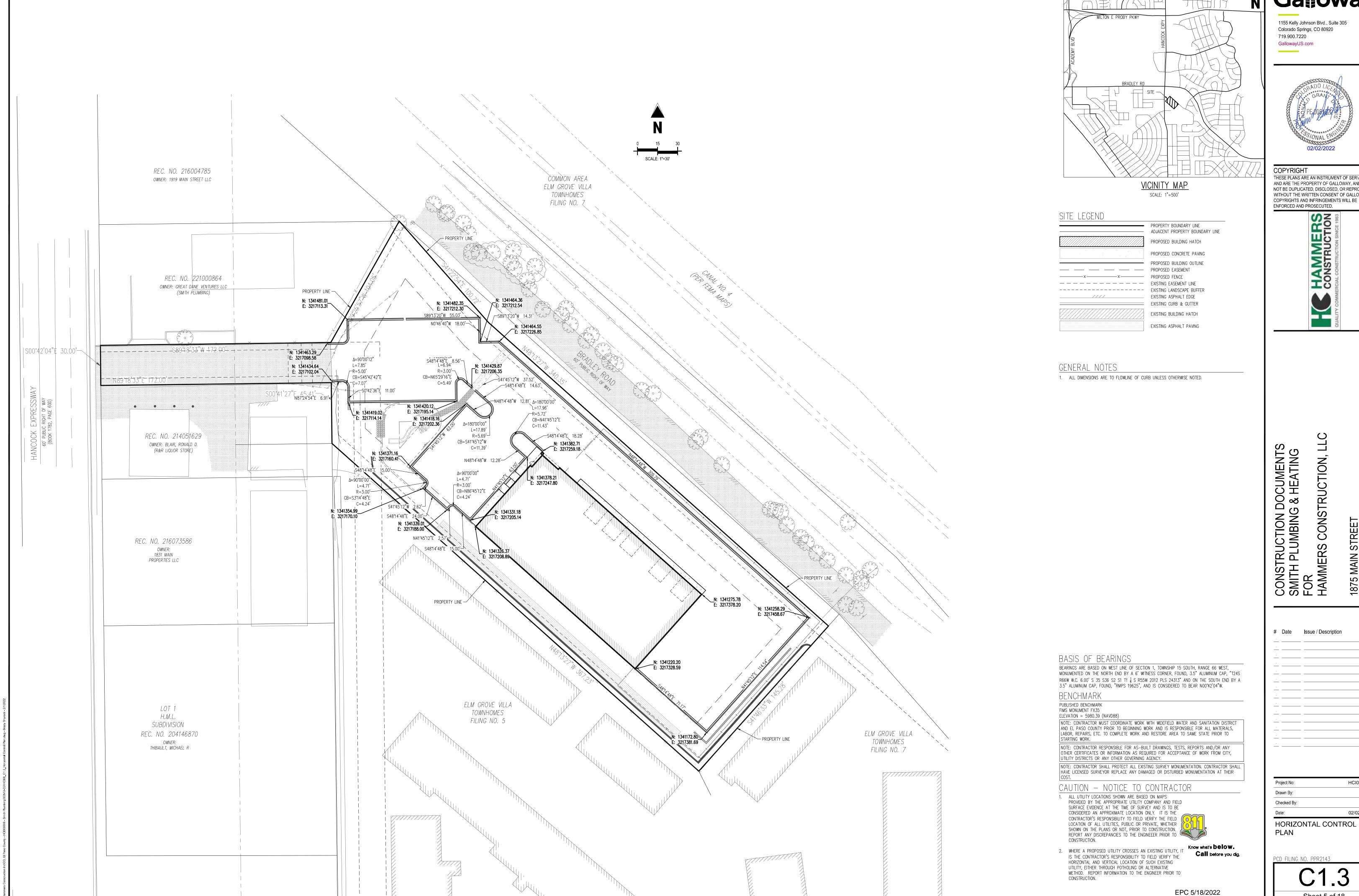
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SITE PLAN

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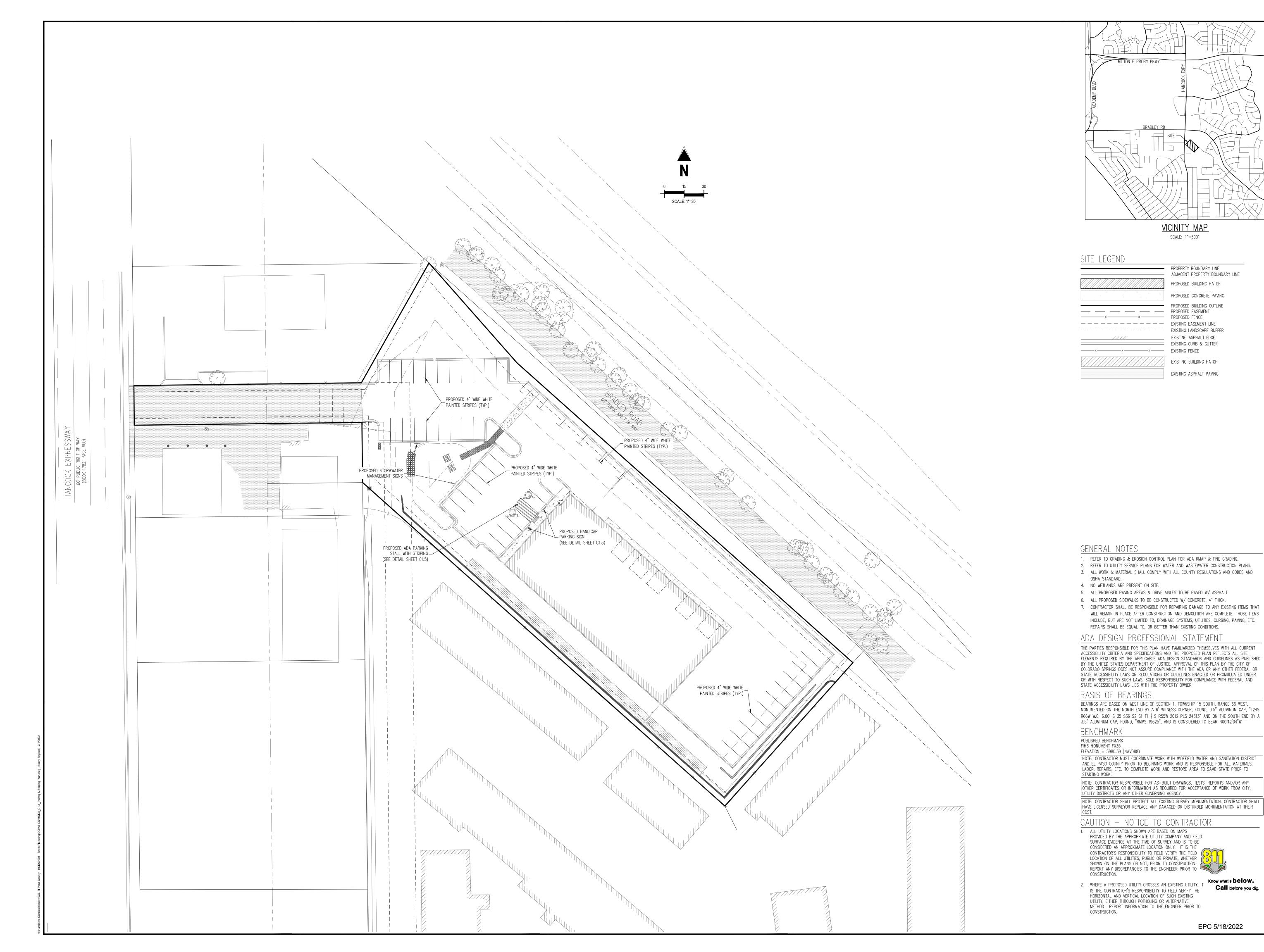


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<u>VICINITY MAP</u>

PROPERTY BOUNDARY LINE ADJACENT PROPERTY BOUNDARY LINE

PROPOSED BUILDING HATCH

PROPOSED CONCRETE PAVING

PROPOSED BUILDING OUTLINE

EXISTING ASPHALT EDGE EXISTING CURB & GUTTER EXISTING FENCE

EXISTING BUILDING HATCH

EXISTING ASPHALT PAVING

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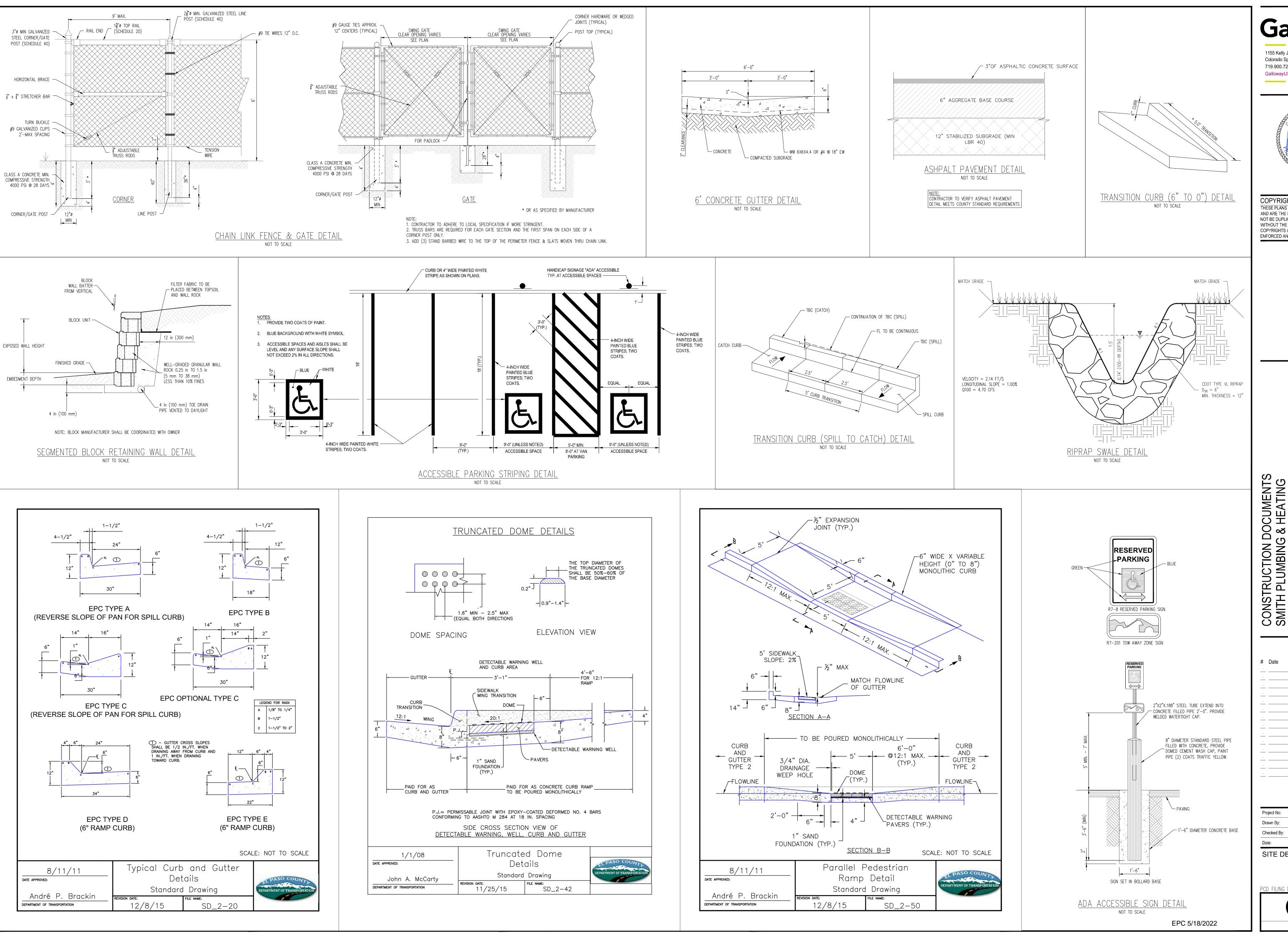
PAVING & STRIPING PLAN

