SITE DEVELOPMENT PLAN ST. JOHN THE BAPTIST ORTHODOX CHURCH

Unresolved: Civil drawings will need to be submitte for public improvements.

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

LEGEND SITE DATA PROPERTY LINE **COVERAGE DATA** ----- EASEMENT LINE OWNER SS CONSTANTINE & HELEN ORTHODOX _____ LOT LINE 3,439 SF 1.6% CHURCH 21,282 SF 10.2% PAVEMENT (PARKING/WALK): 2770 N. CHESTNUT ST. — — — BUILDING SETBACK LINE 18,506 SF 8.9% COLORADO SPRINGS, CO 80807 LANDSCAPING: 165,306 SF 79.3% (719) 683-2700 UNDISTURBED AREA ADJACENT PROPERTY LINE 208,533 SF 100.0% = 4.787± ACRES TOTAL AREA: **EXISTING PROPOSED** PARKING SCHEDULE M.V.E., INC. 1903 LELARAY STREET, SUITE 200 ----5985---- INDEX CONTOUR 5985 INDEX CONTOUR COLORADO SPRINGS, CO 80909 REQUIRED: OCCUPANT LOAD = 133 (719) 635-5736 - INTERMEDIATE CONTOUR — INTERMEDIATE CONTOUR 1 SPACE PER 4 SEATS = 33 SPACES ARCHITECT ACCESSIBLE ADA SPACES = 2 CONCRETE AREA o o o SIGN TOTAL SPACES REQUIRED = 35 RUNGE ARCHITECTURE 5315 GERMAINE CT. ASPHALT AREA ——w——w—— WATER LINE PROVIDED: COLORADO SPRINGS, CO 80909 STANDARD SPACES = 34 (719) 260-0039 ——w ₩ WATER VALVE BREEZE PATHWAY AREA VAN ACCESSIBLE ADA SPACES = 2 TOTAL SPACES PROVIDED = 36 ——w——w—— FIRE HYDRANT **CURB AND GUTTER** ALESSI AND ASSOCIATES, INC. **BUILDING TYPE** ——— оне——— OVEHEAD ELEC LINE RETAINING WALL 2989 BROADMOOR VALLEY ROAD LOT 3, BLK 2 PAWNEE RANCHEROS COLORADO SPRINGS, CO 80906 BUILDING AREA - 6,950 SF FILING NO. 1 (719) 540-8832 TWO STORY - TYPE V-B TAX ID: 5304005004 NON - SPRINKLED (NS) OWNERS: JONES ANTHONY DAVID JONES DAWN J FIBER OPTIC LINE **BUILDING HEIGHT** RURAL RESIDENTIAL- 5 ACRES (RR-5) SINGLE FAMILY RESIDENTIAL COMMERCIAL AIRPORT OVERLAY DISTRICT (RR-5, CAD-O) TELECOMMUNICATIONS VAULT MAXIMUM BUILDING HEIGHT = 40'-0" N 89°52'00" W, 414.74' ACTUAL BUILDING HEIGHT = 36'-4" ———×——— GAS LINE **BUILDING USE RELIGIOUS PURPOSES** SETBACKS 25' FRONT BARBED WIRE FENCE CONSTRUCTION SCHEDULE START: SUMMER 2023 25' BUILDING SETBACK 25' SIDE REGULATORY SIGN 25 'REAR FINISH: FALL 2024 TAX SCHEDULE NO. ABBREVIATION LEGEND 7530 MOHAWK RD CONCRETE CONC CURB & GUTTER **DEVELOPMENT NOTES** 1. NO DOMESTIC WATER OR SEWER SERVICE PROVIDED. WELL AND SEPTIC TO BE INSTALLED LOT 5, BLK 2 PAWNEE RANCHEROS LOT 4, BLK 2 PAWNEE RANCHEROS LOT 5, BLK 3 PAWNEE RANCHEROS NATURAL GAS SERVICE PROVIDED BY BLACK HILLS ENERGY DISTRICT. EASEMENT FILING NO. 1 FILING NO. 1 FILING NO. 1 TAX ID: 5304005006 ELECTRIC SERVICE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION DISTRICT. TAX ID: 5304005008 TAX ID: 5303003016 MATCH EXISTING OWNERS: JAMES P MOYERS II, OWNERS: SS CONSTANTINE & OWNERS: EL PASO COUNTY 4. FIRE SERVICE PROVIDED BY FALCON FIRE PROTECTION DISTRICT. Sandra a moyers HELEN, ORTHODOX CHURCH SCHOOL DIST NO 49, DBA FALCON PLAT BOOK, PAGE SINGLE FAMILY RESIDENTIAL SINGLE FAMILY RESIDENTIAL SCHOOL DIST NO 49 (RR-5, CAD-O) (RR-5, CAD-O) POLITICAL SUBDIVISION PAVEMENT (RR-5, CAD-O) RETAINING WALL RECEPTION NUMBER LAND DESCRIPTION RIGHT-OF-WAY LOT 4, BLOCK 2, PAWNEE RANCHEROS, FILING NO. 1 AS RECORDED UNDER PLAT IN PLAT BOOK I-2 AT PAGE 28 OF THE RECORDS OF EL PASO COUNTY, COLORADO, EXCEPT THAT SQUARE FOOT PORTION DESCRIBED IN WARRANTY DEED RECORDED JUNE 4, 2003 UNDER RECEPTION NO. 203123405, COUNTY OF EL PASO, STATE OF COLORADO. UTIL UTILITY CATCH CURB SHEET INDEX 25' BUILDING SETBACK SPILL CURB SITE DEVELOPMENT PLAN **COVER SHEET** N 89°53'17" E, 593.33' SDP-2 SITE PLAN DRAINAGE EASEMENT SDP-3 SITE DETAILS - ROW DEDICATOIN (BK 2880, PG 130)-- ROW DEDICATION WOODMEN FRONTAGE ROAD (REC# 203123406) TAX ID: 5304005009 TAX ID: 5303003017 ADDITIONAL PLANS NOT IN THIS SET OWNERS: BOARD OF COUNTY OWNERS: BOARD OF COUNTY COMMISSIONERS OF EL PASO COMMISSIONERS OF EL PASO PHOTOMETRIC PLAN COUNTY COUNTY DP2 PHOTOMETRIC DETAILS (RR-5, CAD-O) (RR-5, CAD-O) SITE LOCATION MAP ADA NOTE FINAL LANDSCAPE PLAN FINAL LANDSCAPE DETAILS (SEE SITE PLAN ON PAGE 2 OF 3 FOR SITE DETAILS) THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND 1 OF 2 MAIN FLOOR PLAN SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT 2 OF 2 BASEMENT FLOOR PLAN ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO 1 OF 1 EXTERIOR ELEVATIONS

