

1919 MAIN STREET, LLC
1919 MAIN STREET
PARCEL NO: 65020-00-028
ZONE: CC CAD-O
USE: SERVICE GARAGE

GREAT DANE VENTURES, LLC
MAIN STREET
PARCEL NO: 65020-00-061
ZONE: CC CAD-O
USE: OFFICE/WAREHOUSE

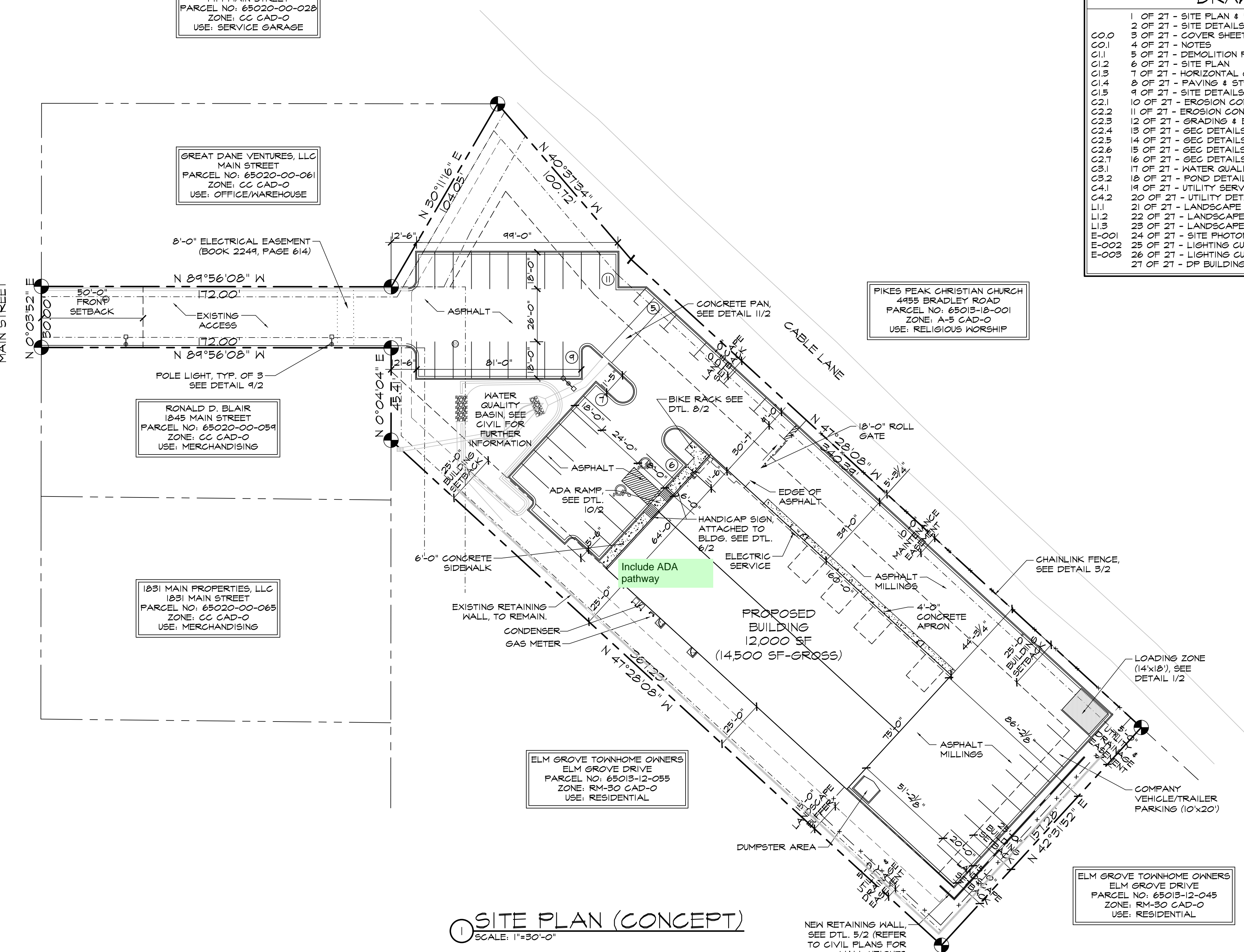
RONALD D. BLAIR
1845 MAIN STREET
PARCEL NO: 65020-00-059
ZONE: CC CAD-O
USE: MERCHANDISING