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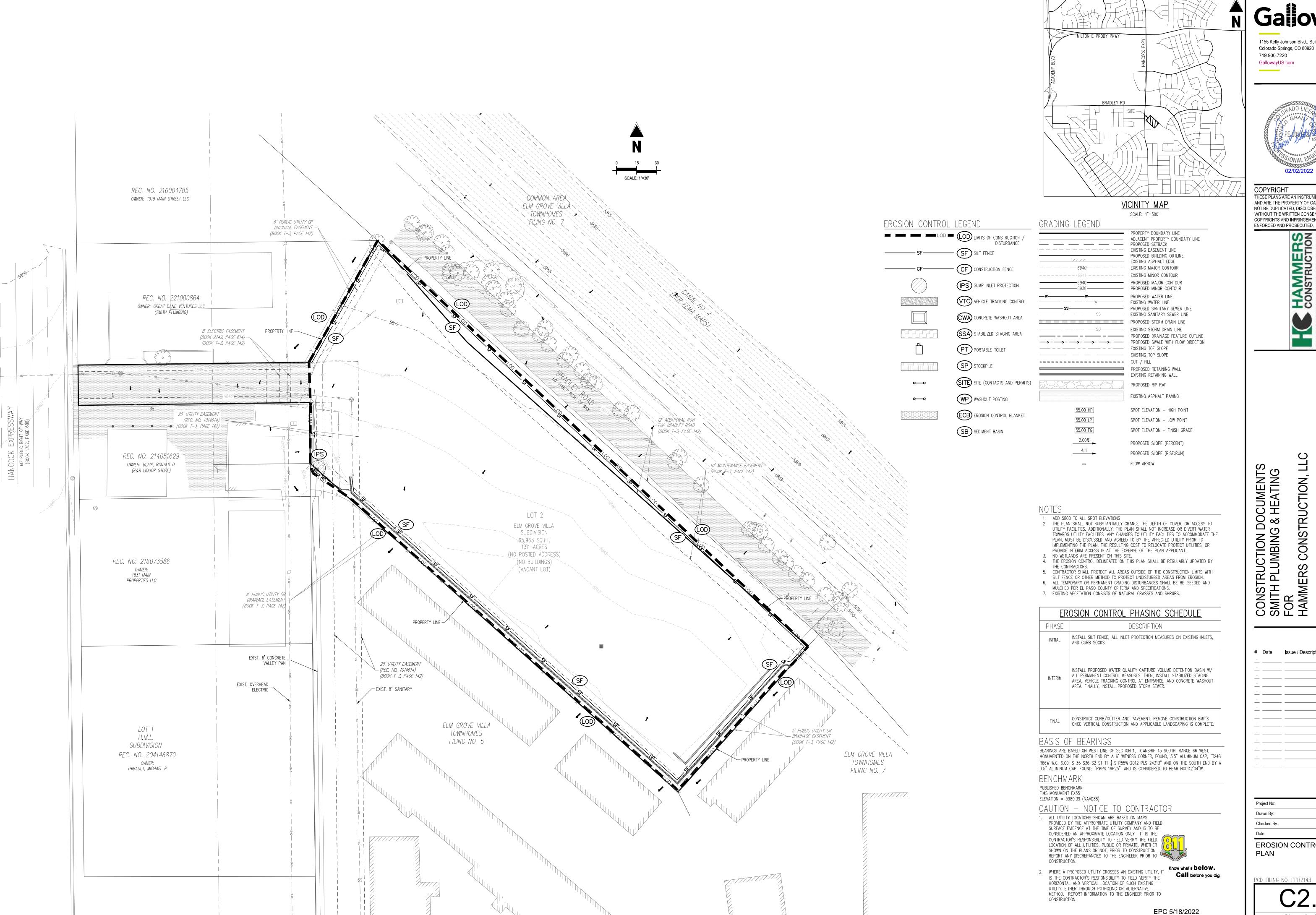
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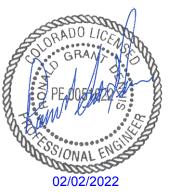
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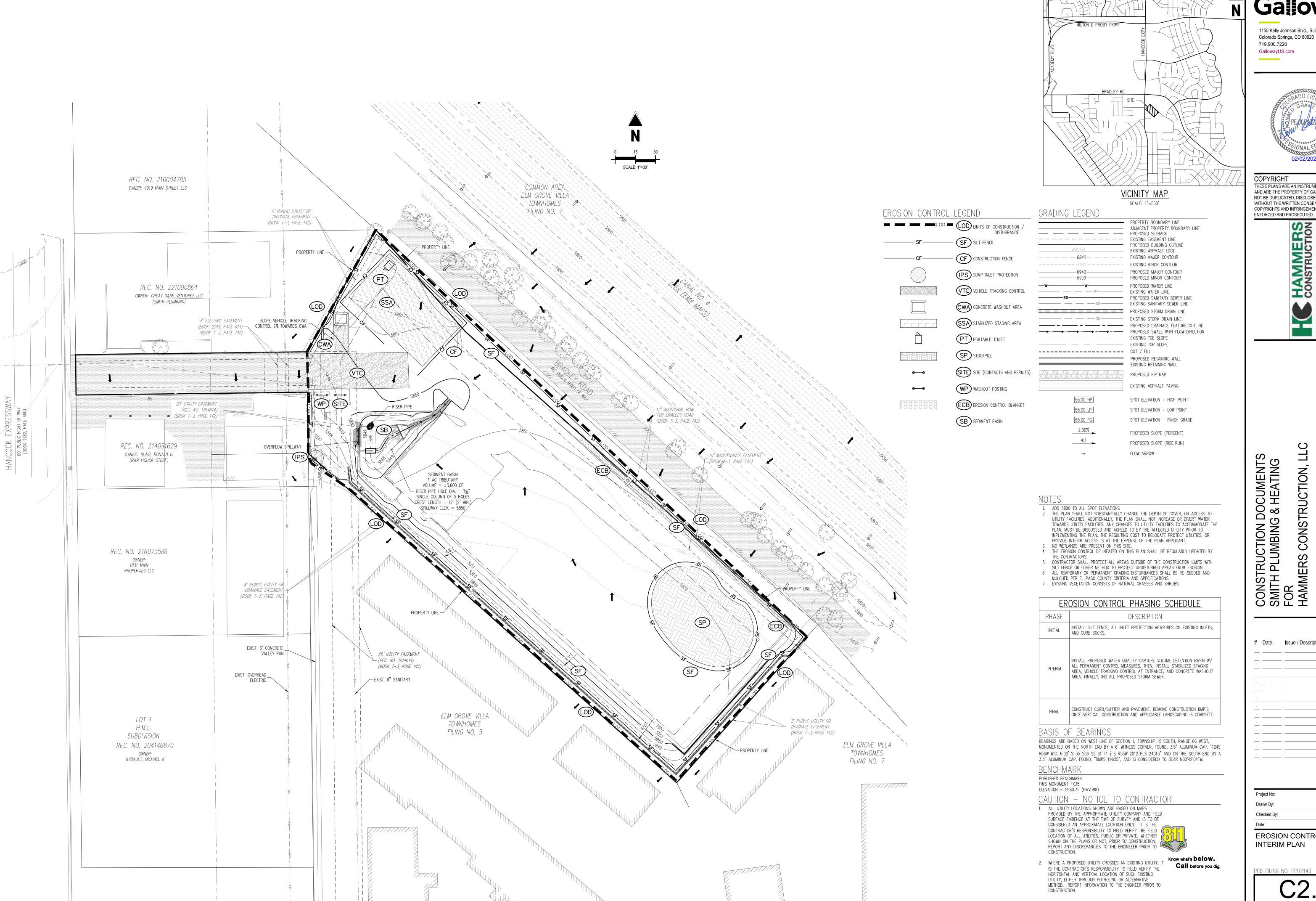
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EROSION CONTROL INITIAL

