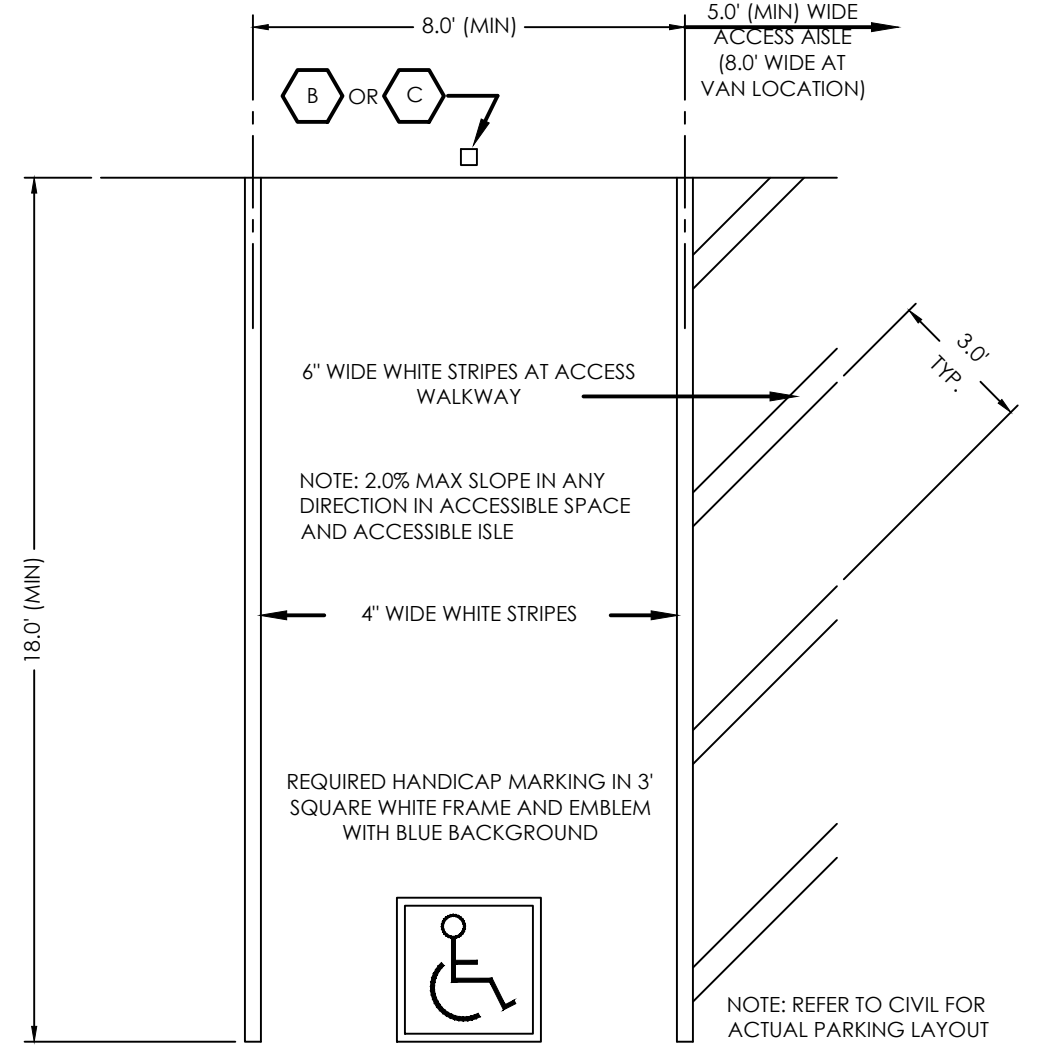
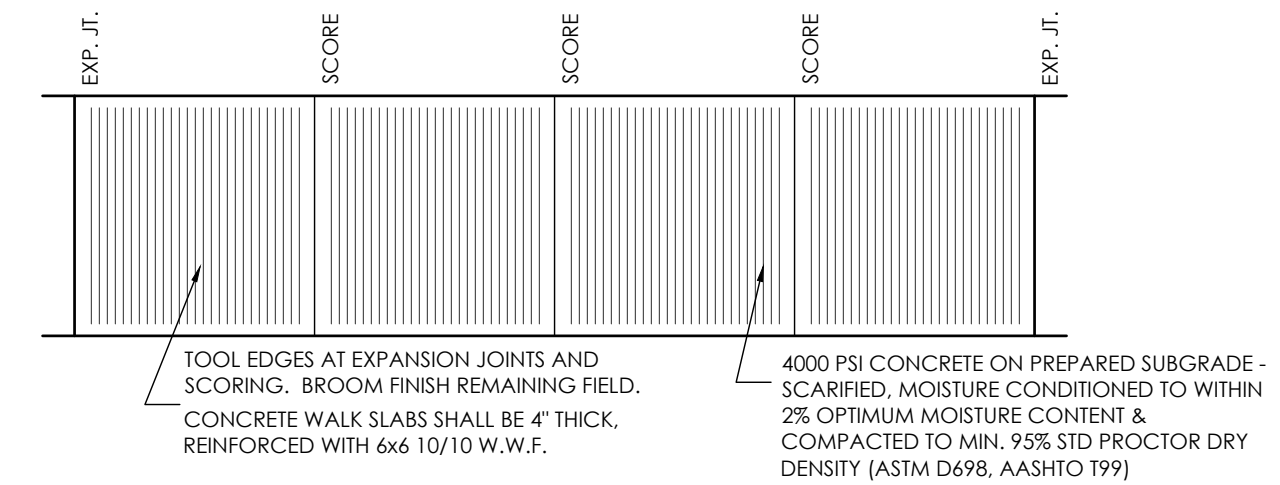