1831 MAIN PROPERTIES, LLC
1831 MAIN STREET
PARCEL NO: 65020-00-065
ZONE: CC CAD-O
USE: MERCHANDISING

ELM GROVE TOWNHOME OWNERS
ELM GROVE DRIVE
PARCEL NO: 65013-12-055
ZONE: RM-30 CAD-O
USE: RESIDENTIAL

ELM GROVE TOWNHOME OWNERS
ELM GROVE DRIVE
PARCEL NO: 65013-12-045
ZONE: RM-30 CAD-O
USE: RESIDENTIAL

PIKES PEAK CHRISTIAN CHURCH
4485 BRADLEY ROAD
PARCEL NO: 65013-18-001
ZONE: A-5 CAD-O
USE: RELIGIOUS WORSHIP



1 SITE PLAN (CONCEPT)
SCALE: 1"=30'-0"

ADA NOTES

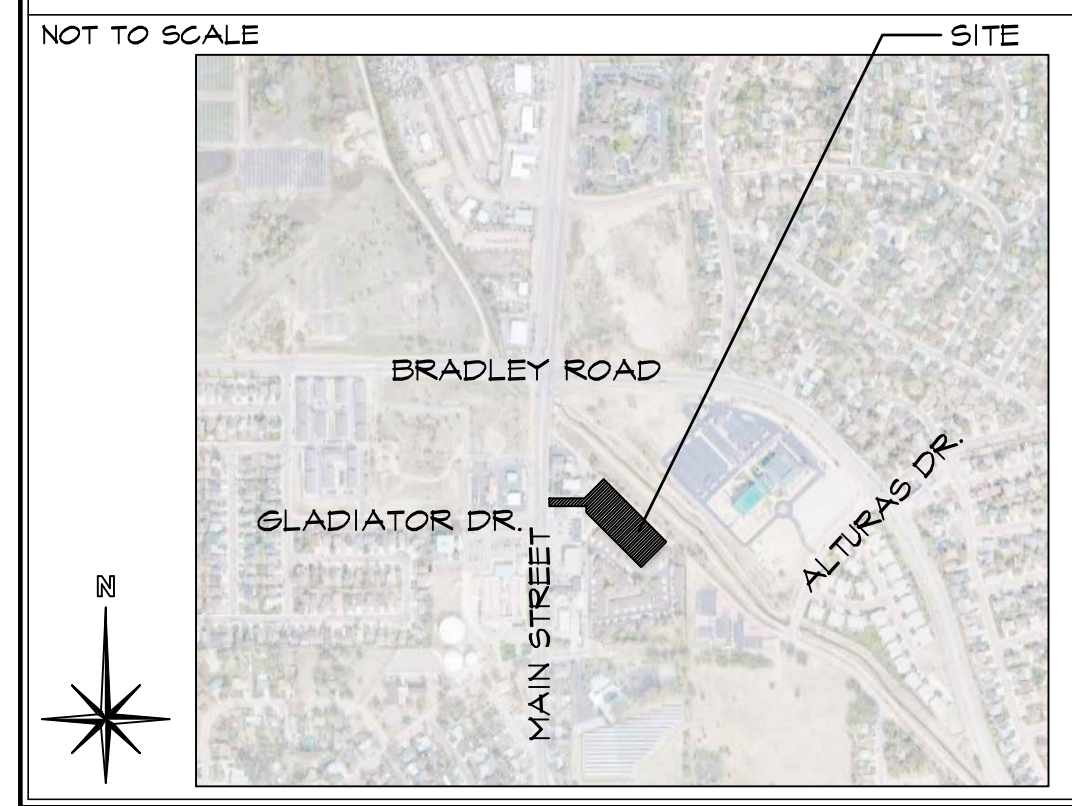
THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

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	26 OF 27 - LIGHTING CUT SHEET 2 OF 2
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Avigation easement referenced in title commitment. Make sure this is referenced on the plan.

VICINITY MAP

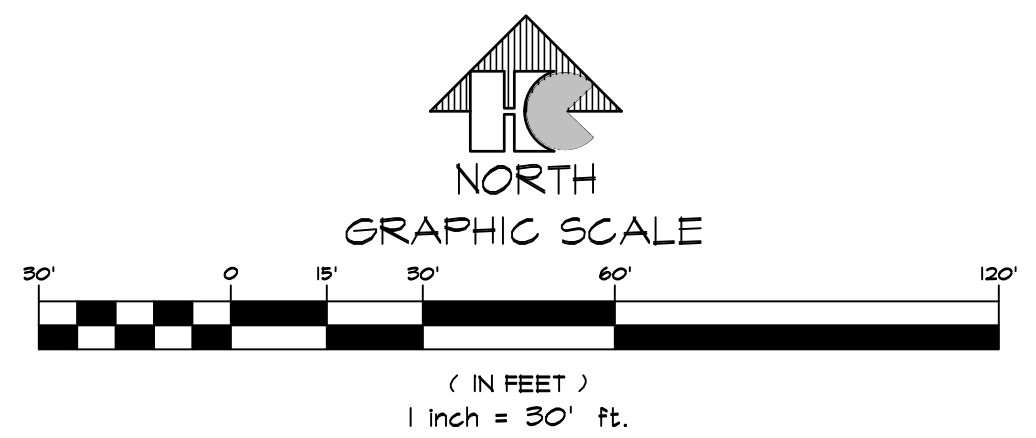


PROJECT INFORMATION

PROPERTY INFORMATION	
OWNER NAME:	GREAT DANE VENTURES, LLC 5403 HIGH NOON AVE COLORADO SPRINGS, CO 80925
LEGAL DESCRIPTION: LOT 2, ELM GROVE VILLA SUBDIVISION	
PARCEL NUMBER:	65013-12-002
ZONING:	CC CAD-O
LOT SIZE:	10,567 SF (1.62 ACRES)
CURRENT USE:	VACANT
FLOODPLAIN STATEMENT:	ZONE X (MAP NO. 08041C07636, DATED DEC 7, 2018)
ZONING CODE STUDY	
PROPOSED PRINCIPAL USE:	OFFICE, WAREHOUSE, WASH BAY & AUTO REPAIR, CONT. EQUIP. YARD
STRUCTURAL COVERAGE:	17%
PAVEMENT COVERAGE:	26%
STREET COVERAGE:	0%
LANDSCAPE COVERAGE:	6%
BUILDING STRUCTURAL HEIGHT:	27'-4 3/4" (45'-0" MAX)
FRONT YARD SETBACK:	50'-0"
SIDE YARD SETBACK:	25'-0"
REAR YARD SETBACK:	25'-0"
BUILDING INFORMATION	
GROSS BUILDING AREA:	14,500 SF
BUILDING FOOTPRINT:	12,000 SF
BUILDING OCCUPANCY:	B/S-1
TYPE OF CONSTRUCTION:	11-B
FIRE SYSTEMS:	NONE
AREA SEPARATION WALLS:	NONE
REQUIRED PARKING SPACES	
OFFICE-(1 SPACE/200 S.F.) (3,500 S.F. / 200 S.F.):	18
STORAGE/MEZZ-(1 SPACE/1,000 S.F.) (2,500 S.F. / 1,000 S.F.):	3
WAREHOUSE-(1 SPACE/1,000 S.F.) (8,500 S.F. / 1,000 S.F.):	4
H.C.-(1 SPACE/25 REQ'D)	2
TOTAL PARKING SPACES REQUIRED:	30
TOTAL PARKING PROVIDED:	30
STANDARD SPACES PROVIDED:	31
H.C. SPACES PROVIDED:	2
PARALLEL SPACES PROVIDED:	5
LOADING SPACE PROVIDED:	1 (14'x18')
(SEE DETAIL 1/2 FOR DIMENSIONS)	
DEVELOPMENT SCHEDULE	
CONSTRUCTION:	FALL 2021
LANDSCAPING:	SPRING 2022
DEVELOPMENT APPLICANT	
COMPANY:	HAMMERS CONSTRUCTION, INC. 1411 WOOLSEY HEIGHTS COLO. SPRGS, CO 80915
PHONE NUMBER:	(719)-570-1544
FAX NUMBER:	(719)-570-7008
APPLICANT NAME:	LISA PETERSON
APPLICANT E-MAIL:	lpeterson@hammersconstruction.com
SITE LEGEND	
--- (dashed line)	PROPERTY LINE
--- (long dashed line)	RIGHT OF WAY
--- (short dashed line)	BUILDING SETBACK
--- (dash-dot line)	LANDSCAPE SETBACK
--- (dotted line)	UTILITY/DRAINAGE EASEMENT
--- (dash-dot-dot line)	ELECTRICAL EASEMENT
--- (long dash-short dash)	ACCESS EASEMENT
--- (dotted line with 'x')	OPAQUE CHAINLINK FENCE
--- (dotted line with 'o')	6' HIGH WROUGHT IRON FENCE
--- (dotted line with 'g')	GAS LINE
--- (dotted line with 'w')	WATER LINE
--- (dotted line with 'e')	ELECTRICAL LINE
--- (dotted line with 's')	SANITARY SEWER LINE
--- (dotted line with 'st')	STORM SEWER LINE
--- (dotted line with 'r')	RETAINING WALL
--- (dotted line with 'n')	NEW SIDEWALK LOCATIONS W/ CONTROL JOINTS @ 5'-0" O.C.
■ (black square)	PROPERTY CORNER
→ (arrow)	TRAFFIC FLOW
□ (open square)	WALL PACK LIGHTING
--- (line with 'T')	SIGN
○ (open circle)	MANHOLE
□ (open square with 'E')	ELECTRICAL TRANSFORMER
○ (open circle with 'F')	EXISTING FIRE HYDRANT
○ (open circle with 'P')	PROPOSED FIRE HYDRANT
□ (open square with 'W')	WALK DOOR OR OVERHEAD DOOR LOCATIONS