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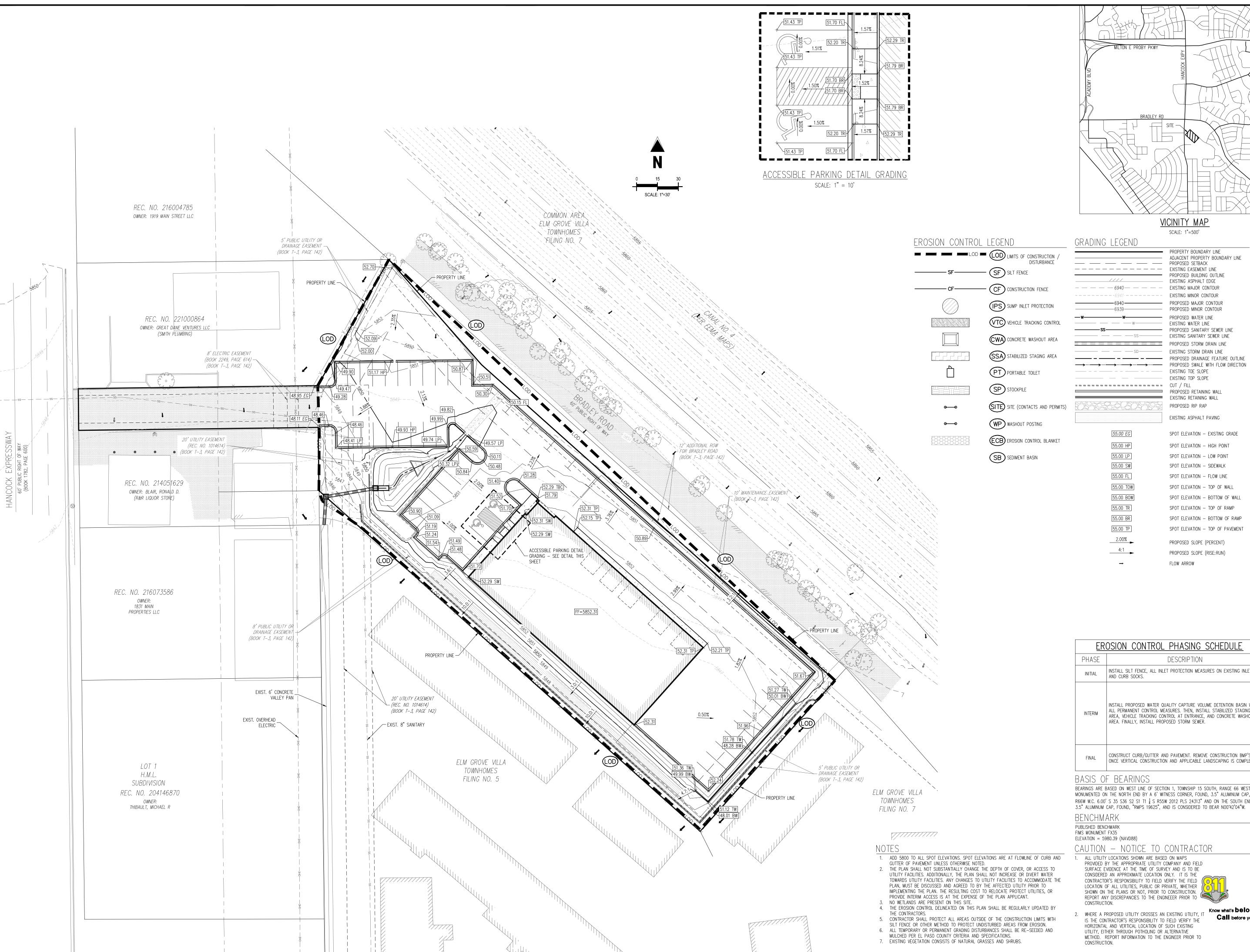
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**EROSION CONTROL** INTERIM PLAN

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EXISTING ASPHALT PAVING SPOT ELEVATION — EXISTING GRADE

SPOT ELEVATION - HIGH POINT SPOT ELEVATION - LOW POINT SPOT ELEVATION — SIDEWALK SPOT ELEVATION — FLOW LINE SPOT ELEVATION — TOP OF WALL SPOT ELEVATION - BOTTOM OF WALL SPOT ELEVATION — TOP OF RAMP SPOT ELEVATION — BOTTOM OF RAMP SPOT ELEVATION - TOP OF PAVEMENT

PROPOSED SLOPE (PERCENT) PROPOSED SLOPE (RISE:RUN) FLOW ARROW

LITOSION CONTINUE I IMAINO SONEDOLL					
PHASE	DESCRIPTION				
INITIAL	INSTALL SILT FENCE, ALL INLET PROTECTION MEASURES ON EXISTING INLETS, AND CURB SOCKS.				
INTERIM	INSTALL PROPOSED WATER QUALITY CAPTURE VOLUME DETENTION BASIN W/ ALL PERMANENT CONTROL MEASURES. THEN, INSTALL STABILIZED STAGING AREA, VEHICLE TRACKING CONTROL AT ENTRANCE, AND CONCRETE WASHOUT AREA. FINALLY, INSTALL PROPOSED STORM SEWER.				

CONSTRUCT CURB/GUTTER AND PAVEMENT. REMOVE CONSTRUCTION BMP'S ONCE VERTICAL CONSTRUCTION AND APPLICABLE LANDSCAPING IS COMPLETE.

BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6' WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, "T24S R66W W.C. 6.00' S 35 S36 S2 S1 T1  $\frac{1}{4}$  S R55W 2012 PLS 24313" AND ON THE SOUTH END BY A 3.5" ALUMINUM CAP, FOUND, "RMPS 19625", AND IS CONSIDERED TO BEAR NO0'42'04"W.

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WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO

CONTROL FINAL PLAN Call before you dig. PCD FILING NO. PPR2143

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**GRADING & EROSION** 

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11/12/2021

CMD

EPC 5/18/2022

November 2010

Rock Sock (RS)

1½" (MINUS) CRUSHED ROCK

4" TO 6" MAX AT

- 6"-10" DEPENDING

SEDIMENT LOADS

ON EXPECTED

GRADATION TABLE

MASS PERCENT PASSING SQUARE MESH SIEVES

NO. 4

CURBS, OTHERWISE

ENCLOSED IN WIRE MESH

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE

2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE

3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON

4. ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, OR DAMAGED

5. SEDIMENT ACCUMULATED UPSTREAM OF ROCK SOCKS SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE ROCK SOCK.

6. ROCK SOCKS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS

7. WHEN ROCK SOCKS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD) NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF ROCK SOCK INSTALLATION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY OTHER SIMILAR PROPRIETARY PRODUCTS ON THE MARKET. UDFCD NEITHER NDORSES NOR DISCOURAGES USE OF PROPRIETARY PROTECTION PRODUCTS; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

November 2010

Urban Drainage and Flood Control District

RS-3

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Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)

CF-3

Urban Drainage and Flood Control District

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)

Urban Storm Drainage Criteria Manual Volume 3 Urban Storm Drainage Criteria Manual Volume 3 8 X 8 MIN.

COMPACTED BERM AROUND

**MM-1** 

CWA

VEHICLE TRACKING

CONTROL (SEE

SURFACE

VEHICLE TRACKING

CONTROL (SEE VTC -

DETAIL )

VTC DETAIL) OR OTHER STABLE

CONSTRUCTION

3" MIN. THICKNESS

GRANULAR MATERIAL

SILT FENCE OR CONSTRUCTION

—— SF/CF —— SF/CF ——

ONSITE CONSTRUCTION

VEHICLE

NEEDED)

— SF/CF —— SF/CF →

SSA-1. STABILIZED STAGING AREA

2. STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE.

OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.

3. STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.

SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

4. THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR

5. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT

6. ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS

POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE

2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN

EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE

3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON

4. ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR

Urban Drainage and Flood Control District

Urban Storm Drainage Criteria Manual Volume 3

-CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL

PARKING (1F

CONSTRUCTION

SITE ACCESS

STABILIZED CONSTRUCTION

TO VTC-3)

1. SEE PLAN VIEW FOR

FROM THE LOCAL JURISDICTION.

FENCE AND CONSTRUCTION FENCING.

DOCUMENTED THOROUGHLY.

STABILIZED STAGING AREA MAINTENANCE NOTES

EROSION, AND PERFORM NECESSARY MAINTENANCE.

STABILIZED STAGING AREA INSTALLATION NOTES

-LOCATION OF STAGING AREA(S).

ENTRANCE (SEE

DETAILS VTC-1

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CWA MAINTENANCE NOTES

**MM-1** 

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.

2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE

DISCOVERY OF THE FAILURE.

4. THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN

5. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT

7. WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAIL ADAPTED FROM DOUGLAS COUNTY, COLORADO AND THE CITY OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD). NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN

CWA-1. CONCRETE WASHOUT AREA

8 X 8 MIN.

<u>CONCRETE WASHOUT AREA PLAN</u>

' MIN.

CONCRETE WASHOUT

CWA INSTALLATION NOTES

**Stockpile Management (SP)** 

UNDISTURBED OR \_

 SEE PLAN VIEW FOR: -CWA INSTALLATION LOCATION.

2. DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY, DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.

3. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.

4. CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT

5. BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.

6. VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.

7. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.

8. USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

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CWA-4

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**Stabilized Staging Area (SSA)** 

**SM-6** 

5. STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS.

6. THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEEDED AND MULCHED OR

OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION. NOTE: MANY MUNICIPALITIES PROHIBIT THE USE OF RECYCLED CONCRETE AS GRANULAR MATERIAL FOR STABILIZED STAGING AREAS DUE TO DIFFICULTIES WITH RE-ESTABLISHMENT OF

VEGETATION IN AREAS WHERE RECYCLED CONCRETE WAS PLACED. NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO, NOT AVAILABLE IN AUTOCAD)

STABILIZED STAGING AREA MAINTENANCE NOTES

SILT FENCE (SEE SF DETAIL FOR

INSTALLATION REQUIREMENTS)

SILT FENCE (SEE SF DETAIL FOR INSTALLATION REQUIREMENTS)

**Stockpile Management (SM)** MM-2

STOCKPILE PROTECTION MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE

2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.

3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.

STOCKPILE PROTECTION MAINTENANCE NOTES

5. STOCKPILE PERIMETER CONTROLS CAN BE REMOVED ONCE ALL THE MATERIAL FROM THE

(DETAILS ADAPTED FROM PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)

EROSION, AND PERFORM NECESSARY MAINTENANCE.

4. IF PERIMETER PROTECTION MUST BE MOVED TO ACCESS SOIL STOCKPILE, REPLACE PERIMETER CONTROLS BY THE END OF THE WORKDAY.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN

SP-1. STOCKPILE PROTECTION STOCKPILE PROTECTION INSTALLATION NOTES

STOCKPILE.

STOCKPILE PROTECTION PLAN

SECTION A

 SEE PLAN VIEW FOR:

 LOCATION OF STOCKPILES.

 -TYPE OF STOCKPILE PROTECTION.

2. INSTALL PERIMETER CONTROLS IN ACCORDANCE WITH THEIR RESPECTIVE DESIGN DETAILS. SILT FENCE IS SHOWN IN THE STOCKPILE PROTECTION DETAILS; HOWEVER, OTHER TYPES OF PERIMETER CONTROLS INCLUDING SEDIMENT CONTROL LOGS OR ROCK SOCKS MAY BE SUITABLE IN SOME CIRCUMSTANCES. CONSIDERATIONS FOR DETERMINING THE APPROPRIATE TYPE OF PERIMETER CONTROL FOR A STOCKPILE INCLUDE WHETHER THE STOCKPILE IS LOCATED ON A PERVIOUS OR IMPERVIOUS SURFACE, THE RELATIVE HEIGHTS OF THE PERIMETER CONTROL AND STOCKPILE, THE ABILITY OF THE PERIMETER CONTROL TO CONTAIN THE STOCKPILE WITHOUT FAILING IN THE EVENT THAT MATERIAL FROM THE STOCKPILE SHIFTS OR SLUMPS AGAINST THE PERIMETER, AND OTHER FACTORS.

