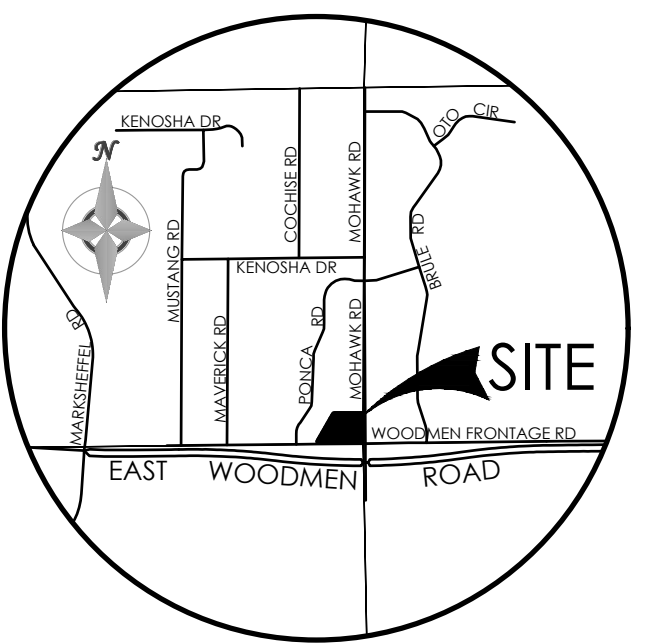


SITE DEVELOPMENT PLAN

FOR

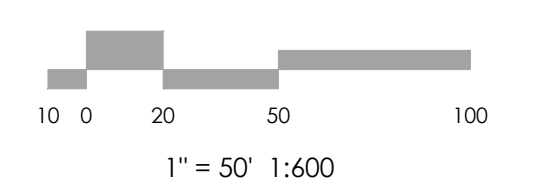
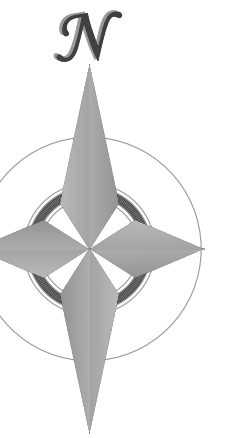
ST. JOHN THE BAPTIST ORTHODOX CHURCH

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN,
EL PASO COUNTY, COLORADO



VICINITY MAP
NOT TO SCALE

BENCHMARK

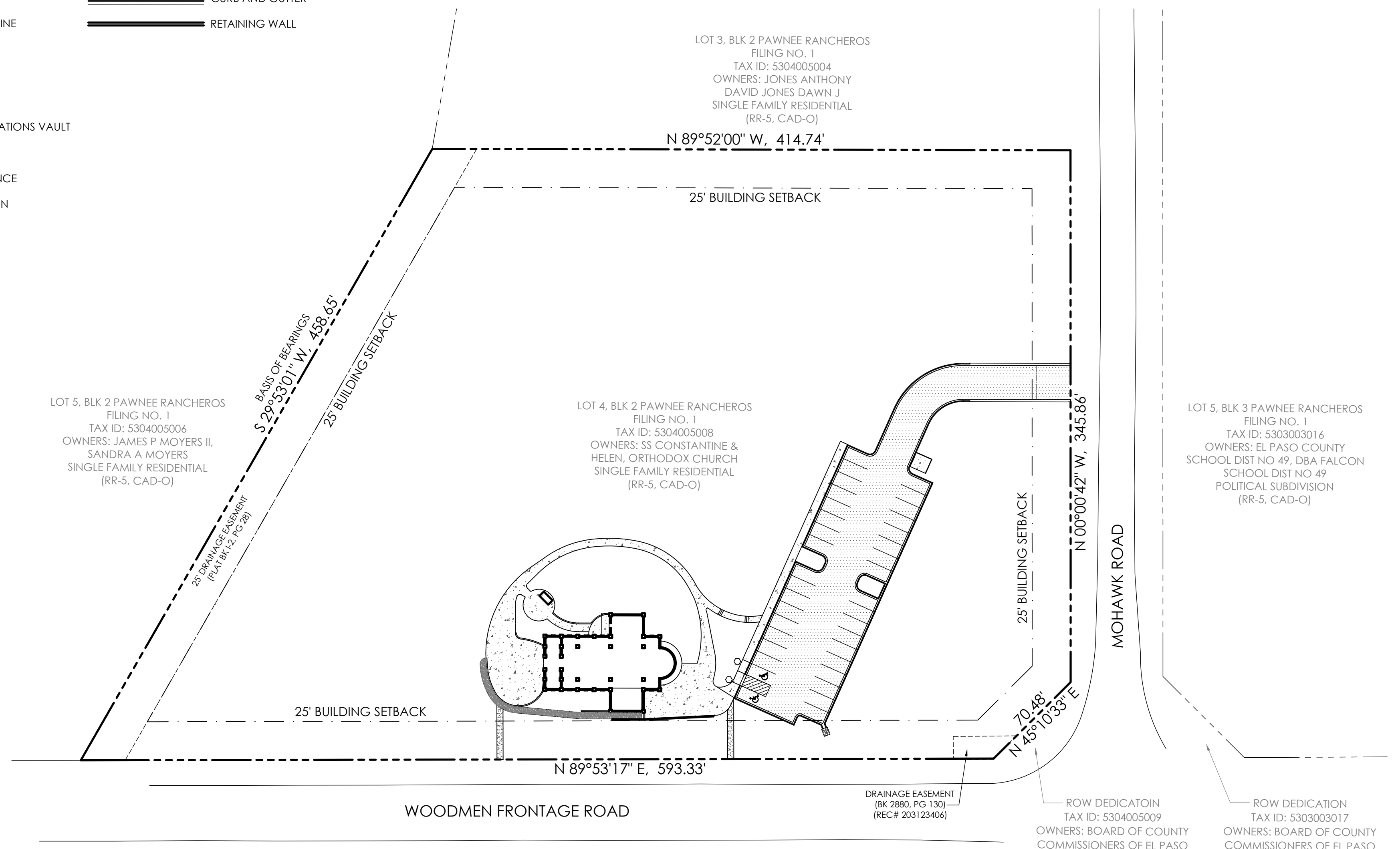


LEGEND

- | | |
|-------|------------------------|
| ----- | PROPERTY LINE |
| ----- | EASEMENT LINE |
| ----- | LOT LINE |
| ----- | BUILDING SETBACK LINE |
| ----- | ADJACENT PROPERTY LINE |
-
- | | |
|-----------------|--------------------------|
| EXISTING | |
| --- | INDEX CONTOUR |
| --- | INTERMEDIATE CONTOUR |
| ○ | SIGN |
| —w—w— | WATER LINE |
| —w—w—w— | WATER VALVE |
| —w—w—A— | FIRE HYDRANT |
| —o—o—o— | OVEHEAD ELEC LINE |
| —o—o—o— | ELECTRIC POLE |
| —o—o—o— | GAS LINE |
| —o—o—o— | FIBER OPTIC LINE |
| —o—o—o— | TELECOMMUNICATIONS VAULT |
| —x—x—x— | GAS LINE |
| —g—g—g— | BARBED WIRE FENCE |
| —o—o—o— | REGULATORY SIGN |
-
- | | |
|-----------------|----------------------|
| PROPOSED | |
| --- | INDEX CONTOUR |
| --- | INTERMEDIATE CONTOUR |
| ■ | CONCRETE AREA |
| ■ | ASPHALT AREA |
| ■ | BREEZE PATHWAY AREA |
| ■ | CURB AND GUTTER |
| ■ | RETAINING WALL |