Include signature block for the Planning and Community Development Director a minimum of 1 inch by 2 inches

Add PCD File #



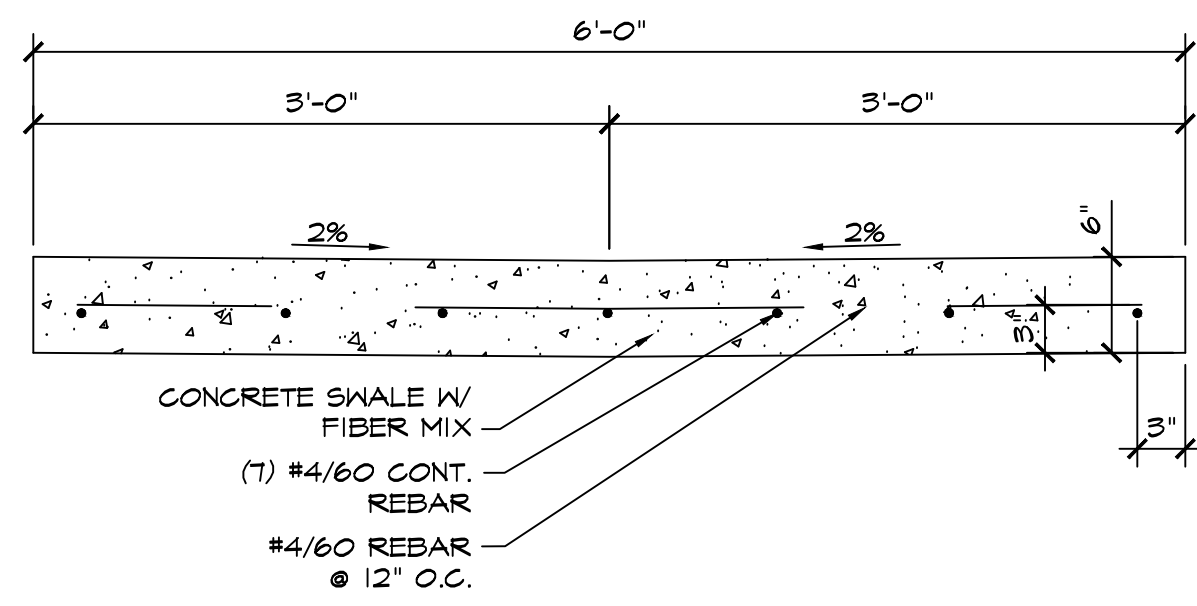
HAMMERS CONSTRUCTION INC.
COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD
PRESIDENT: STEVE R. HAMMERS
VICE PRES: DAVID J. HAMMERS
1411 WOOLSEY HEIGHTS
COLORADO SPRINGS, CO 80915
(719) 570-1544 FAX (719) 570-7008
www.hammersconstruction.com

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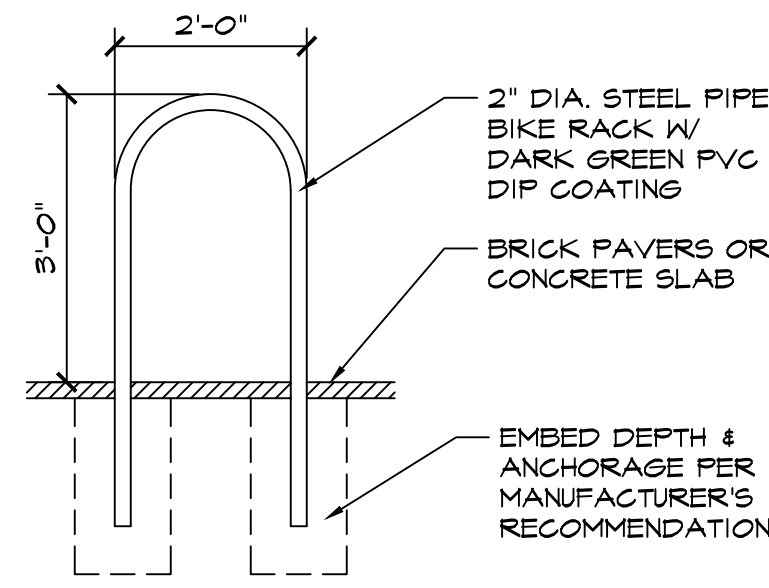
SMITH PLUMBING & HTG
1875 MAIN STREET
COLORADO SPRINGS, CO 80911
EL PASO COUNTY, COLORADO