FLOODPLAIN STATEMENT

BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.

08041C0533G, EFFECTIVE DECEMBER 7, 2018.

MAP NOTES

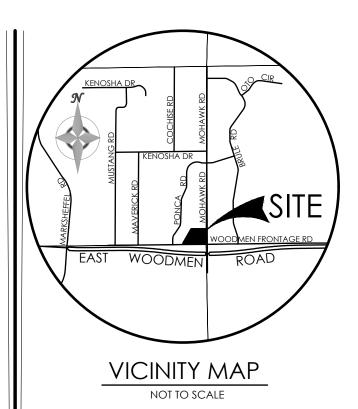
NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA'S) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER

1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO A LINE BEGINNING AT THE MOST SOUTHWEST CORNER OF LOT 4, BLOCK 2, PAWNEE RANCHEROS FILING NO.1 WITH BEARING N 29°53'01" E, OF THE PUBLIC RECORDS OF EL PASO COUNTY,

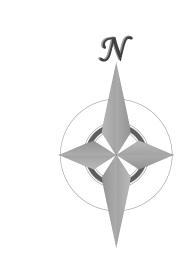
3. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION

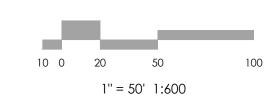
MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED.

2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY ALESSI AND ASSOCIATES, INC.



