

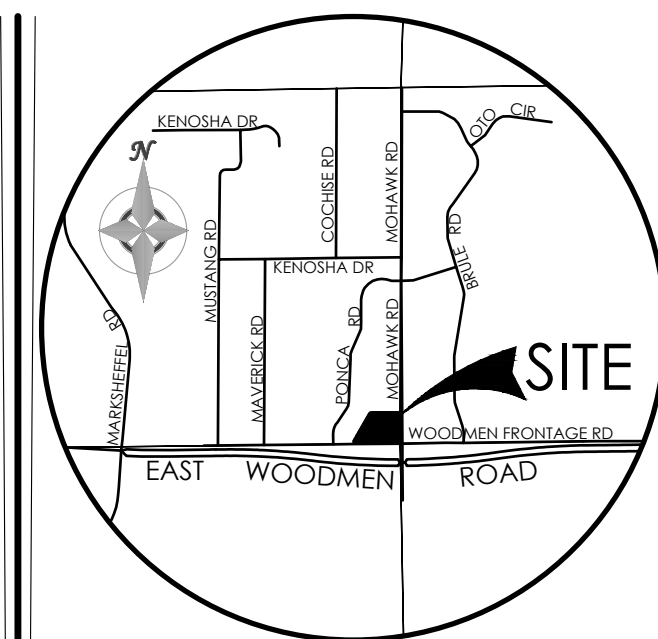
SITE DEVELOPMENT PLAN

FOR

ST. JOHN THE BAPTIST ORTHODOX CHURCH

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN,
EL PASO COUNTY, COLORADO

Approved
By: *Justin Kilgore*
Planning Manager
Date: 10/18/2023
El Paso County Planning & Community Development



VICINITY MAP
NOT TO SCALE

LEGEND

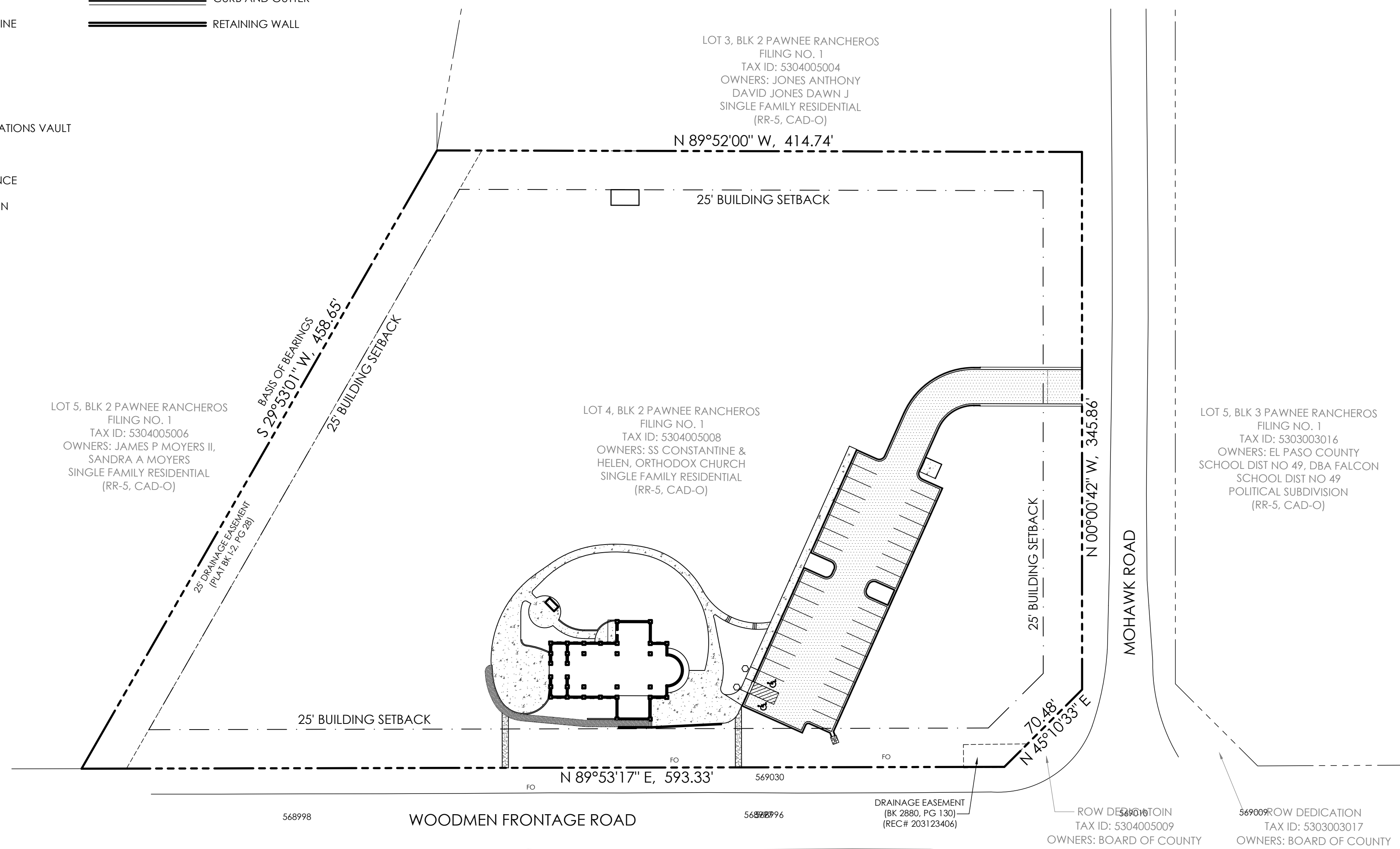
- EXISTING**
- PROPERTY LINE
 - EASEMENT LINE
 - LOT LINE
 - BUILDING SETBACK LINE
 - ADJACENT PROPERTY LINE
 - 5985--- INDEX CONTOUR
 - 84--- INTERMEDIATE CONTOUR
 - ○ ○ SIGN
 - W—W— WATER LINE
 - W|X—W— WATER VALVE
 - W—W—A— FIRE HYDRANT
 - OVEHEAD ELEC LINE
 - ELECTRIC POLE
 - GAS LINE
 - FIBER OPTIC LINE
 - TELECOMMUNICATIONS VAULT
 - x— GAS LINE
 - g— BARBED WIRE FENCE
 - REGULATORY SIGN

PROPOSED

- 5985--- INDEX CONTOUR
- 84--- INTERMEDIATE CONTOUR
- CONCRETE AREA
- ASPHALT AREA
- BREEZE PATHWAY AREA
- CURB AND GUTTER
- RETAINING WALL

ABBREVIATION LEGEND

- | | |
|-----------|------------------|
| ASPH | ASPHALT |
| CONC | CONCRETE |
| C & G | CURB & GUTTER |
| DET. | DETAIL |
| ESMT | EASEMENT |
| ME | MATCH EXISTING |
| P.B., PG. | PLAT BOOK, PAGE |
| PVMT | PAVEMENT |
| RET. WALL | RETAINING WALL |
| REC. NO. | RECEPTION NUMBER |
| ROW | RIGHT-OF-WAY |
| SF | SQUARE FOOT |
| STBK | SETBACK |
| SW | SIDEWALK |
| UTIL | UTILITY |
| ⊙ | CATCH CURB |
| ⊙ | SPILL CURB |



SITE LOCATION MAP

1" = 50'
(SEE SITE PLAN ON PAGE 2 OF 3 FOR SITE DETAILS)

ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

FLOODPLAIN STATEMENT

NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0533G, EFFECTIVE DECEMBER 7, 2018.

MAP NOTES

- BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO A LINE BEGINNING AT THE MOST SOUTHWEST CORNER OF LOT 4, BLOCK 2, PAWNEE RANCHEROS FILING NO. 1 WITH BEARING N 29°53'01" E, OF THE PUBLIC RECORDS OF EL PASO COUNTY, COLORADO.
- THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY ALESSI AND ASSOCIATES, INC.
- ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.

SITE DATA

OWNER
SS CONSTANTINE & HELEN ORTHODOX CHURCH
2770 N. CHESTNUT ST.
COLORADO SPRINGS, CO 80807
(719) 683-2700

CONSULTANT/ENGINEER
M.V.E., INC.
1903 LELARAY STREET, SUITE 200
COLORADO SPRINGS, CO 80909
(719) 635-5736

ARCHITECT
RUNGE ARCHITECTURE
5315 GERMAINE CT.
COLORADO SPRINGS, CO 80909
(719) 260-0039

SURVEYOR
ALESSI AND ASSOCIATES, INC.
2989 BROADMOOR VALLEY ROAD
SUITE C
COLORADO SPRINGS, CO 80906
(719) 540-8832

ZONING
RURAL RESIDENTIAL- 5 ACRES (RR-5)
COMMERCIAL AIRPORT OVERLAY DISTRICT (CAD-O)

BUILDING USE
RELIGIOUS PURPOSES

CONSTRUCTION SCHEDULE
START: SUMMER 2023
FINISH: FALL 2024

TAX SCHEDULE NO.
5304005008

PROPERTY ADDRESS
7530 MOHAWK RD

COVERAGE DATA

CHURCH:	3,439 SF	1.6%
PAVEMENT (PARKING/WALK):	21,282 SF	10.2%
LANDSCAPING :	18,506 SF	8.9%
UNDISTURBED AREA	165,306 SF	79.3%
TOTAL AREA:	208,533 SF	100.0% = 4.787± ACRES

PARKING SCHEDULE

REQUIRED:
OCCUPANT LOAD = 133
1 SPACE PER 4 SEATS = 33 SPACES
ACCESSIBLE ADA SPACES = 2
TOTAL SPACES REQUIRED = 35

PROVIDED:
STANDARD SPACES = 34
VAN ACCESSIBLE ADA SPACES = 2
TOTAL SPACES PROVIDED = 36

BUILDING TYPE

BUILDING AREA - 6,950 SF
TWO STORY - TYPE V-B
NON - SPRINKLED (NS)

BUILDING HEIGHT

MAXIMUM BUILDING HEIGHT = 40'-0"
ACTUAL BUILDING HEIGHT = 36'-4"

SETBACKS
25' FRONT
25' SIDE
25' REAR

DEVELOPMENT NOTES

- NO DOMESTIC WATER OR SEWER SERVICE PROVIDED. WELL AND SEPTIC TO BE INSTALLED
- NATURAL GAS SERVICE PROVIDED BY BLACK HILLS ENERGY DISTRICT.
- ELECTRIC SERVICE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION DISTRICT.
- FIRE SERVICE PROVIDED BY FALCON FIRE PROTECTION DISTRICT.

LAND DESCRIPTION

LOT 4, BLOCK 2, PAWNEE RANCHEROS, FILING NO. 1 AS RECORDED UNDER PLAT IN PLAT BOOK I-2 AT PAGE 28 OF THE RECORDS OF EL PASO COUNTY, COLORADO, EXCEPT THAT PORTION DESCRIBED IN WARRANTY DEED RECORDED JUNE 4, 2003 UNDER RECEPTION NO. 203123405, COUNTY OF EL PASO, STATE OF COLORADO.

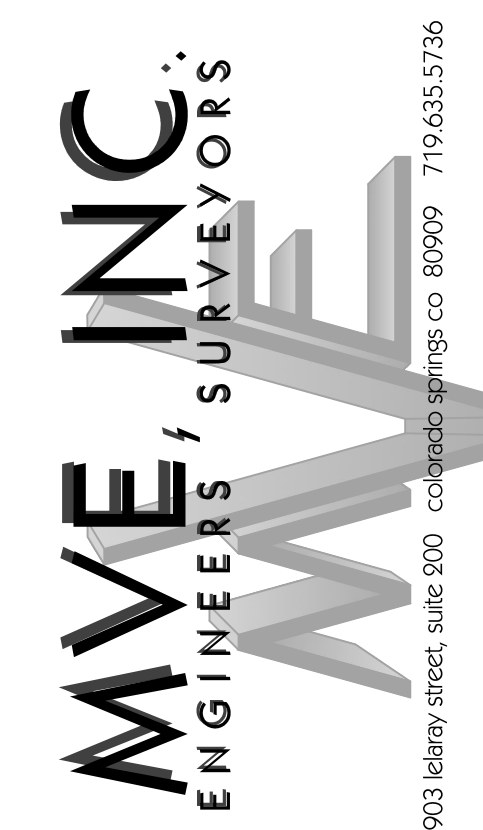
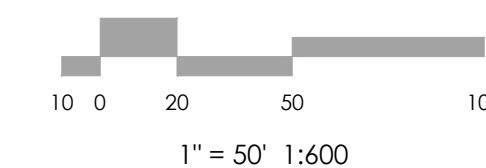
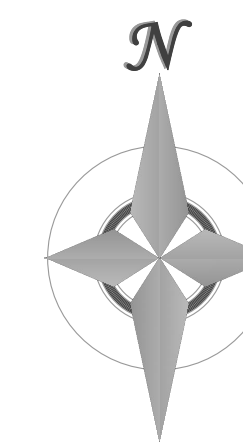
SHEET INDEX

SITE DEVELOPMENT PLAN	
SDP-1	COVER SHEET
SDP-2	SITE PLAN
SDP-3	SITE DETAILS

ADDITIONAL PLANS NOT IN THIS SET

DP1	PHOTOMETRIC PLAN
DP2	PHOTOMETRIC DETAILS
L1	FINAL LANDSCAPE PLAN
L2	FINAL LANDSCAPE DETAILS
1 OF 2	MAIN FLOOR PLAN
2 OF 2	BASEMENT FLOOR PLAN
1 OF 1	EXTERIOR ELEVATIONS

BENCHMARK



REVISIONS

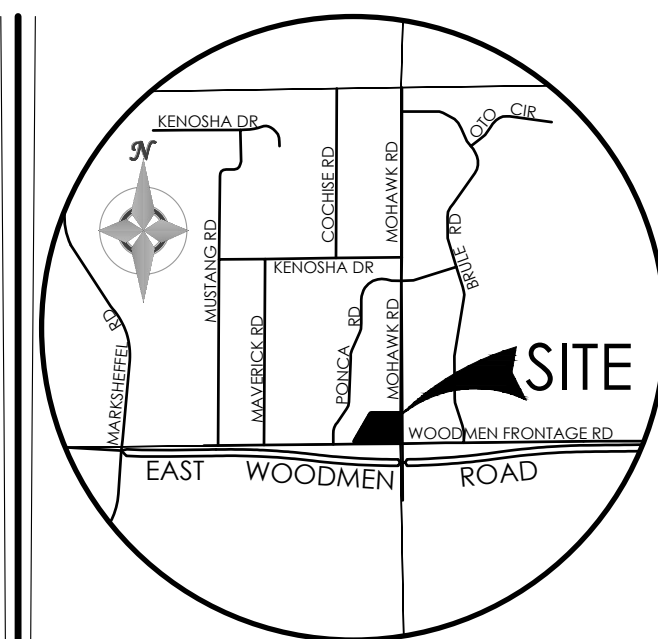
DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

**ST. JOHN THE BAPTIST
ORTHODOX CHURCH**

**SITE DEVELOPMENT
PLAN
COVER SHEET**

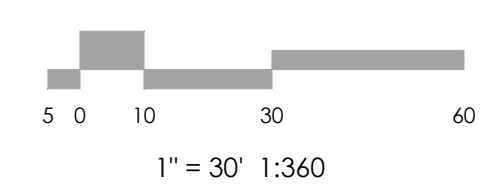
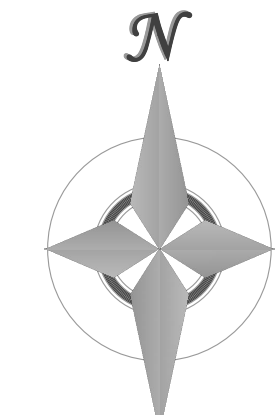
SDP-1 MVE PROJECT 61200
MVE DRAWING SP-CS

October 16, 2023
SHEET 1 OF 3



VICINITY MAP
NOT TO SCALE

BENCHMARK



REVISIONS

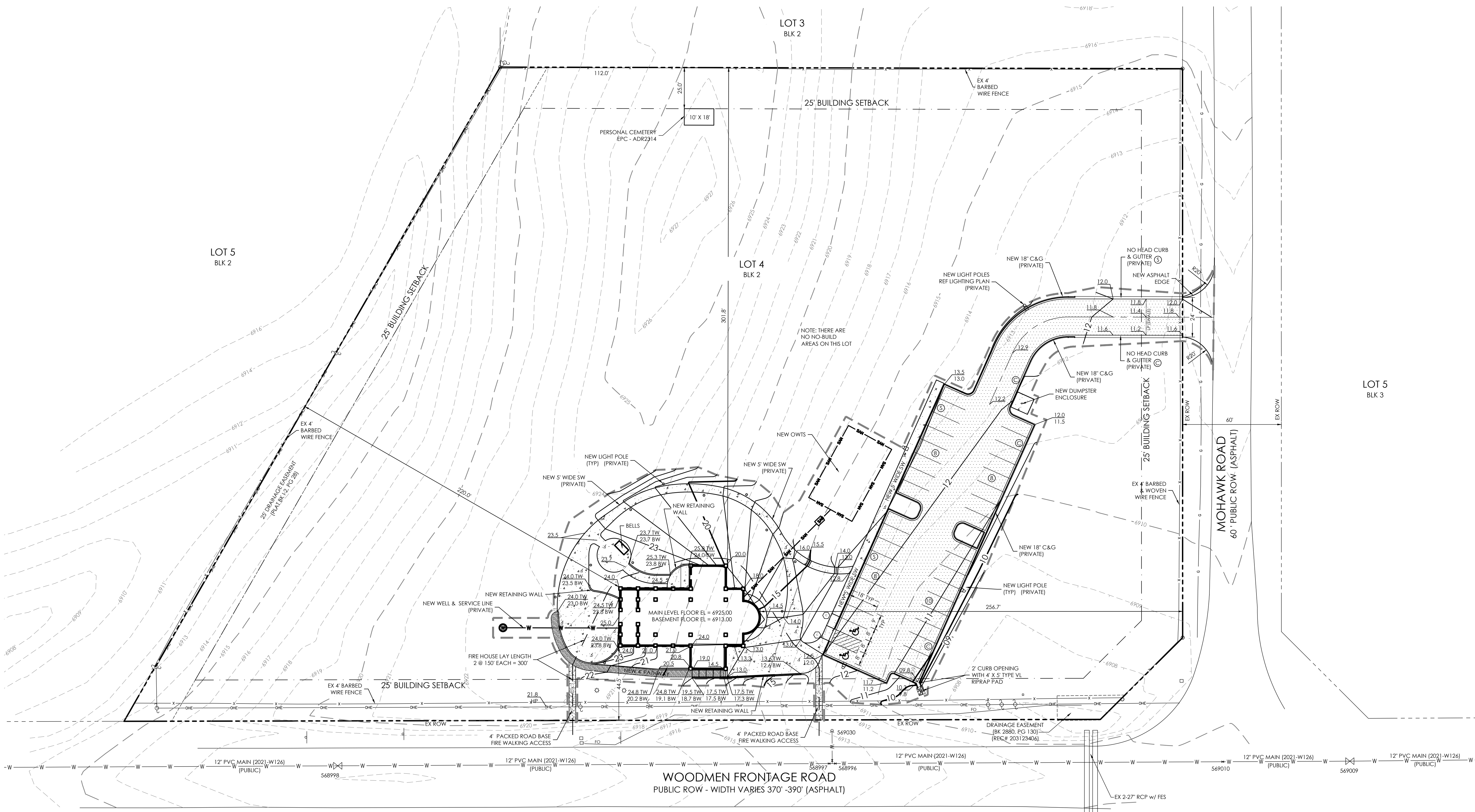
DESIGNED BY
DRAWN BY
CHECKED BY
AS-BUILT BY
CHECKED BY

ST. JOHN THE BAPTIST
ORTHODOX CHURCH

SITE DEVELOPMENT
PLAN
SITE PLAN

SDP-2 MVE PROJECT 61200
MVE DRAWING SP-SP

October 16, 2023
SHEET 2 OF 3



EXISTING

- - - 5985 - - - INDEX CONTOUR
- - - 84 - - - INTERMEDIATE CONTOUR
- ○ ○ ○ ○ SIGN
- W — W — WATER LINE
- W — W — WATER VALVE
- W — W — FIRE HYDRANT
- O — O — OVERHEAD ELEC LINE
- E — E — ELECTRIC POLE
- G — G — GAS LINE
- F — F — FIBER OPTIC LINE
- T — T — TELECOMMUNICATIONS VAULT
- X — X — GAS LINE
- G — G — BARBED WIRE FENCE
- ○ ○ ○ ○ REGULATORY SIGN