1. TYPOGRAPHY TO BE HELVETICA MEDIUM
2. NOTE: REFER TO SITE PLAN FOR LOCATIONS
3. REMOVE EXISTING SIGNS AND REUSE WHERE APPLICABLE (NOT SHOWN).
4. STOP SIGNS WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS AND THE CITY OF COLORADO SPRINGS TRAFFIC ENGINEERING STANDARDS.

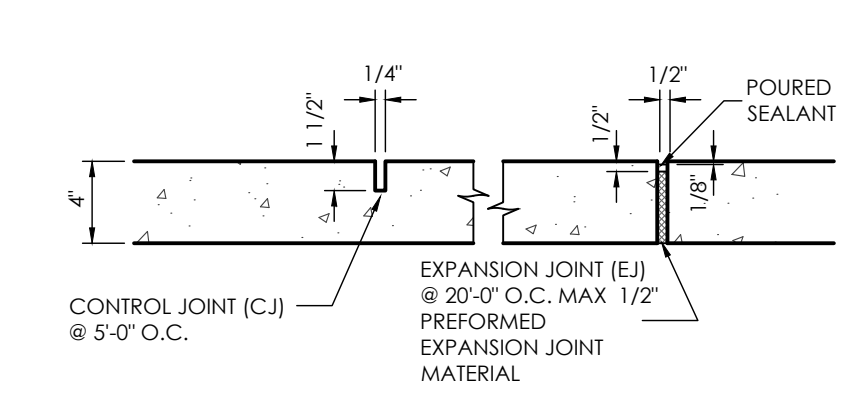
SITE SIGNAGE
SCALE 1" = 1'-0"



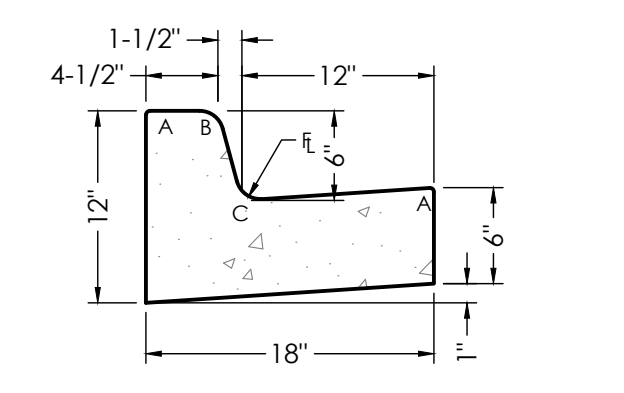
TYPICAL HANDICAP PARKING SPACE
SCALE 1" = 4'-0"



TYPICAL SIDEWALK DETAIL
SCALE 1" = 4'-0"