ABBREVIATION LEGEND

- | | |
|-----------|------------------|
| ASPH | ASPHALT |
| CONC | CONCRETE |
| C & G | CURB & GUTTER |
| DET. | DETAIL |
| ESMT | EASEMENT |
| ME | MATCH EXISTING |
| P.B., PG. | PLAT BOOK, PAGE |
| PVMT | PAVEMENT |
| RET. WALL | RETAINING WALL |
| REC. NO. | RECEPTION NUMBER |
| ROW | RIGHT-OF-WAY |
| SF | SQUARE FOOT |
| STBK | SETBACK |
| SW | SIDEWALK |
| UTIL | UTILITY |
| ⊙ | CATCH CURB |
| ⊙ | SPILL CURB |



SITE LOCATION MAP

1" = 50'
(SEE SITE PLAN ON PAGE 2 OF 3 FOR SITE DETAILS)

ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

FLOODPLAIN STATEMENT

NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0533G, EFFECTIVE DECEMBER 7, 2018.

MAP NOTES

- BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO A LINE BEGINNING AT THE MOST SOUTHWEST CORNER OF LOT 4, BLOCK 2, PAWNEE RANCHEROS FILING NO. 1 WITH BEARING N 29°53'01" E, OF THE PUBLIC RECORDS OF EL PASO COUNTY, COLORADO.
- THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY ALESSI AND ASSOCIATES, INC.
- ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.

SITE DATA

OWNER		COVERAGE DATA	
SS CONSTANTINE & HELEN ORTHODOX CHURCH 2770 N. CHESTNUT ST. COLORADO SPRINGS, CO 80807 (719) 683-2700		CHURCH: 3,439 SF 1.6%	
CONSULTANT/ENGINEER		PAVEMENT (PARKING/WALK): 21,282 SF 10.2%	
M.V.E., INC. 1903 LELARAY STREET, SUITE 200 COLORADO SPRINGS, CO 80909 (719) 635-5736		LANDSCAPING : 18,506 SF 8.9%	
ARCHITECT		UNDISTURBED AREA 165,306 SF 79.3%	
RUNGE ARCHITECTURE 5315 GERMAINE CT. COLORADO SPRINGS, CO 80909 (719) 260-0039		TOTAL AREA: 208,533 SF 100.0% = 4.78± ACRES	
SURVEYOR		PARKING SCHEDULE	
ALESSI AND ASSOCIATES, INC. 2989 BROADMOOR VALLEY ROAD SUITE C COLORADO SPRINGS, CO 80906 (719) 540-8832		REQUIRED: OCCUPANT LOAD = 133 1 SPACE PER 4 SEATS = 33 SPACES ACCESSIBLE ADA SPACES = 2 TOTAL SPACES REQUIRED = 35	
ZONING		PROVIDED: STANDARD SPACES = 34 VAN ACCESSIBLE ADA SPACES = 2 TOTAL SPACES PROVIDED = 36	Landscape plans still show 38 spaces, please update
RURAL RESIDENTIAL- 5 ACRES (RR-5) COMMERCIAL AIRPORT OVERLAY DISTRICT (CAD-O)		BUILDING TYPE	
BUILDING USE		BUILDING AREA - 6,950 SF TWO STORY - TYPE V-B NON - SPRINKLED (NS)	
RELIGIOUS PURPOSES		BUILDING HEIGHT	
CONSTRUCTION SCHEDULE		MAXIMUM BUILDING HEIGHT = 40'-0" ACTUAL BUILDING HEIGHT = 36'-4"	
START: SUMMER 2023 FINISH: FALL 2024		SETBACKS	
TAX SCHEDULE NO.		25' FRONT 25' SIDE 25' REAR	
5304005008			
PROPERTY ADDRESS			
7530 MOHAWK RD			

- ### DEVELOPMENT NOTES
- NO DOMESTIC WATER OR SEWER SERVICE PROVIDED. WELL AND SEPTIC TO BE INSTALLED
 - NATURAL GAS SERVICE PROVIDED BY BLACK HILLS ENERGY DISTRICT.
 - ELECTRIC SERVICE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION DISTRICT.
 - FIRE SERVICE PROVIDED BY FALCON FIRE PROTECTION DISTRICT.

LAND DESCRIPTION

LOT 4, BLOCK 2, PAWNEE RANCHEROS, FILING NO. 1 AS RECORDED UNDER PLAT IN PLAT BOOK I-2 AT PAGE 28 OF THE RECORDS OF EL PASO COUNTY, COLORADO, EXCEPT THAT PORTION DESCRIBED IN WARRANTY DEED RECORDED JUNE 4, 2003 UNDER RECEPTION NO. 203123405, COUNTY OF EL PASO, STATE OF COLORADO.

SHEET INDEX

SITE DEVELOPMENT PLAN	
SDP-1	COVER SHEET
SDP-2	SITE PLAN
SDP-3	SITE DETAILS

ADDITIONAL PLANS NOT IN THIS SET

DP1	PHOTOMETRIC PLAN
DP2	PHOTOMETRIC DETAILS
L1	FINAL LANDSCAPE PLAN
L2	FINAL LANDSCAPE DETAILS
1 OF 2	MAIN FLOOR PLAN
2 OF 2	BASEMENT FLOOR PLAN
1 OF 1	EXTERIOR ELEVATIONS