DATE: SEP 1, 2021
DRAWN BY: J. LATHAM
PROJ. MGR: R. GREEN
SCALE: SEE PLAN
APPROVED BY:
JOB NO: 1244

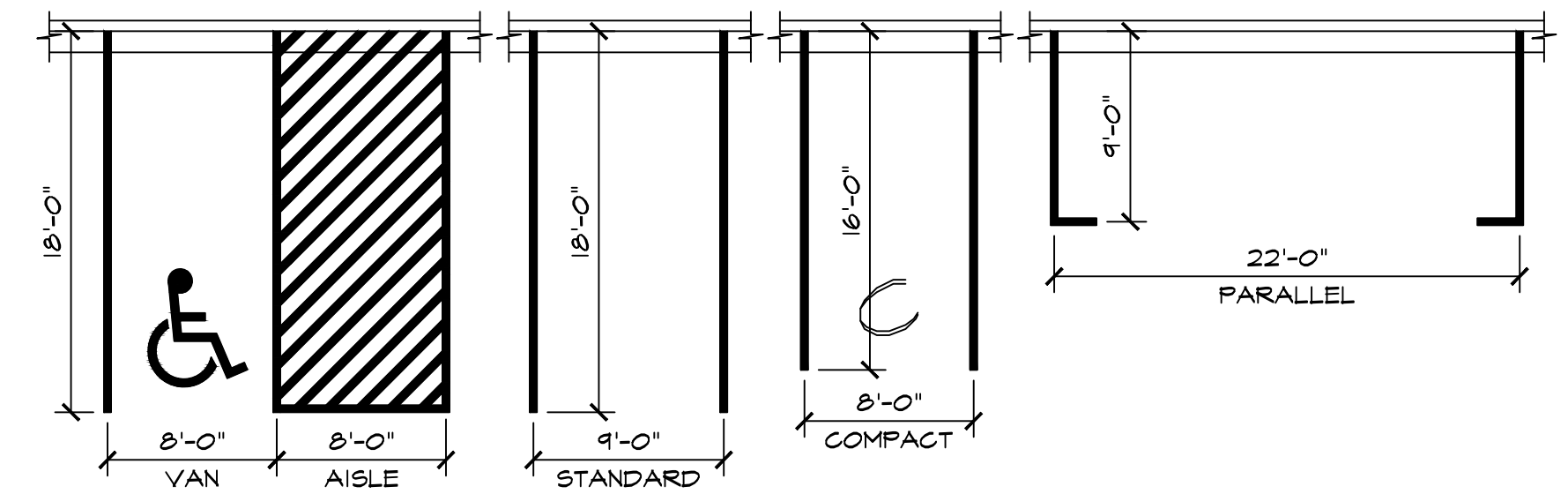
RESUBMITTALS:
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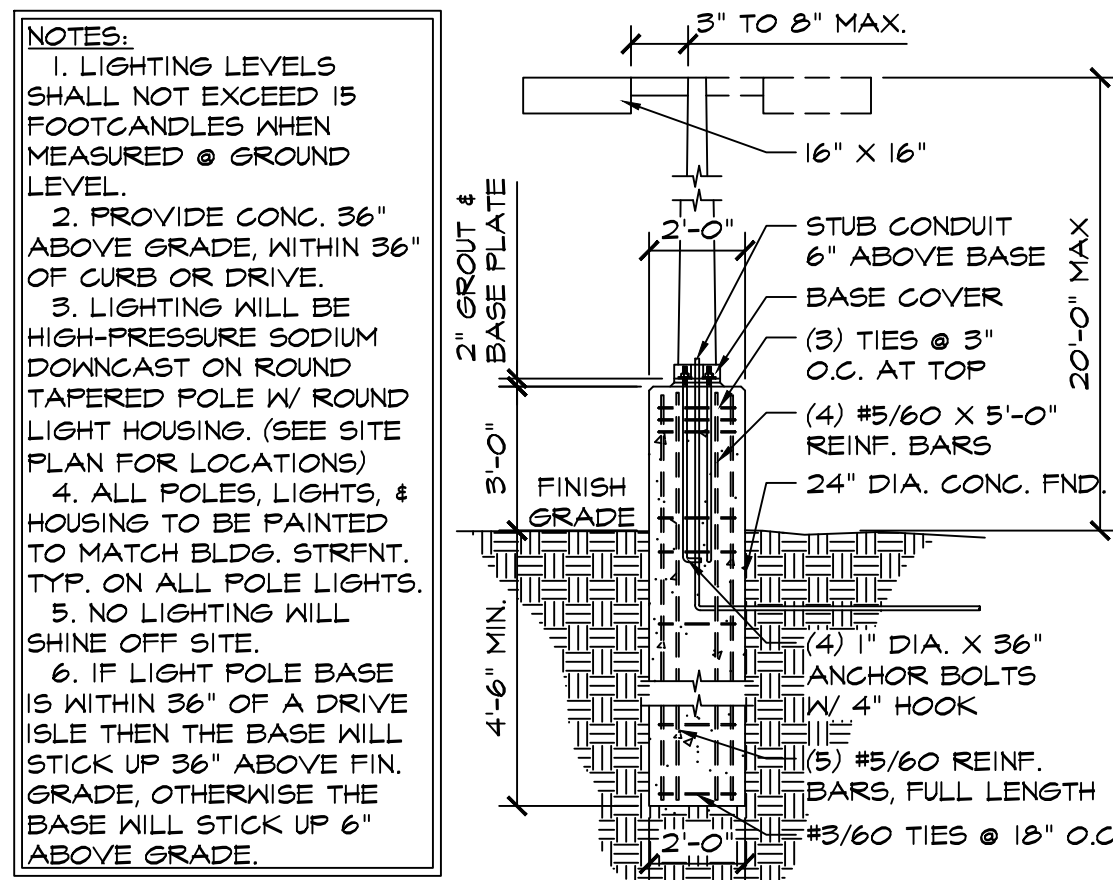
11 6'-0" CROSSSPAN DETAIL
SCALE: 1"=1'-0"