BENCHMARK







REVISIONS

DESIGNED BY
DRAWN BY
CHECKED BY _____
AS-BUILTS BY
CHECKED BY _____

ST. JOHN THE BAPTIST ORTHODOX CHURCH

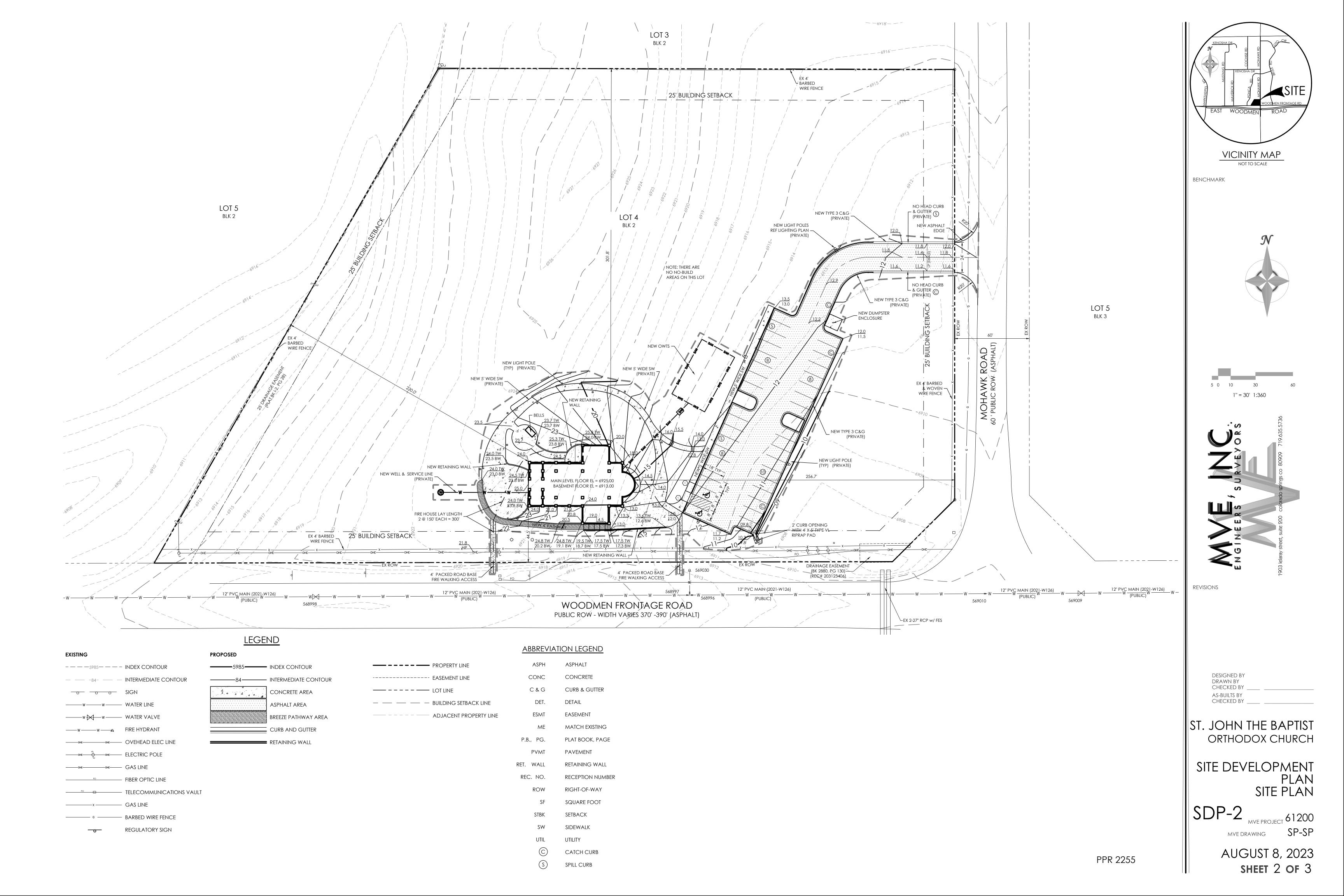
SITE DEVELOPMENT PLAN COVER SHEET

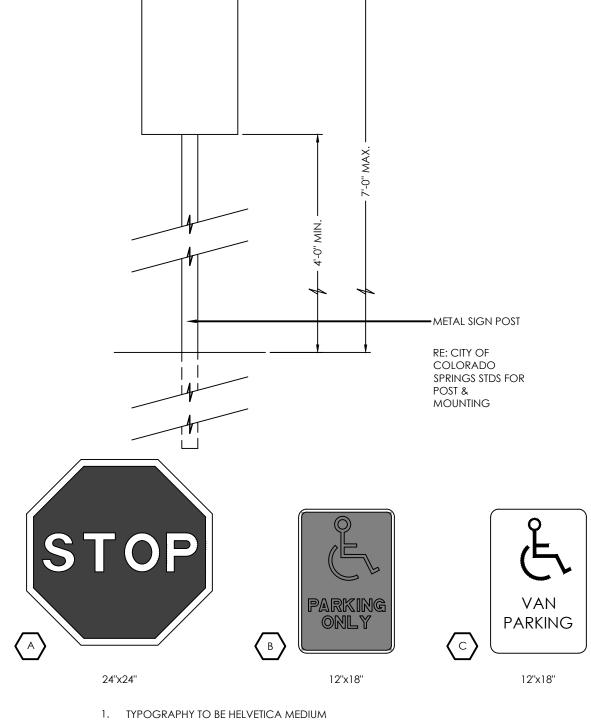
SDP-1

MVE PROJECT 6120

MVE DRAWING SP-0

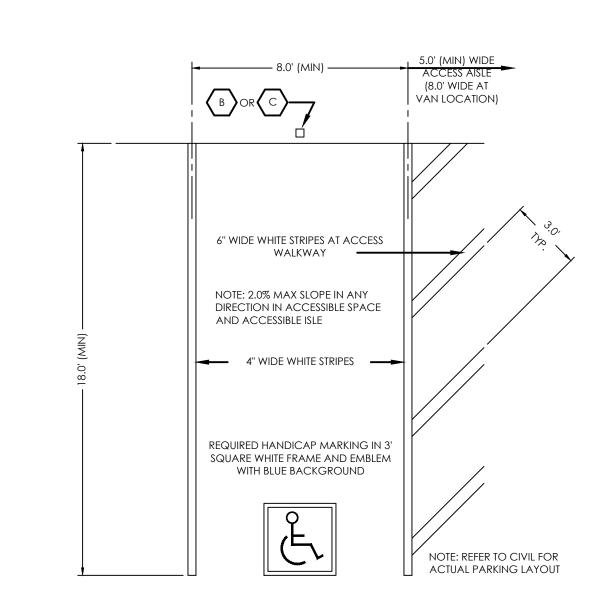