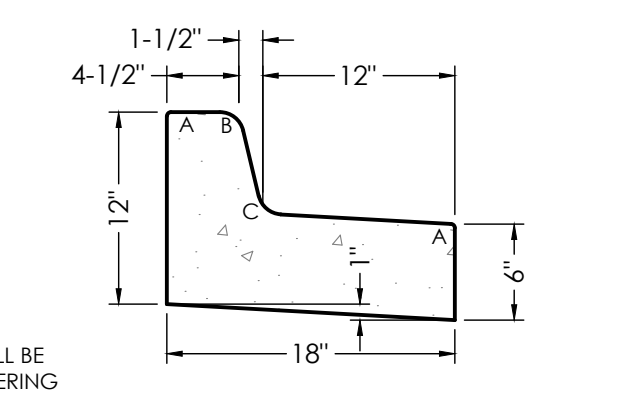
CONCRETE SIDEWALK DETAIL
NOT TO SCALE



STANDARD CATCH CURB & GUTTER
SCALE 1" = 1'-1"

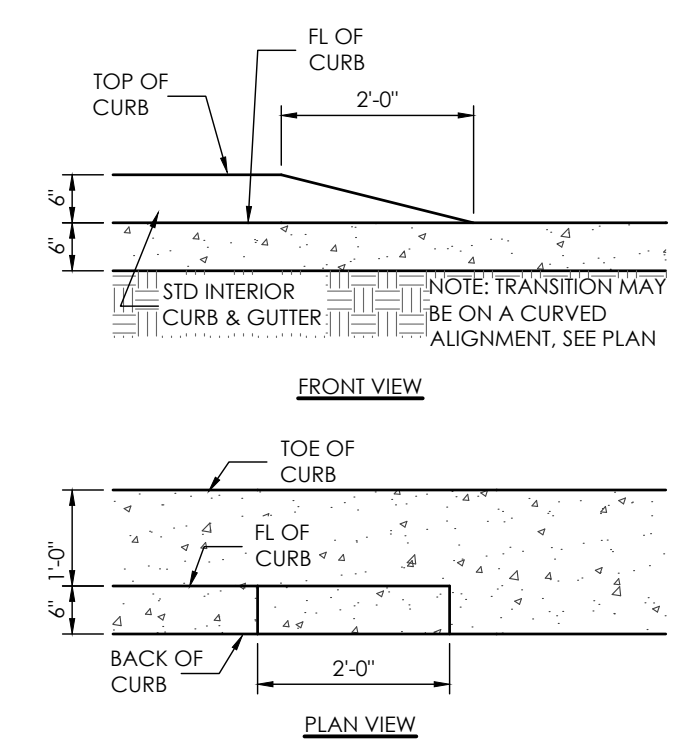
RADII	
A	1/8" TO 1/4"
B	1-1/2"
C	1-1/2" TO 2"

NOTE: CURB & GUTTER CONCRETE SHALL BE CITY OF COLORADO SPRINGS ENGINEERING DIVISION STANDARD SPECIFICATIONS.

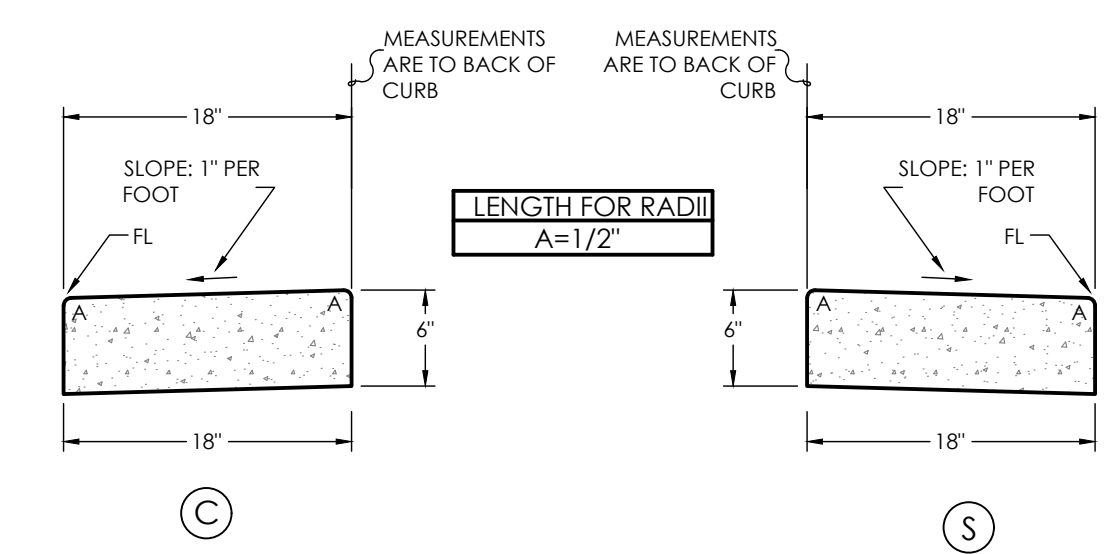


STANDARD SPILL CURB & GUTTER
SCALE 1" = 1'-1"