REVISIONS

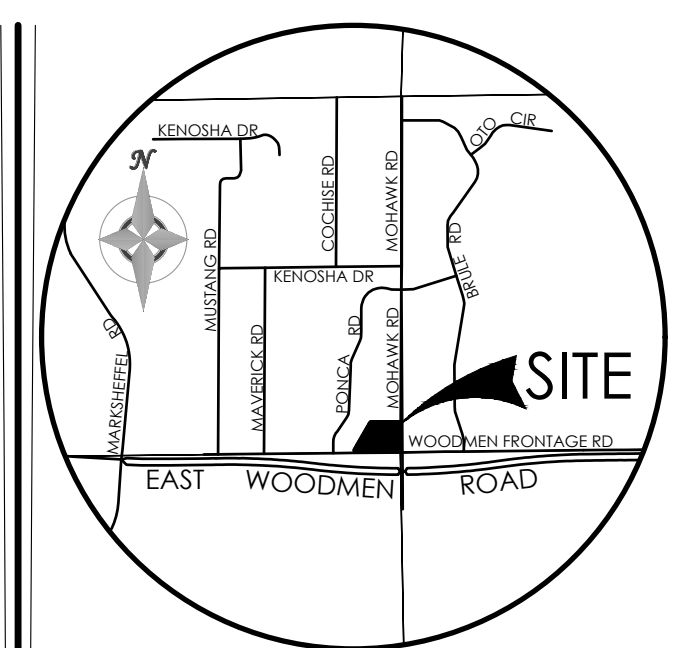
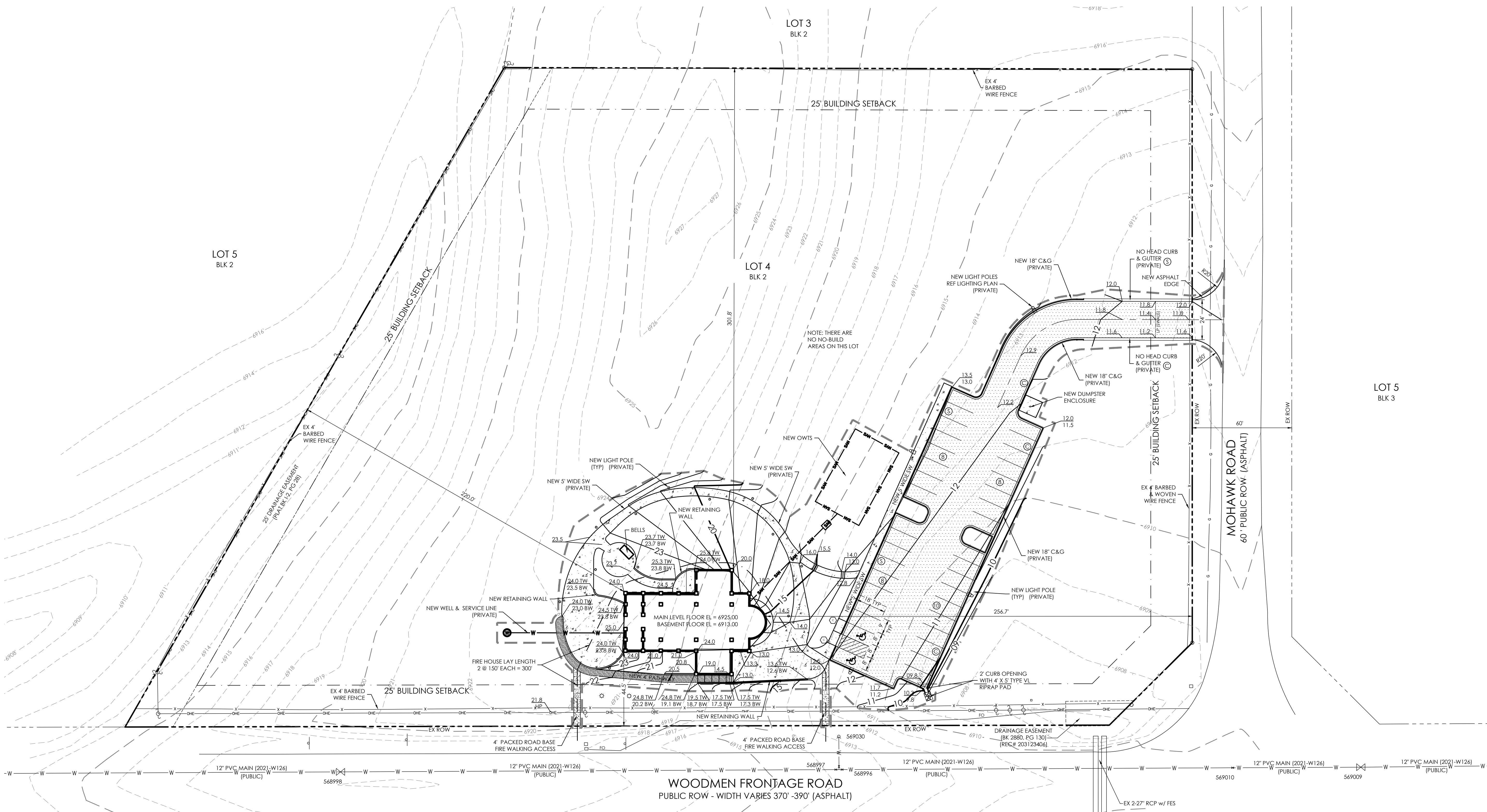
DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

ST. JOHN THE BAPTIST
ORTHODOX CHURCH

SITE DEVELOPMENT
PLAN
COVER SHEET

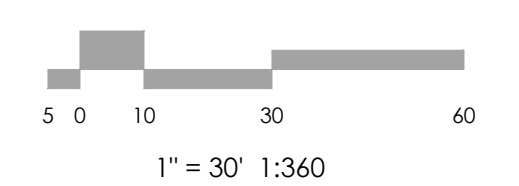
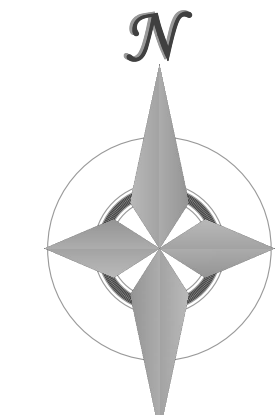
SDP-1 MVE PROJECT 61200
MVE DRAWING SP-CS

September 8, 2023
SHEET 1 OF 3



VICINITY MAP
NOT TO SCALE

BENCHMARK



REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

ST. JOHN THE BAPTIST
ORTHODOX CHURCH

SITE DEVELOPMENT
PLAN
SITE PLAN

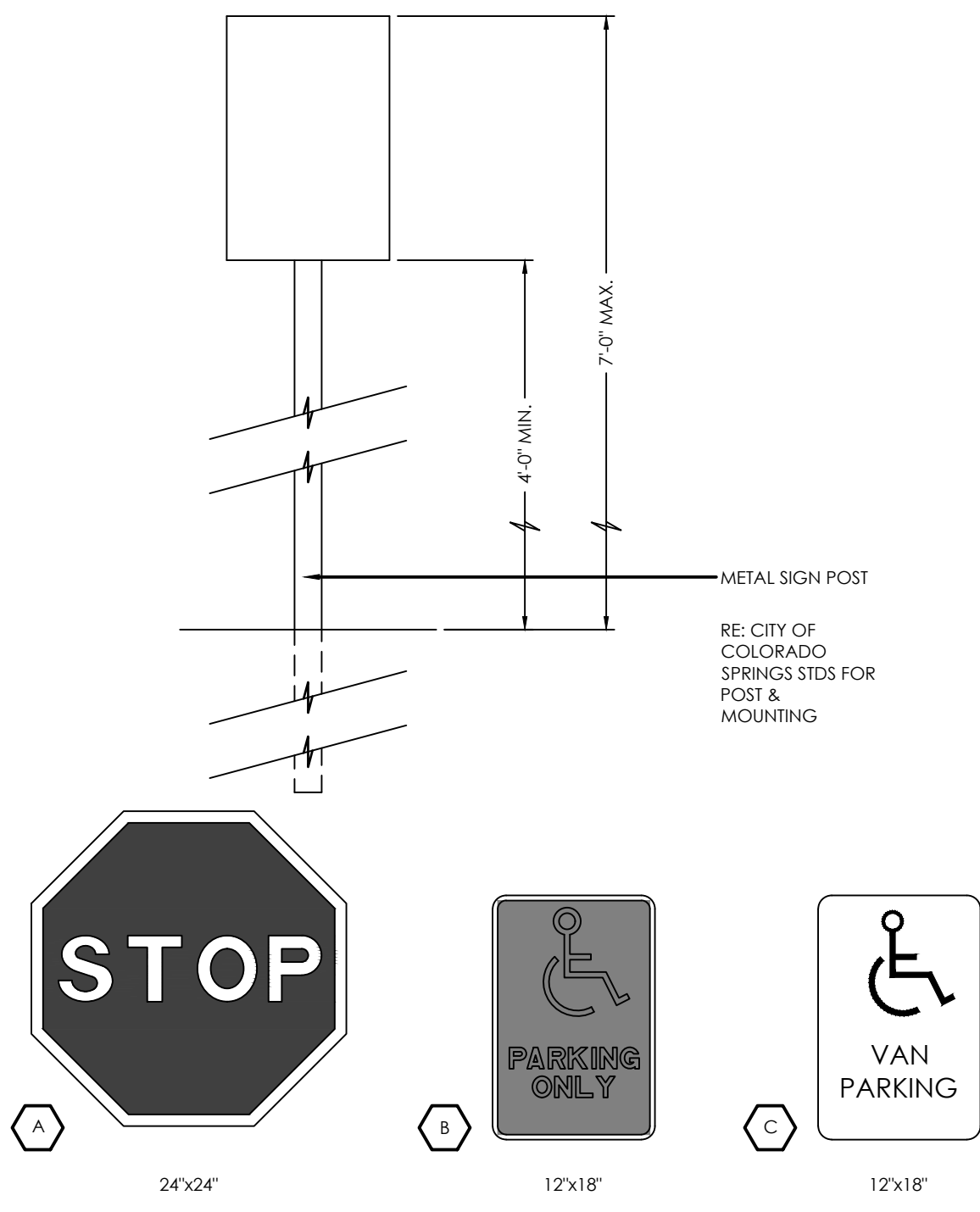
SDP-2 MVE PROJECT 61200
MVE DRAWING SP-SP