AUGUST 8, 2023



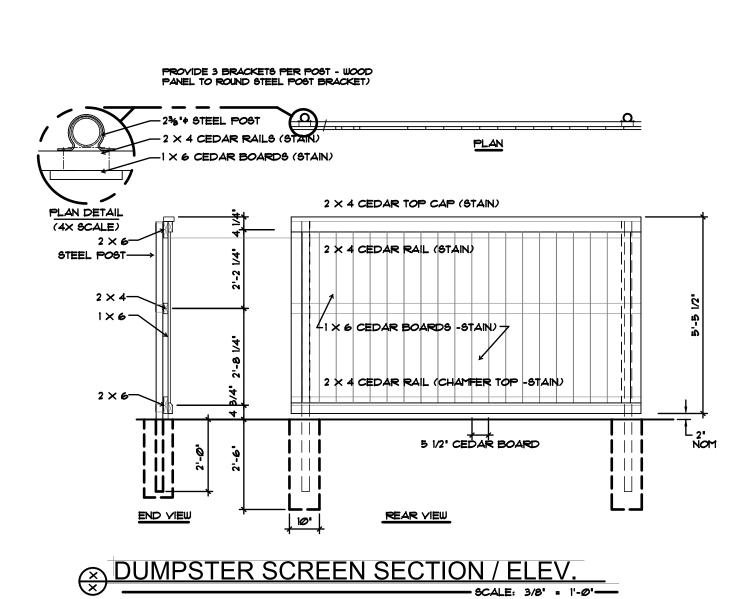


- 2. NOTE: REFER TO SITE PLAN FOR LOCATIONS
- 3. REMOVE EXISTING SIGNS AND REUSE WHERE APPLICABLE (NOT SHOWN).
- 4. STOP SIGNS WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS AND THE CITY OF COLORADO SPRINGS TRAFFIC ENGINEERING STANDARDS.