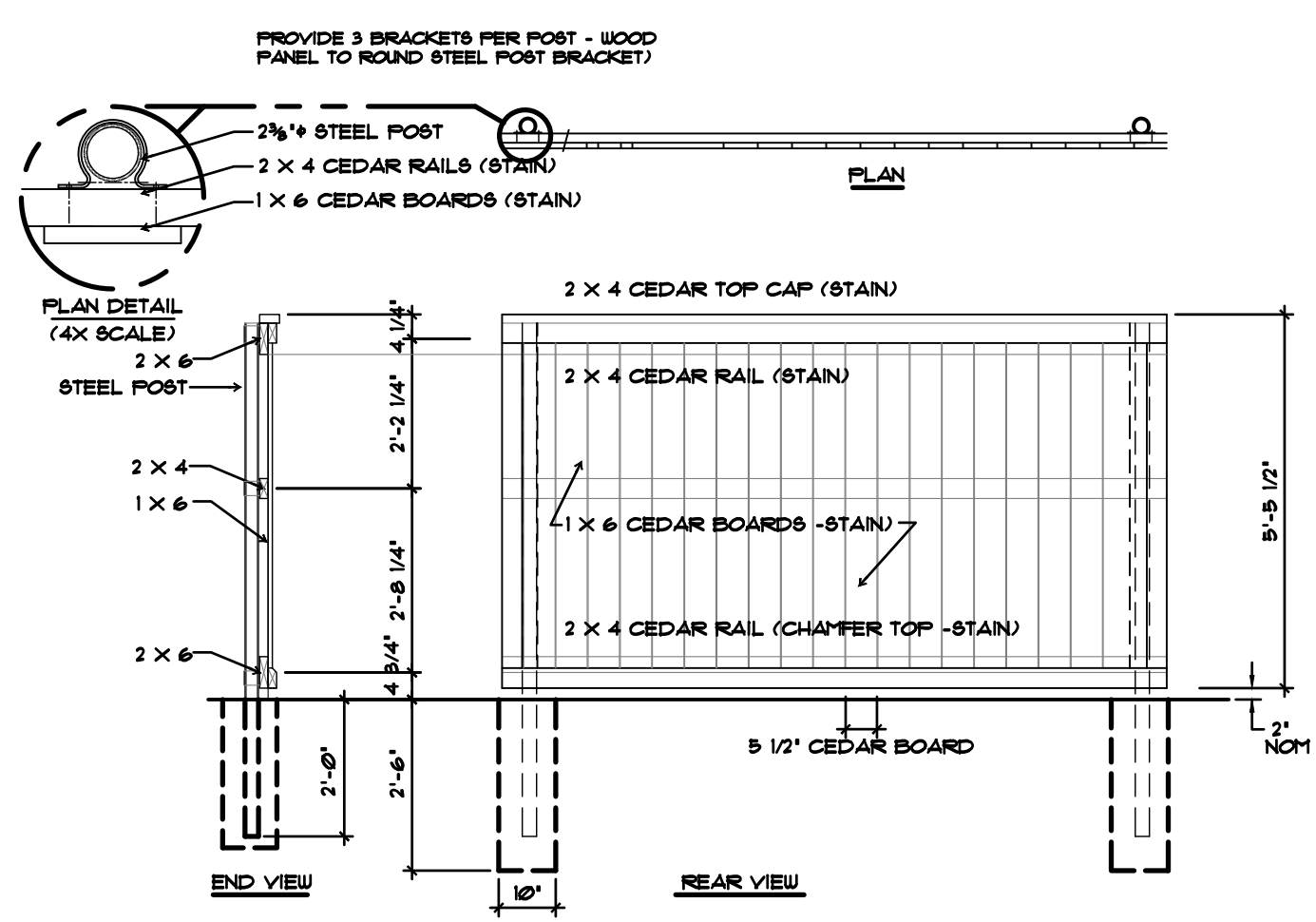
NOTE: CURB AND GUTTER SHOWN ON THESE PLANS ARE PRIVATE. NO PUBLIC (EPC) CURB AND GUTTER IS PROPOSED.