September 8, 2023
SHEET 2 OF 3

EXISTING		PROPOSED	
	INDEX CONTOUR		INDEX CONTOUR
	INTERMEDIATE CONTOUR		INTERMEDIATE CONTOUR
	SIGN		CONCRETE AREA
	WATER LINE		ASPHALT AREA
	WATER VALVE		BREEZE PATHWAY AREA
	FIRE HYDRANT		CURB AND GUTTER
	OVERHEAD ELEC LINE		RETAINING WALL
	ELECTRIC POLE		
	GAS LINE		
	FIBER OPTIC LINE		
	TELECOMMUNICATIONS VAULT		
	GAS LINE		
	BARBED WIRE FENCE		
	REGULATORY SIGN		

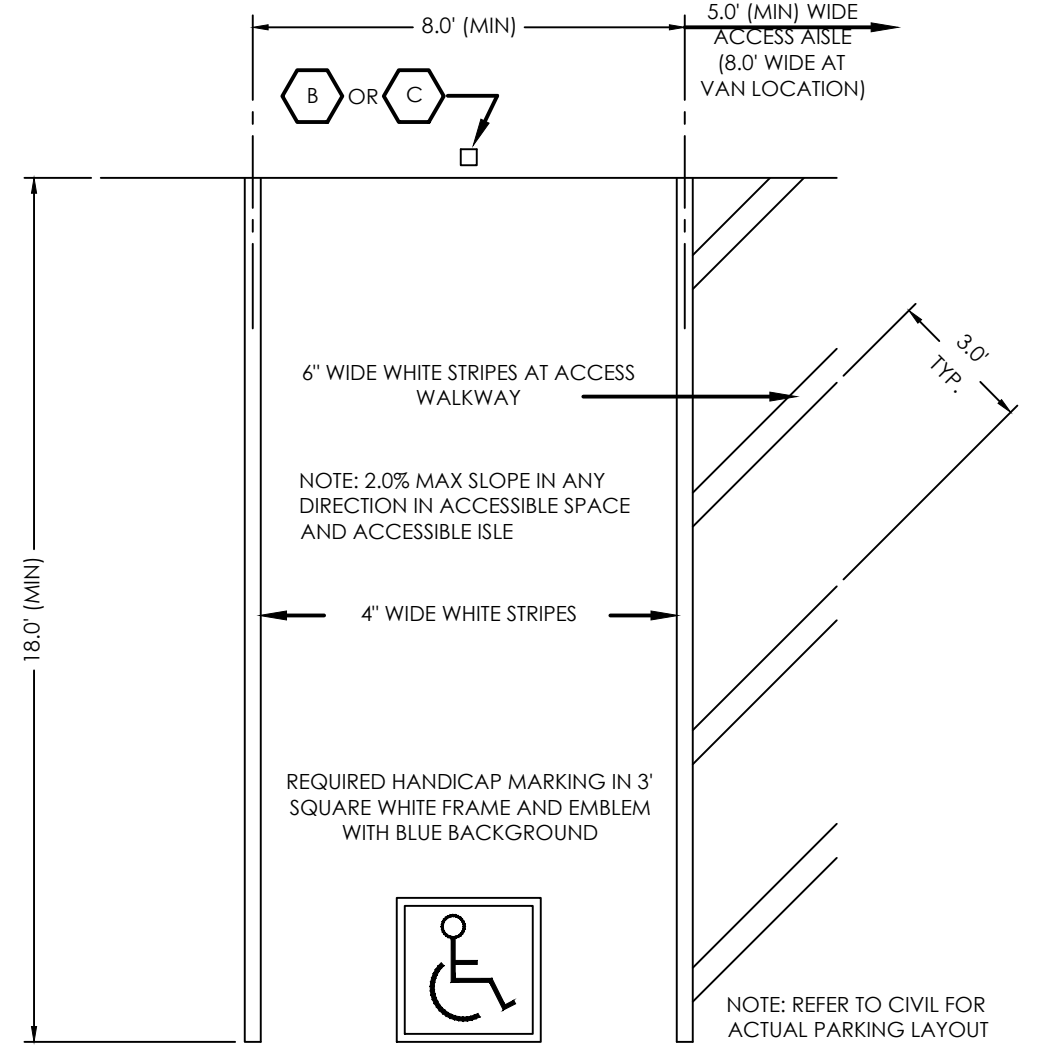
ABBREVIATION LEGEND	
ASPH	ASPHALT
CONC	CONCRETE
C & G	CURB & GUTTER
DET.	DETAIL
ESMT	EASEMENT
ME	MATCH EXISTING
P.B., PG.	PLAT BOOK, PAGE
PVMT	PAVEMENT
RET. WALL	RETAINING WALL
REC. NO.	RECEPTION NUMBER
ROW	RIGHT-OF-WAY
SF	SQUARE FOOT
STBK	SETBACK
SW	SIDEWALK
UTIL	UTILITY
	CATCH CURB
	SPILL CURB