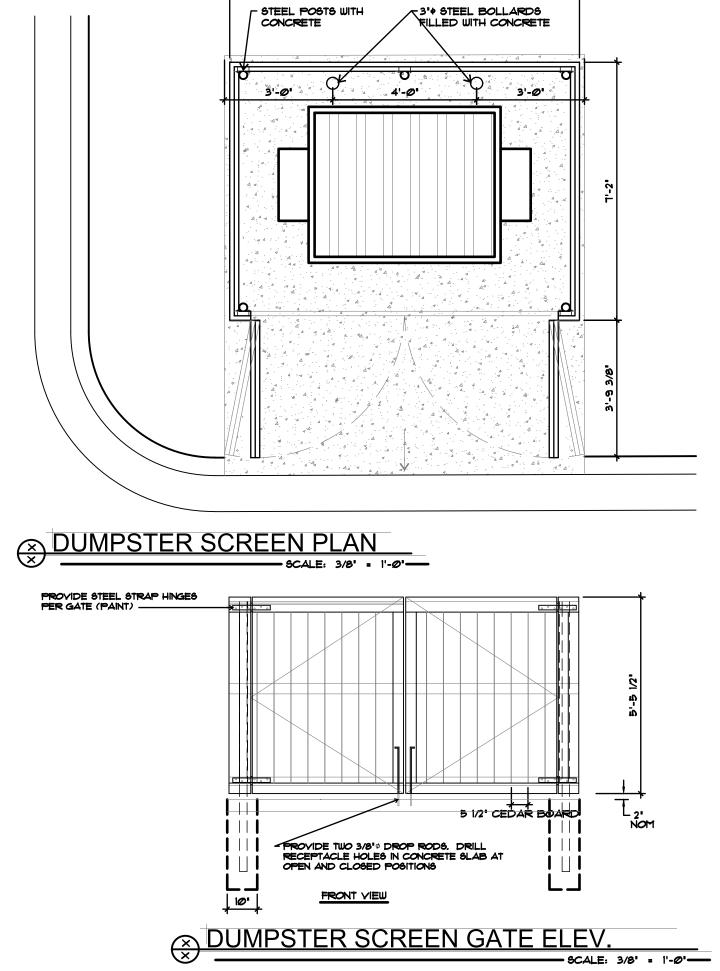
SITE SIGNAGE



TYPICAL HANDICAP PARKING SPACE

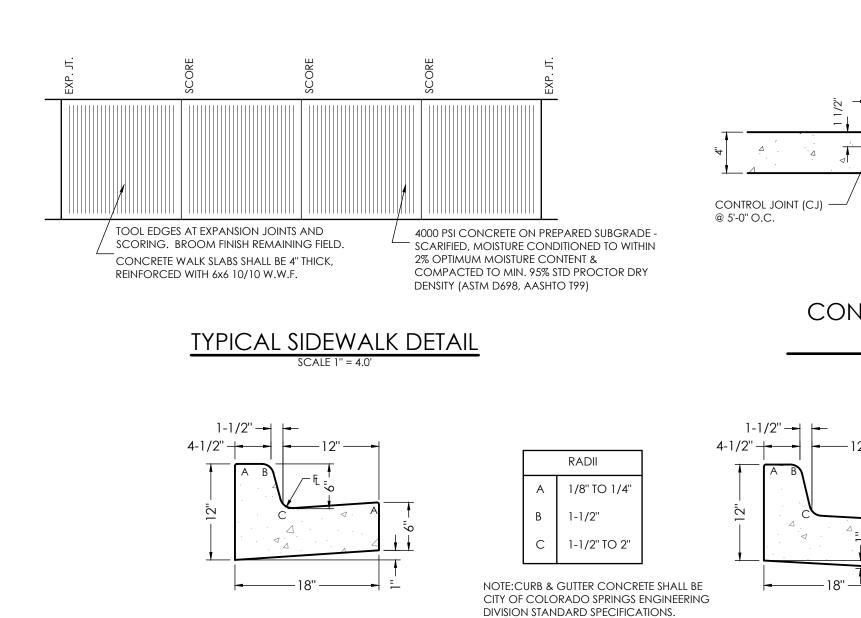


NOTE: -FILL STEEL POSTS WITH CONCRETE -FASTEN EACH RAIL END USING THREE 'S X 1-1/4" RAIL SCREWS -ATTACH RAILS TO CORNER POSTS USING ONE POSCLIP PER RAIL END -ATTACH CEDAR BOARDS TO RAILS WITH COATED SCREWS



9'-8 5/8"