2' CURB TRANSITION DETAIL
SCALE 1" = 2'-0"

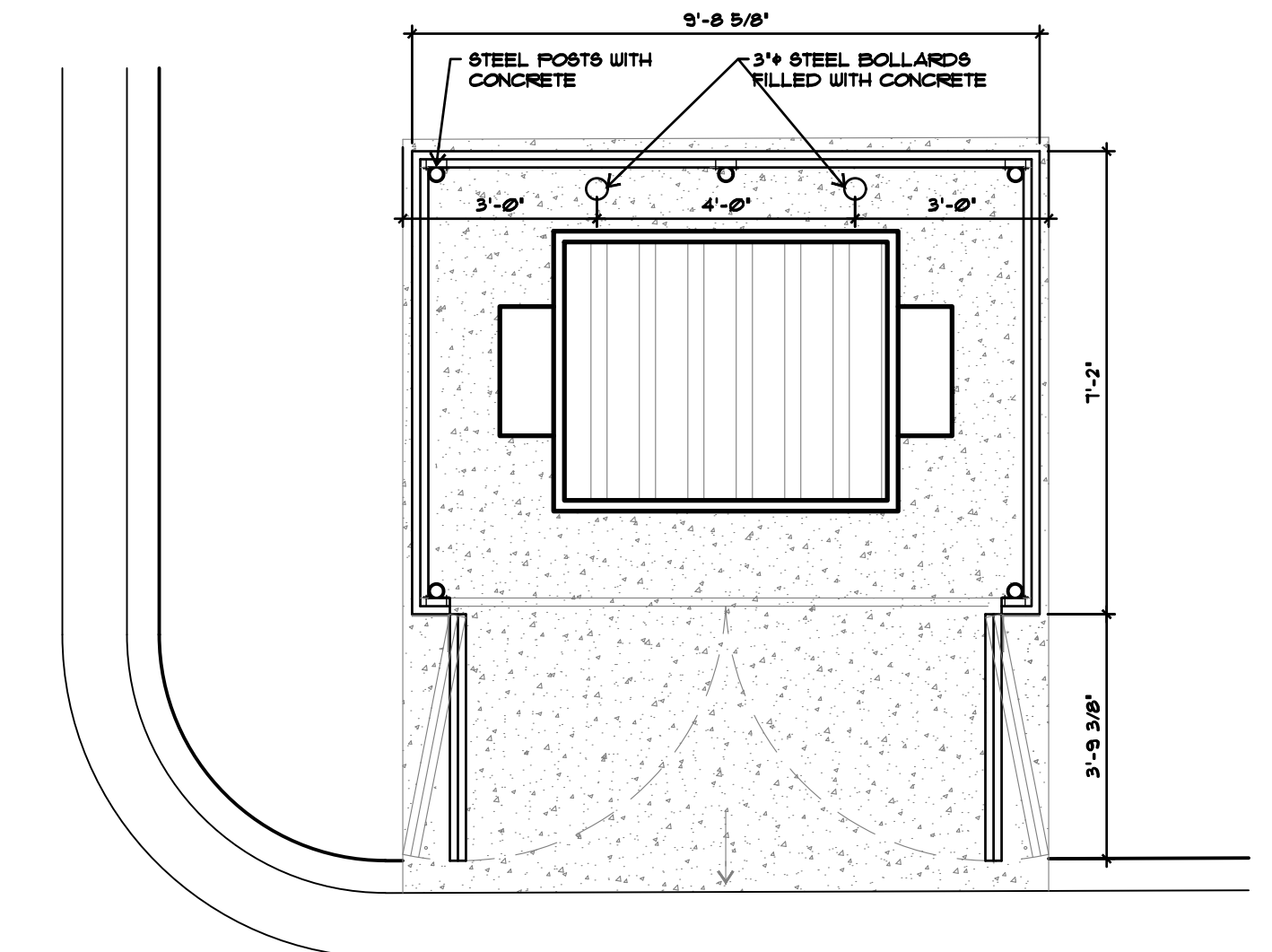


"NO HEAD" CURB & GUTTER
SCALE 1" = 1'-1"