PPR 2255

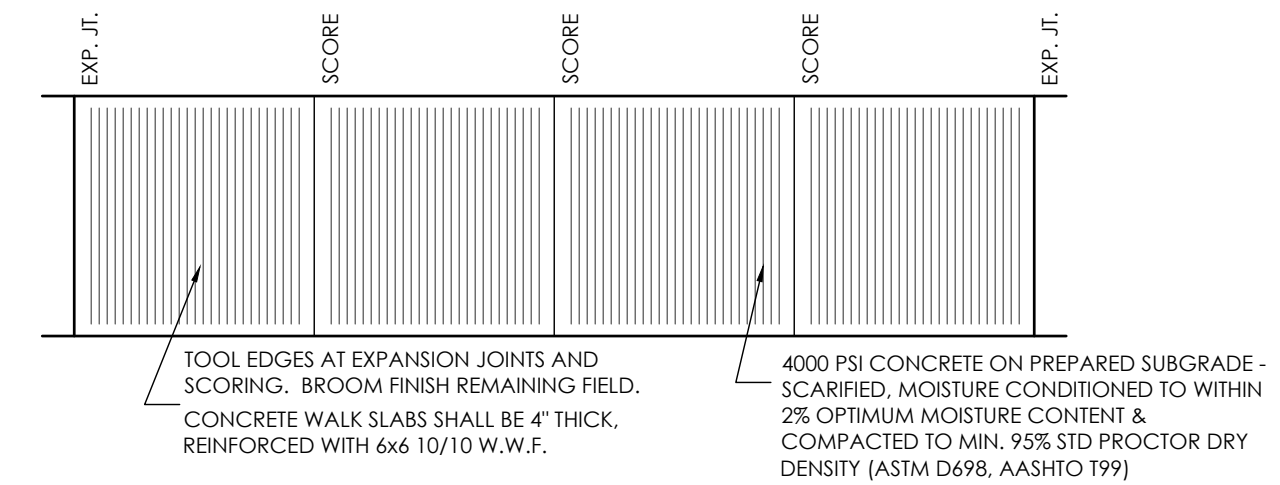


1. TYPOGRAPHY TO BE HELVETICA MEDIUM
2. NOTE: REFER TO SITE PLAN FOR LOCATIONS
3. REMOVE EXISTING SIGNS AND REUSE WHERE APPLICABLE (NOT SHOWN).
4. STOP SIGNS WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS AND THE CITY OF COLORADO SPRINGS TRAFFIC ENGINEERING STANDARDS.

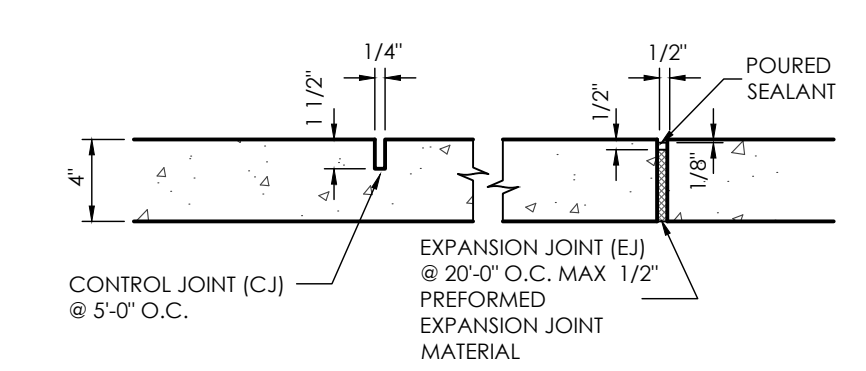
SITE SIGNAGE
SCALE 1" = 1.0'



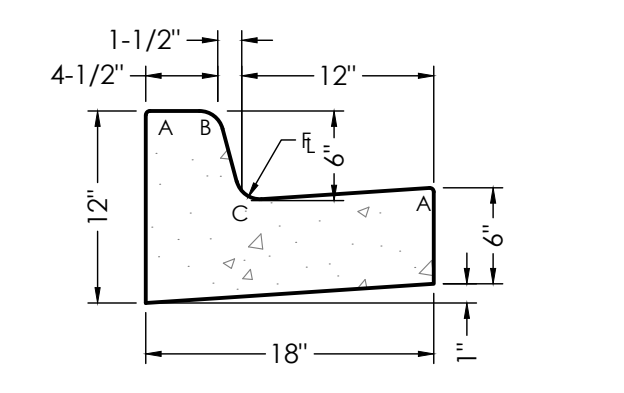
TYPICAL HANDICAP PARKING SPACE
SCALE 1" = 4.0'



TYPICAL SIDEWALK DETAIL
SCALE 1" = 4.0'



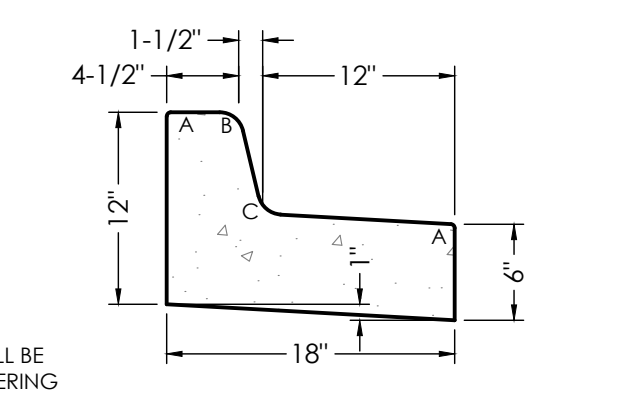
CONCRETE SIDEWALK DETAIL
NOT TO SCALE



18" CATCH CURB & GUTTER
SCALE 1" = 1'

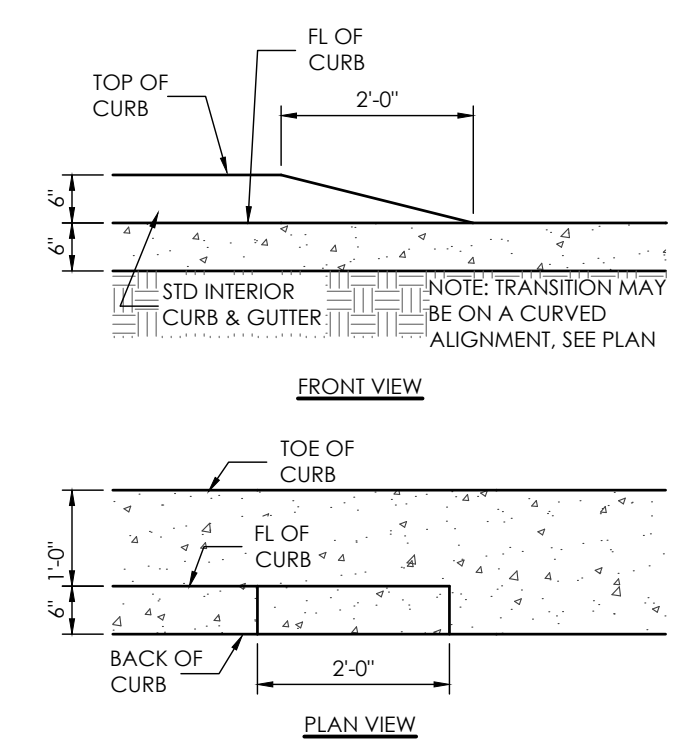
RADI	
A	1/8" TO 1/4"
B	1-1/2"
C	1-1/2" TO 2"

NOTE: CURB & GUTTER CONCRETE SHALL BE CITY OF COLORADO SPRINGS ENGINEERING DIVISION STANDARD SPECIFICATIONS.