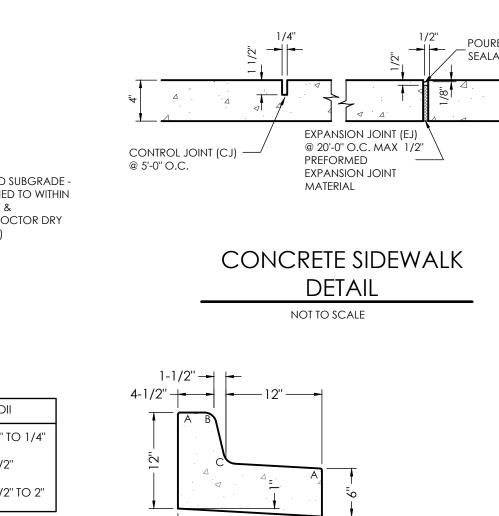
3" O STEEL BOLLARDS RILLED WITH CONCRETE



STANDARD CATCH

CURB & GUTTER

SCALE 1"=1"

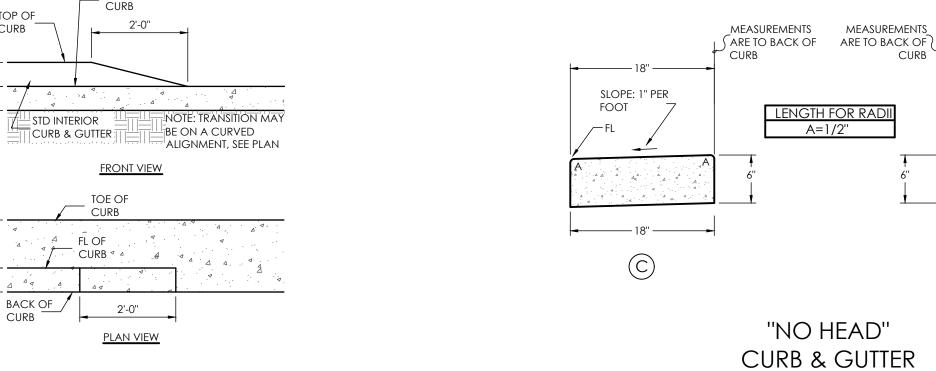


STANDARD SPILL

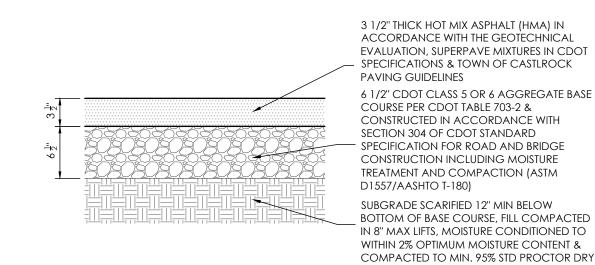
CURB & GUTTER

SCALE 1"=1'

NOTE: CURB AND GUTTER SHOWN ON THESE PLANS ARE PRIVATE. NO PUBLIC (EPC) CURB AND GUTTER IS PROPOSED.