PROPOSED

- 5985 — INDEX CONTOUR
- 84 — INTERMEDIATE CONTOUR
- ▨ CONCRETE AREA
- ▨ ASPHALT AREA
- ▨ BREEZE PATHWAY AREA
- ▨ CURB AND GUTTER
- ▨ RETAINING WALL

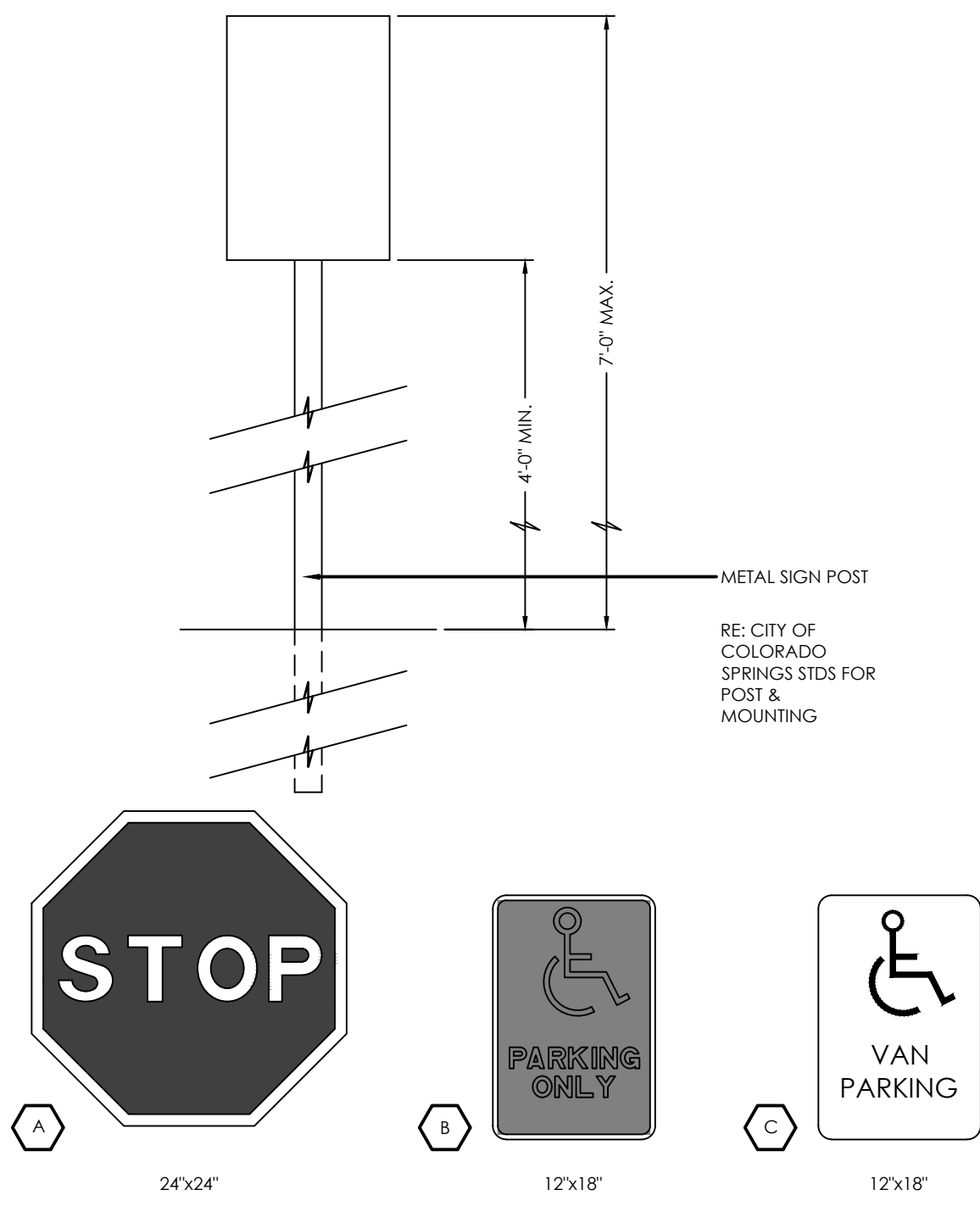
ABBREVIATION LEGEND

- — — — — PROPERTY LINE
- · — · — · — EASEMENT LINE
- — — — — LOT LINE
- · — · — · — BUILDING SETBACK LINE
- · — · — · — ADJACENT PROPERTY LINE

ABBREVIATION LEGEND

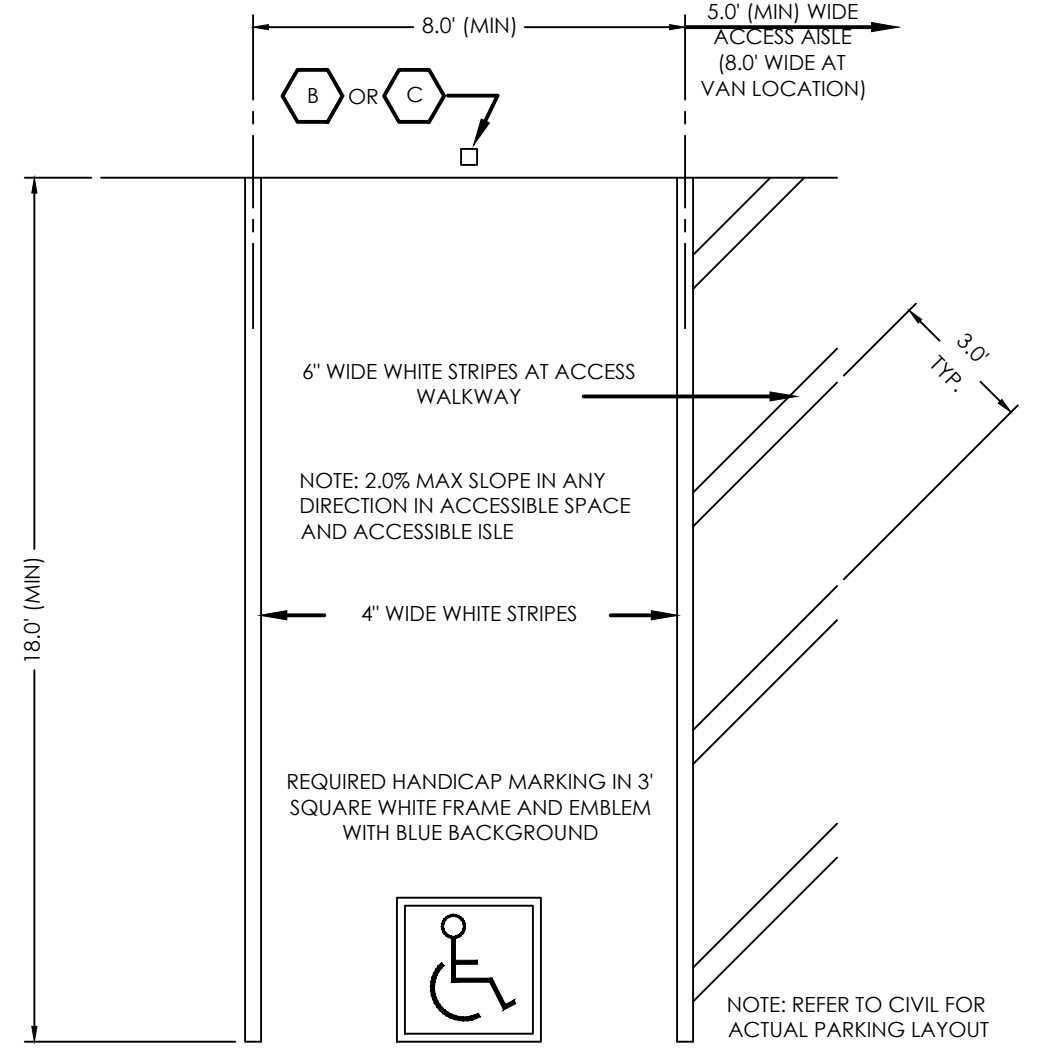
- ASPH ASPHALT
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- DET. DETAIL
- ESMT EASEMENT
- ME MATCH EXISTING
- P.B., PG. PLAT BOOK, PAGE
- PVMT PAVEMENT
- RET. WALL RETAINING WALL
- REC. NO. RECEPTION NUMBER
- ROW RIGHT-OF-WAY
- SF SQUARE FOOT
- STBK SETBACK
- SW SIDEWALK
- UTIL UTILITY
- ⊙ CATCH CURB
- ⊙ SPILL CURB

PPR 2255

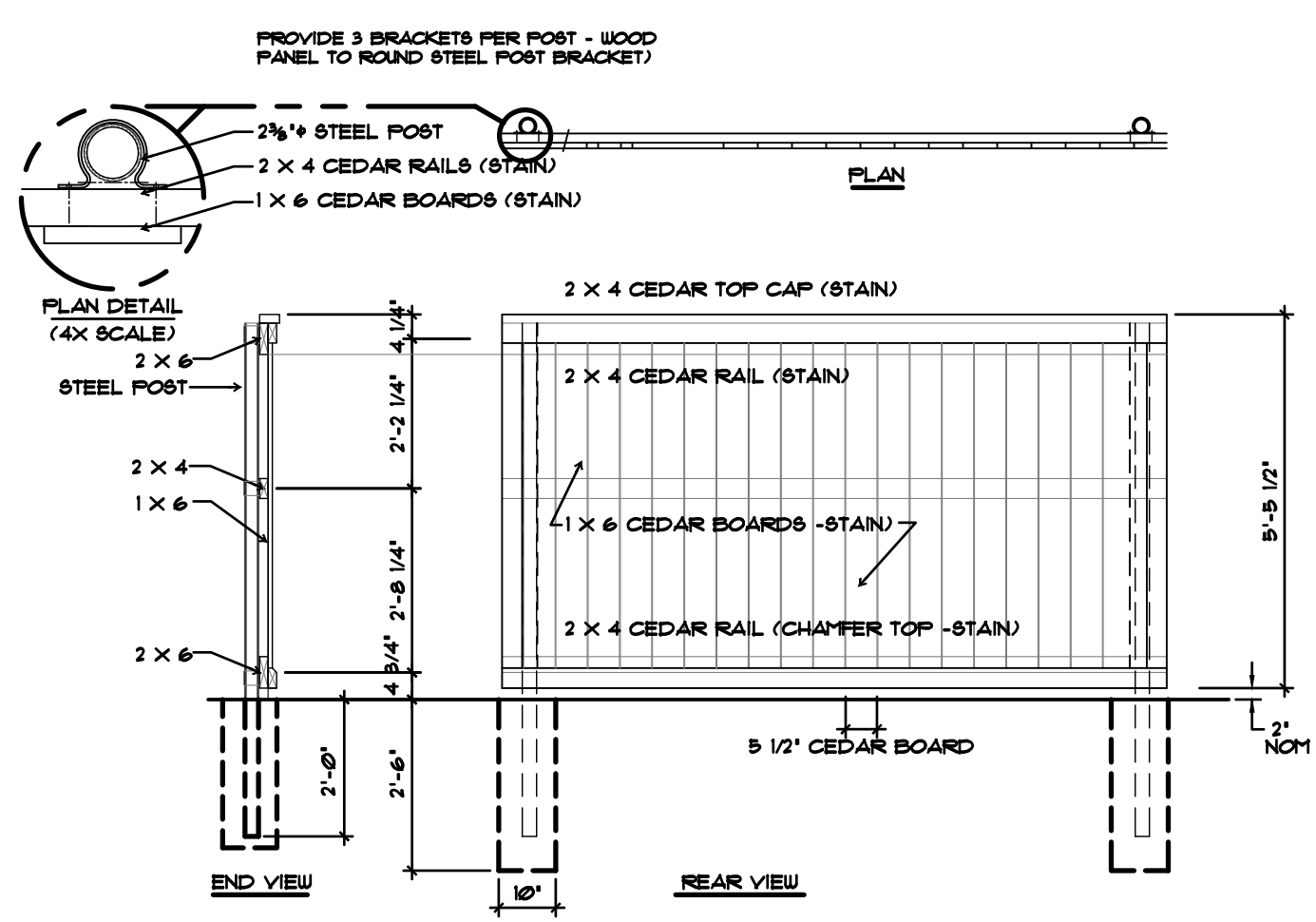


1. TYPOGRAPHY TO BE HELVETICA MEDIUM
2. NOTE: REFER TO SITE PLAN FOR LOCATIONS
3. REMOVE EXISTING SIGNS AND REUSE WHERE APPLICABLE (NOT SHOWN).
4. STOP SIGNS WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS AND THE CITY OF COLORADO SPRINGS TRAFFIC ENGINEERING STANDARDS.

SITE SIGNAGE
SCALE 1" = 1'-0"

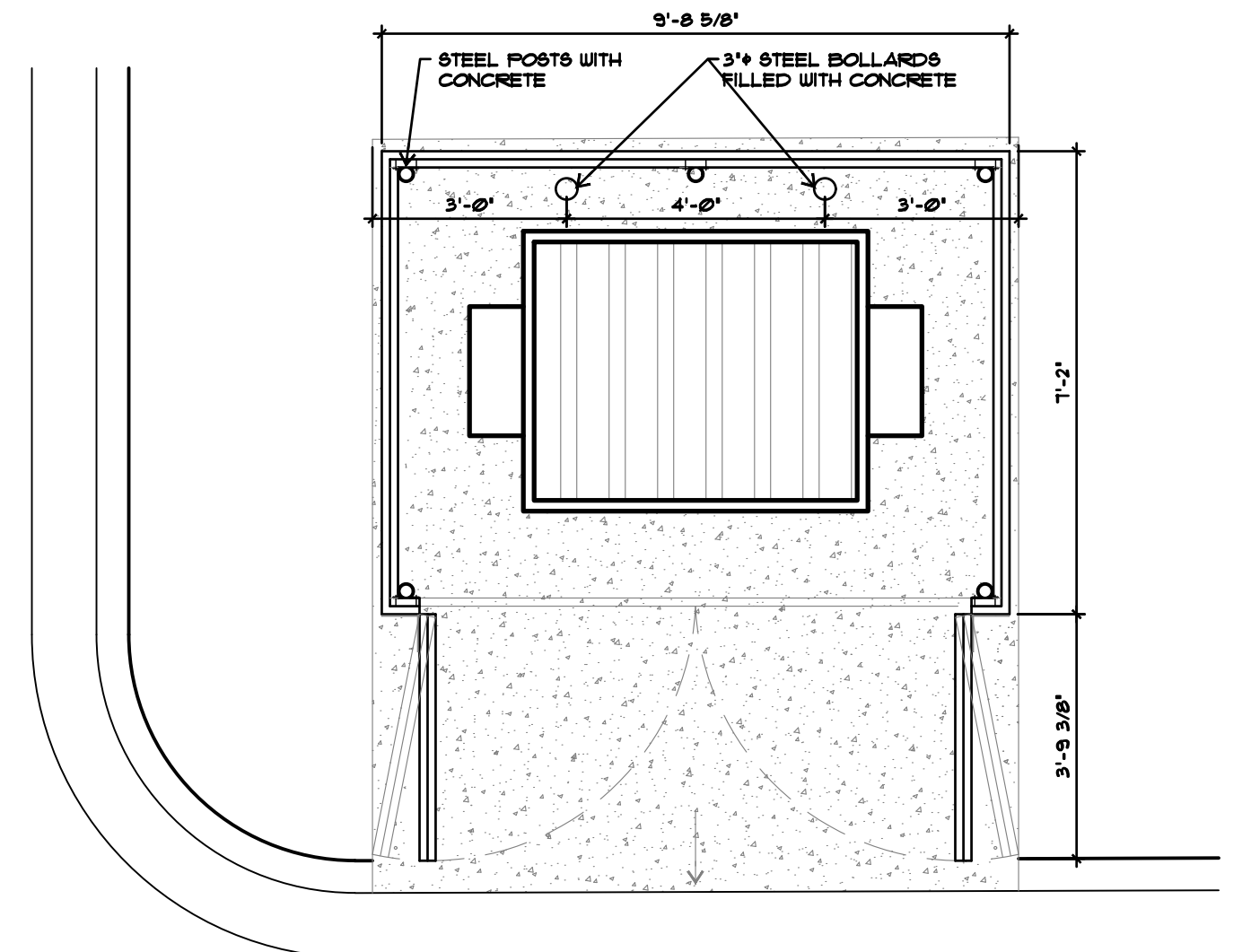


TYPICAL HANDICAP PARKING SPACE
SCALE 1" = 4'-0"

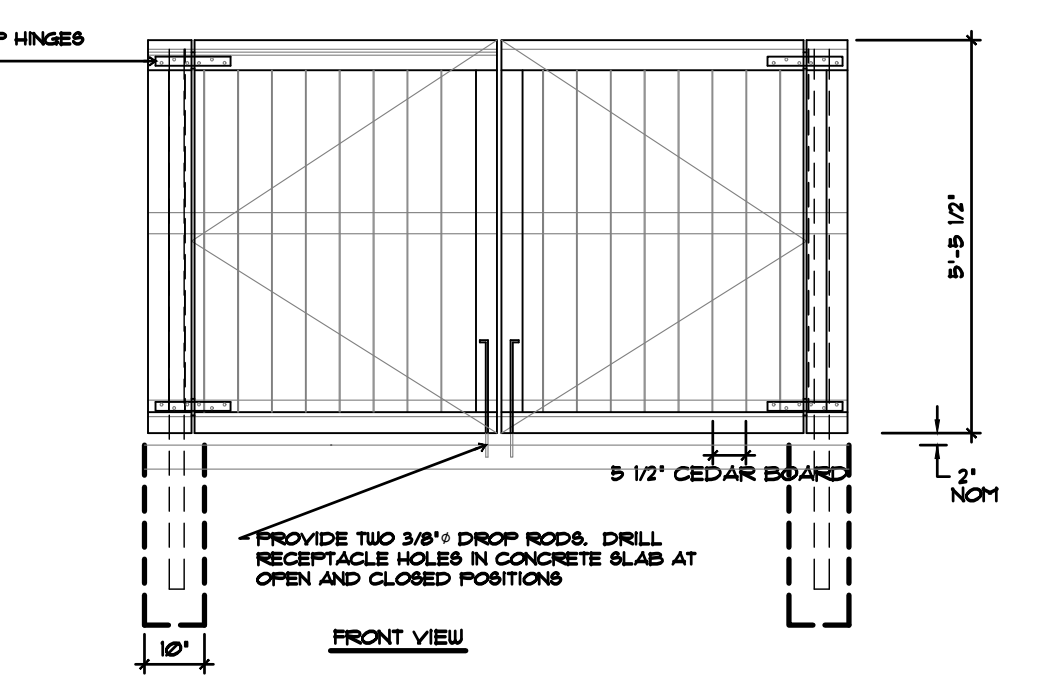


DUMPSTER SCREEN SECTION / ELEV.
SCALE: 3/8" = 1'-0"

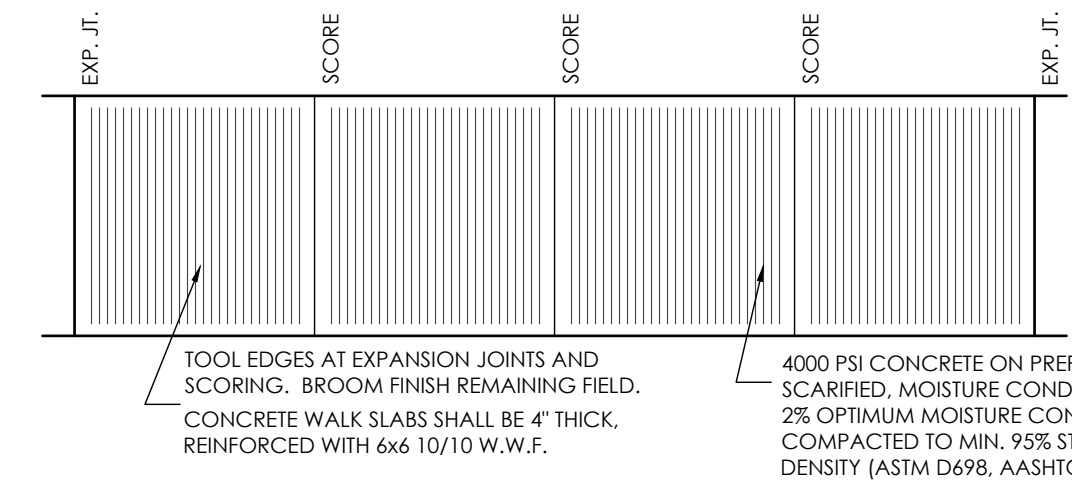
- NOTE:
- FILL STEEL POSTS WITH CONCRETE
 - FASTEN EACH RAIL END USING THREE #8 x 1-1/4" RAIL SCREWS
 - ATTACH RAILS TO CORNER POSTS USING ONE #6 CLIP PER RAIL END
 - ATTACH CEDAR BOARDS TO RAILS WITH COATED SCREWS