3. STABILIZE THE STOCKPILE SURFACE WITH SURFACE ROUGHENING, TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS, OR SOIL BINDERS. SOILS STOCKPILED FOR AN EXTENDED PERIOD (TYPICALLY FOR MORE THAN 60 DAYS) SHOULD BE SEEDED AND MULCHED WITH A TEMPORARY GRASS COVER ONCE THE STOCKPILE IS PLACED (TYPICALLY WITHIN 14 DAYS). USE OF MULCH ONLY OR A SOIL BINDER IS ACCEPTABLE IF THE STOCKPILE WILL BE IN PLACE FOR A MORE LIMITED TIME PERIOD (TYPICALLY 30-60 DAYS).

4. FOR TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNGRADIENT CONTROLS, INCLUDING PERIMETER CONTROL, ARE IN PLACE, STOCKPILE PERIMETER CONTROLS MAY NOT BE REQUIRED.

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DOCUMENTED THOROUGHLY.

3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON

CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS, ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.

CONTAINER AND DISPOSED OF PROPERLY. 6. THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.

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Urban Storm Drainage Criteria Manual Volume 3

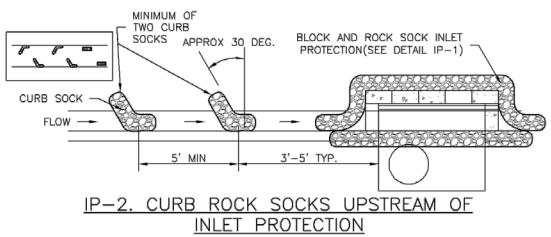
IP-1. BLOCK AND ROCK SOCK SUMP OR ON GRADE INLET\_PROTECTION

BLOCK AND CURB SOCK INLET PROTECTION INSTALLATION NOTES

1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.

2. CONCRETE "CINDER" BLOCKS SHALL BE LAID ON THEIR SIDES AROUND THE INLET IN A SINGLE ROW, ABUTTING ONE ANOTHER WITH THE OPEN END FACING AWAY FROM THE CURB.

3. GRAVEL BAGS SHALL BE PLACED AROUND CONCRETE BLOCKS, CLOSELY ABUTTING ONE ANOTHER AND JOINTED TOGETHER IN ACCORDANCE WITH ROCK SOCK DESIGN DETAIL.



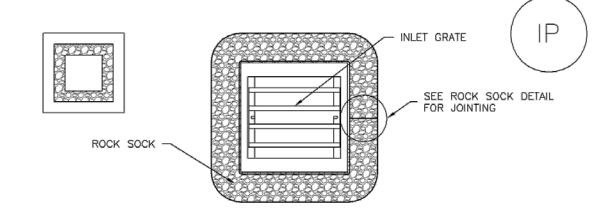
- CURB ROCK SOCK INLET PROTECTION INSTALLATION NOTES
- 1. SEE ROCK SOCK DESIGN DETAIL INSTALLATION REQUIREMENTS.
- 2. PLACEMENT OF THE SOCK SHALL BE APPROXIMATELY 30 DEGREES FROM PERPENDICULAR IN THE OPPOSITE DIRECTION OF FLOW.
- 3. SOCKS ARE TO BE FLUSH WITH THE CURB AND SPACED A MINIMUM OF 5 FEET APART.

4. AT LEAST TWO CURB SOCKS IN SERIES ARE REQUIRED UPSTREAM OF ON-GRADE INLETS.

Urban Drainage and Flood Control District IP-4 Urban Storm Drainage Criteria Manual Volume 3

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**SC-6 Inlet Protection (IP)** 

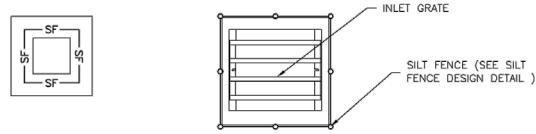


IP-3. ROCK SOCK SUMP/AREA INLET PROTECTION

ROCK SOCK SUMP/AREA INLET PROTECTION INSTALLATION NOTES

1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.

2. STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF ROCK SOCKS FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL



IP-4. SILT FENCE FOR SUMP INLET PROTECTION

SILT FENCE INLET PROTECTION INSTALLATION NOTES

1. SEE SILT FENCE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.

2. POSTS SHALL BE PLACED AT EACH CORNER OF THE INLET AND AROUND THE EDGES AT A MAXIMUM SPACING OF 3 FEET.

3. STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF SILT FENCE FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.

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**SC-7** 

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IP-5

IP-8

**SC-6** 

GENERAL INLET PROTECTION INSTALLATION NOTES

INSTALL INLET PROTECTION PRIOR TO ONSET OF EVENT.

EROSION, AND PERFORM NECESSARY MAINTENANCE.

-TYPE OF INLET PROTECTION (IP.1, IP.2, IP.3, IP.4, IP.5, IP.6)

2. INLET PROTECTION SHALL BE INSTALLED PROMPTLY AFTER INLET CONSTRUCTION OR PAVING

IS COMPLETE (TYPICALLY WITHIN 48 HOURS). IF A RAINFALL/RUNOFF EVENT IS FORECAST,

3. MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS

POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE

2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN

3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON

4. SEDIMENT ACCUMULATED UPSTREAM OF INLET PROTECTION SHALL BE REMOVED AS

NECESSARY TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN STORAGE VOLUME REACHES

50% OF CAPACITY, A DEPTH OF 6" WHEN SILT FENCE IS USED, OR 1/4 OF THE HEIGHT FOR

5. INLET PROTECTION IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS

PERMANENTLY STABILIZED, UNLESS THE LOCAL JURISDICTION APPROVES EARLIER REMOVAL OF

6. WHEN INLET PROTECTION AT AREA INLETS IS REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN

DISCOURAGES USE OF PROPRIETARY INLET PROTECTION; HOWEVER, IN THE EVENT

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS.

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF INLET PROTECTION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY

PROPRIETARY INLET PROTECTION METHODS ON THE MARKET, UDFCD NEITHER ENDORSES NOR

PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN

NOTE: SOME MUNICIPALITIES DISCOURAGE OR PROHIBIT THE USE OF STRAW BALES FOR INLET PROTECTION. CHECK WITH LOCAL JURISDICTION TO DETERMINE IF STRAW BALE INLET

EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE

SEE PLAN VIEW FOR:
 -LOCATION OF INLET PROTECTION.

INLET PROTECTION MAINTENANCE NOTES

DIFFERENCES ARE NOTED.

DOCUMENTED THOROUGHLY.

DISCOVERY OF THE FAILURE.

INLET PROTECTION IN STREETS.

DIFFERENCES ARE NOTED.

IN THE MANUFACTURER'S DETAILS.

PROTECTION IS ACCEPTABLE.

**Sediment Basin (SB)** 

SEDIMENT BASIN MAINTENANCE NOTES

DISCOVERY OF THE FAILURE.

BELOW THE SPILLWAY CREST).

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO)

LOCAL JURISDICTION.

EROSION, AND PERFORM NECESSARY MAINTENANCE.

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1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS

POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE

2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.

3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON

4. SEDIMENT ACCUMULATED IN BASIN SHALL BE REMOVED AS NEEDED TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN SEDIMENT DEPTH REACHES ONE FOOT (I.E., TWO FEET

5. SEDIMENT BASINS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA

6. WHEN SEDIMENT BASINS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN

WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY

IS STABILIZED AND GRASS COVER IS ACCEPTED BY THE LOCAL JURISDICTION.

August 2013

**Inlet Protection (IP)** 

**Sediment Basin (SB)** 

**Sediment Basin (SB)** 

TABLE SB-1. SIZING INFORMATION FOR STANDARD SEDIMENT BASIN Basin Bottom Width Diameter Area (rounded to Length (CL), (ft) (W), (ft) (HD), (in) nearest acre), (ac) 47 ¼ 58 1/4

SEDIMENT BASIN INSTALLATION NOTES

SEE PLAN VIEW FOR:
 -LOCATION OF SEDIMENT BASIN.

-TYPE OF BASIN (STANDARD BASIN OR NONSTANDARD BASIN). -FOR STANDARD BASIN, BOTTOM WIDTH W, CREST LENGTH CL, AND HOLE DIAMETER, HD. -FOR NONSTANDARD BASIN, SEE CONSTRUCTION DRAWINGS FOR DESIGN OF BASIN INCLUDING RISER HEIGHT H, NUMBER OF COLUMNS N, HOLE DIAMETER HD AND PIPE

2. FOR STANDARD BASIN, BOTTOM DIMENSION MAY BE MODIFIED AS LONG AS BOTTOM AREA

. SEDIMENT BASINS SHALL BE INSTALLED PRIOR TO ANY OTHER LAND-DISTURBING ACTIVITY THAT RELIES ON ON BASINS AS AS A STORMWATER CONTROL.

4. EMBANKMENT MATERIAL SHALL CONSIST OF SOIL FREE OF DEBRIS, ORGANIC MATERIAL, AND ROCKS OR CONCRETE GREATER THAN 3 INCHES AND SHALL HAVE A MINIMUM OF 15 PERCENT BY WEIGHT PASSING THE NO. 200 SIEVE.

5. EMBANKMENT MATERIAL SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D698.

6. PIPE SCH 40 OR GREATER SHALL BE USED.

7. THE DETAILS SHOWN ON THESE SHEETS PERTAIN TO STANDARD SEDIMENT BASIN(S) FOR DRAINAGE AREAS LESS THAN 15 ACRES. SEE CONSTRUCTION DRAWINGS FOR EMBANKMENT, STORAGE VOLUME, SPILLWAY, OUTLET, AND OUTLET PROTECTION DETAILS FOR ANY SEDIMENT BASIN(S) THAT HAVE BEEN INDIVIDUALLY DESIGNED FOR DRAINAGE AREAS LARGER THAN 15 ACRES.

Urban Drainage and Flood Control District

SB-7

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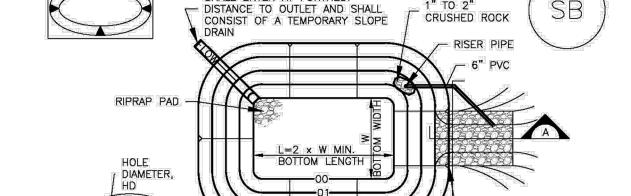
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PCD FILING NO. PPR2143

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INLETS TO SEDIMENT BASIN SHALL ENTER AT FURTHEST

SEDIMENT BASIN PLAN \*EXCEPT WHERE THE HOLES EXCEED 1" DIAMETER, THEN UP TO TWO COLUMNS OF SAME SIZED HOLES MAY BE USED SCHEDULE 40 PVC OR GREATER D50=9" RIPRAP EXCAVATION TYPE L. (SEE TABLE MD-7, MAJOR DRAINAGE, VOL. 1)

CREST LENGTH **FMRANKMENT** MATERIAL AT CREST - D50=9" RIPRAP TYPE L

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SB-5

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#### **Vehicle Tracking Control (VTC) SM-4**

#### STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES

1 SEE PLAN VIEW FOR -LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S). -TYPE OF CONSTRUCTION ENTRANCE(S)/EXITS(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM).

2. CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.

3. A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS. 4. STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

5. A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.

6. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.

2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.

3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.

4. ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.

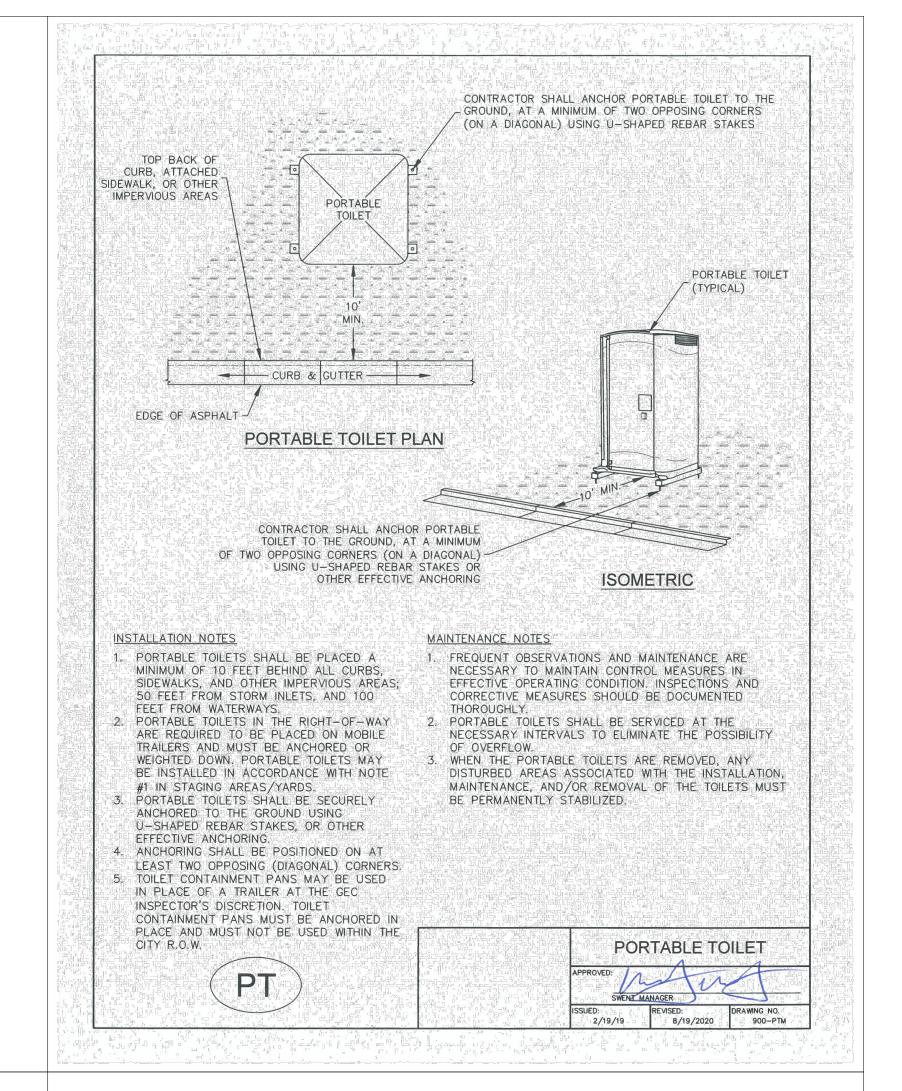
5. SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN

(DETAILS ADAPTED FROM CITY OF BROOMFIELD, COLORADO, NOT AVAILABLE IN AUTOCAD)

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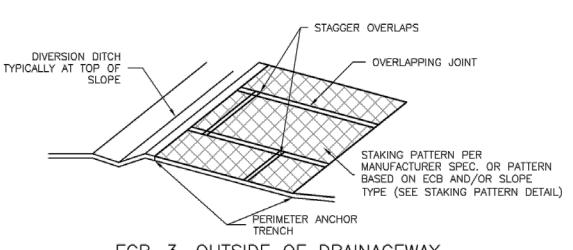
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#### **Rolled Erosion Control Products (RECP)**

November 2010

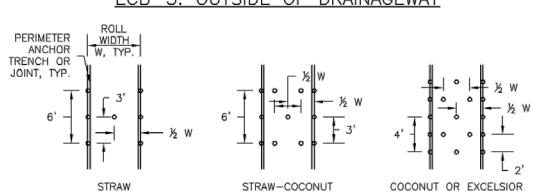
**EC-6** 

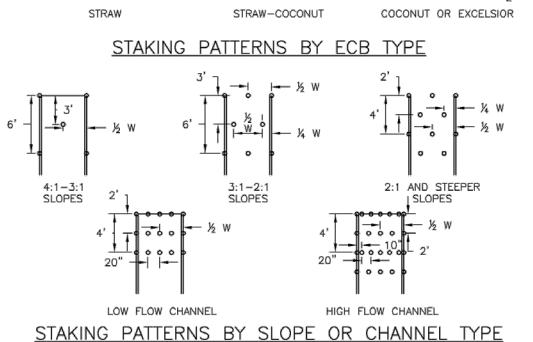


VTC-1. AGGREGATE VEHICLE TRACKING CONTROL

Urban Drainage and Flood Control District

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RECP-7

### **Rolled Erosion Control Products (RECP)**

EROSION CONTROL BLANKET INSTALLATION NOTES

TABLE ECB-1. ECB MATERIAL SPECIFICATIONS							
TYPE	COCONUT CONTENT	STRAW CONTENT	EXCELSIOR CONTENT	RECOMMENDED NETTING**			
STRAW*	_	100%	-	DOUBLE/ NATURAL			
STRAW- COCONUT	30% MIN	70% MAX	-	DOUBLE/ NATURAL			
COCONUT	100%	_	_	DOUBLE/ NATURAL			
EXCELSIOR	_	-	100%	DOUBLE/ NATURAL			

RECP-8

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#### **Rolled Erosion Control Products (RECP)**

## **EC-6**

02/02/2022 GEC DETAILS

> PCD FILING NO. PPR2143 Sheet 14 of 18

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EROSION CONTROL BLANKET MAINTENANCE NOTES SEE PLAN VIEW FOR:

 LOCATION OF ECB.

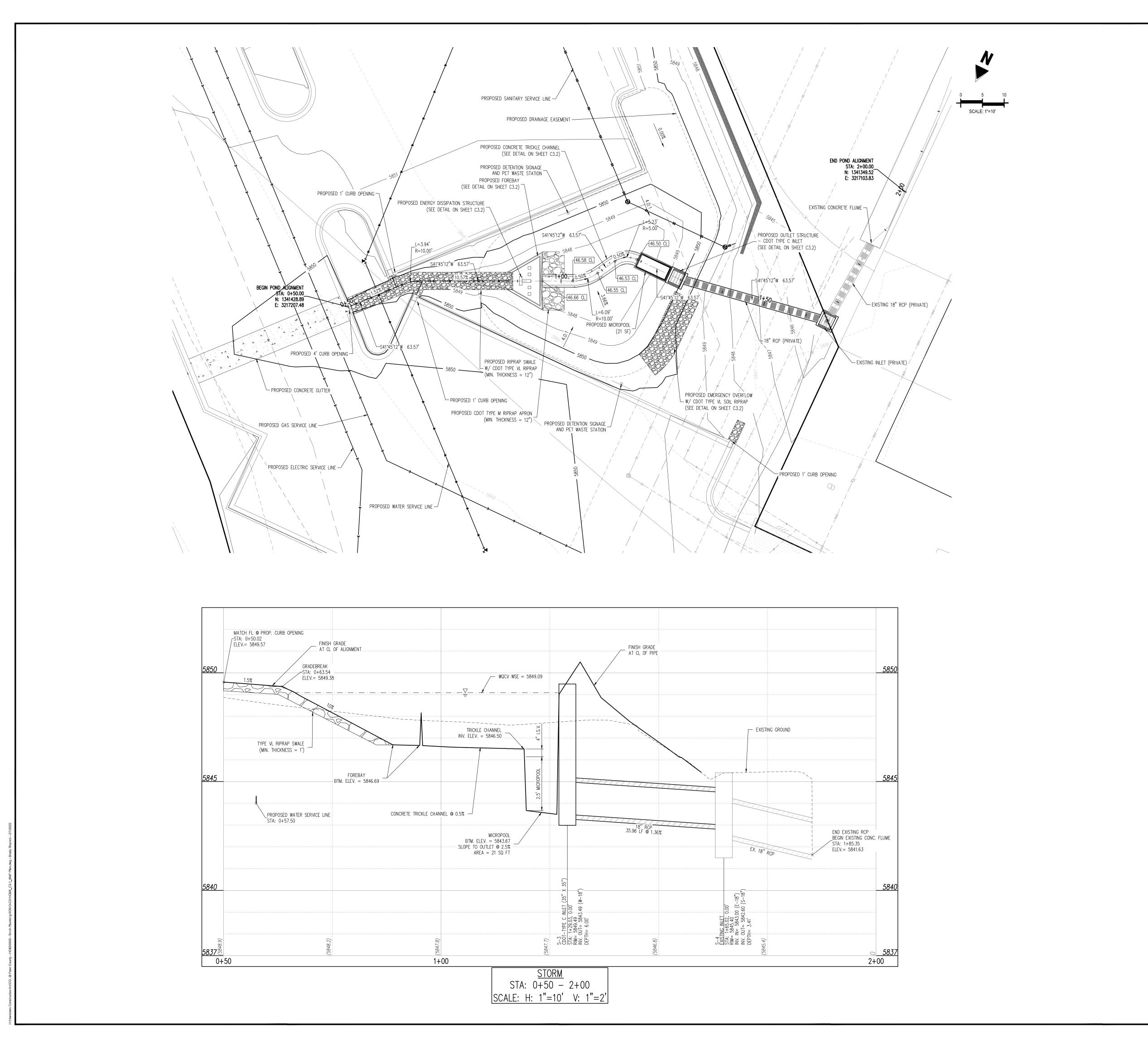
 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS -TYPE OF ECB (STRAW, STRAW-COCONUT, COCONUT, OR EXCELSIOR). -AREA, A, IN SQUARE YARDS OF EACH TYPE OF ECB. POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE. 2. 100% NATURAL AND BIODEGRADABLE MATERIALS ARE PREFERRED FOR RECPs, ALTHOUGH 2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN SOME JURISDICTIONS MAY ALLOW OTHER MATERIALS IN SOME APPLICATIONS. EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE 3. IN AREAS WHERE ECBs ARE SHOWN ON THE PLANS, THE PERMITTEE SHALL PLACE TOPSOIL AND PERFORM FINAL GRADING, SURFACE PREPARATION, AND SEEDING AND MULCHING. 3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON SUBGRADE SHALL BE SMOOTH AND MOIST PRIOR TO ECB INSTALLATION AND THE ECB SHALL DISCOVERY OF THE FAILURE. BE IN FULL CONTACT WITH SUBGRADE. NO GAPS OR VOIDS SHALL EXIST UNDER THE 4. ECBs SHALL BE LEFT IN PLACE TO EVENTUALLY BIODEGRADE, UNLESS REQUESTED TO BE REMOVED BY THE LOCAL JURISDICTION. 4. PERIMETER ANCHOR TRENCH SHALL BE USED ALONG THE OUTSIDE PERIMETER OF ALL 5. ANY ECB PULLED OUT, TORN, OR OTHERWISE DAMAGED SHALL BE REPAIRED OR REINSTALLED. ANY SUBGRADE AREAS BELOW THE GEOTEXTILE THAT HAVE ERODED TO CREATED A VOID UNDER THE BLANKET, OR THAT REMAIN DEVOID OF GRASS SHALL BE REPAIRED, ECB-3. OUTSIDE OF DRAINAGEWAY BLANKET AREAS. 5. JOINT ANCHOR TRENCH SHALL BE USED TO JOIN ROLLS OF ECBs TOGETHER (LONGITUDINALLY AND TRANSVERSELY) FOR ALL ECBs EXCEPT STRAW WHICH MAY USE AN OVERLAPPING JOINT. RESEEDED AND MULCHED AND THE ECB REINSTALLED. NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN 6. INTERMEDIATE ANCHOR TRENCH SHALL BE USED AT SPACING OF ONE-HALF ROLL LENGTH FOR COCONUT AND EXCELSIOR ECBs. 7. OVERLAPPING JOINT DETAIL SHALL BE USED TO JOIN ROLLS OF ECBs TOGETHER FOR ECBs (DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO AND TOWN OF PARKER COLORADO, NOT AVAILABLE IN AUTOCAD) ON SLOPES. 8. MATERIAL SPECIFICATIONS OF ECBs SHALL CONFORM TO TABLE ECB-1. 9. ANY AREAS OF SEEDING AND MULCHING DISTURBED IN THE PROCESS OF INSTALLING ECBS SHALL BE RESEEDED AND MULCHED. 10. DETAILS ON DESIGN PLANS FOR MAJOR DRAINAGEWAY STABILIZATION WILL GOVERN IF DIFFERENT FROM THOSE SHOWN HERE.