8 BIKE RACK DETAIL
SCALE: 1/2"=1'-0"

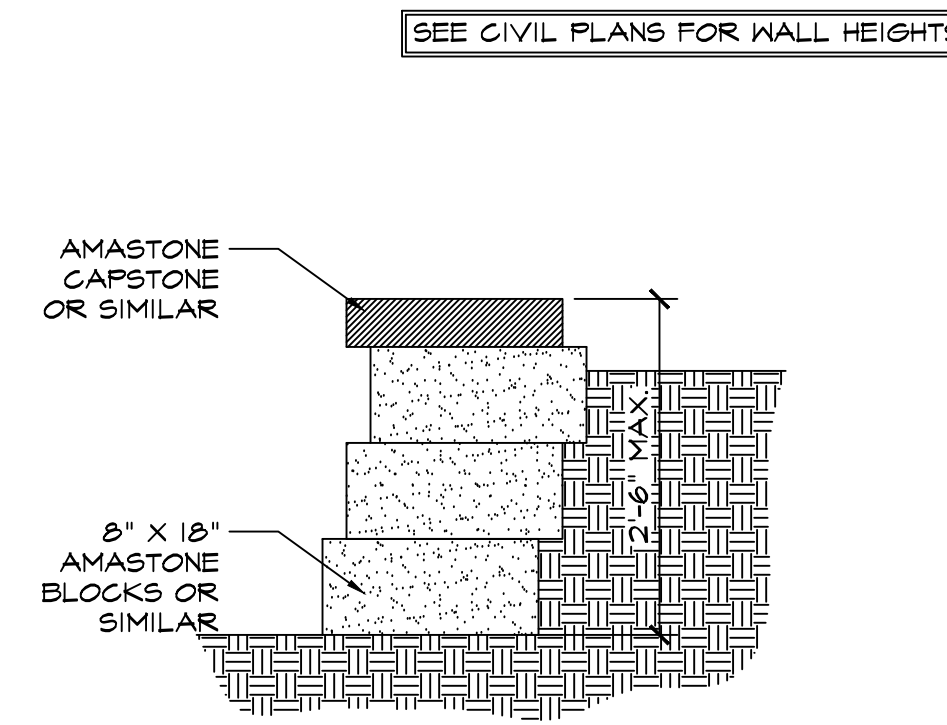


1 ADA / STANDARD PARKING
SCALE: 1/8"=1'-0"



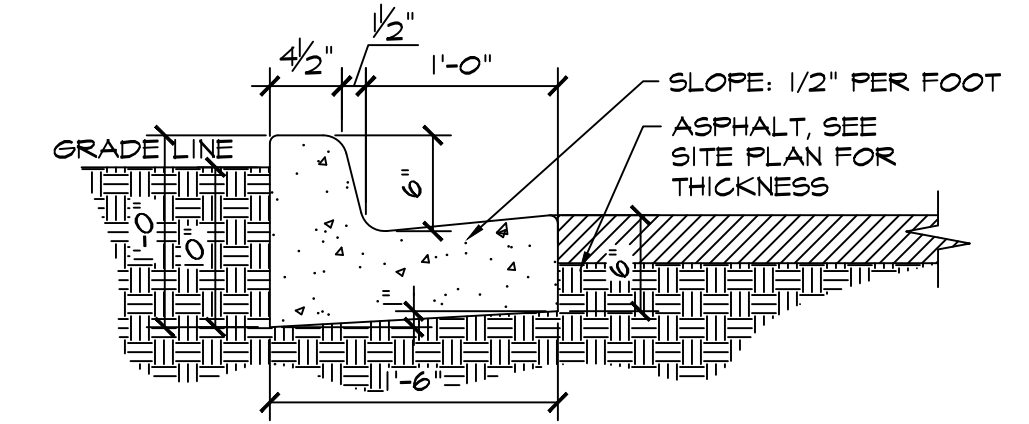
9 LIGHT POLE BASE DETAIL
SCALE: 1/4"=1'-0"

NOTES:
1. LIGHTING LEVELS SHALL NOT EXCEED 15 FOOTCANDLES WHEN MEASURED @ GROUND LEVEL.
2. PROVIDE CONC. 36" ABOVE GRADE, WITHIN 36" OF CURB OR DRIVE.
3. LIGHTING WILL BE HIGH-PRESSURE SODIUM DOWNCAST ON ROUND TAPERED POLE W/ ROUND LIGHT HOUSING. (SEE SITE PLAN FOR LOCATIONS)
4. ALL POLES, LIGHTS, & HOUSING TO BE PAINTED TO MATCH BLDG. STRENT. TYP. ON ALL POLE LIGHTS.
5. NO LIGHTING WILL SHINE OFF SITE.
6. IF LIGHT POLE BASE IS WITHIN 36" OF A DRIVE ISLE THEN THE BASE WILL STICK UP 36" ABOVE FIN. GRADE, OTHERWISE THE BASE WILL STICK UP 6" ABOVE GRADE.