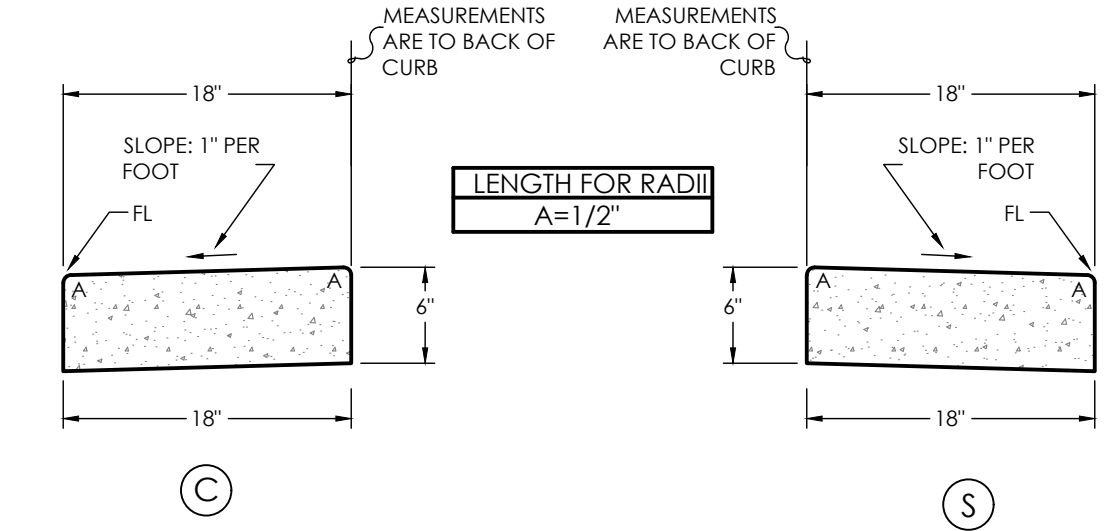


18" SPILL CURB & GUTTER
SCALE 1" = 1'

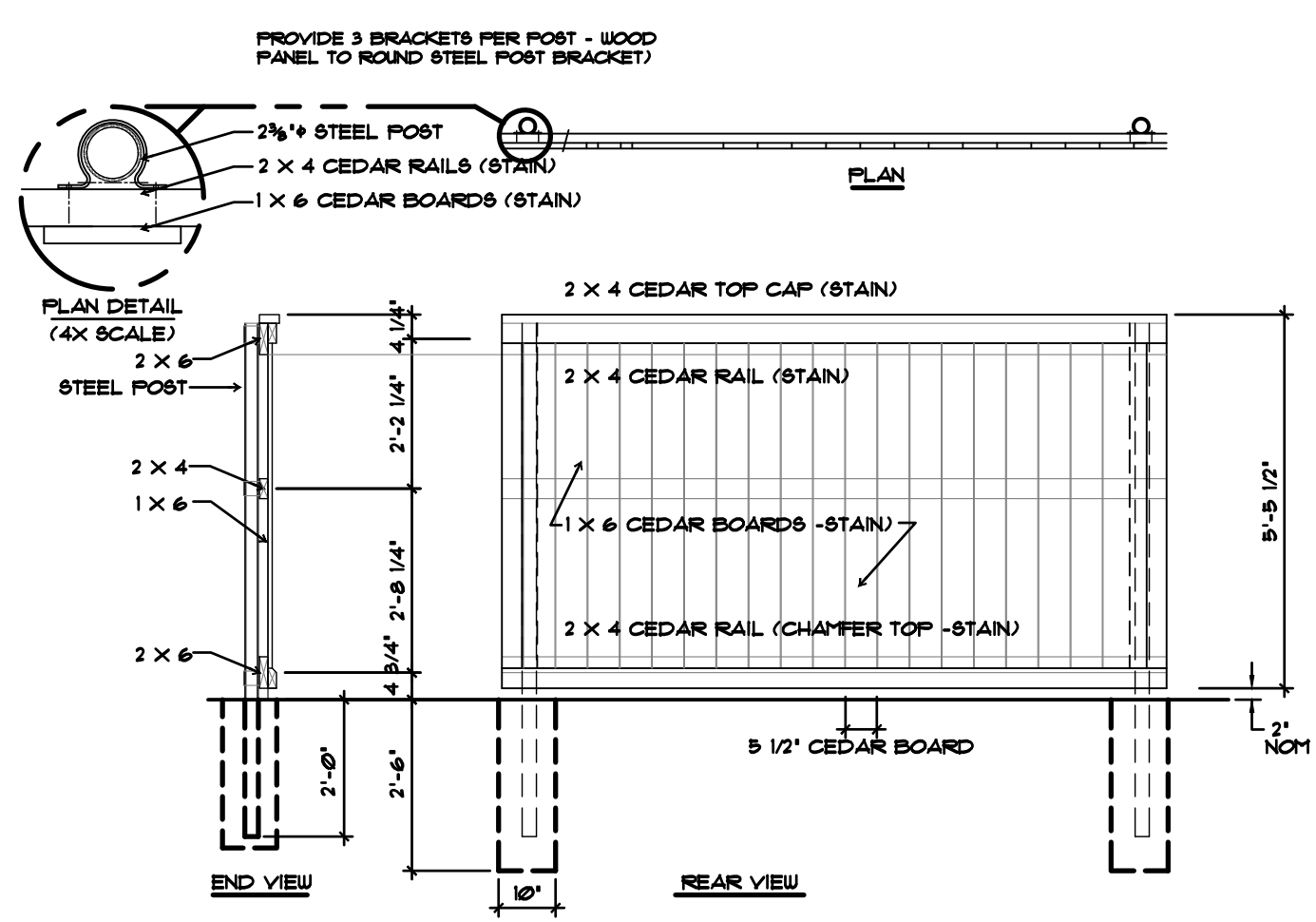
NOTE: CURB AND GUTTER SHOWN ON THESE PLANS ARE PRIVATE. NO PUBLIC (EPC) CURB AND GUTTER IS PROPOSED.



2' CURB TRANSITION DETAIL
SCALE 1" = 2.0'