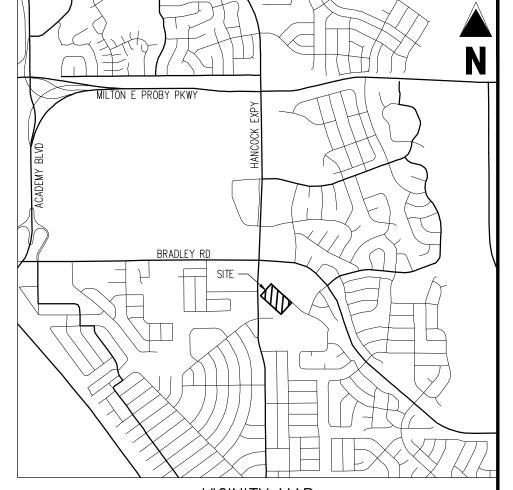
Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3

RECP-9

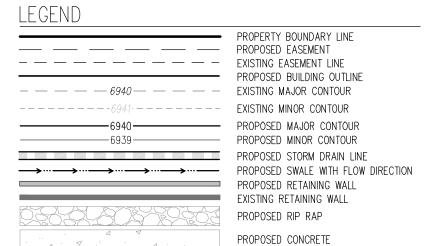
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Checked By





VICINITY MAP



NOTES

 ADD 5800 TO ALL SPOT ELEVATIONS
 ALL STORM PIPE SHALL BE CLASS 3 RCP OR HDPE IN ACCORDANCE WITH COUNTY STANDARD SPECIFICATIONS, UNLESS OTHERWISE NOTED. Galloway

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HAMMERS

CONSTRUCTION

QUALITY COMMERCIAL CONSTRUCTION SINCE 1963

PASO COUNTY

CONSTRUCTION DOCUMENTS
SMITH PLUMBING & HEATING
FOR
HAMMERS CONSTRUCTION, LLC

# Date Issue / Description

# Date Issue / Description Init.

 Project No:
 HCI000008

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 TPT

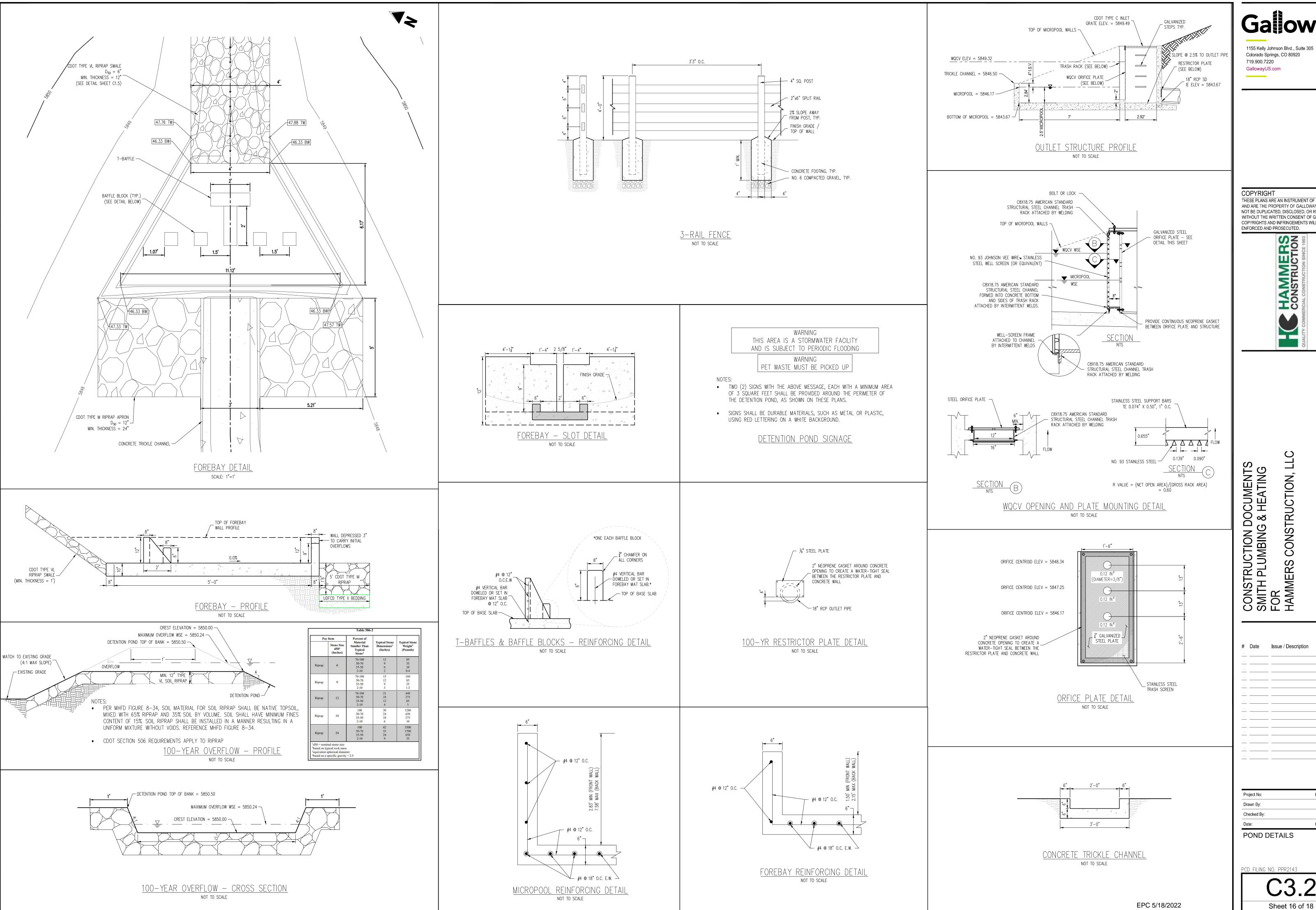
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 02/02/2022

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WATER QUALITY DETENTION POND