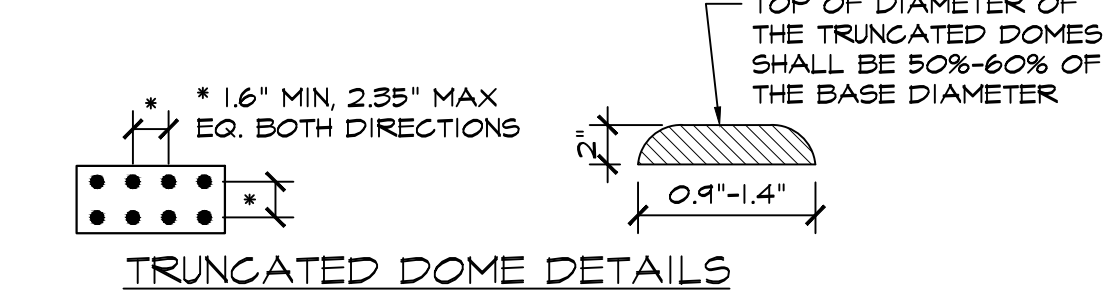
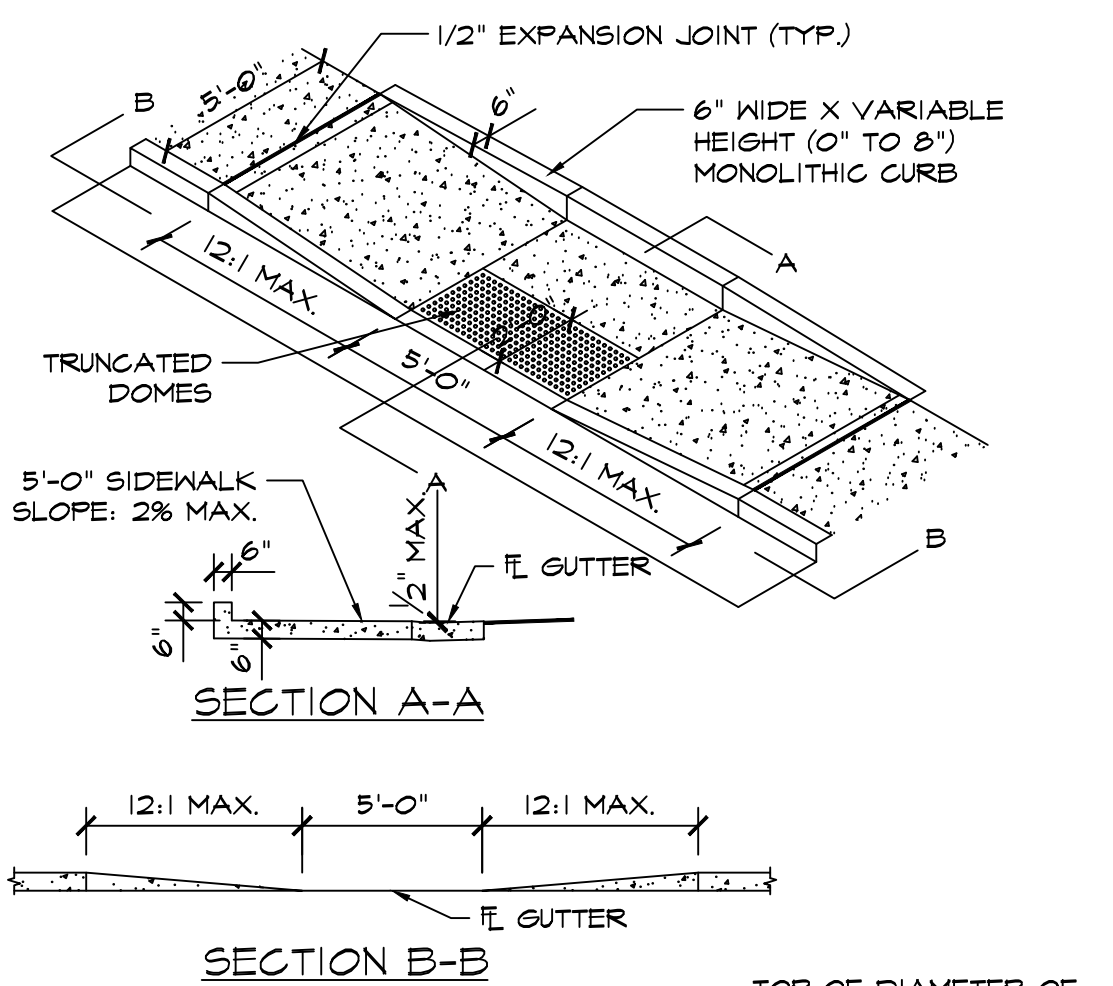
5 RETAINING WALL DETAIL
SCALE: 3/4"=1'-0"

SEE CIVIL PLANS FOR WALL HEIGHTS



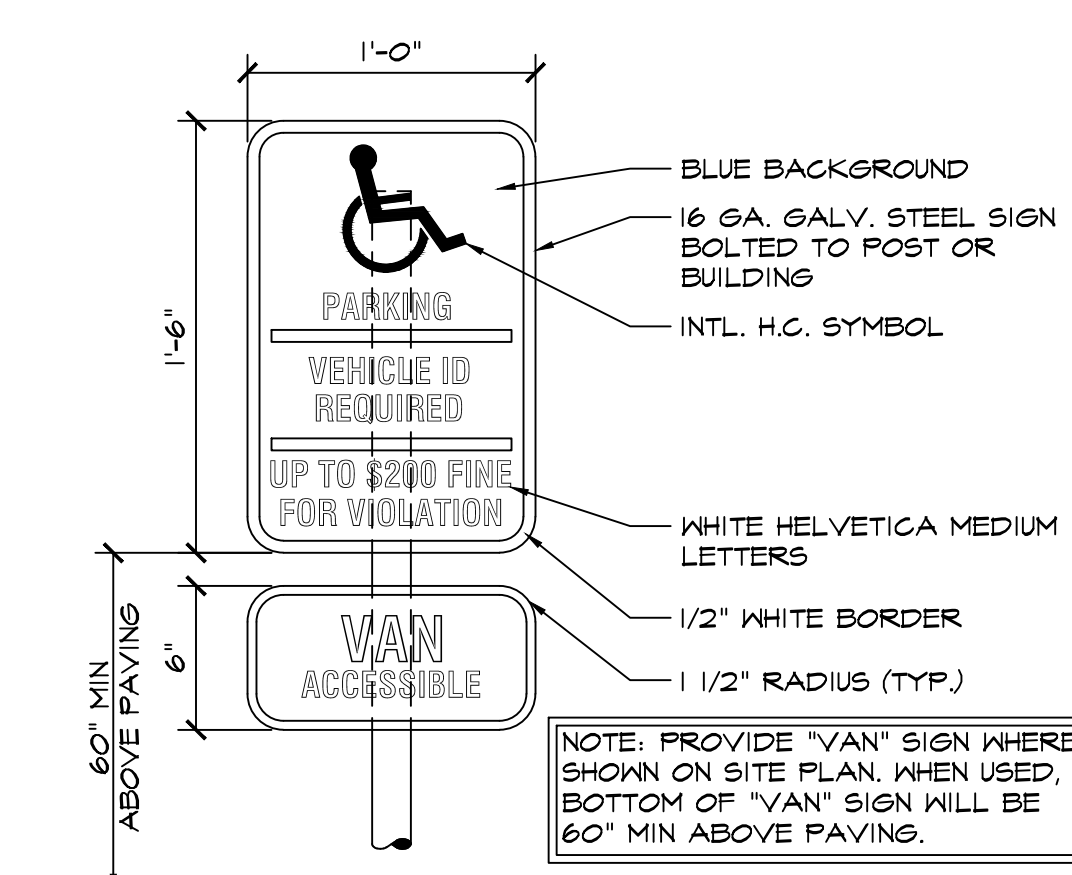
2 EPC TYPE B CURB
SCALE: 1"=1'-0"