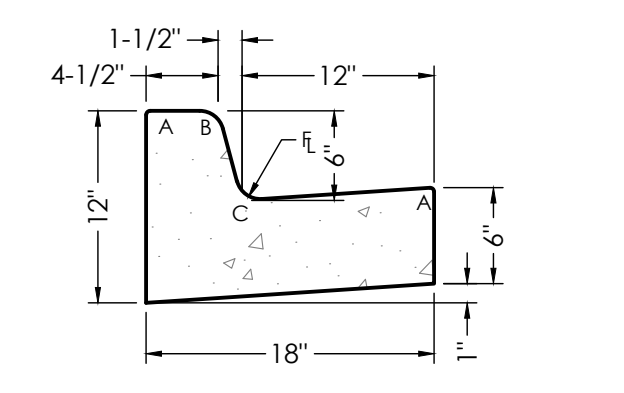
DUMPSTER SCREEN PLAN
SCALE: 3/8" = 1'-0"



DUMPSTER SCREEN GATE ELEV.
SCALE: 3/8" = 1'-0"



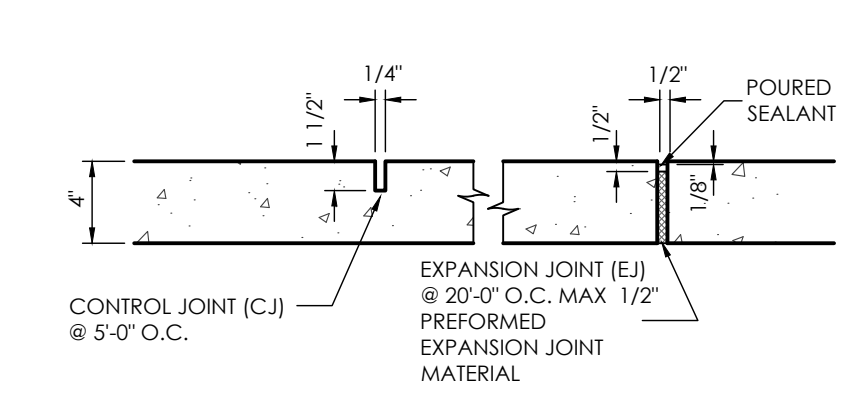
TYPICAL SIDEWALK DETAIL
SCALE 1" = 4'-0"



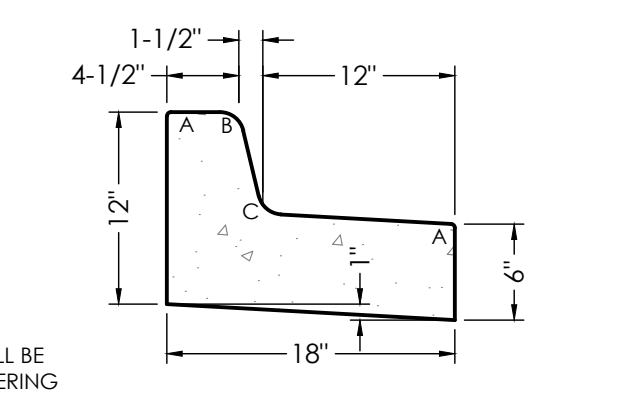
18" CATCH CURB & GUTTER
SCALE 1" = 1'

RADII	
A	1/8" TO 1/4"
B	1-1/2"
C	1-1/2" TO 2"

NOTE: CURB & GUTTER CONCRETE SHALL BE CITY OF COLORADO SPRINGS ENGINEERING DIVISION STANDARD SPECIFICATIONS.

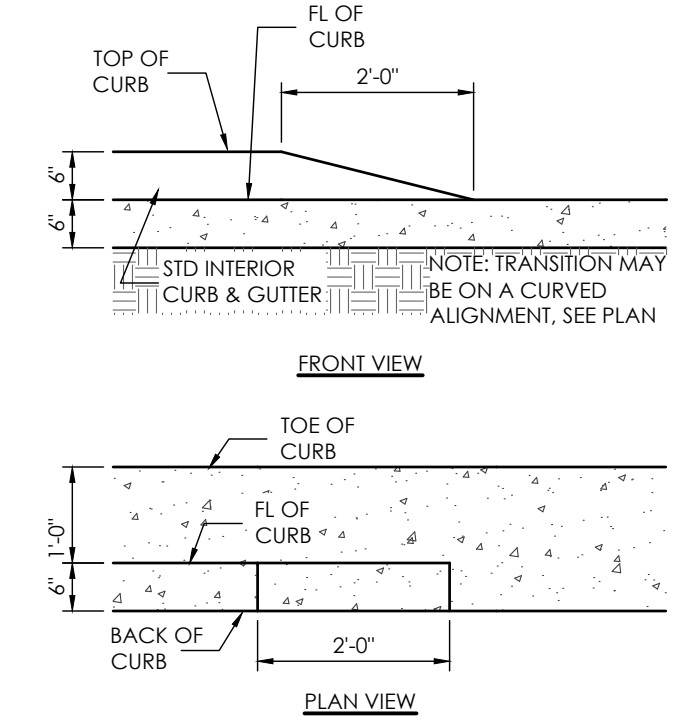


CONCRETE SIDEWALK DETAIL
NOT TO SCALE

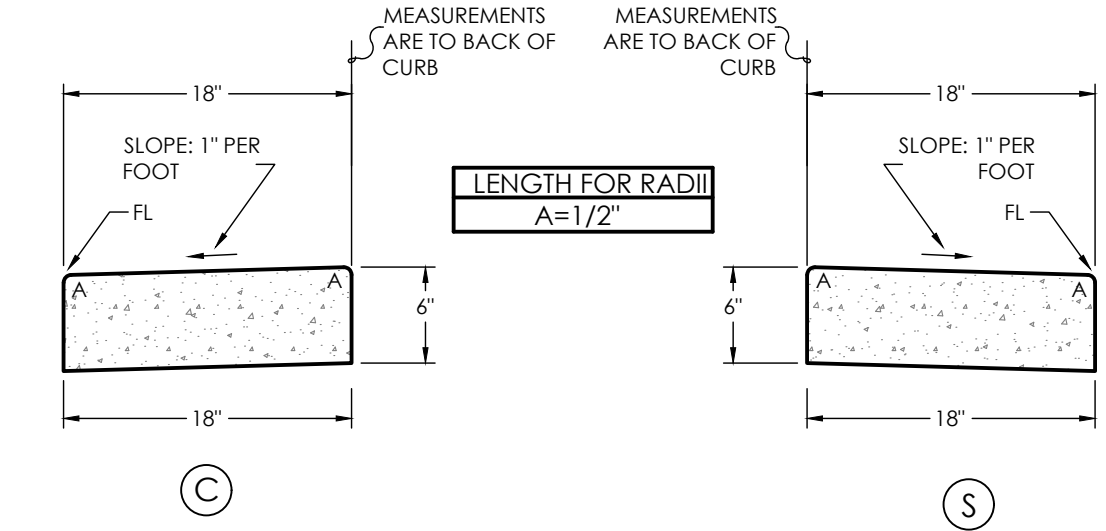


18" SPILL CURB & GUTTER
SCALE 1" = 1'

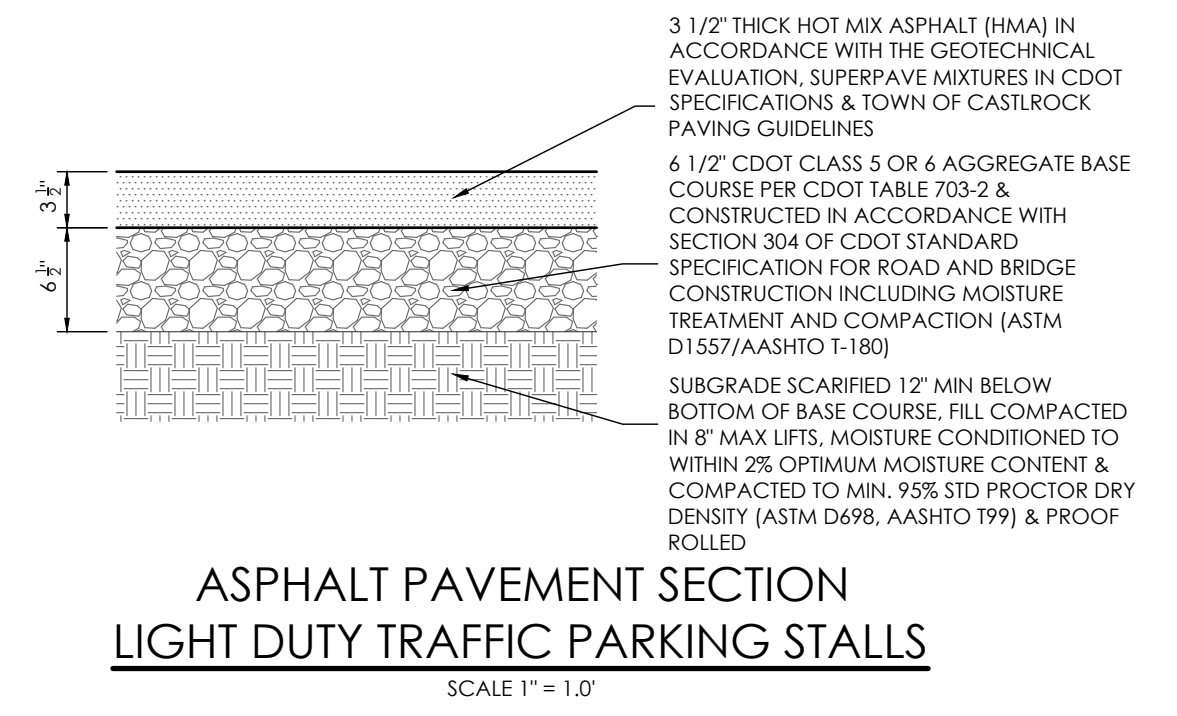
NOTE: CURB AND GUTTER SHOWN ON THESE PLANS ARE PRIVATE. NO PUBLIC (EPC) CURB AND GUTTER IS PROPOSED.



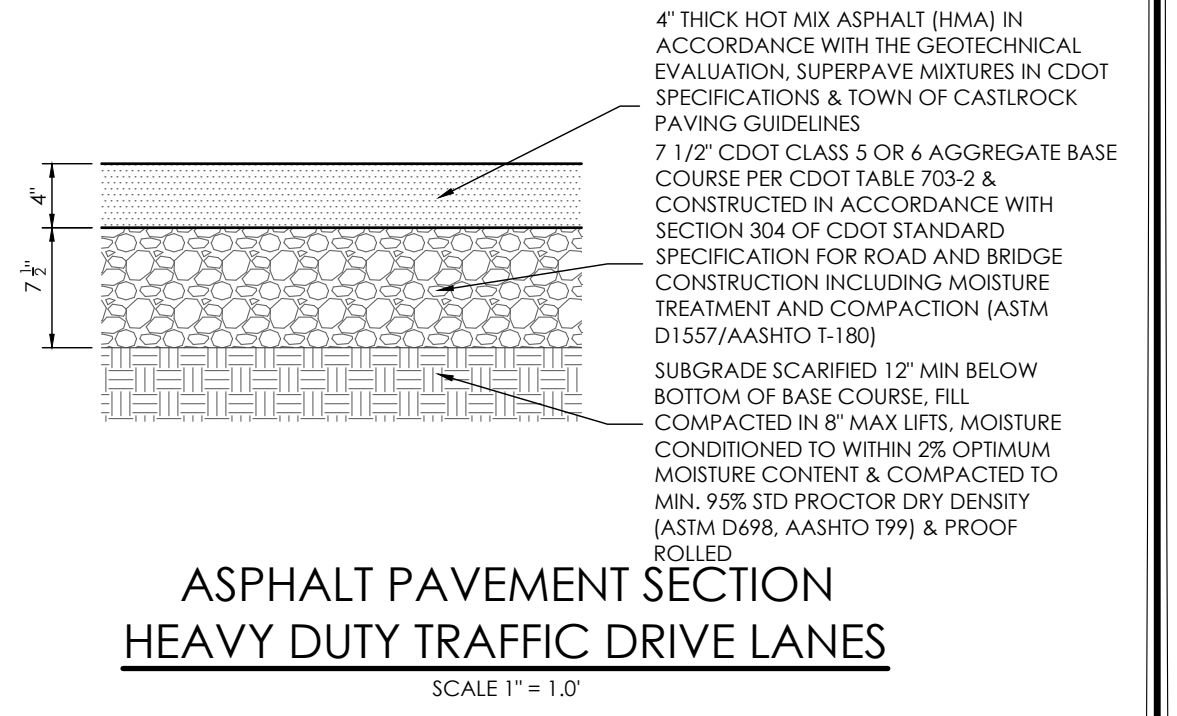
2' CURB TRANSITION DETAIL
SCALE 1" = 2'-0"



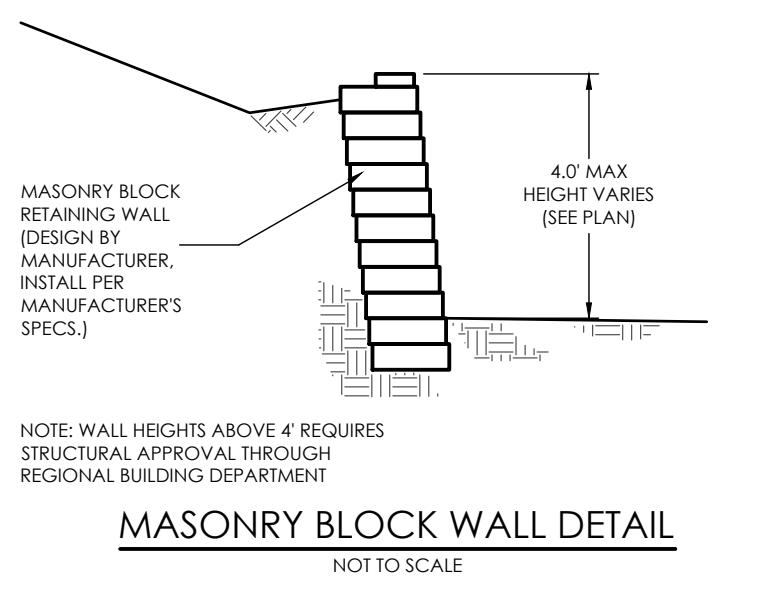
"NO HEAD" CURB & GUTTER
SCALE 1" = 1'



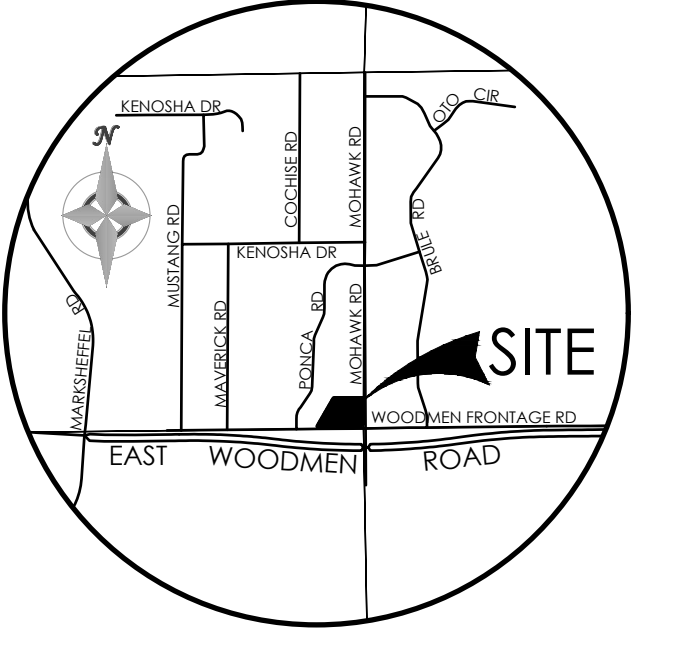
ASPHALT PAVEMENT SECTION LIGHT DUTY TRAFFIC PARKING STALLS
SCALE 1" = 1'-0"



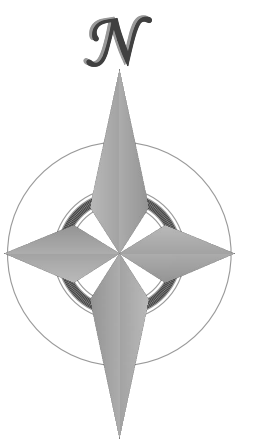
ASPHALT PAVEMENT SECTION HEAVY DUTY TRAFFIC DRIVE LANES
SCALE 1" = 1'-0"



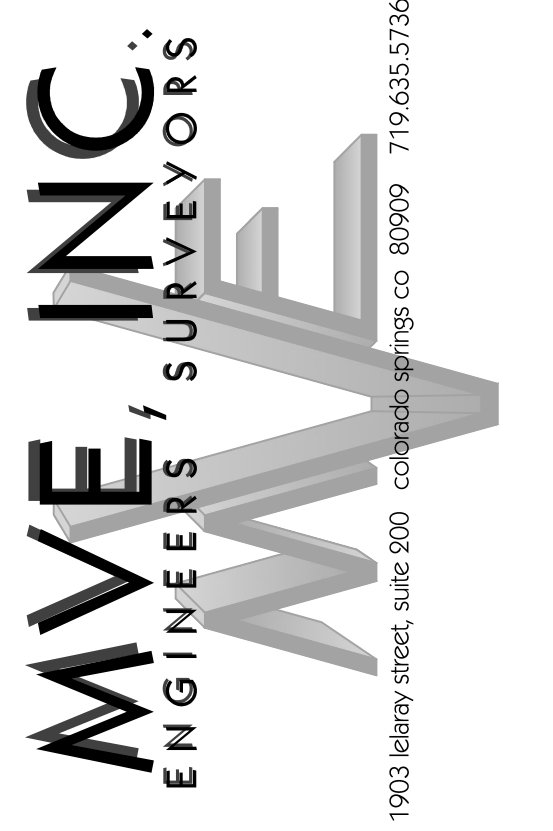
MASONRY BLOCK WALL DETAIL
NOT TO SCALE



VICINITY MAP
NOT TO SCALE



BENCHMARK



1903 Library Street, Suite 200 Colorado Springs, CO 80909 719.635.5726

REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

ST. JOHN THE BAPTIST
ORTHODOX CHURCH

SITE DEVELOPMENT
PLAN
DETAILS SHEET

SDP-3 MVE PROJECT 61200
MVE DRAWING SP-DS

September 8, 2023
SHEET 3 OF 3

PPR 2255

SITE CATEGORY CALCULATIONS

Landscape Setbacks

Street Name or Boundary	Street Classification	Width (in Ft.) Req./Prov.	Linear Footage	Trees/Feet Required	No. of Trees Req./Prov.	Setback Plant Abbr. Denoted on Plan
Woodmen Frontage Rd.	Collector	10' / 20'	223' (Approx. developed frontage)	1 / 30'	8 / 8	(WF) (Request #1 Alternative Landscape Plan)
Mohawk Rd.	Collector	15' / 90'	257' (Approx. developed frontage)	1 / 15'	17 / 17	(MR) (Request #1 Alternative Landscape Plan)

Parking

No. of Vehicles Spaces Provided	Shade Trees Required/Provided	Abbr. on Plan	Vehicle Lot Frontages	Length of Frontage (excluding driveways)	2/3 Length of Frontage (ft.)
36	3 / 3	(MV)	Woodmen Frontage Rd. Mohawk Rd.	36' 162'	24' 108'