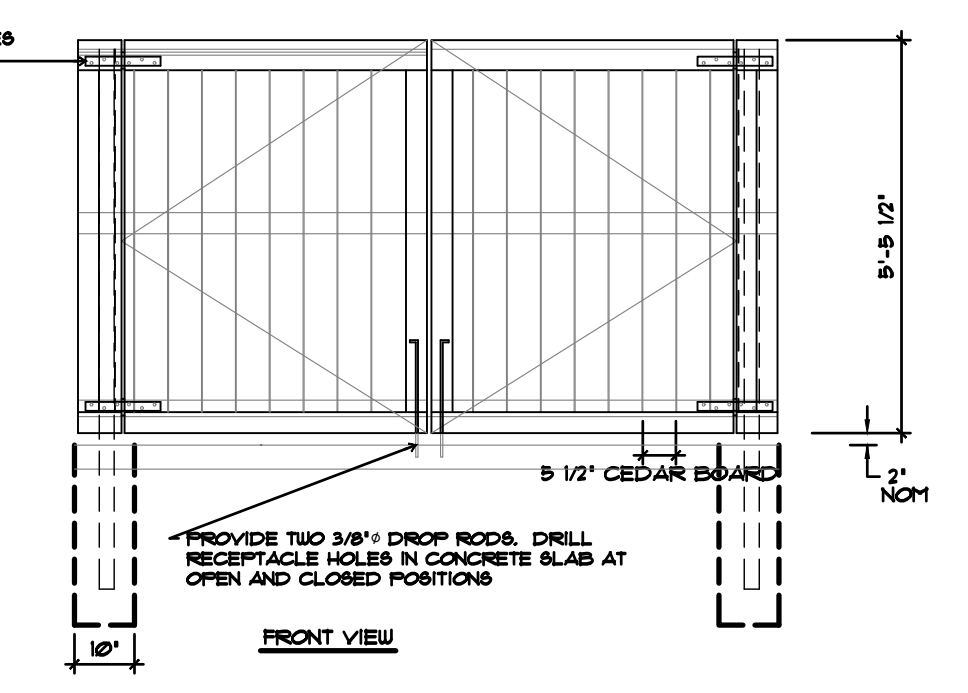


DUMPSTER SCREEN SECTION / ELEV.
SCALE: 3/8" = 1'-0"

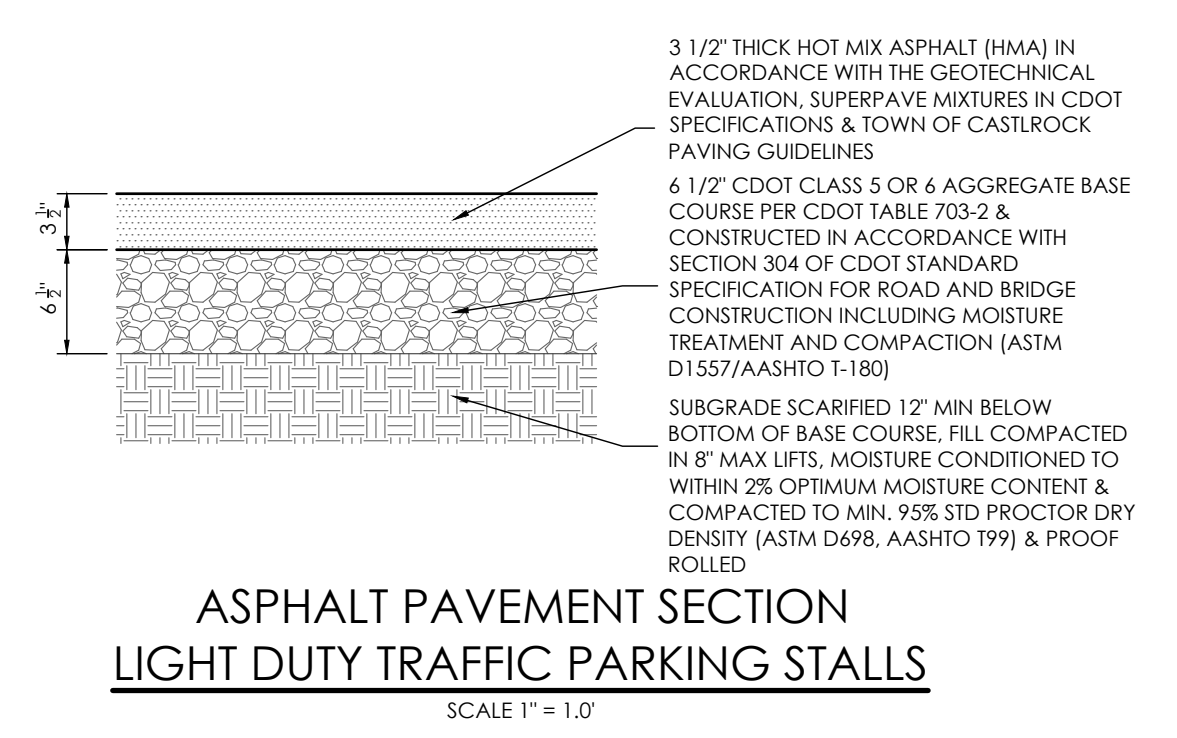
- NOTE:
- FILL STEEL POSTS WITH CONCRETE
 - FASTEN EACH RAIL END USING THREE #8 x 1-1/4" RAIL SCREWS
 - ATTACH RAILS TO CORNER POSTS USING ONE #6 CLIP PER RAIL END
 - ATTACH CEDAR BOARDS TO RAILS WITH COATED SCREWS