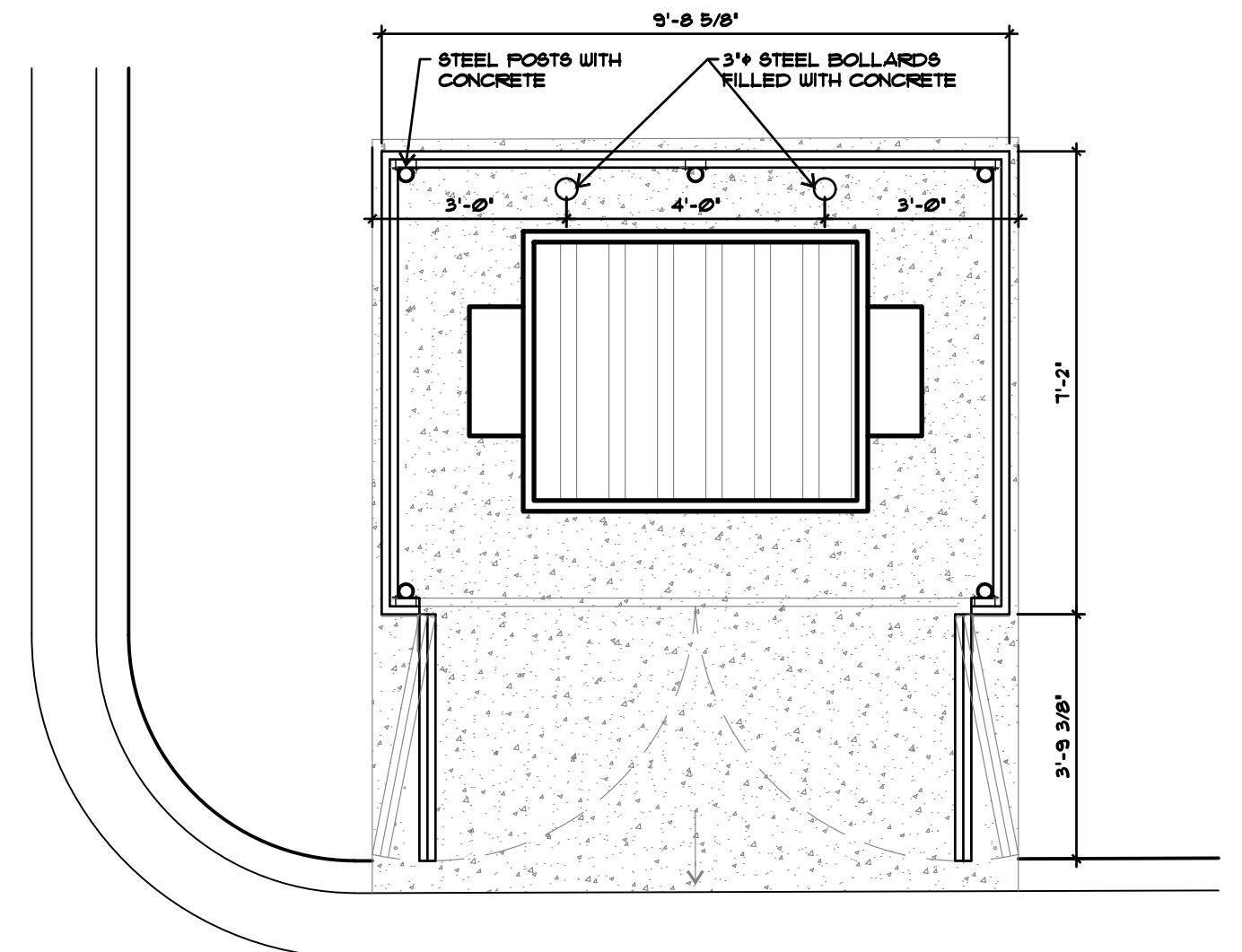


"NO HEAD" CURB & GUTTER
SCALE 1" = 1'

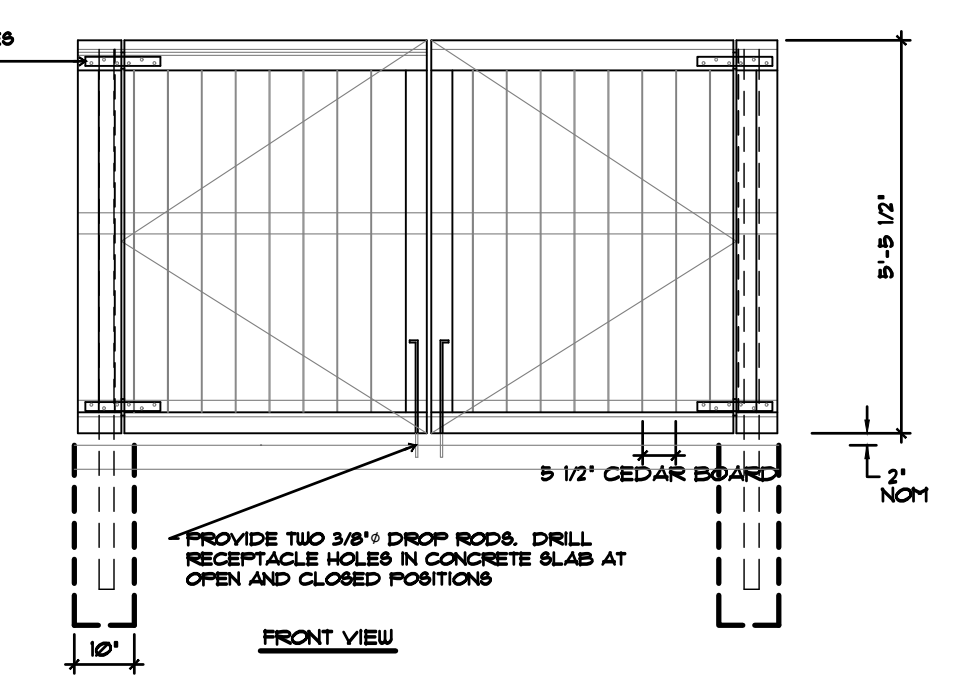


DUMPSTER SCREEN SECTION / ELEV.
SCALE: 3/8" = 1'-0"

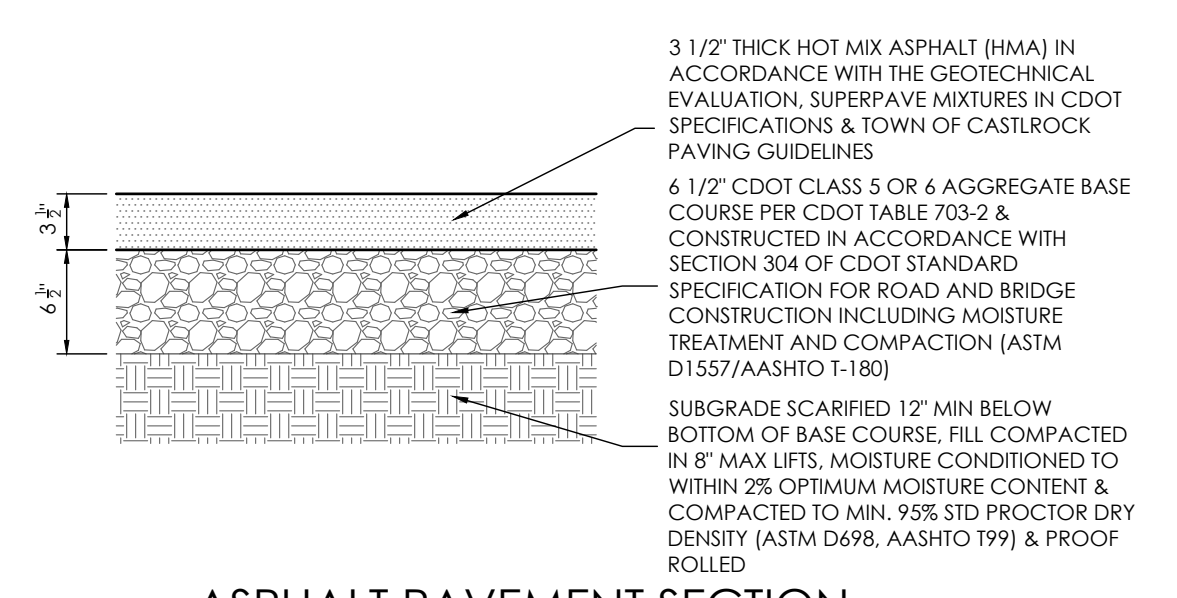
- NOTE:
- FILL STEEL POSTS WITH CONCRETE
 - FASTEN EACH RAIL END USING THREE #8 x 1-1/4" RAIL SCREWS
 - ATTACH RAILS TO CORNER POSTS USING ONE POGGCLIP PER RAIL END
 - ATTACH CEDAR BOARDS TO RAILS WITH COATED SCREWS