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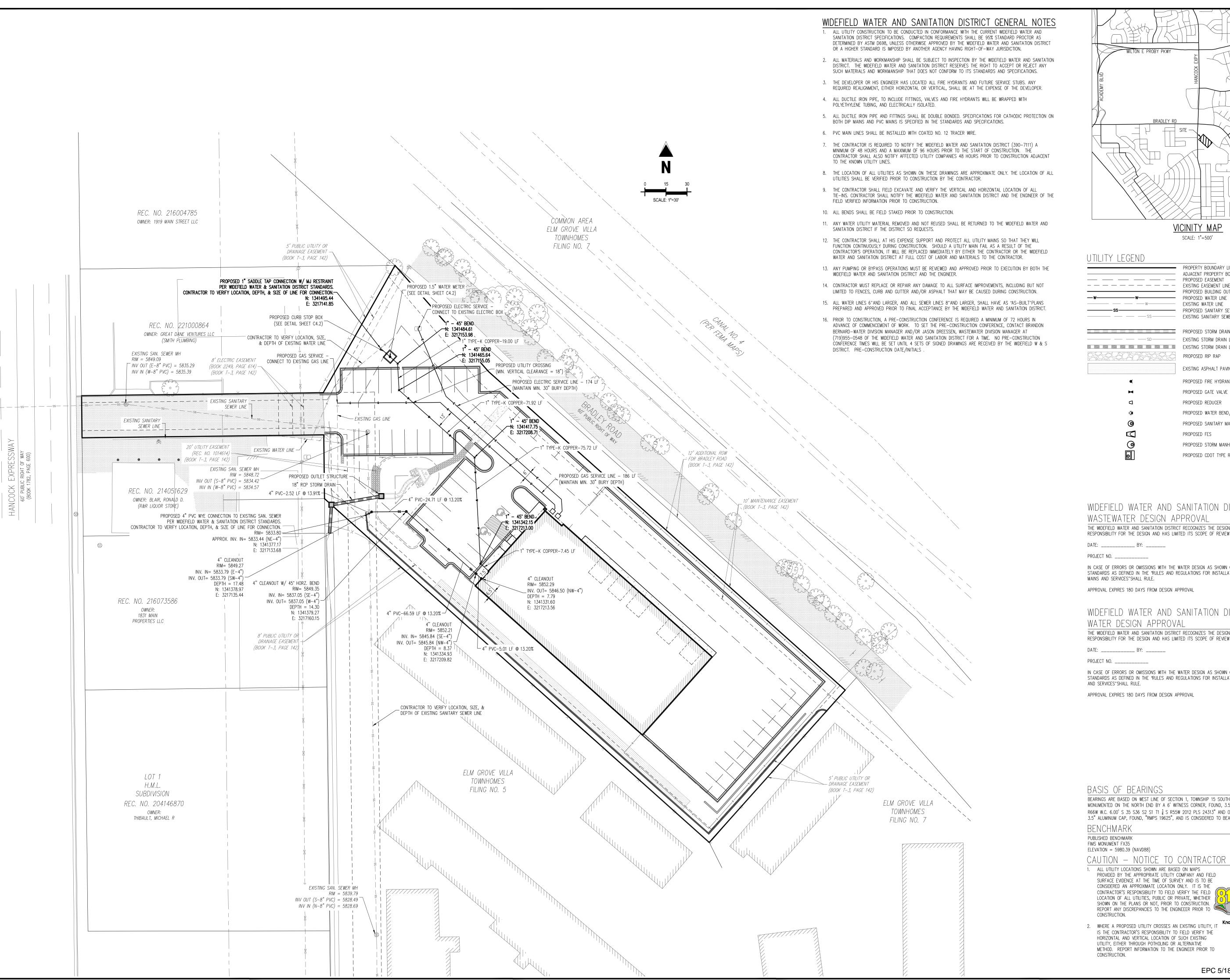
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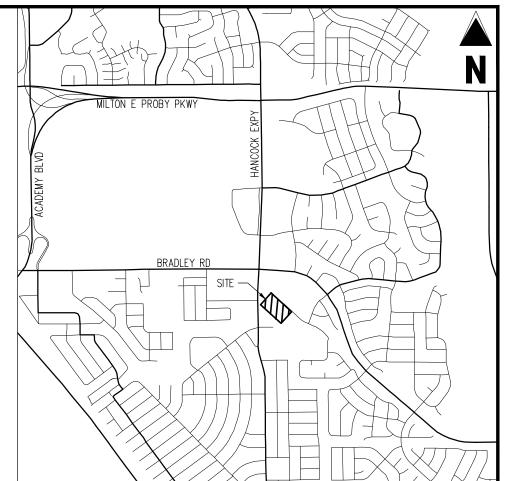
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POND DETAILS

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**VICINITY MAP** SCALE: 1"=500'

PROPERTY BOUNDARY LINE ---- PROPOSED EASEMENT — — — — — — — EXISTING EASEMENT LINE PROPOSED BUILDING OUTLINE

------ EXISTING WATER LINE PROPOSED STORM DRAIN LINE EXISTING STORM DRAIN LINE

PROPOSED RIP RAP EXISTING ASPHALT PAVING PROPOSED FIRE HYDRANT PROPOSED GATE VALVE

PROPOSED REDUCER PROPOSED WATER BEND/TEE PROPOSED SANITARY MANHOLE PROPOSED FES PROPOSED STORM MANHOLE

PROPOSED CDOT TYPE R STORM INLET

WIDEFIELD WATER AND SANITATION DISTRICT

THE WIDEFIELD WATER AND SANITATION DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

DATE: \_\_\_\_\_ BY: \_\_\_\_

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE "RULES AND REGULATIONS FOR INSTALLATION OF WASTEWATER MAINS AND SERVICES"SHALL RULE.

APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL

WIDEFIELD WATER AND SANITATION DISTRICT

THE WIDEFIELD WATER AND SANITATION DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

DATE: \_\_\_\_\_ BY: \_\_\_\_

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE "RULES AND REGULATIONS FOR INSTALLATION OF WATER MAINS

APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL

BASIS OF BEARINGS

BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6' WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, "T24S R66W W.C. 6.00' S 35 S36 S2 S1 T1  $\frac{1}{4}$  S R55W 2012 PLS 24313" AND ON THE SOUTH END BY A 3.5" ALUMINUM CAP, FOUND, "RMPS 19625", AND IS CONSIDERED TO BEAR NOO'42'04"W.

CAUTION — NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES. PUBLIC OR PRIVATE. WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEEER PRIOR TO

Know what's **below.** 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT Call before you dig. IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO

EPC 5/18/2022

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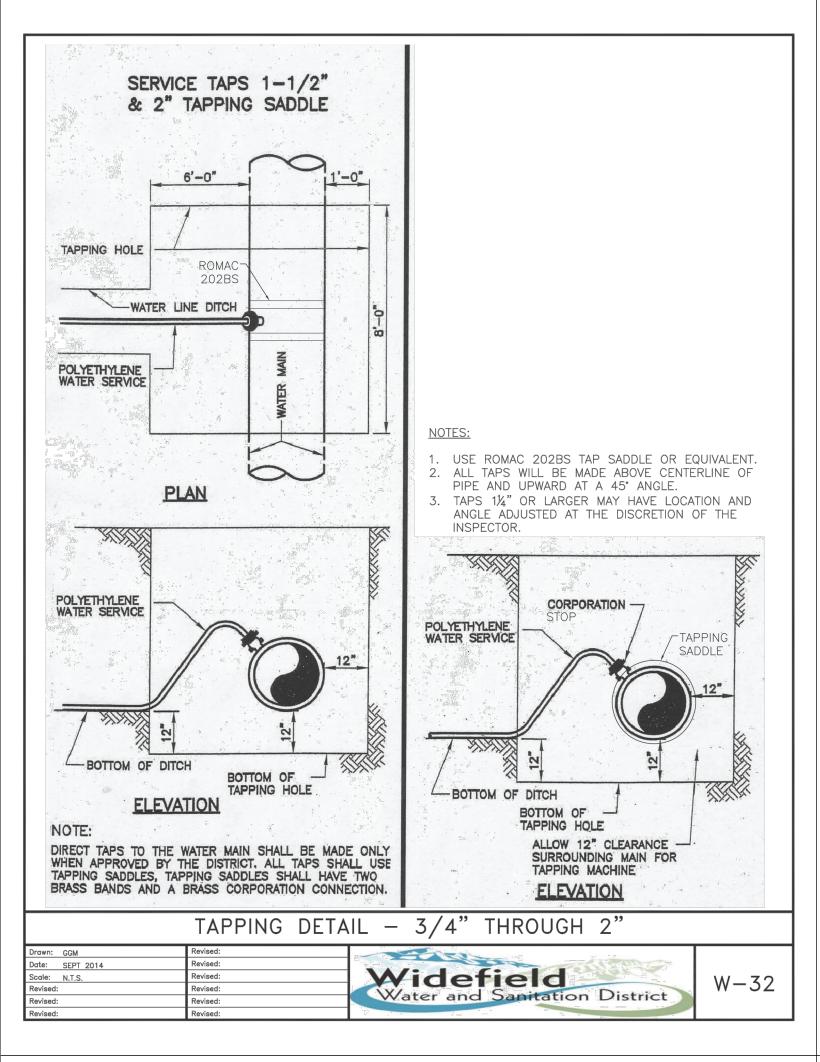
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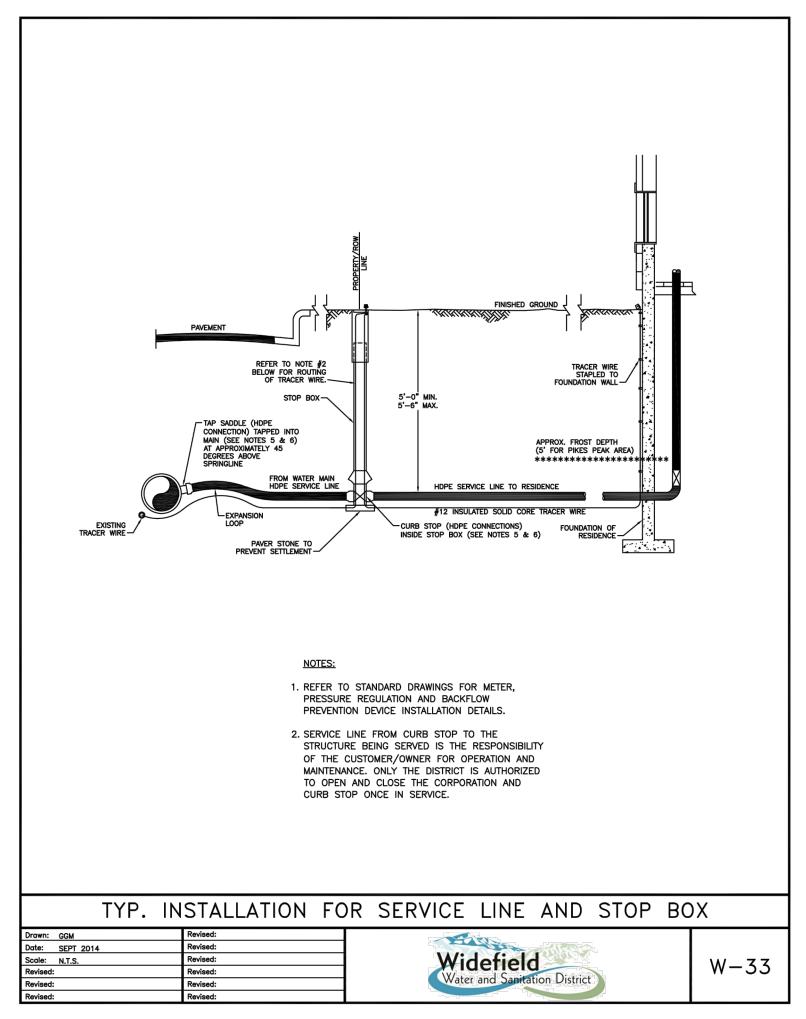
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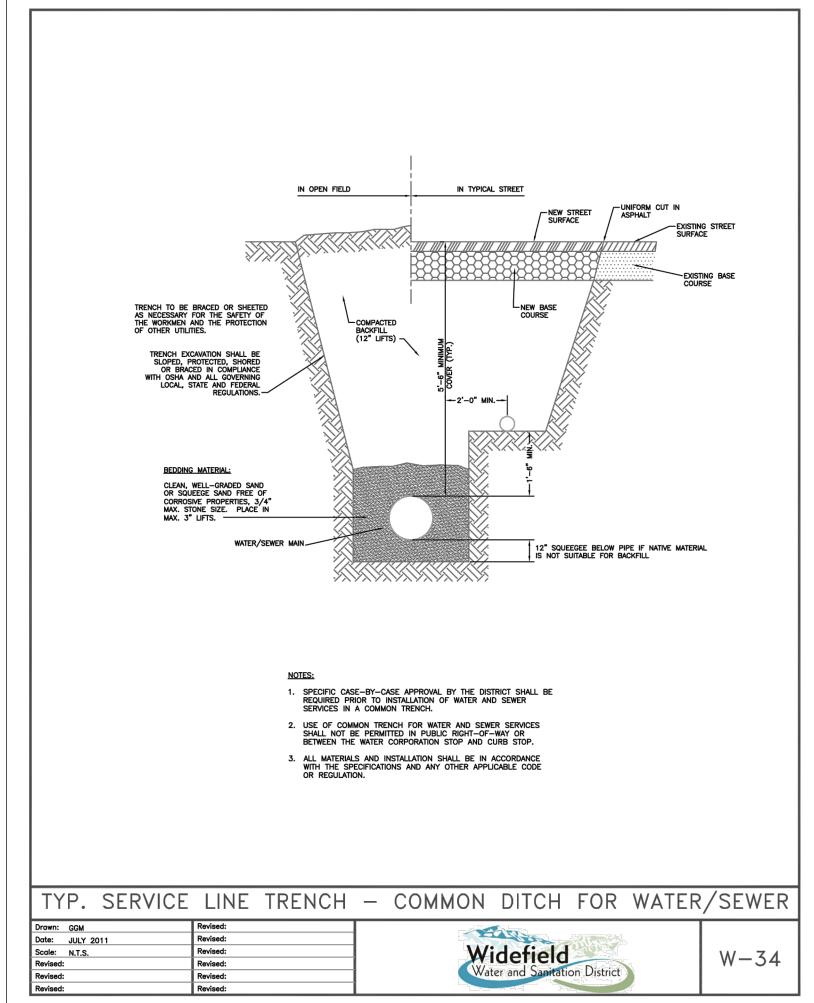
UTILITY SERVICE PLAN