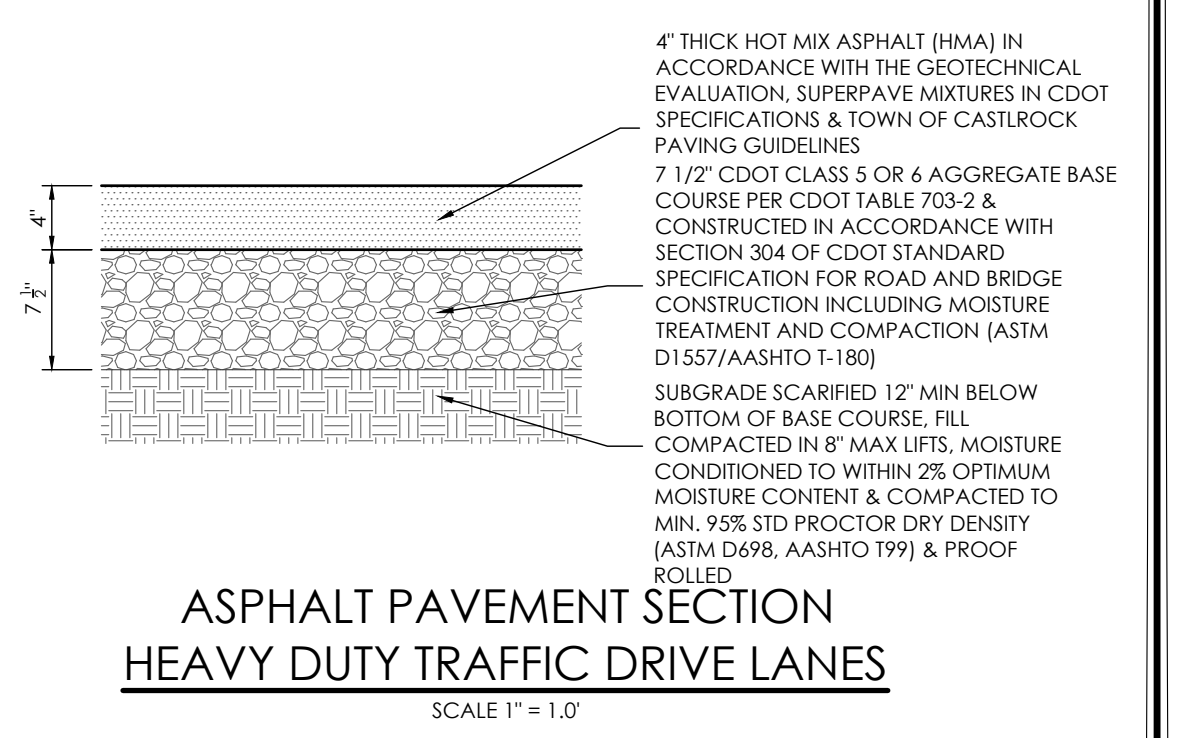
DUMPSTER SCREEN PLAN
SCALE: 3/8" = 1'-0"