Min. 3' Screening Plants Req. /Prov.	Evergreen Plants Req. (50%) / Prov.	Length of Screening Wall or Berm Provided	Vehicle Lot Plant Abbr. on Plan	Percent Ground Plane Veg. Req. / Prov.
4 / 4 18 / 18	2 / 4 9 / 9	-	(WS) (MS)	75% / 75% 75% / 75%

Internal Landscaping

Net Site Area (SF) (less public ROW)	Percent Minimum Internal Area (%)	Internal Area (SF) Required /Provided	Internal Trees (1/500 SF) Required /Provided
43,310 s.f. (Approx. developed area)	5%	2,166 s.f. / 14,250 s.f.	5 / 5 (Request #2 Alternative Landscape Plan)

Shrub Substitutes Required /Provided	Internal Plant Abbr. Denoted on Plan
0 / 0	(IN)

Landscape Buffer & Screens

Street Name or Property Line	Width (in Ft.) Req. / Prov.	Linear Footage	Buffer Trees (1/25) Required / Provided	Evergreen Trees Req. (1/3) / Provided
West boundary	15' / 185'	532'	21 / 0	7 / 0 (Request #3 Alternative Landscape Plan)
North boundary	15' / 140'	458'	18 / 0	6 / 0 (Request #3 Alternative Landscape Plan)

Length of 6 Ft. Opaque Structure Req. / Prov.	Buffer Tree Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
459' / 0'	-	75% / 100%
415' / 0'	-	75% / 100%

ALTERNATIVE LANDSCAPE PLAN REQUEST #1-

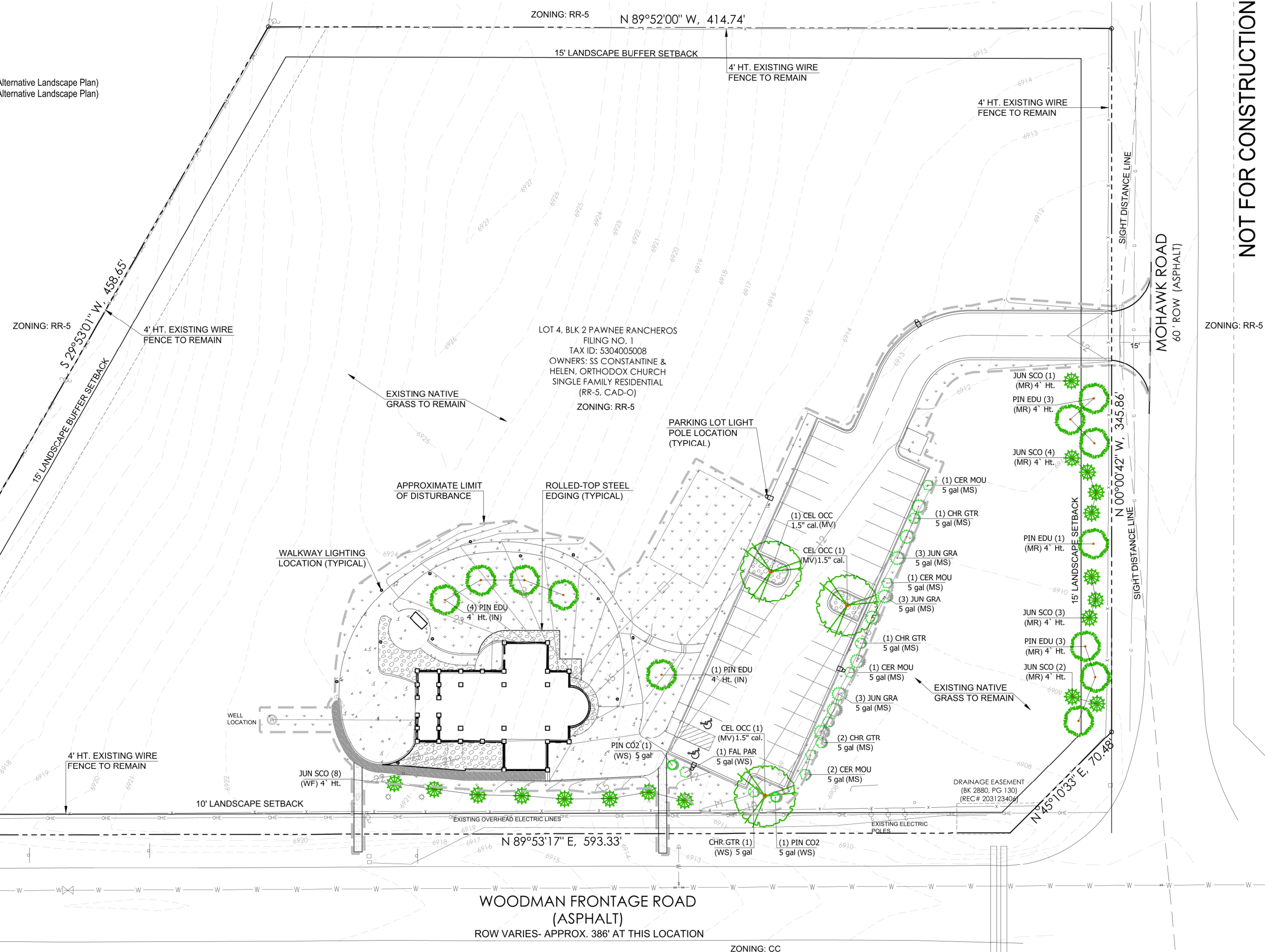
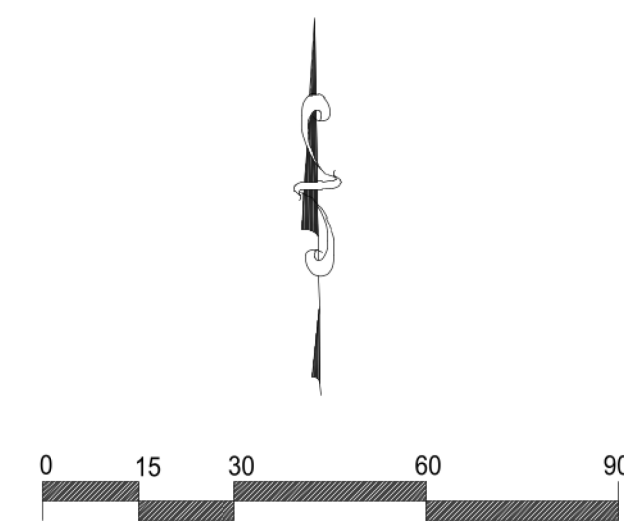
Because the proposed church development will disturb less than 2 acres of the 5 acre site it is requested that the street frontage landscape requirements be based on the lengths of the limit of disturbance area rather than the entire street frontages.

ALTERNATIVE LANDSCAPE PLAN REQUEST #2-

Because the proposed church development will disturb less than 2 acres of the 5 acre site it is requested that the internal landscape requirements be based on the limit of disturbance area rather than the entire property.

ALTERNATIVE LANDSCAPE PLAN REQUEST #3-

Because the proposed church development is 185' away from the west boundary and 140' from the north boundary it is requested that the buffer tree requirement along these boundaries be waived along with the required 6' opaque fence.



PLANT SCHEDULE

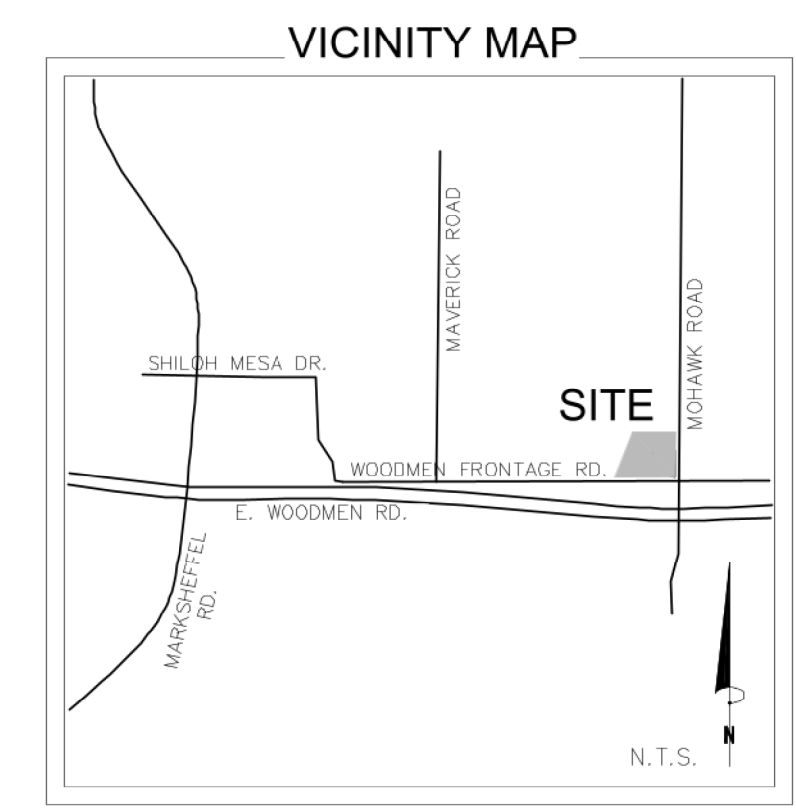
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	HEIGHT
	CEL OCC	3	Celtis occidentalis	Common Hackberry	1.5" cal.	B & B	30' to 40'
	JUN SCO	18	Juniperus scopulorum	Rocky Mountain Juniper	4' Ht.		10' to 15'
	PIN EDU	12	Pinus cembroides edulis	Pinyon Pine	4' Ht.	B & B	15' to 20'
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	HEIGHT
	CER MOU	5	Cercocarpus montanus	Mountain Mahogany	5 gal		4' to 6'
	CHR GTR	5	Chrysothamnus nauseosus graveolens	Tall Green Rabbitbrush	5 gal		4' to 5'
	FAL PAR	1	Fallugia paradoxa	Apache Plume	5 gal		3' to 5'
	JUN GRA	9	Juniperus scopulorum 'Gray Gleam'	Gray Gleam Juniper	5 gal		8' to 10'
	PIN CO2	2	Pinus mugo 'Compacta'	Dwarf Mugo Pine	5 gal		3' to 5'

GROUND PLANE TREATMENT

SYMBOL	DESCRIPTION	QTY
	'PIONEER GRANITE', 1.5" DIAMETER, 3" DEPTH OVER LANDSCAPE FABRIC	1,955 sf
	NATIVE GRASS SEED WITH EROSION CONTROL BLANKET. ALL DISTURBED NATIVE GRASS AREAS ARE TO BE RE-SEEDED.	15,609 sf

OWNER:
SS CONSTANTINE & HELEN
ORTHODOX CHURCH

APPLICANT:
RUNGE ARCHITECTURE
5315 GERMAINE CT.
COLORADO SPRINGS, CO 80909
(719) 260-0039



JWLA
Jon Walsh
LANDSCAPE ARCHITECT
LLC
P.O. Box 354
Palmer Lake, CO 80133
(719) 640-9428
jwlandarch@gmail.com
www.jwlandscapearchitect.com

PROJECT FILE: st. Johns LS plan 6-21-23.dwg

ST. JOHN'S ORTHODOX CHURCH

7530 Mohawk Road
Colorado Springs, CO

PROJECT NAME:
SHEET TITLE:

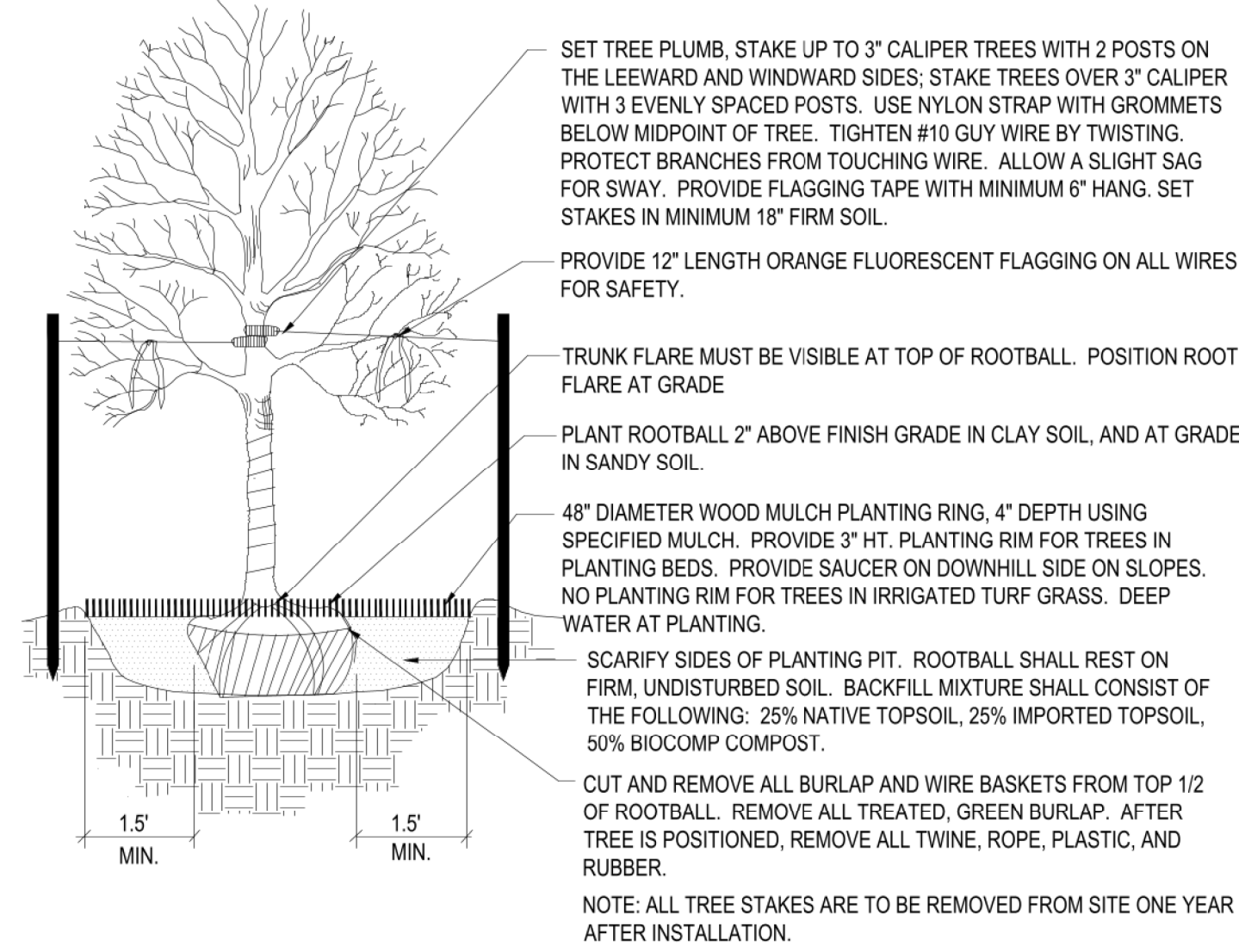
ALTERNATIVE LANDSCAPE PLAN

DATE: May 15, 2023
June 21, 2023
REVISIONS:
SHEET NO. L1
STAMP:
Sheet 1 of 2

NOT FOR CONSTRUCTION

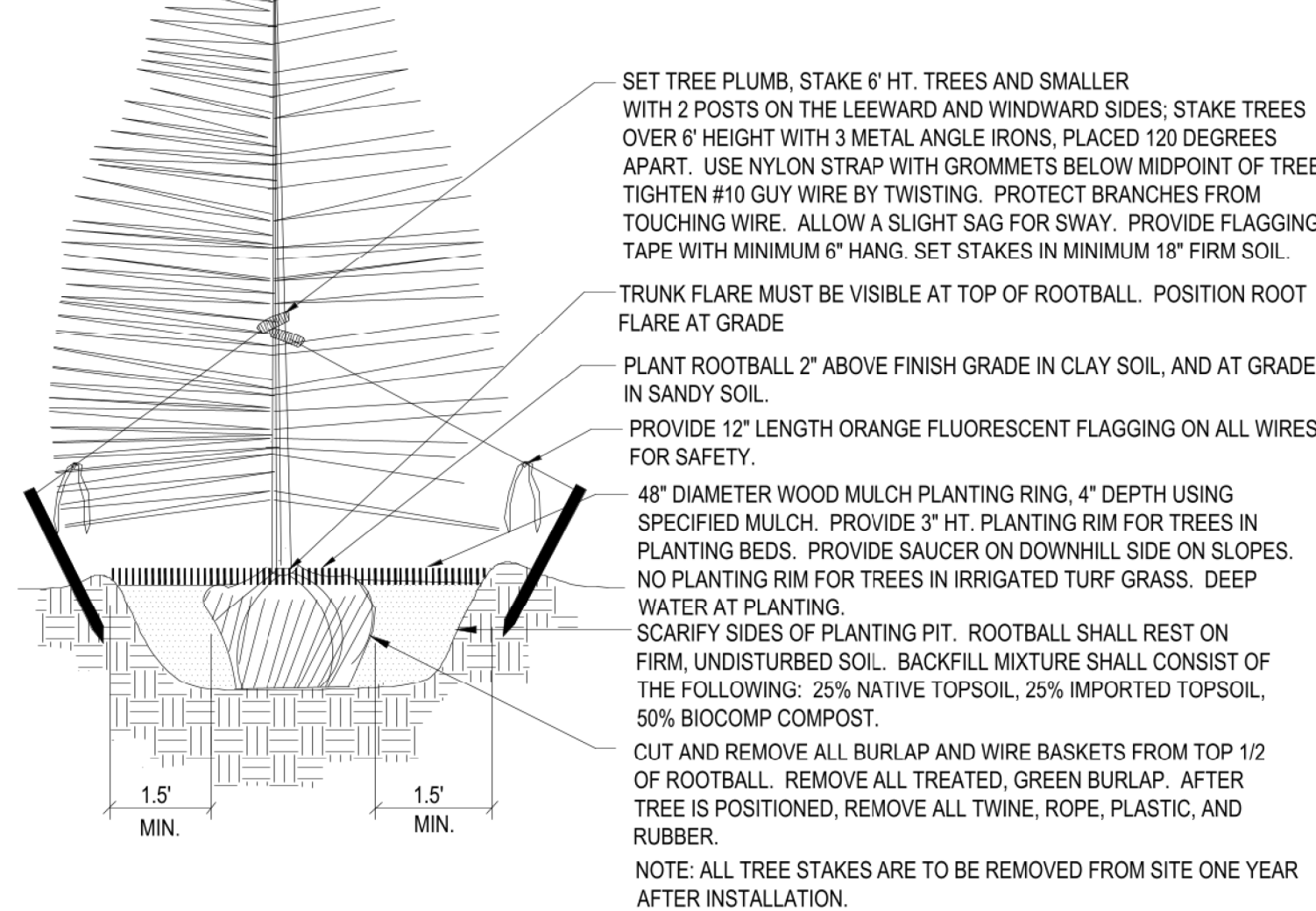
PLANTING DETAILS

- NOTES:
- DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
 - DO NOT REMOVE LOWER LIMBS AND SPROUTS FOR AT LEAST TWO GROWING SEASONS.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTED.
 - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 - WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE NOT TWINE. WRAP OCTOBER 15 AND REMOVE BY MARCH 31.