2' CURB TRANSITION DETAIL



MASONRY BLOCK

RETAINING WALL

NOTE: WALL HEIGHTS ABOVE 4' REQUIRES

STRUCTURAL APPROVAL THROUGH REGIONAL BUILDING DEPARTMENT

(DESIGN BY MANUFACTURER,

INSTALL PER MANUFACTURER'S SPECS.)

3 1/2" THICK HOT MIX ASPHALT (HMA) IN ACCORDANCE WITH THE GEOTECHNICAL EVALUATION, SUPERPAVE MIXTURES IN CDOT SPECIFICATIONS & TOWN OF CASTLROCK PAVING GUIDELINES 6 1/2" CDOT CLASS 5 OR 6 AGGREGATE BASE COURSE PER CDOT TABLE 703-2 & CONSTRUCTED IN ACCORDANCE WITH SECTION 304 OF CDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION INCLUDING MOISTURE TREATMENT AND COMPACTION (ASTM D1557/AASHTO T-180) SUBGRADE SCARIFIED 12" MIN BELOW
BOTTOM OF BASE COURSE, FILL COMPACTED IN 8" MAX LIFTS, MOISTURE CONDITIONED TO WITHIN 2% OPTIMUM MOISTURE CONTENT &

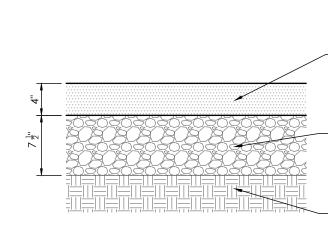
DENSITY (ASTM D698, AASHTO T99) & PROOF

ASPHALT PAVEMENT SECTION LIGHT DUTY TRAFFIC PARKING STALLS

MASONRY BLOCK WALL DETAIL

HEIGHT VARIES

(SEE PLAN)



SPECIFICATIONS & TOWN OF CASTLROCK
PAVING GUIDELINES 7 1/2" CDOT CLASS 5 OR 6 AGGREGATE BASE COURSE PER CDOT TABLE 703-2 & CONSTRUCTED IN ACCORDANCE WITH SECTION 304 OF CDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION INCLUDING MOISTURE TREATMENT AND COMPACTION (ASTM D1557/AASHTO T-180) SUBGRADE SCARIFIED 12" MIN BELOW BOTTOM OF BASE COURSE, FILL COMPACTED IN 8" MAX LIFTS, MOISTURE CONDITIONED TO WITHIN 2% OPTIMUM MOISTURE CONTENT & COMPACTED TO

MIN. 95% STD PROCTOR DRY DENSITY

4" THICK HOT MIX ASPHALT (HMA) IN

ACCORDANCE WITH THE GEOTECHNICAL

EVALUATION, SUPERPAVE MIXTURES IN CDOT

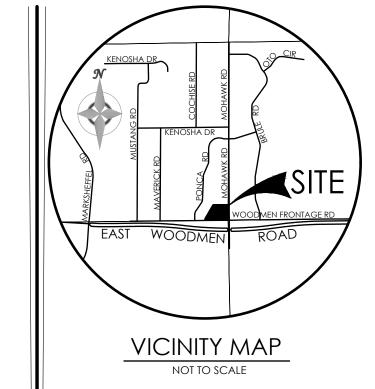
SLOPE: 1" PER

S

FOOT

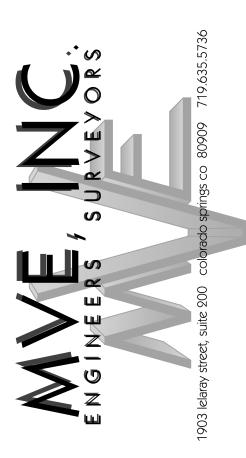
(ASTM D698, AASHTO T99) & PROOF ASPHALT PAVEMENT SECTION HEAVY DUTY TRAFFIC DRIVE LANES

SCALE 1"=1"



BENCHMARK





REVISIONS

DESIGNED BY DRAWN BY CHECKED BY AS-BUILTS BY

ST. JOHN THE BAPTIST ORTHODOX CHURCH

SITE DEVELOPMENT PLAN DETAILS SHEET

AUGUST 8, 2023 SHEET 3 OF 3

PPR 2255

CHECKED BY

MVE DRAWING SP-DS