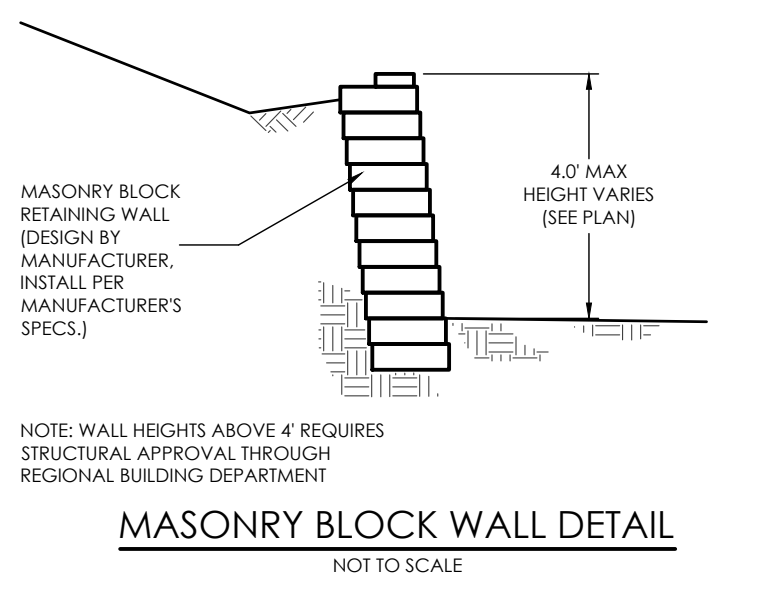
DUMPSTER SCREEN GATE ELEV.
SCALE: 3/8" = 1'-0"



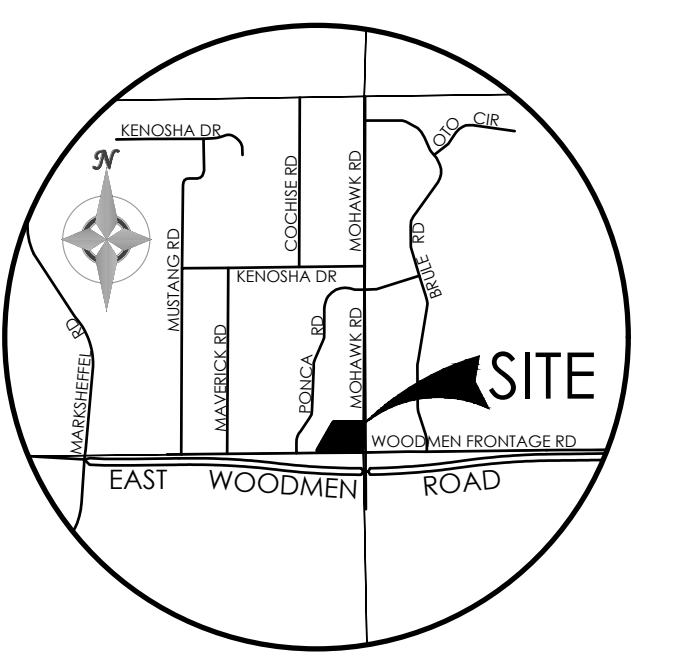
ASPHALT PAVEMENT SECTION LIGHT DUTY TRAFFIC PARKING STALLS
SCALE 1" = 1'-0"



ASPHALT PAVEMENT SECTION HEAVY DUTY TRAFFIC DRIVE LANES
SCALE 1" = 1'-0"

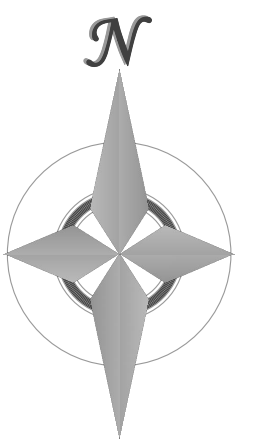


MASONRY BLOCK WALL DETAIL
NOT TO SCALE



VICINITY MAP
NOT TO SCALE

BENCHMARK



REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

ST. JOHN THE BAPTIST ORTHODOX CHURCH

SITE DEVELOPMENT PLAN DETAILS SHEET

SDP-3 MVE PROJECT 61200
MVE DRAWING SP-DS

AUGUST 8, 2023
SHEET 3 OF 3

PPR 2255