NOTE:
- ALL INTERNAL CURB THIS TYPE UNLESS NOTED OTHERWISE
- SEE CIVIL PLANS FOR CARRY OR SPILL CURB LOCATIONS

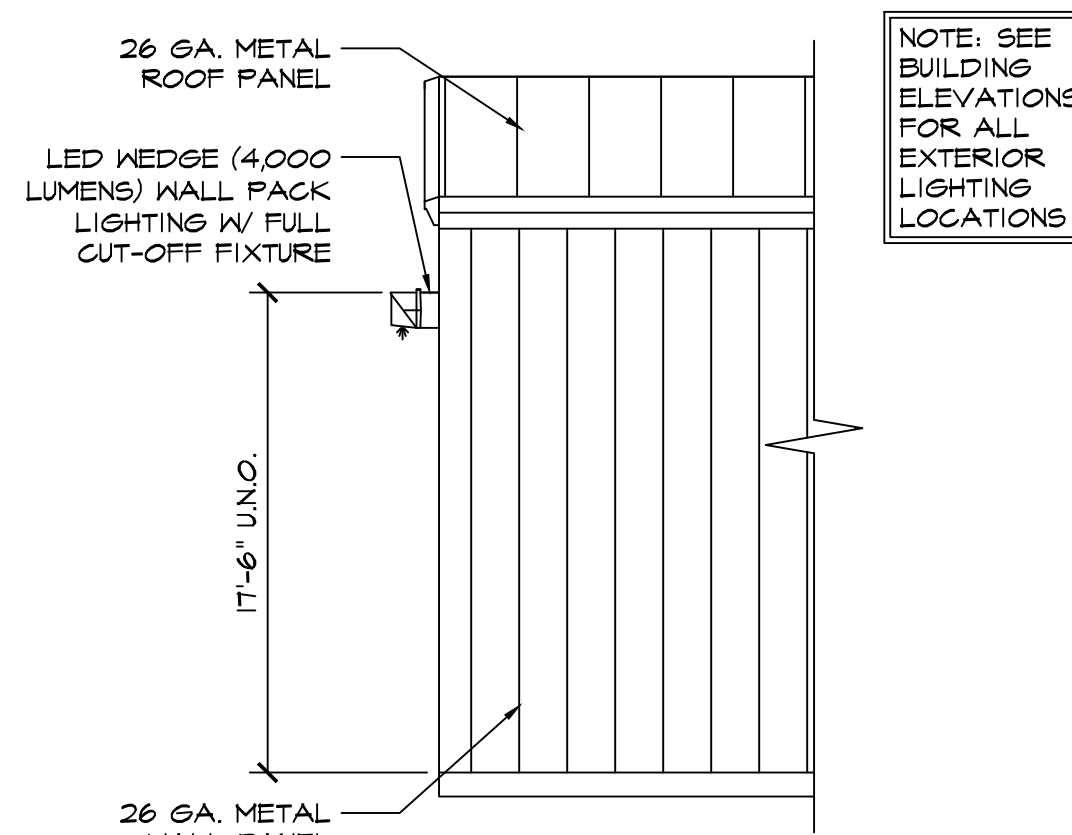


GENERAL NOTES:
1. ALL WORK TO BE DONE IN ACCORDANCE WITH CURRENT EL PASO COUNTY ENGINEERING DIVISION STANDARD SPECIFICATIONS.
2. SIDEWALK CROSS-SLOPE: 1/4"/FT.
3. CONTRACTOR TO OBTAIN REQUIRED CONCRETE PERMIT AND RAMP PERMIT AT ENGINEERING DIVISION INSPECTION OFFICE PRIOR TO CONSTRUCTION.
4. CONTRACTOR TO NOTIFY ENGINEERING DIVISION INSPECTION OFFICE AT LEAST 24 HOURS PRIOR TO PLACEMENT OF ANY CONCRETE.
5. THE RAMP SURFACES SHALL BE FINISHED WITH A COARSE BROOM FINISH, PARALLEL WITH THE SCORING, IN ACCORDANCE WITH SECTION 504.05 OF THE STANDARD SPECIFICATIONS.
6. CONTRACTOR SHALL STAMP THE COMPANY NAME AND CONSTRUCTION DATE WITHIN THE PEDESTRIAN RAMP AREA.
7. PEDESTRIAN TRAVELWAY AND/OR LOCATION OF EXISTING OR FUTURE PEDESTRIAN RAMPS ON OPPOSITE CORNERS SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMPS. NEW RAMPS SHALL ALIGN WITH EXISTING RAMPS AND PEDESTRIAN TRAVELWAY.
8. SHADED AREA: 6" THICK CONCRETE

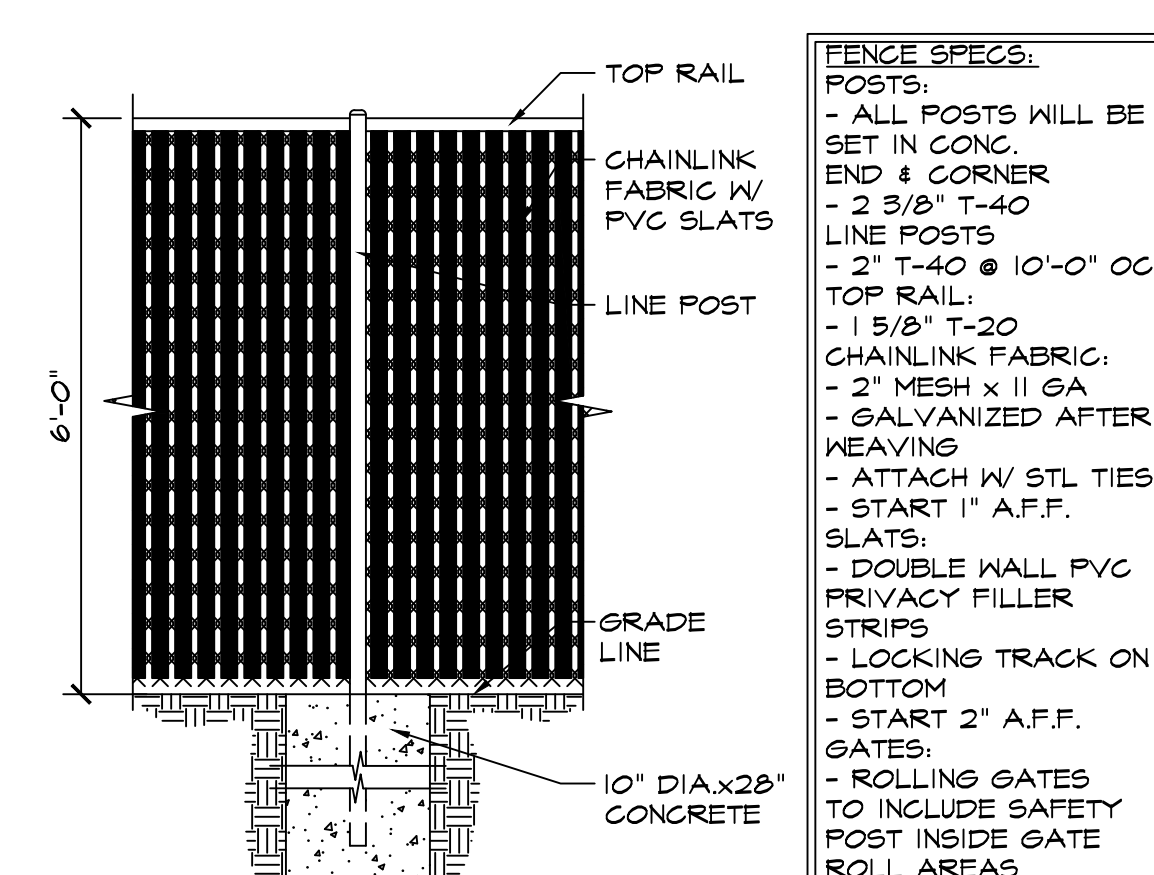
10 PEDESTRIAN RAMP DETAIL D-8J
SCALE: 3/16"=1'-0"