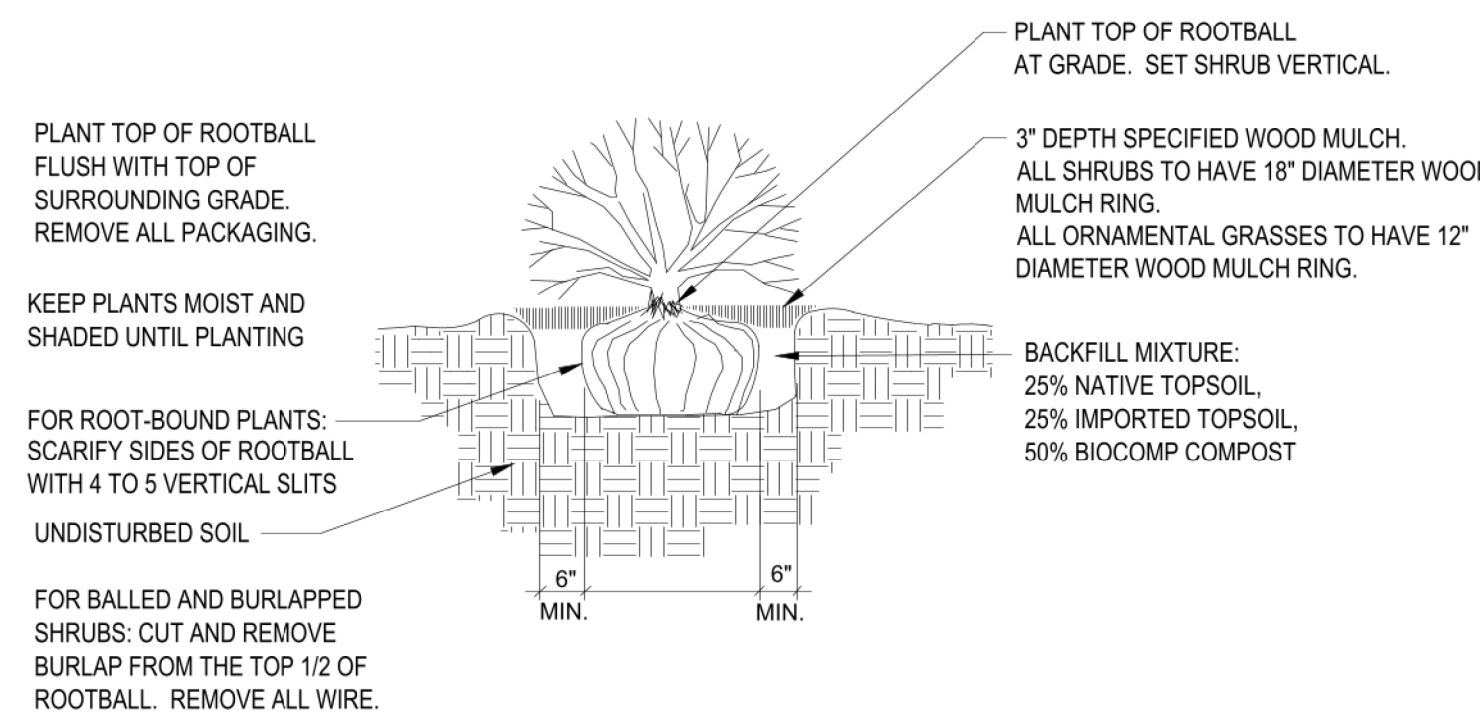


1 **Deciduous Tree Planting Detail**
NOT TO SCALE

- NOTES:
- DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
 - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTED.
 - AVOID FALL PLANTING IF POSSIBLE.



2 **Coniferous Tree Planting Detail**
NOT TO SCALE



3 **Shrub Planting Detail**
SCALE: NOT TO SCALE

NATIVE SEED ESTABLISHMENT

INITIAL PLANTING
STOCKPILED TOPSOIL SHOULD BE SPREAD EVENLY OVER ALL AREAS TO RECEIVE NATIVE SEED. SEED BED IS TO BE WEED-FREE. SPECIFIED SOIL AMENDMENTS SHOULD BE SPREAD AND INCORPORATED INTO TOP 6" OF SOIL. SEED BED IS TO BE RAKED SMOOTH AND FREE OF DEBRIS LARGER THAN 1" IN DIAMETER. ANY AREAS THAT THE CONTRACTOR BELIEVES TO BE SUSCEPTIBLE TO EROSION ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND/OR GENERAL CONTRACTOR PRIOR TO SEEDING. THE SPECIFIED SEED MIX IS TO BE APPLIED BY HYDRO-MULCH SEEDING AT THE RATE SPECIFIED. SEED IS TO BE APPLIED BETWEEN APRIL 15 AND SEPTEMBER 15. SEED SHALL NOT BE SOWN IF GROUND IS IN A FROZEN STATE. SPECIFIED EROSION CONTROL BLANKET IS TO BE INSTALLED IMMEDIATELY AFTER SEEDING. BLANKET SHALL BE LAID AND SECURED WITH 6" METAL STAPLES AS PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR IS TO PROVIDE INCIDENTAL WATERING OF ALL SEEDED AREAS THREE TIMES A WEEK DURING GROWING SEASON FOR A MINIMUM OF 8 WEEKS, OR UNTIL ESTABLISHED AND MEETING COVERAGE REQUIREMENTS. MOWING MAY BE NECESSARY DURING THE FIRST GROWING SEASON TO KEEP INVASIVE WEEDS FROM SETTING SEEDS. CONTRACTOR IS RESPONSIBLE FOR KEEPING BROADLEAF WEEDS UNDER CONTROL FOR 12 MONTHS AFTER INITIAL SEEDING AND IS ALSO RESPONSIBLE FOR OVER SEEDING BARE AREAS UNTIL SPECIFIED NATIVE GRASSES COVER ALL AREAS AND AREAS WITHOUT SPECIFIED NATIVE GRASS DO NOT EXCEED 6" X 6".

OVER SEEDING
SIX WEEKS AFTER THE INITIAL SEEDING DURING THE FIRST GROWING SEASON AND/OR DURING THE SPRING OF THE SECOND GROWING SEASON CONTRACTOR IS TO REPAIR ANY ERODED AREAS AND OVER SEED ALL BARE NATIVE GRASS AREAS. CONTRACTOR IS TO USE SPECIFIED SEED MIX BY BROADCAST AND RAKING INTO TOP 1/4" TO 1/2" OF SOIL. INCIDENTAL WATERING IS TO BE PROVIDED TO ESTABLISH OVER-SEEDED AREAS. BROADLEAF WEEDS ARE TO BE KEPT UNDER CONTROL BY MANUALLY PULLING OR SPRAYING OF BROADLEAF WEED HERBICIDE. HERBICIDE AND APPLICATION SHALL CONFORM TO ALL APPLICABLE LAWS OF THE STATE OF COLORADO AND MANUFACTURERS INSTRUCTIONS.

EL PASO COUNTY ALL-PURPOSE MIX FOR UPLAND, TRANSITION AND PERMANENT CONTROL MEASURE AREAS

COMMON NAME	SCIENTIFIC NAME	GROWTH SEASON / FORM	% OF MIX	POUNDS PLS (PURE LIVE SEED)		
				-IRRIGATED BROADCAST -IRRIGATED HYDROSEED	-NON-IRRIGATED BROADCAST -NON-IRRIGATED HYDROSEED -IRRIGATED DRILLED	-NON-IRRIGATED DRILLED
				80 SEEDS/SQ. FT.	40 SEEDS/SQ. FT.	20 SEEDS/SQ. FT.
BIG BLUESTEM	Buchloe dactyloides	WARM, SOD	20%	4.4	2.2	1.1
BLUE GRAMA	Bouteloua gracilis	WARM, BUNCH	10%	0.5	0.25	0.13
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SIDEOATS GRAMA	Bouteloua curtipendula	WARM, BUNCH	10%	2	1	0.5
SWITCHGRASS	Panicum virgatum	WARM, BUNCH/ SOD	10%	0.8	0.4	0.2
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YELLOW INDIANGRASS	Sorghastrum nutans	WARM, SOD	10%	2	1	0.5
SEED RATE (LBS. PLS / ACRE)				19.3	9.7	4.8

GENERAL NOTES

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- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS, NATIVE GRASS, AND WORKMANSHIP. CONTRACTOR IS TO PROVIDE OWNER WITH WARRANTY CONDITIONS AND COMMENCE WARRANTY PERIOD UPON FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION.
- THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE MAINTENANCE OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, PRUNING, AND PLANT MATERIAL REPLACEMENT. THE PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING THE HEALTH OF ALL PLANTINGS AND PROMPTLY REPLACING ANY DECAYED OR DEAD TREES AND SHRUBS.

PROJECT NOTES

- FINE GRADING TO BE PERFORMED BY LANDSCAPE CONTRACTOR TO REFLECT FINISHED GRADES SHOWN ON THE PROJECT GRADING PLANS. ALL FINISHED GRADES ARE TO HAVE A MINIMUM 2% SLOPE. CONTRACTOR IS TO REPORT POOR DRAINAGE CONDITIONS OR ANY GRADES IN LANDSCAPE AREAS LESS THAN 2% TO GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT PRIOR TO LANDSCAPE CONSTRUCTION WORK.
- CONTRACTOR IS TO PROVIDE FINAL GRADES ADJACENT TO HARDSCAPE SURFACES AT THE FOLLOWING SPECIFICATIONS:
2" BELOW TOP OF CONCRETE OR ASPHALT FOR ALL ROCK COVER BEDS.
1" BELOW TOP OF CONCRETE OR ASPHALT FOR NATIVE SEED AREAS.
CONTRACTOR IS TO COORDINATE THESE GRADING SPECIFICATIONS WITH GENERAL CONTRACTOR AND/OR WHOEVER IS PROVIDING ROUGH GRADING. FINAL GRADES IN ALL LANDSCAPE AREAS ARE TO BE ESTABLISHED USING ON-SITE STOCKPILED TOPSOIL.
- ALL DISTURBED NATIVE GRASS AREAS ARE TO BE SEEDED WITH SPECIFIED SEED MIX BY HYDRO-MULCHING OR DRILL SEEDING (WHERE ACCESSIBLE) AT SEEDING RATE SHOWN IN TABLE. EROSION CONTROL NETTING TO BE LAID OVER ALL SEEDED AREAS AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. REFER TO NATIVE SEED ESTABLISHMENT SPECIFICATION AND SEED MIX TABLE FOR MORE DETAILED INSTRUCTIONS.
- ROCK COVER AREAS TO CONSIST OF 1.5' DIAMETER 'PIONEER GRANITE' CRUSHED ROCK (PIONEER SAND), SPREAD 3" DEPTH OVER LANDSCAPE FABRIC. LANDSCAPE FABRIC TO CONSIST OF A WATER PERMEABLE WOVEN FIBER FABRIC (MIRAFI OR EQUAL). FABRIC TO OVERLAP 6" MINIMUM AT ALL SEAMS. 6" STEEL ANCHOR PINS TO BE INSTALLED 8" O.C. MAX.
- 'CASCADE CEDAR' (C&C SAND) WOOD MULCH IS TO BE PROVIDED AROUND THE BASE OF ALL PLANTINGS, 3" DEPTH (NO FABRIC BENEATH). REFER TO PLANTING DETAILS.

SOIL PREPARATION NOTES

- NATIVE GRASS AREAS:** ALL DISTURBED NATIVE GRASS AREAS TO RECEIVE 2 CU. YDS. PER 1,000 SQ. FT. OF 'BIOCOMP' SOIL AMENDMENTS (C&C SAND) INCORPORATED INTO EXISTING SOIL AND ROTO-TILLED TO A 6" DEPTH.
- PROPOSED TREES AND SHRUBS:** ALL PROPOSED TREES ARE TO BE BACKFILLED WITH A MIXTURE OF 'BIOCOMP' SOIL AMENDMENT AND IMPORTED GRADE A TOPSOIL (C&C SAND). REFER TO PLANTING DETAIL.

IRRIGATION NOTES

- IRRIGATION WATER CANNOT BE PROVIDED FROM THE WELL ON THIS PROPERTY. THEREFORE, ALL PROPOSED PLANT MATERIALS ARE TO BE IRRIGATED BY A WATERING TRUCK UNTIL ESTABLISHED. THE OWNER OF THIS PROPERTY WILL NEED TO MAKE ARRANGEMENTS FOR A WATERING TRUCK TO PROVIDE DEEP WATERING OF ALL PROPOSED TREES AND SHRUBS A MINIMUM OF ONCE A WEEK DURING THE GROWING SEASON AND ONCE EVERY THREE WEEKS DURING DORMANT MONTHS. PLANTINGS WILL TAKE A MINIMUM OF TWO TO THREE YEARS TO GET ESTABLISHED.

GRADING / DRAINAGE NOTES

- LANDSCAPE CONTRACTOR IS TO VERIFY THAT ALL FINISHED GRADES COMPLY WITH GRADING PLAN PREPARED BY CIVIL ENGINEER. VERIFY THAT ALL SLOPES DRAIN AWAY FROM BUILDING(S) AND THAT DRAINAGE SWALES ARE CORRECTLY LOCATED AND CARRY WATER AS INTENDED. NOTIFY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION IF STANDING WATER IS PRESENT (OTHER THAN DETENTION FACILITIES) OR IF SLOPES ARE NOT GRADED AS PER APPROVED GRADING PLAN.
- LANDSCAPE CONTRACTOR IS TO LOCATE ALL DOWNSPOUTS AND DOWNSPOUT EXTENSIONS AND VERIFY THAT NO OBSTRUCTIONS ARE IMPEDING THE FLOW OF WATER AWAY FROM THE BUILDING. REMOVE SMALL SECTIONS OF STEEL EDGING WHEREVER DRAINAGE WILL NOT FREELY FLOW THROUGH EDGING.
- LANDSCAPE CONTRACTOR IS TO PROVIDE TEMPORARY EROSION MITIGATION MEASURES FOR THE DURATION OF LANDSCAPE CONSTRUCTION. THIS INCLUDES PLACEMENT OF WATTLES AND/OR EROSION BLANKET WHEREVER DRAINAGE ERODES BARE SOIL AND RUNOFF CAN POTENTIALLY DAMAGE NEIGHBORING PROPERTIES OR SEDIMENT COULD POTENTIALLY FLOW OUTSIDE OF PROPERTY LINES.

NOT FOR CONSTRUCTION

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Jon Walsh
LANDSCAPE ARCHITECT
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P.O. Box 354
Palmer Lake, CO 80133
(719) 640-9428
jwlandarch@gmail.com
www.jwlandscapearchitect.com

PROJECT FILE: st johns LS plan 6-21-23.dwg

ST. JOHN'S ORTHODOX CHURCH
7350 Mohawk Road
Colorado Springs, CO

PROJECT NAME:

ALTERNATIVE LANDSCAPE PLAN

SHEET TITLE:

DATE: May 15, 2023

June 21, 2023

REVISIONS:

STAMP:

SHEET NO. **L2**

Sheet 2 of 2

SITE CATEGORY CALCULATIONS

Landscape Setbacks

Street Name or Boundary	Street Classification	Width (in Ft.) Req./Prov.	Linear Footage	Trees/Feet Required	No. of Trees Req./Prov.	Setback Plant Abbr. Denoted on Plan
Woodmen Frontage Rd.	Collector	10' / 20'	223' (Approx. developed frontage)	1 / 30'	8 / 8	(WF) (Request #1 Alternative Landscape Plan)
Mohawk Rd.	Collector	15' / 90'	257' (Approx. developed frontage)	1 / 15'	17 / 17	(MR) (Request #1 Alternative Landscape Plan)

Parking

No. of Vehicles Spaces Provided	Shade Trees Required/Provided	Abbr. on Plan	Vehicle Lot Frontages	Length of Frontage (excluding driveways)	2/3 Length of Frontage (ft.)
36	3 / 3	(MV)	Woodmen Frontage Rd.	36'	24'
			Mohawk Rd.	162'	108'

Min. 3' Screening Plants Req. /Prov.	Evergreen Plants Req. (50%) / Prov.	Length of Screening Wall or Berm Provided	Vehicle Lot Plant Abbr. on Plan	Percent Ground Plane Veg. Req. / Prov.
4 / 4	2 / 4	-	(WS)	75% / 75%
18 / 18	9 / 9	-	(MS)	75% / 75%

Internal Landscaping

Net Site Area (SF) (less public ROW)	Percent Minimum Internal Area (%)	Internal Area (SF) Required /Provided	Internal Trees (1/500 SF) Required /Provided
43,310 s.f. (Approx. developed area)	5%	2,166 s.f. / 14,250 s.f.	5 / 5 (Request #2 Alternative Landscape Plan)

Shrub Substitutes Required /Provided	Internal Plant Abbr. Denoted on Plan
0 / 0	(IN)

Landscape Buffer & Screens

Street Name or Property Line	Width (in Ft.) Req. / Prov.	Linear Footage	Buffer Trees (1/25) Required / Provided	Evergreen Trees Req. (1/3) / Provided
West boundary	15' / 185'	532'	21 / 0	7 / 0 (Request #3 Alternative Landscape Plan)
North boundary	15' / 140'	458'	18 / 0	6 / 0 (Request #3 Alternative Landscape Plan)

Length of 6 Ft. Opaque Structure Req. / Prov.	Buffer Tree Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
459' / 0'	-	75% / 100%
415' / 0'	-	75% / 100%

ALTERNATIVE LANDSCAPE PLAN REQUEST #1-

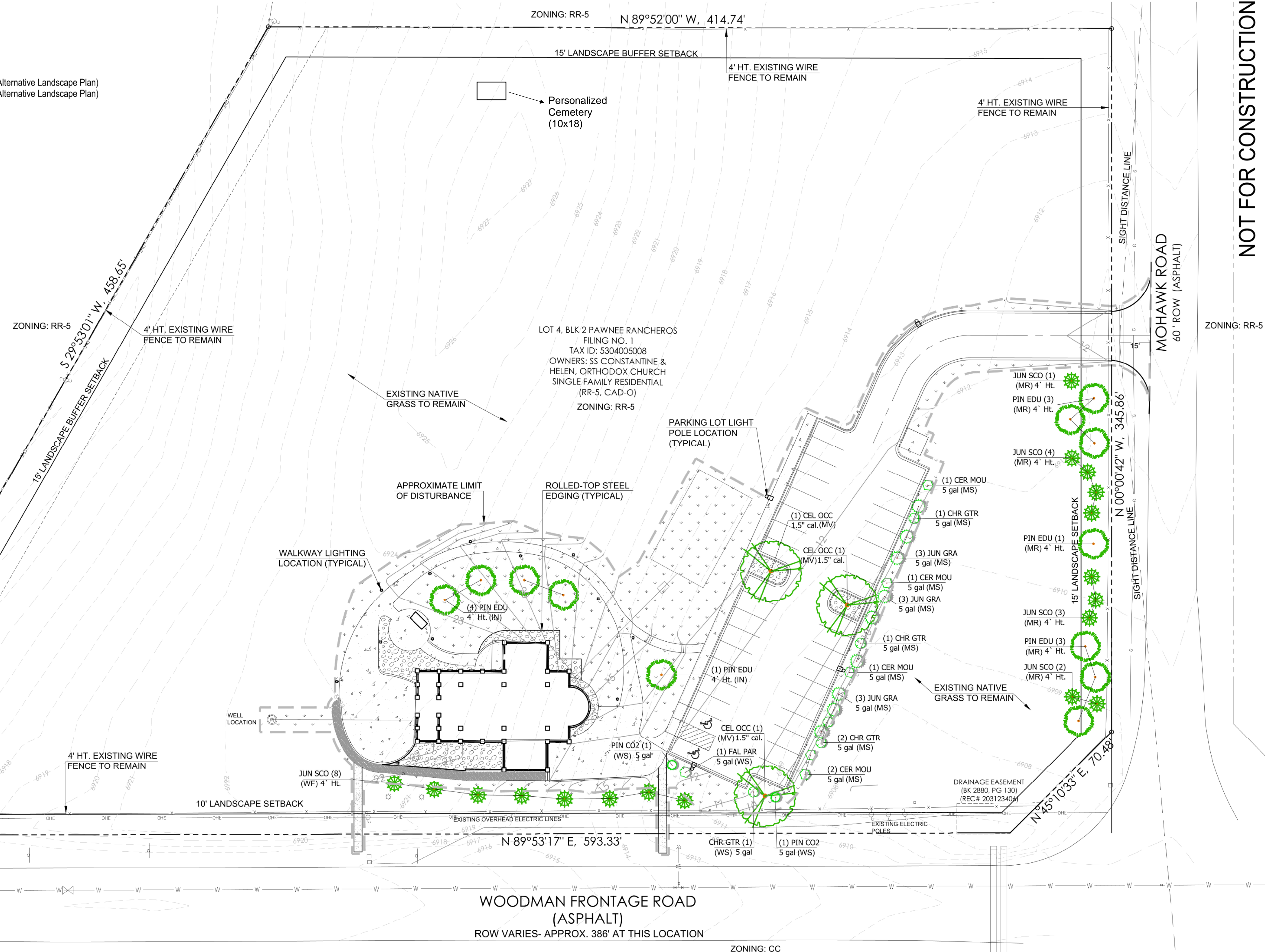
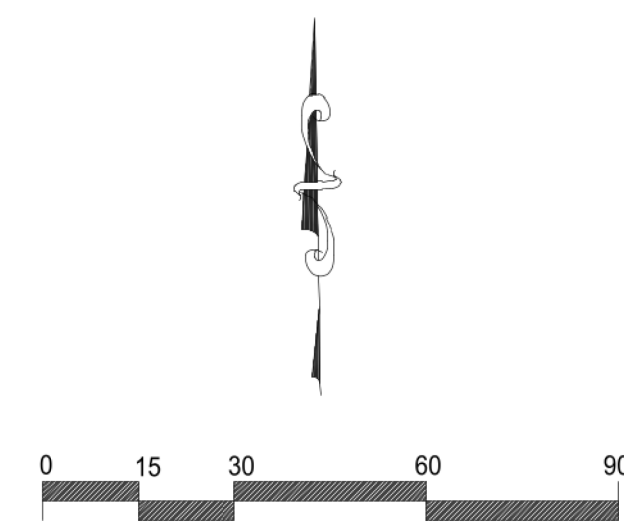
Because the proposed church development will disturb less than 2 acres of the 5 acre site it is requested that the street frontage landscape requirements be based on the lengths of the limit of disturbance area rather than the entire street frontages.