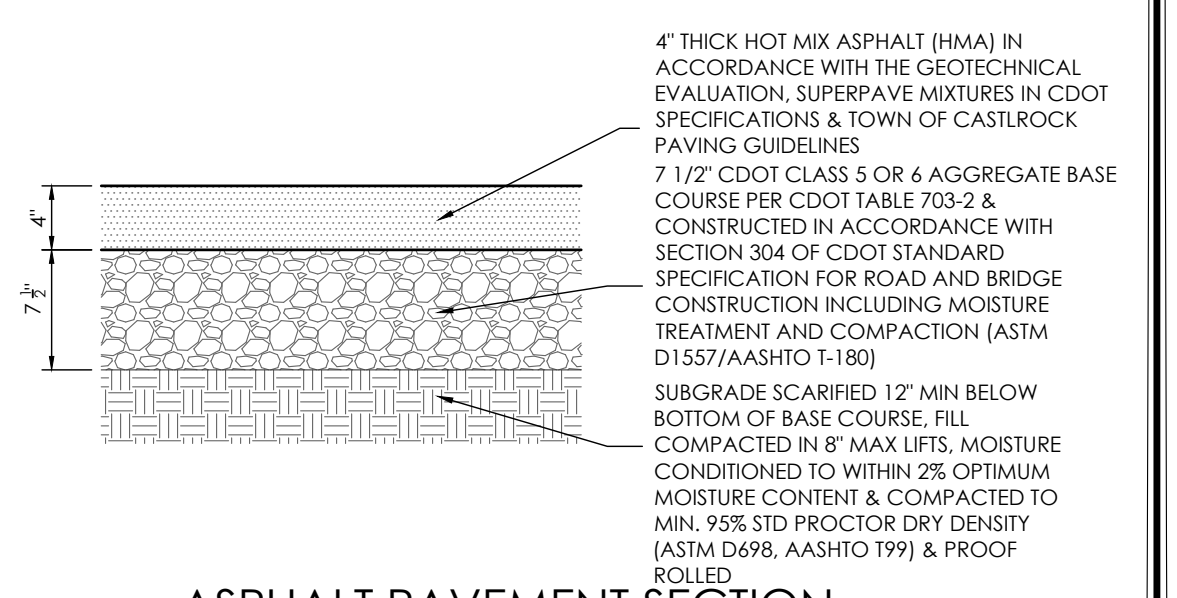
DUMPSTER SCREEN PLAN
SCALE: 3/8" = 1'-0"



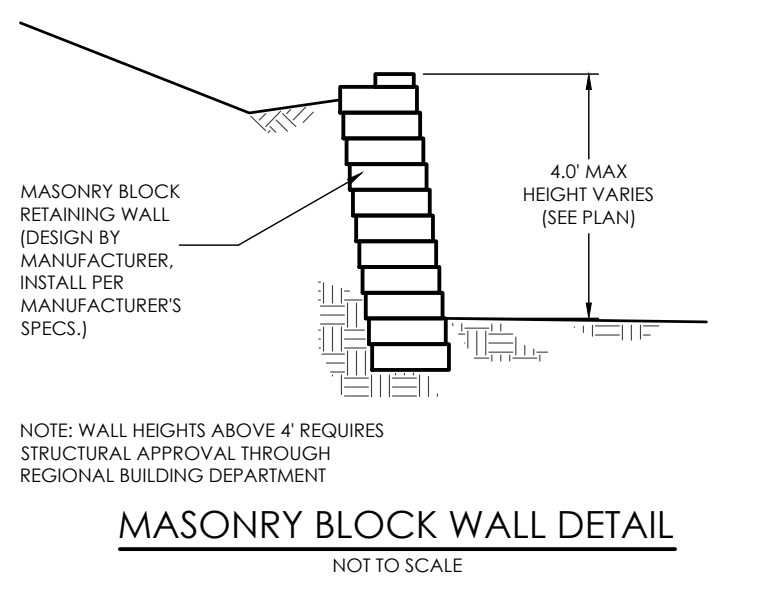
DUMPSTER SCREEN GATE ELEV.
SCALE: 3/8" = 1'-0"



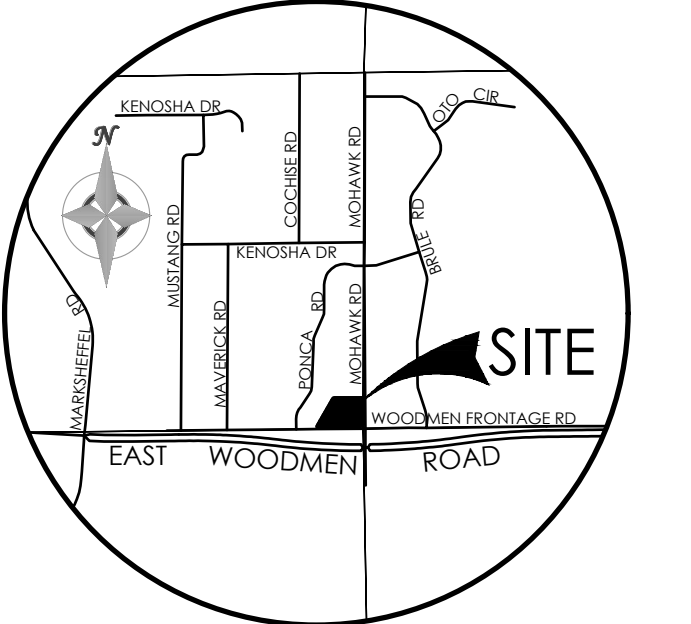
ASPHALT PAVEMENT SECTION LIGHT DUTY TRAFFIC PARKING STALLS
SCALE 1" = 1.0'



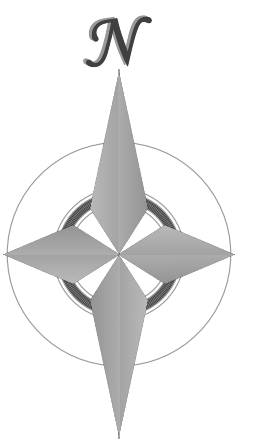
ASPHALT PAVEMENT SECTION HEAVY DUTY TRAFFIC DRIVE LANES
SCALE 1" = 1.0'



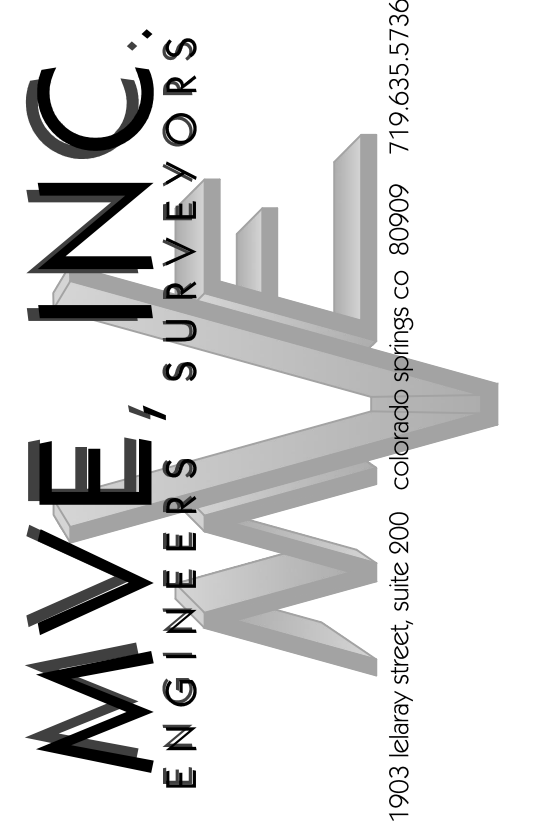
MASONRY BLOCK WALL DETAIL
NOT TO SCALE



VICINITY MAP
NOT TO SCALE



BENCHMARK



REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

ST. JOHN THE BAPTIST ORTHODOX CHURCH

SITE DEVELOPMENT PLAN DETAILS SHEET

SDP-3 MVE PROJECT 61200
MVE DRAWING SP-DS

September 8, 2023
SHEET 3 OF 3

PPR 2255