6 HANDICAPPED PARKING SIGN
SCALE: 1 1/2"=1'-0"

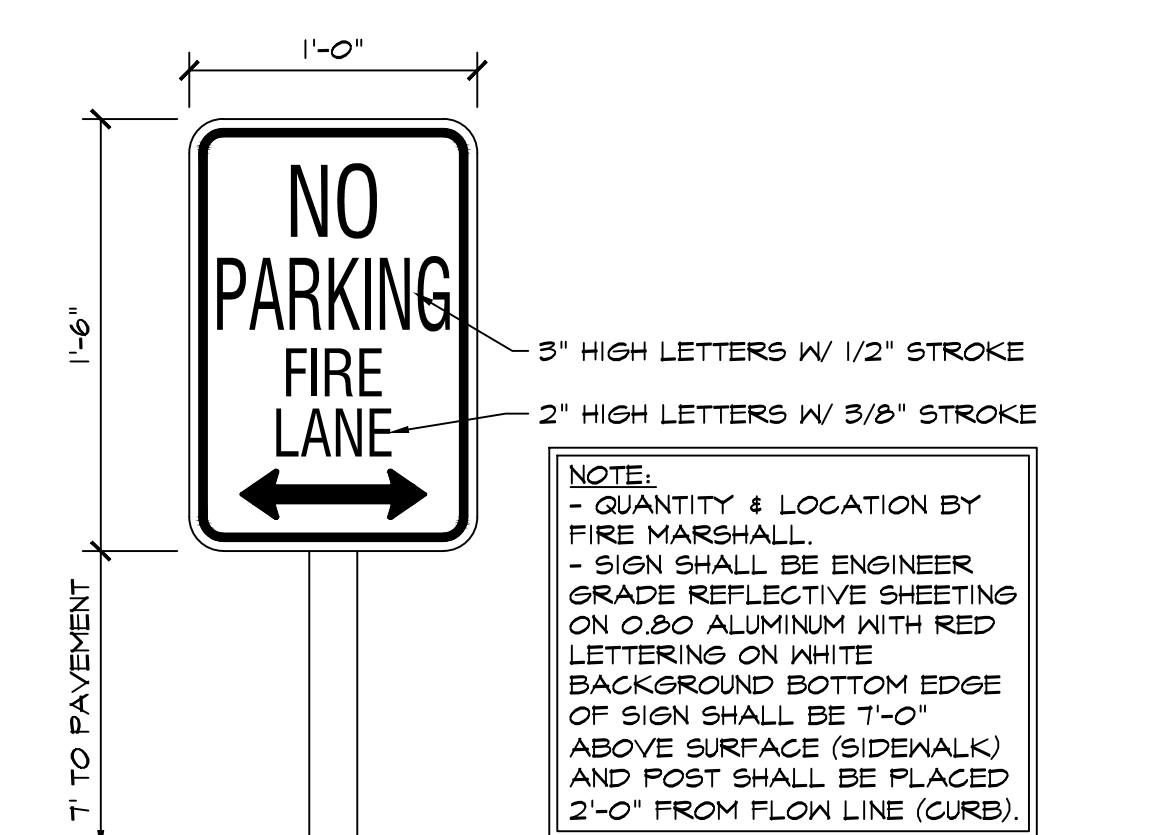


7 WALL PACK LIGHT DETAIL
SCALE: 1/4"=1'-0"



3 CHAINLINK FENCE DETAIL
SCALE: 1/2"=1'-0"

FENCE SPECS:
POSTS:
- ALL POSTS WILL BE SET IN CONC.
- END & CORNER
- 2 3/8" T-40 LINE POSTS
- 2" T-40 @ 10'-0" OC
TOP RAIL:
- 1 1/2" T-20 CHAINLINK FABRIC
- 2" MESH x 11 GA
- GALVANIZED AFTER WEAVING
- ATTACH W/ STL TIES
- START 1" A.F.F. SLATS
- DOUBLE WALL PVC PRIVACY FILLER STRIPS
- LOCKING TRACK ON BOTTOM
- START 2" A.F.F. GATES
- ROLLING GATES TO INCLUDE SAFETY POST INSIDE GATE ROLL AREAS



4 FIRE LANE SIGN
SCALE: 1 1/2"=1'-0"

NOTE:
- QUANTITY & LOCATION BY FIRE MARSHALL.
- SIGN SHALL BE ENGINEER GRADE REFLECTIVE SHEETING ON 0.80 ALUMINUM WITH RED LETTERING ON WHITE BACKGROUND. BOTTOM EDGE OF SIGN SHALL BE 7'-0" ABOVE SURFACE (SIDEWALK) AND POST SHALL BE PLACED 2'-0" FROM FLOW LINE (CURB).

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RESUBMITTALS:

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