ALTERNATIVE LANDSCAPE PLAN REQUEST #2-

Because the proposed church development will disturb less than 2 acres of the 5 acre site it is requested that the internal landscape requirements be based on the limit of disturbance area rather than the entire property.

ALTERNATIVE LANDSCAPE PLAN REQUEST #3-

Because the proposed church development is 185' away from the west boundary and 140' from the north boundary it is requested that the buffer tree requirement along these boundaries be waived along with the required 6' opaque fence.



PLANT SCHEDULE

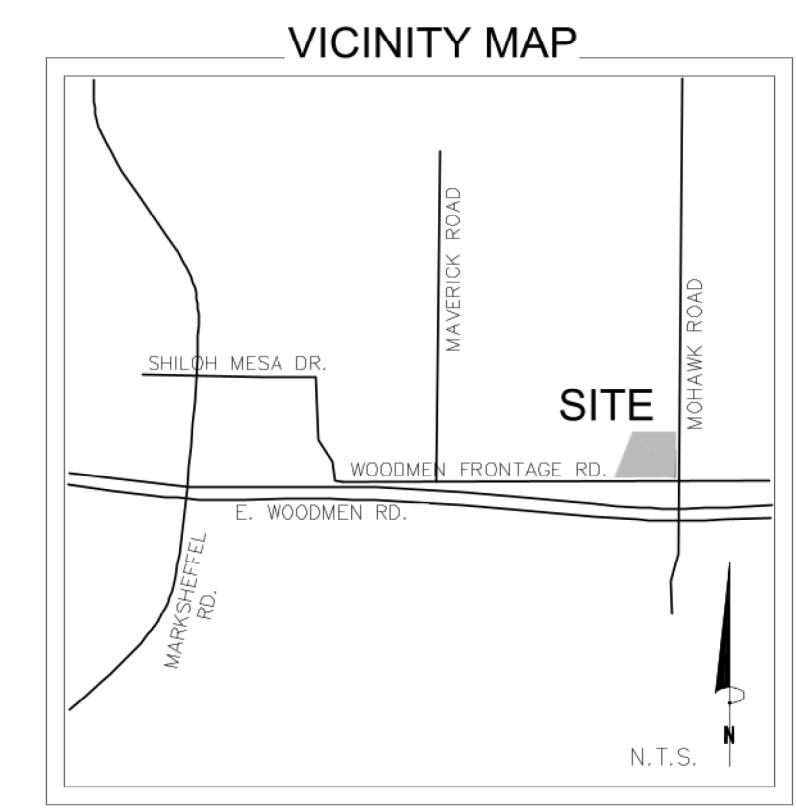
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	HEIGHT
	CEL OCC	3	Celtis occidentalis	Common Hackberry	1.5" cal.	B & B	30' to 40'
	JUN SCO	18	Juniperus scopulorum	Rocky Mountain Juniper	4' Ht.		10' to 15'
	PIN EDU	12	Pinus cembroides edulis	Pinyon Pine	4' Ht.	B & B	15' to 20'
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	HEIGHT
	CER MOU	5	Cercocarpus montanus	Mountain Mahogany	5 gal		4' to 6'
	CHR GTR	5	Chrysothamnus nauseosus graveolens	Tall Green Rabbitbrush	5 gal		4' to 5'
	FAL PAR	1	Fallugia paradoxa	Apache Plume	5 gal		3' to 5'
	JUN GRA	9	Juniperus scopulorum 'Gray Gleam'	Gray Gleam Juniper	5 gal		8' to 10'
	PIN CO2	2	Pinus mugo 'Compacta'	Dwarf Mugo Pine	5 gal		3' to 5'

GROUND PLANE TREATMENT

SYMBOL	DESCRIPTION	QTY
	'PIONEER GRANITE', 1.5" DIAMETER, 3" DEPTH OVER LANDSCAPE FABRIC	1,955 sf
	NATIVE GRASS SEED WITH EROSION CONTROL BLANKET. ALL DISTURBED NATIVE GRASS AREAS ARE TO BE RE-SEEDED.	15,609 sf

OWNER:
SS CONSTANTINE & HELEN
ORTHODOX CHURCH

APPLICANT:
RUNGE ARCHITECTURE
5315 GERMAINE CT.
COLORADO SPRINGS, CO 80909
(719) 260-0039



NOT FOR CONSTRUCTION

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Jon Walsh
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jwlandarch@gmail.com
www.jwlandscapearchitect.com

PROJECT FILE: st. Johns LS plan 6-21-23.dwg

ST. JOHN'S ORTHODOX CHURCH
7530 Mohawk Road
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ALTERNATIVE LANDSCAPE PLAN

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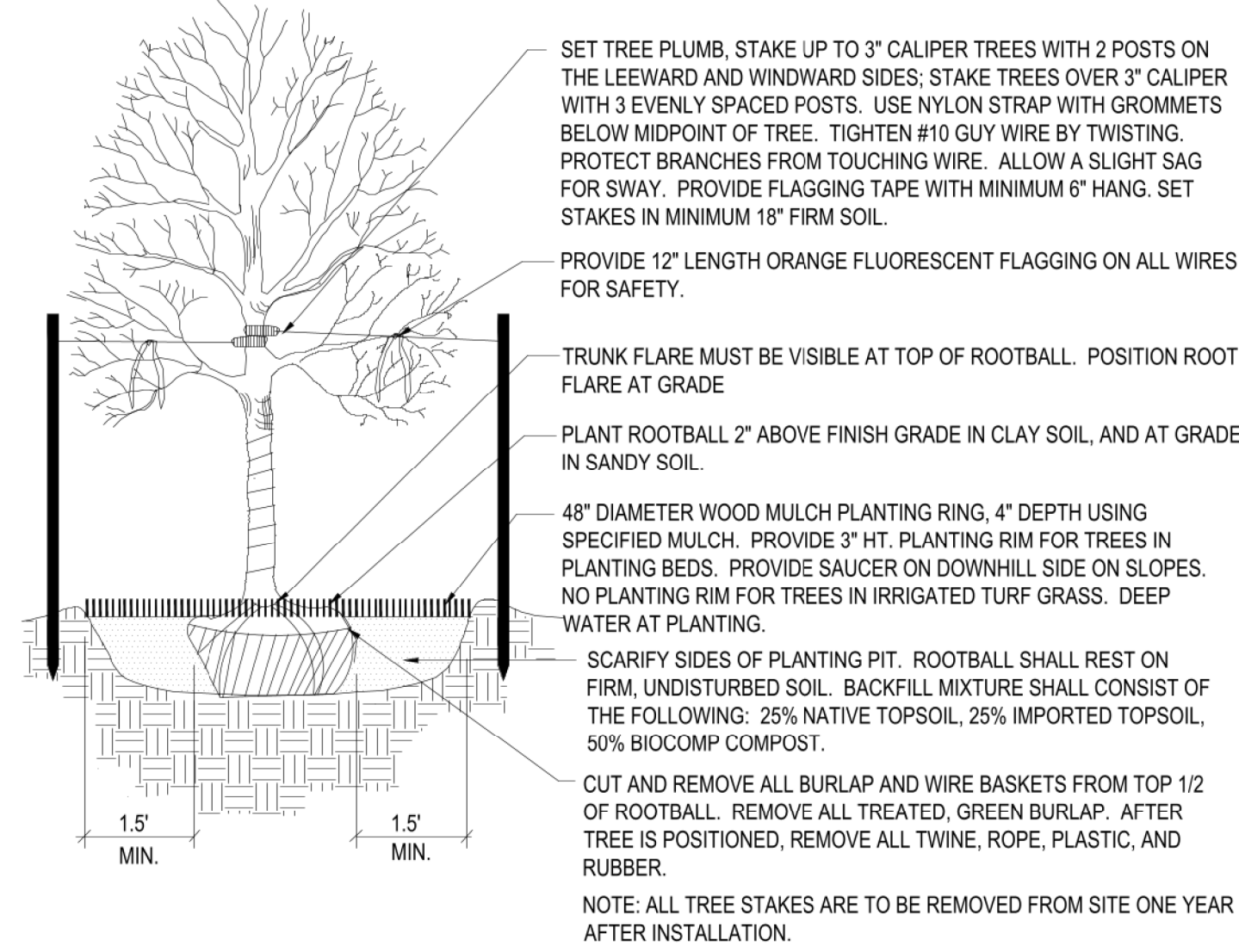
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SHEET NO. L1
Sheet 1 of 2

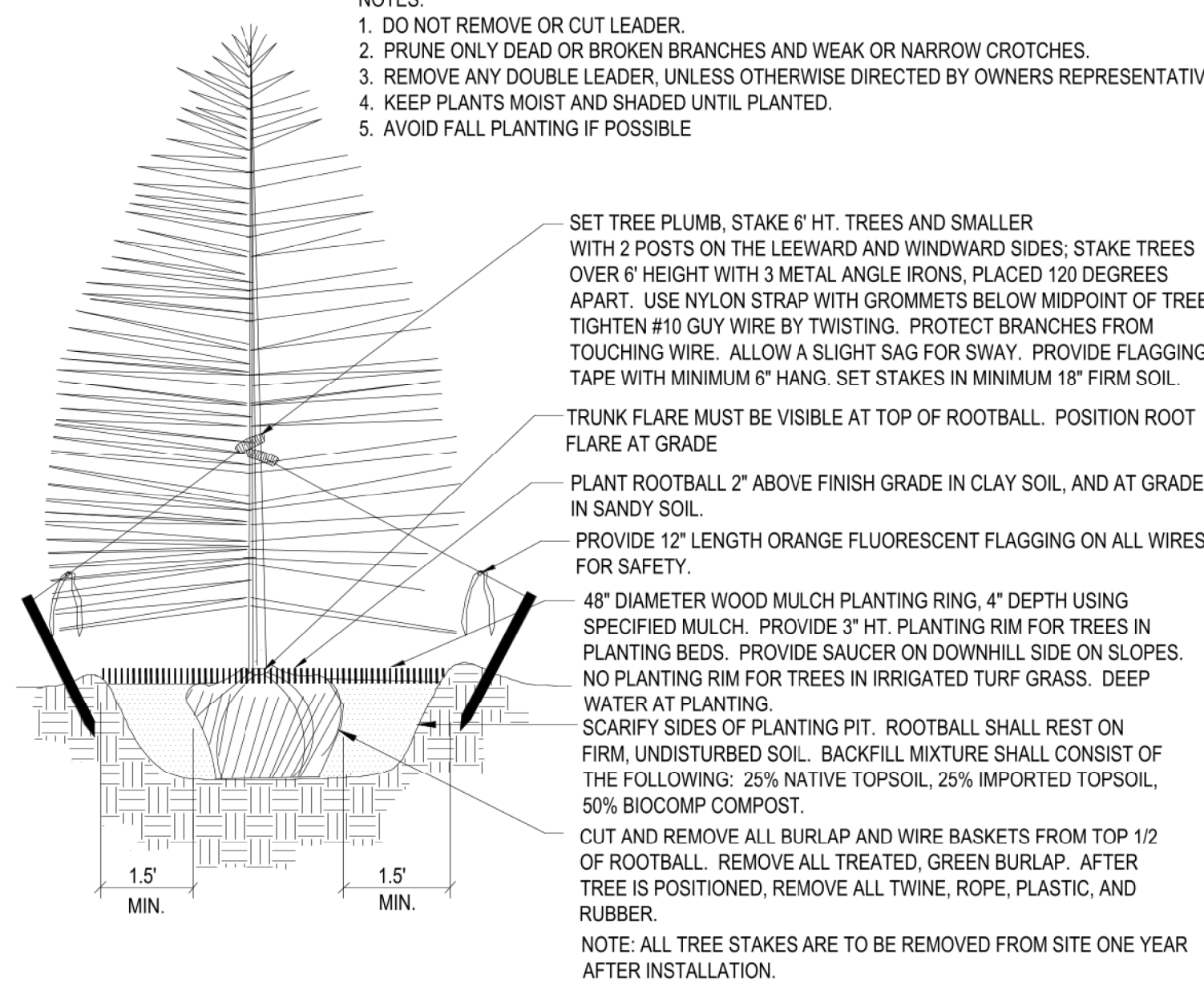
PLANTING DETAILS

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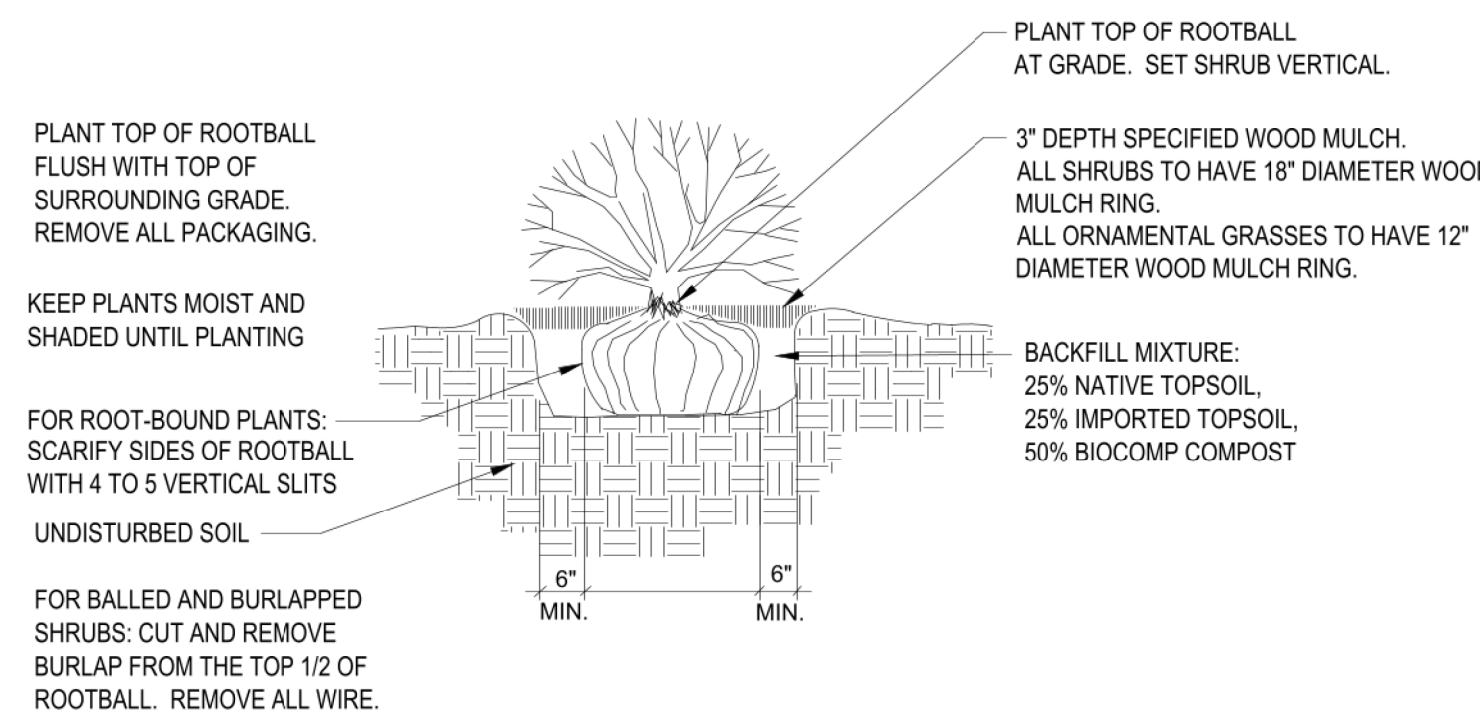


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1" BELOW TOP OF CONCRETE OR ASPHALT FOR NATIVE SEED AREAS.
CONTRACTOR IS TO COORDINATE THESE GRADING SPECIFICATIONS WITH GENERAL CONTRACTOR AND/OR WHOEVER IS PROVIDING ROUGH GRADING. FINAL GRADES IN ALL LANDSCAPE AREAS ARE TO BE ESTABLISHED USING ON-SITE STOCKPILED TOPSOIL.
- ALL DISTURBED NATIVE GRASS AREAS ARE TO BE SEEDED WITH SPECIFIED SEED MIX BY HYDRO-MULCHING OR DRILL SEEDING (WHERE ACCESSIBLE) AT SEEDING RATE SHOWN IN TABLE. EROSION CONTROL NETTING TO BE LAID OVER ALL SEEDED AREAS AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. REFER TO NATIVE SEED ESTABLISHMENT SPECIFICATION AND SEED MIX TABLE FOR MORE DETAILED INSTRUCTIONS.
- ROCK COVER AREAS TO CONSIST OF 1.5' DIAMETER 'PIONEER GRANITE' CRUSHED ROCK (PIONEER SAND), SPREAD 3" DEPTH OVER LANDSCAPE FABRIC. LANDSCAPE FABRIC TO CONSIST OF A WATER PERMEABLE WOVEN FIBER FABRIC (MIRAFI OR EQUAL). FABRIC TO OVERLAP 6" MINIMUM AT ALL SEAMS. 6" STEEL ANCHOR PINS TO BE INSTALLED 8" O.C. MAX.
- 'CASCADE CEDAR' (C&C SAND) WOOD MULCH IS TO BE PROVIDED AROUND THE BASE OF ALL PLANTINGS, 3" DEPTH (NO FABRIC BENEATH). REFER TO PLANTING DETAILS.

SOIL PREPARATION NOTES

- NATIVE GRASS AREAS:** ALL DISTURBED NATIVE GRASS AREAS TO RECEIVE 2 CU. YDS. PER 1,000 SQ. FT. OF 'BIOCOMP' SOIL AMENDMENTS (C&C SAND) INCORPORATED INTO EXISTING SOIL AND ROTO-TILLED TO A 6" DEPTH.
- PROPOSED TREES AND SHRUBS:** ALL PROPOSED TREES ARE TO BE BACKFILLED WITH A MIXTURE OF 'BIOCOMP' SOIL AMENDMENT AND IMPORTED GRADE A TOPSOIL (C&C SAND). REFER TO PLANTING DETAIL.

IRRIGATION NOTES

- IRRIGATION WATER CANNOT BE PROVIDED FROM THE WELL ON THIS PROPERTY. THEREFORE, ALL PROPOSED PLANT MATERIALS ARE TO BE IRRIGATED BY A WATERING TRUCK UNTIL ESTABLISHED. THE OWNER OF THIS PROPERTY WILL NEED TO MAKE ARRANGEMENTS FOR A WATERING TRUCK TO PROVIDE DEEP WATERING OF ALL PROPOSED TREES AND SHRUBS A MINIMUM OF ONCE A WEEK DURING THE GROWING SEASON AND ONCE EVERY THREE WEEKS DURING DORMANT MONTHS. PLANTINGS WILL TAKE A MINIMUM OF TWO TO THREE YEARS TO GET ESTABLISHED.