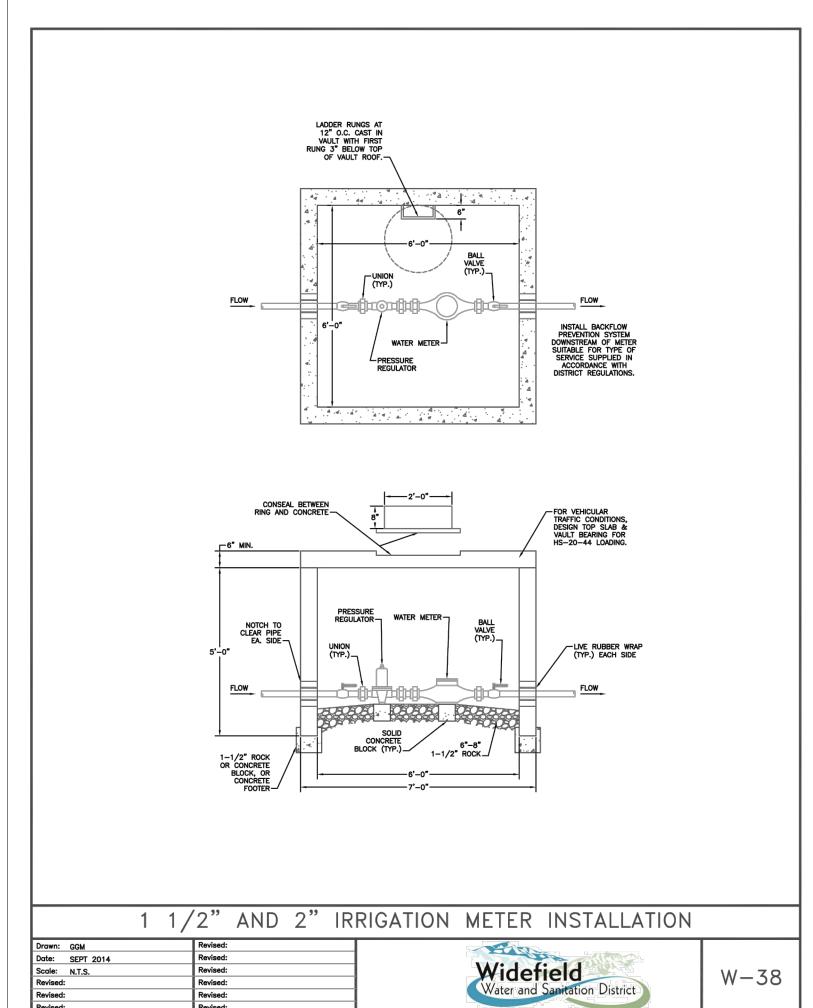
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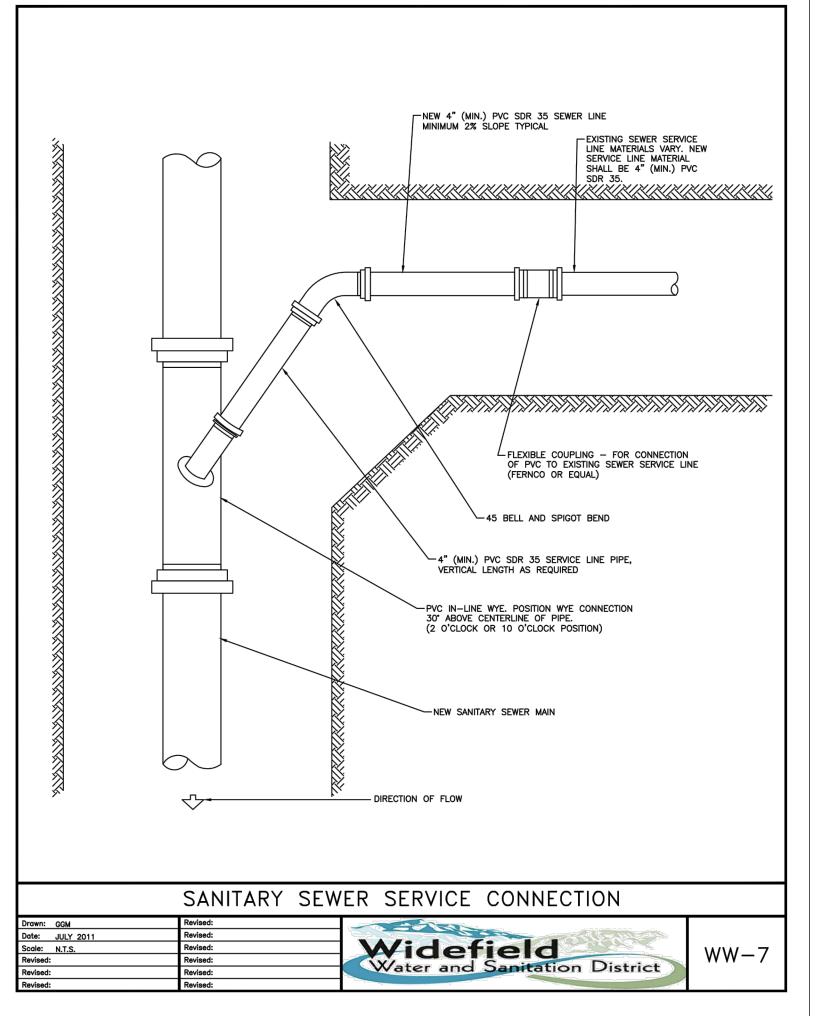
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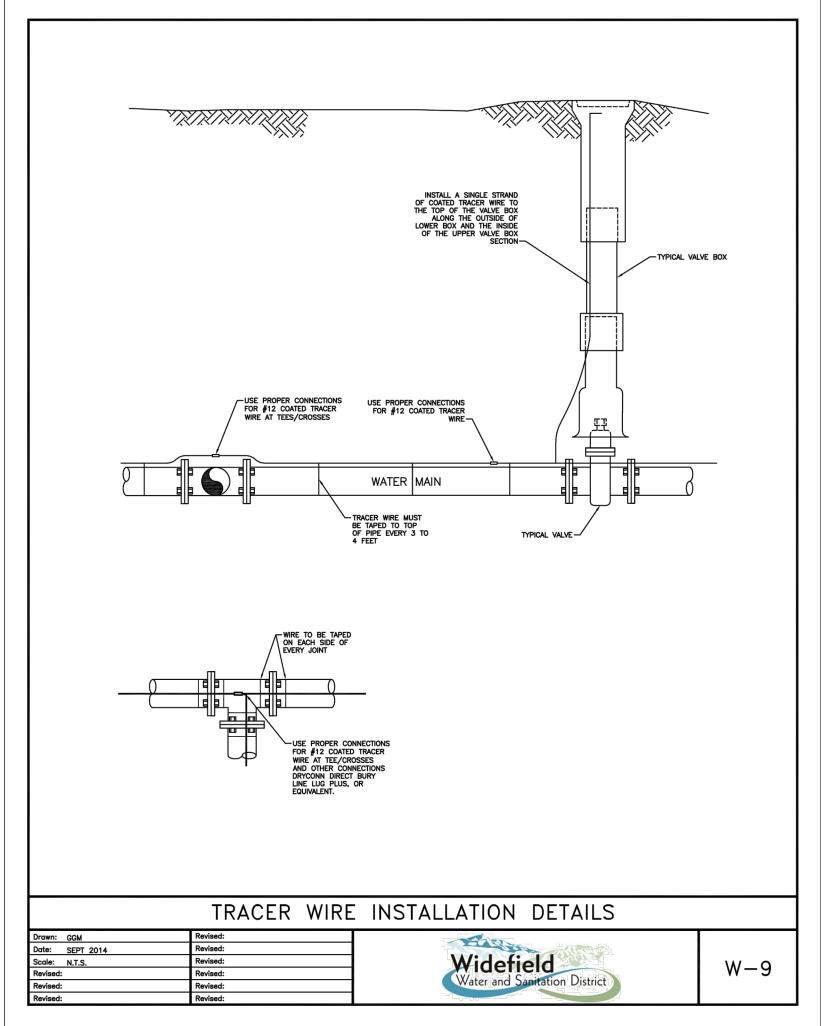














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CONSTRUCTION DOCUMENTS SMITH PLUMBING & HEATING FOR HAMMERS CONSTRUCTION, I

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UTILITY DETAILS

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