GRADING / DRAINAGE NOTES

- LANDSCAPE CONTRACTOR IS TO VERIFY THAT ALL FINISHED GRADES COMPLY WITH GRADING PLAN PREPARED BY CIVIL ENGINEER. VERIFY THAT ALL SLOPES DRAIN AWAY FROM BUILDING(S) AND THAT DRAINAGE SWALES ARE CORRECTLY LOCATED AND CARRY WATER AS INTENDED. NOTIFY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION IF STANDING WATER IS PRESENT (OTHER THAN DETENTION FACILITIES) OR IF SLOPES ARE NOT GRADED AS PER APPROVED GRADING PLAN.
- LANDSCAPE CONTRACTOR IS TO LOCATE ALL DOWNSPOUTS AND DOWNSPOUT EXTENSIONS AND VERIFY THAT NO OBSTRUCTIONS ARE IMPEDING THE FLOW OF WATER AWAY FROM THE BUILDING. REMOVE SMALL SECTIONS OF STEEL EDGING WHEREVER DRAINAGE WILL NOT FREELY FLOW THROUGH EDGING.
- LANDSCAPE CONTRACTOR IS TO PROVIDE TEMPORARY EROSION MITIGATION MEASURES FOR THE DURATION OF LANDSCAPE CONSTRUCTION. THIS INCLUDES PLACEMENT OF WATTLES AND/OR EROSION BLANKET WHEREVER DRAINAGE ERODES BARE SOIL AND RUNOFF CAN POTENTIALLY DAMAGE NEIGHBORING PROPERTIES OR SEDIMENT COULD POTENTIALLY FLOW OUTSIDE OF PROPERTY LINES.

NOT FOR CONSTRUCTION

JWLA
Jon Walsh
LANDSCAPE ARCHITECT
LLC
P.O. Box 354
Palmer Lake, CO 80133
(719) 640-9428
jwlandarch@gmail.com
www.jwlandscapearchitect.com

PROJECT FILE: st johns LS plan 6-21-23.dwg

ST. JOHN'S ORTHODOX CHURCH
7350 Mohawk Road
Colorado Springs, CO

PROJECT NAME:

ALTERNATIVE LANDSCAPE PLAN

SHEET TITLE:

DATE: May 15, 2023

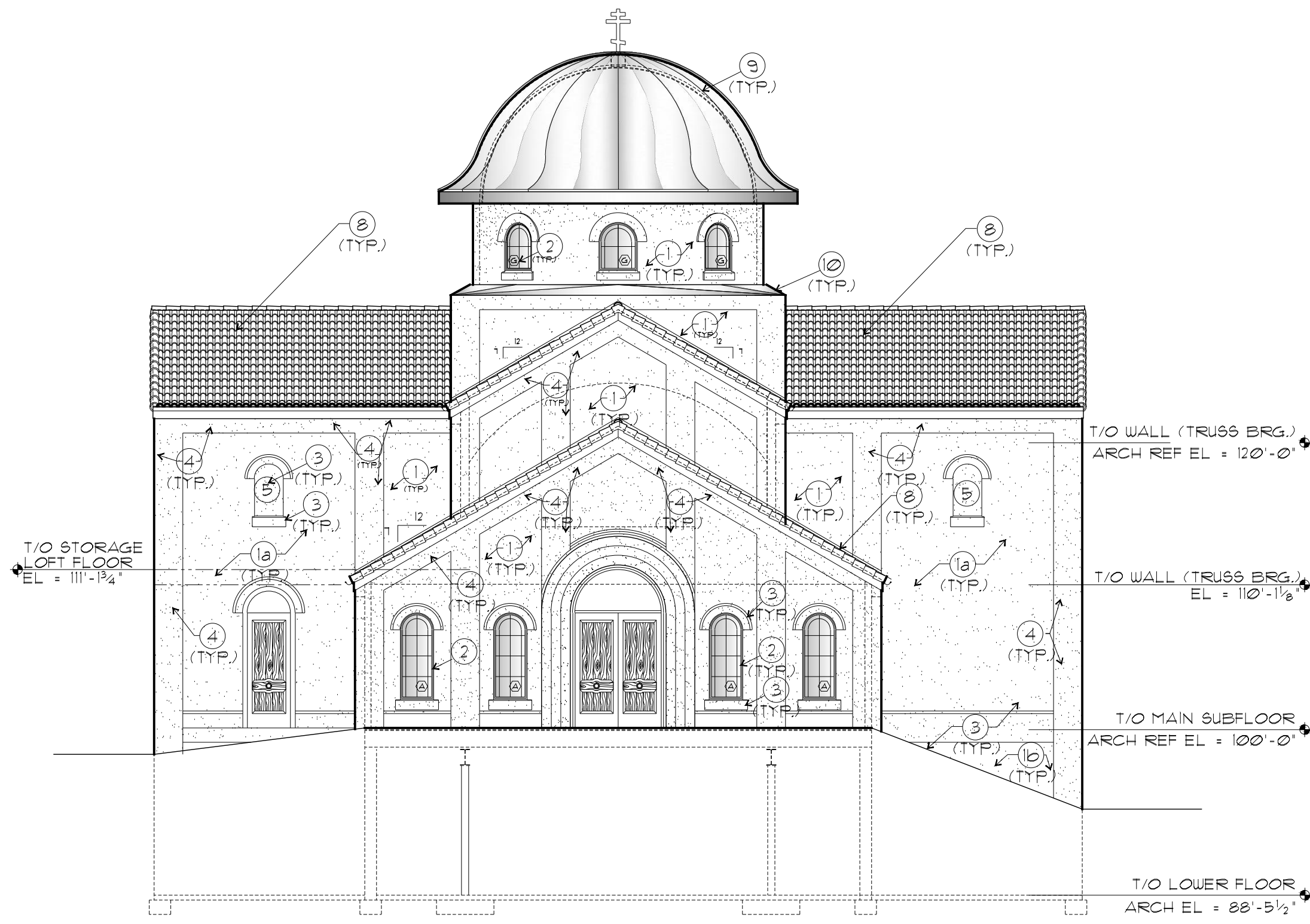
June 21, 2023

REVISIONS:

STAMP:

SHEET NO. L2

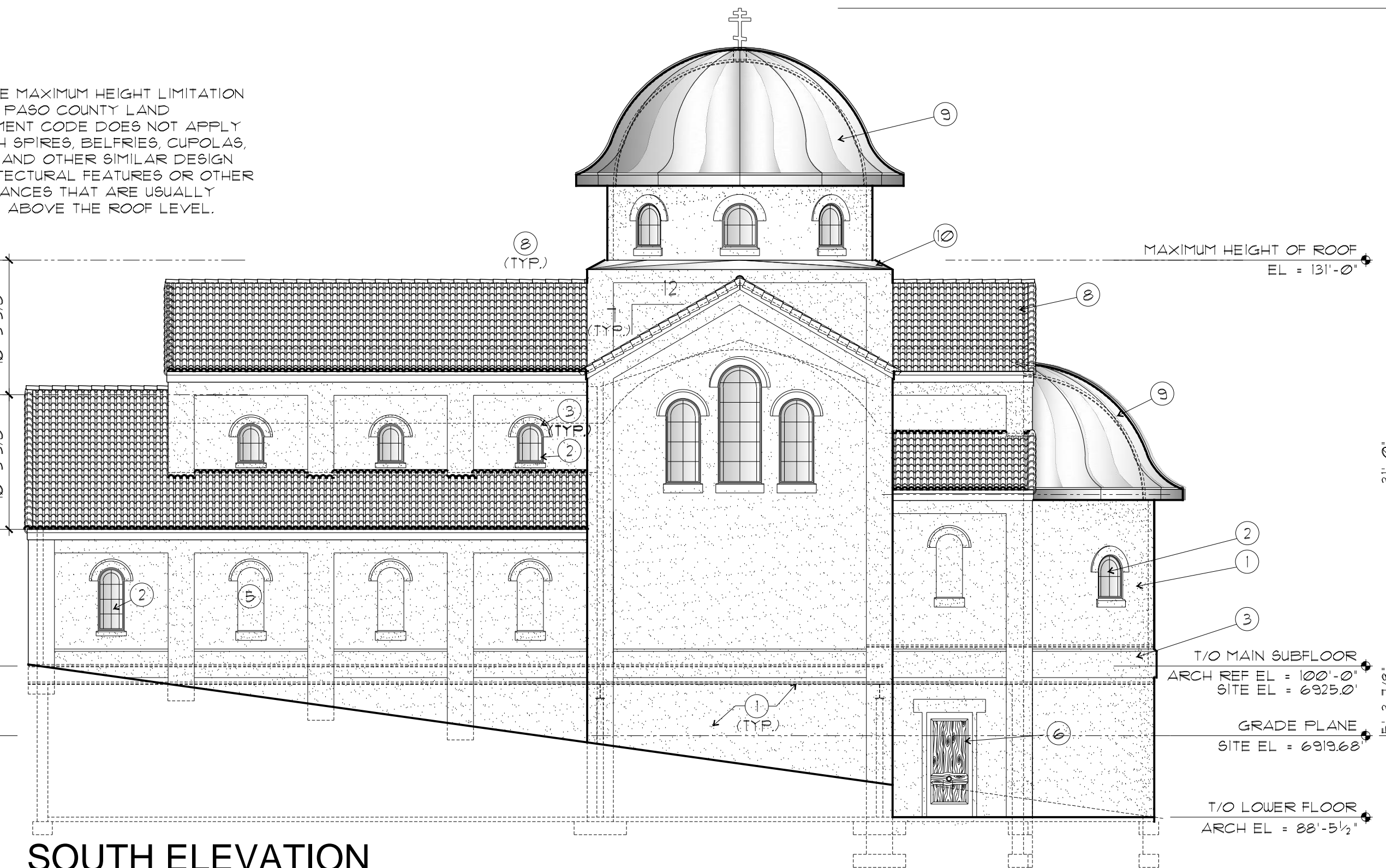
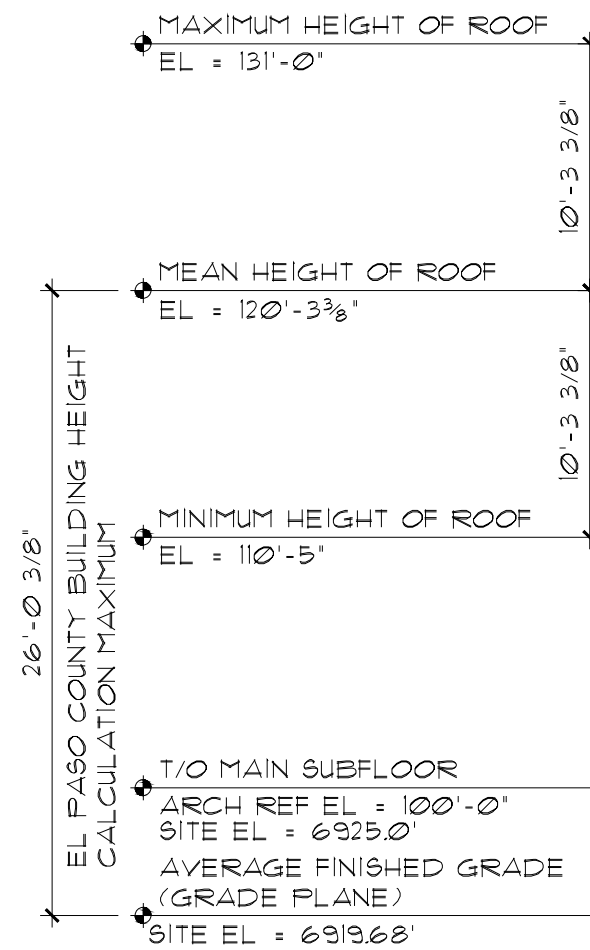
Sheet 2 of 2



WEST ELEVATION

SCALE: 1/8" = 1'-0"

NOTE: THE MAXIMUM HEIGHT LIMITATION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE DOES NOT APPLY TO CHURCH SPIRES, BELFRIES, CUPOLAS, CHIMNEYS AND OTHER SIMILAR DESIGN OR ARCHITECTURAL FEATURES OR OTHER APPURTENANCES THAT ARE USUALLY INSTALLED ABOVE THE ROOF LEVEL.



SOUTH ELEVATION

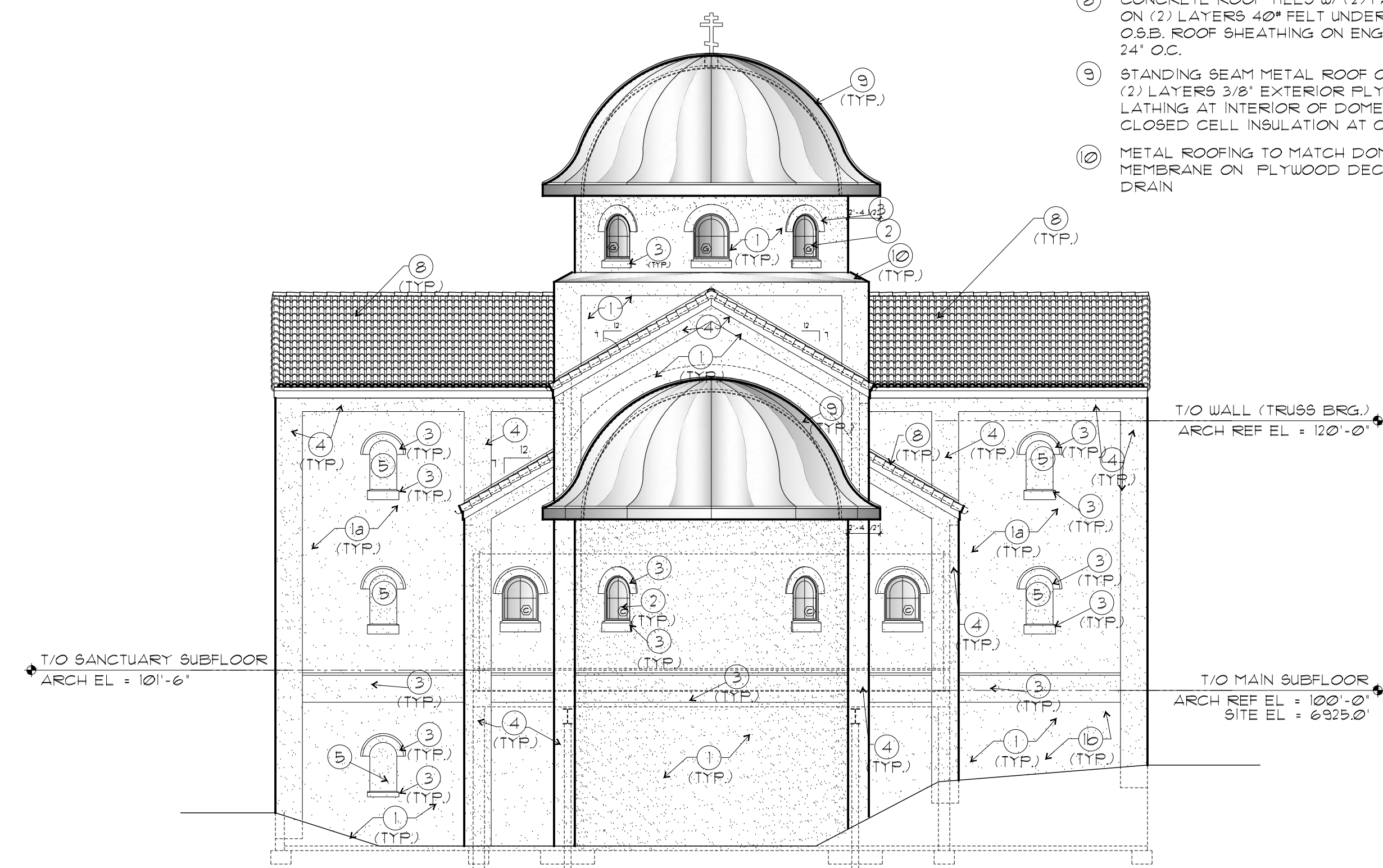
SCALE: 1/8" = 1'-0"

2021 IBC SECTION 504.3 EXCEPTION: TOWERS, SPIRES, STEEPLES AND OTHER ROOFTOP STRUCTURES SHALL BE CONSTRUCTED OF MATERIALS CONSISTENT WITH THE REQUIRED TYPE OF CONSTRUCTION OF THE BUILDING EXCEPT WHERE OTHER CONSTRUCTION IS PERMITTED BY SECTION 501.2.4. SUCH STRUCTURES SHALL NOT BE USED FOR HABITATION OR STORAGE. THE STRUCTURES SHALL BE UNLIMITED IN HEIGHT WHERE OF NONCOMBUSTIBLE MATERIALS AND SHALL NOT EXTEND MORE THAN 20 FEET ABOVE THE ALLOWABLE BUILDING HEIGHT WHERE OF COMBUSTIBLE MATERIALS.

MAXIMUM BUILDING HEIGHT PER TABLE 504.3 FOR TYPE III CONSTRUCTION: 40'-0"
OCCUPANCY AND TYPE V-B CONSTRUCTION: 20'-0"
MAXIMUM BUILDING HEIGHT PER 504.3: 19'-2 3/4"
31'-0"
36'-3 7/8"
19'-3 7/8"
19'-3 7/8"

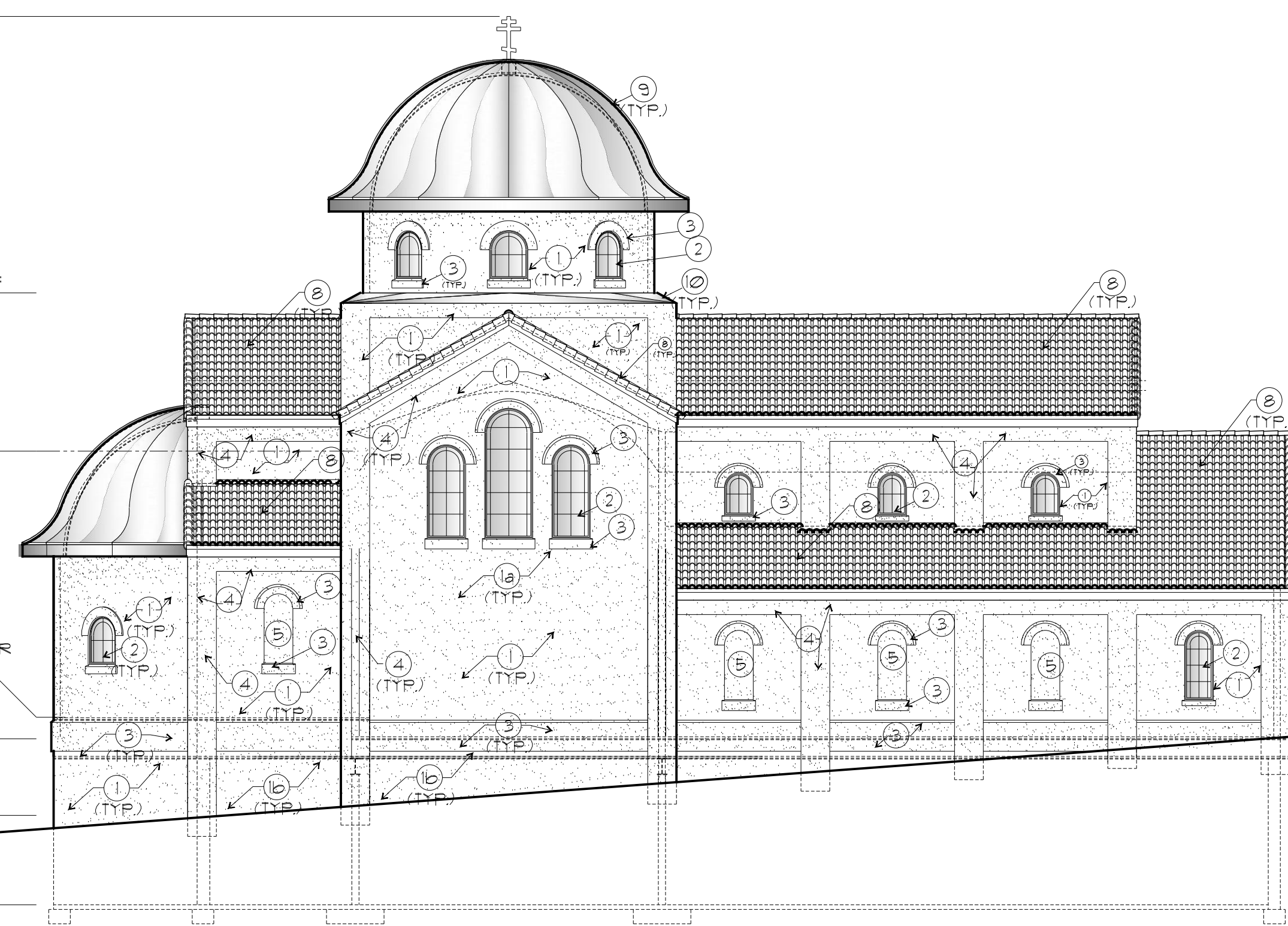
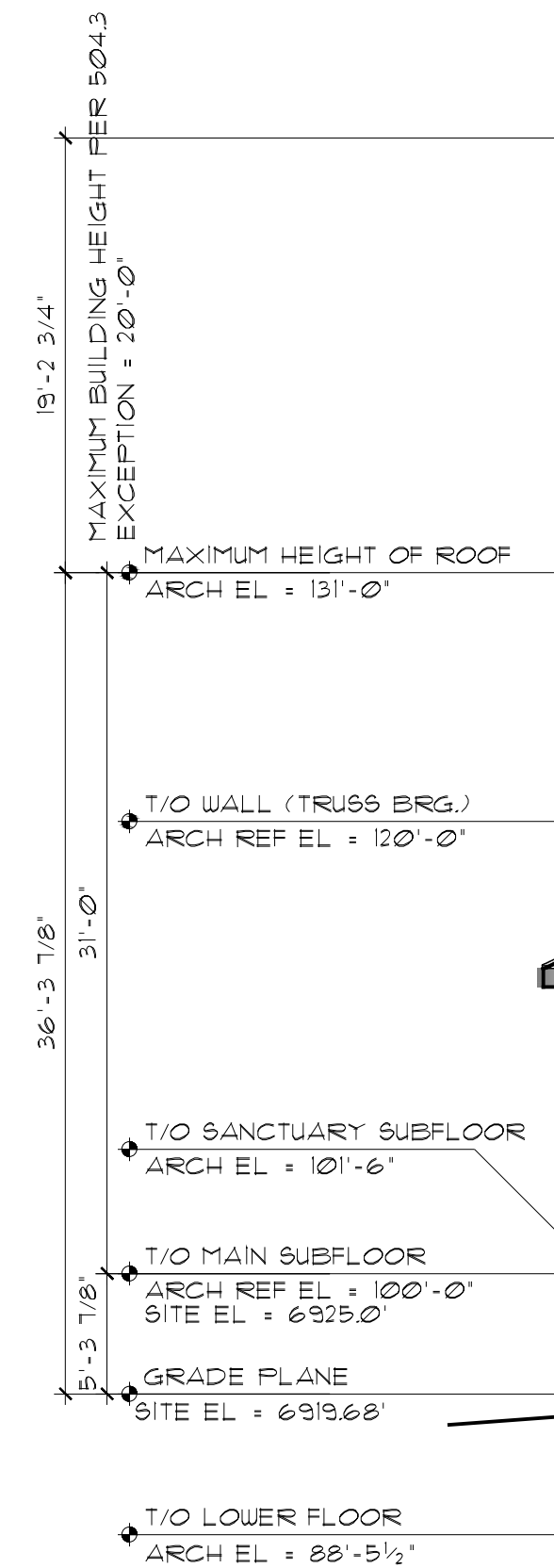
FINISH & MATERIAL NOTES:

- ① 3/4" CEMENTITIOUS STUCCO SYSTEM WITH 'KRAKMASTER' MESH EMBEDDED INTO BASE COAT AND ELASTOMERIC FINISH COAT ON STUCCO WRAP WEATHER BARRIER ON 1/2" O.S.B. WALL SHEATHING ON 2x6 WOOD STUDS @ 16" O.C. W/ R-20 BATT INSULATION
- ② METAL CLAD WOOD WINDOWS WITH INSULATED GLAZING
- ③ 2"x22" STUCCO POP-OUT WITH BEVELED TOP (SEE DETAIL)
- ④ SAME AS ITEM ① EXCEPT STUCCO SYSTEM ON SHEATHING ON FURRING (TOTAL PROJECTION = 8")
- ⑤ 2" RECESSED FAUX WINDOW NICHE (2x4 STUD FRAMING IN WALL AT OPENING)
- ⑥ FIBERGLASS DOOR IN STEEL FRAME
- ⑦ CUSTOM FABRICATED WOOD DOOR IN WOOD FRAME (STAIN)
- ⑧ CONCRETE ROOF TILES W/ (2) FASTENERS MIN. PER TILE ON BATTENS ON (2) LAYERS 40# FELT UNDERLAYMENT ON 5/8" (MIN) PLYWOOD OR O.S.B. ROOF SHEATHING ON ENGINEERED ROOF TRUSSES OR RAFTERS @ 24" O.C.
- ⑨ STANDING BEAM METAL ROOF ON 'ICE & WATER SHIELD MEMBRANE' ON (2) LAYERS 3/8" EXTERIOR PLYWOOD BENT TO RADIUS. PROVIDE LATHING AT INTERIOR OF DOME WITH GYPSUM BOARD FINISH. PROVIDE CLOSED CELL INSULATION AT CAVITY.
- ⑩ METAL ROOFING TO MATCH DOME ON ICE AND WATER SHIELD MEMBRANE ON PLYWOOD DECK ON WOOD FRAMING SLOPED TO DRAIN



EAST ELEVATION

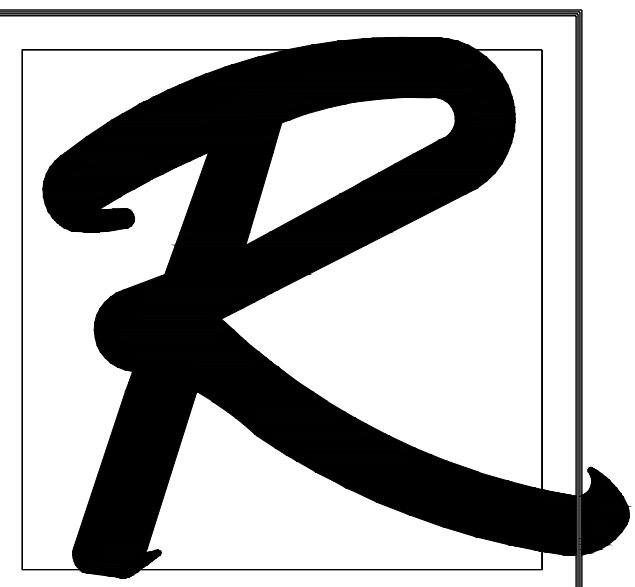
SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

SITE DEVELOPMENT PLAN



RUNGE ARCHITECTURE

CHARLES W. RUNGE, JR., ARCHITECT
5315 GERMAINE CT.
COLORADO SPRINGS, CO 80919
PHONE: (719) 260-0039
EMAIL: chuckrunge@comcast.net

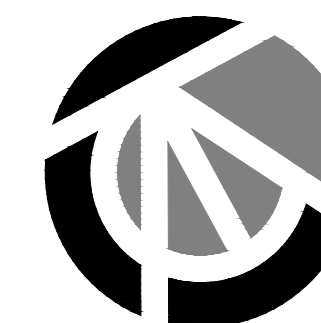
ST. JOHN'S
ORTHODOX
CHURCH
SITE DEVELOPMENT
PLAN

7530 MOHAWK RD.
COLORADO SPRINGS, CO

REVISIONS:

EXTERIOR ELEVATIONS

JOB NUMBER: 2305
DATE: 5/12/23
REVISED:
SHEET NUMBER: 1 of 1
PAGE: EXTERIOR ELEVATIONS



Chavez Tiffany & Ayers
Engineering Corporation

611 North Nevada Avenue
Colorado Springs, Colorado 80903
P (719) 536-0021

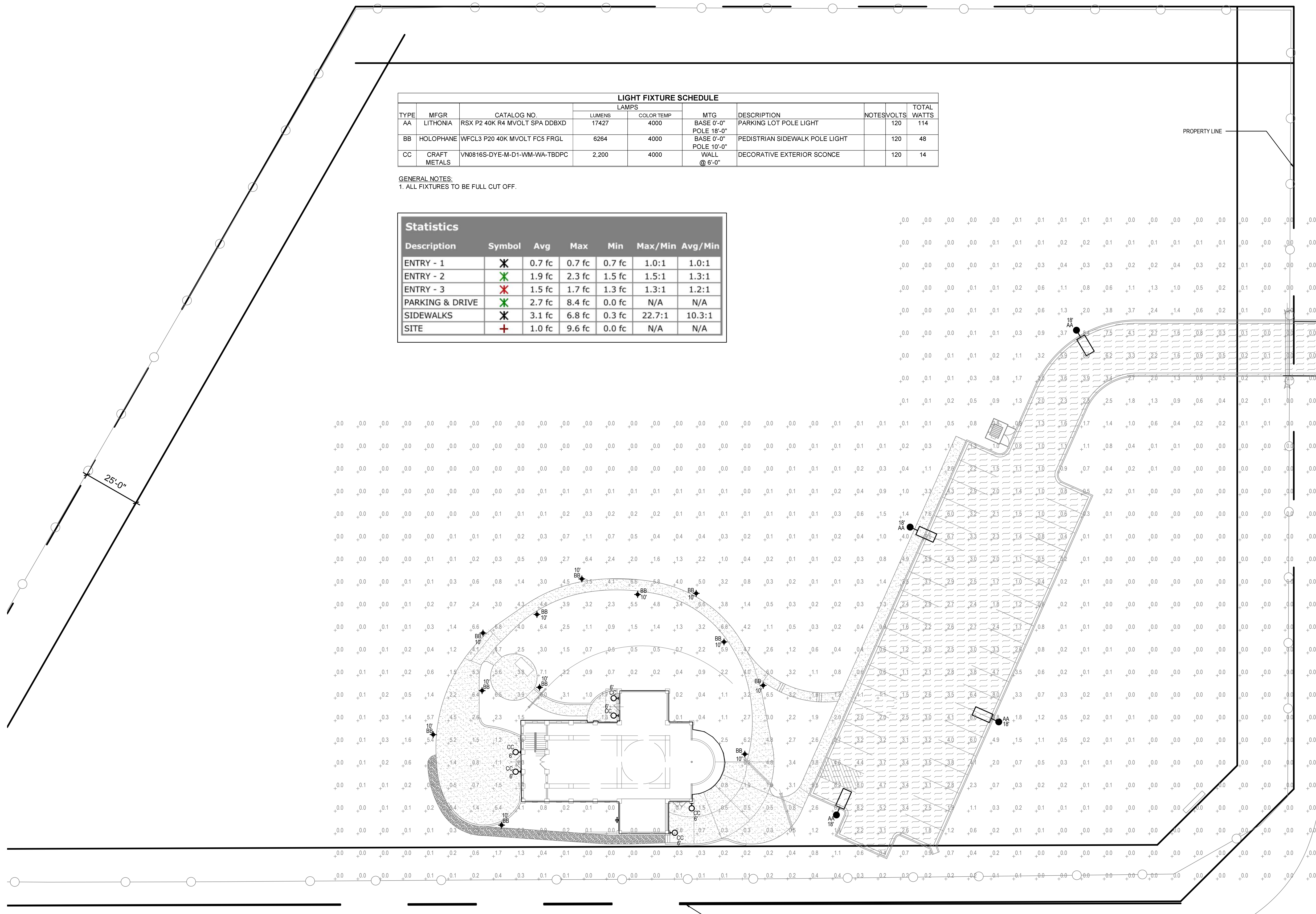
OWNER / APPLICANT

SS CONSTANTINE & HELLEN
ORTHODOX CHURCH
2770 N. CHESTNUT ST.
COLORADO SPRINGS, CO 80907
(719) 683-2700

LIGHT FIXTURE SCHEDULE									
TYPE	MFGR	CATALOG NO.	LAMPS			DESCRIPTION	NOTES	VOLTS	TOTAL WATTS
			LUMENS	COLOR TEMP	MTG				
AA	LITHONIA	RSX P2 40K R4 MVOLT SPA DDBXD	17427	4000	BASE 0'-0" POLE 18'-0"	PARKING LOT POLE LIGHT		120	114
BB	HOLOPHANE	WFCL3 P20 40K MVOLT FC5 FRGL	6264	4000	BASE 0'-0" POLE 10'-0"	PEDESTRIAN SIDEWALK POLE LIGHT		120	48
CC	CRAFT METALS	VN0816S-DYE-M-D1-WM-WA-TBDPC	2,200	4000	WALL @ 6'-0"	DECORATIVE EXTERIOR SCONCE		120	14

GENERAL NOTES:
1. ALL FIXTURES TO BE FULL CUT OFF.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
ENTRY - 1	✕	0.7 fc	0.7 fc	0.7 fc	1.0:1	1.0:1
ENTRY - 2	✕	1.9 fc	2.3 fc	1.5 fc	1.5:1	1.3:1
ENTRY - 3	✕	1.5 fc	1.7 fc	1.3 fc	1.3:1	1.2:1
PARKING & DRIVE	✕	2.7 fc	8.4 fc	0.0 fc	N/A	N/A
SIDEWALKS	✕	3.1 fc	6.8 fc	0.3 fc	22.7:1	10.3:1
SITE	+	1.0 fc	9.6 fc	0.0 fc	N/A	N/A



MOWHAWK ROAD

PROPERTY LINE

WOODMEN FRONTAGE ROAD

1 PHOTOMETRIC PLAN
DP-1 SCALE: 1"=20'-0"



RUNGE ARCHITECTURE

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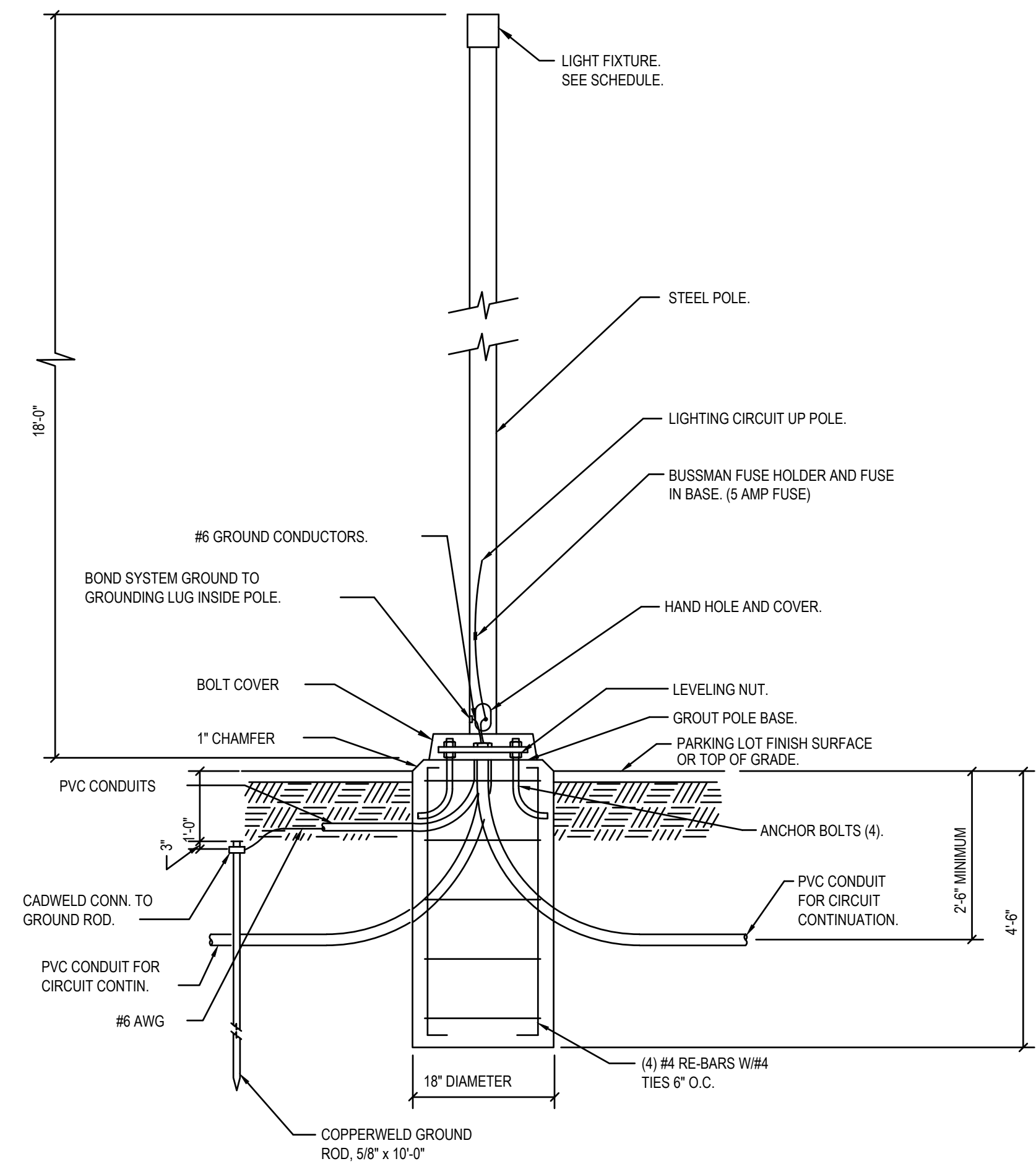
ST. JOHN'S
ORTHODOX
CHURCH
DESIGN DEVELOPMENT
COST ESTIMATE
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7530 MOHAWK RD.
COLORADO SPRINGS, CO

REVISIONS:

PHOTOMETRIC PLAN

JOB NUMBER: 2305
DATE: 5/5/23
REVISED:
SHEET NUMBER: 1 of 2
PAGE: DP-1

EPC FILE NUMBER: PPR 2255



1 SHORT POLE BASE DETAIL
 DP-2 SCALE: NONE

WFCL3
Utility Washington Series Luminaire
Full Cutoff LED3

Catalog Number		Type	BB
Notes			

Mechanical

- Heavy grade A360 cast aluminum (<1% copper)
- Tool-less access with a spring-loaded latch
- Hidden hinge door allowing the door to swing open and remain open
- Optional internal or external NEMA twist lock photocell receptacle. Housing contains a tempered glass window to allow light to reach the cell for internal versions.
- Mount to slip-fitter that will accept 3" high by 2-7/8" to 3-1/8" O.D. pole tenon
- Decorative top cover contains stainless steel hinge which secures every the LED optical chamber
- Polyester power coat paint to ensure maximum durability
- Rigorous multi-stage pre-treating and painting process yields a finish that achieves a salt fog chamber (operated per ASTM D1654) after over 5,000 hours exposure to salt fog chamber (operated per ASTM B117) on standard and RAL finish options.
- RAL (RALXXXXXX) paint colors are Super Durable Corrosion Resistant, 80% gloss.

Electrical

- Surge protection meets ANSI/IEEE C62.41.2 10kV/10kA.
- Standard SPD meets 20kV/10kA per ANSI C18.2-2015
- Quick disconnect connectors for ease of installation and maintenance.
- Three pole terminal block is standard, with optional prewired leads for ease of installation
- LED drivers meet maximum total harmonic distortion (THD) of 20%, >0.90 Power Factor and are ENEC compliant. Minimum operating temperature is -40°C. Electronic driver has an estimated minimum life of 100,000 hours at 25°C.

Optical

- IP65 rated optical compartment
- LED circuit board located in the top cover
- Asymmetric or Symmetric zero uplight distributions
- 2700K, 3000K and 4000K CCT
- 70CRI Standard

Control Options

- Field Adjustable Output (AO) module - On-board device that adjusts the light output and input wattage to meet site-specific requirements. The AO module is pre-set at the factory to position number 6

Buy American Act
This product is assembled in the USA and meets the Buy American government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/resources/buy-american for additional information.

Warranty
5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

DIMENSIONAL DATA

Maximum Weight - 53 lbs
Maximum Effective Projected Area - 1.72 sq. ft.

AcuityBrands | Lithonia | One Lithonia Way, Conyers, GA 30012 | Phone: 800-HOLOPHANE | www.holophane.com | techsupport@acuitybrands.com
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Craft Metal Products Inc. Job Name: Colorado Springs Church - Colorado Springs, CO
 Job Number: CC Fixture Type: CC Quantity: 1

Venice Series Wall Sconce - VN0816S

Model Number	Lamping Code	Voltage	Dimming	Mounting	Diffuser	Finish
VN0816S	DYE	M	D1	WM	WA	TBDPC

Dimensions
 Width (W) 8" Height (HT) 16" Extension (EXT) 4"

Lamping
 Code Body Lamping Circuit
 DYE 2,200lm LED (14W) 1

Dimming Type
 LED 0-10V low voltage control dimming

Mounting
 WM Wall Mount

Diffuser
 WA White Acrylic

Metal Finish
 TBDPC To Be Determined Powder Coat

Relative Scale

- Fabricated and welded metal housing
- Powder coated metallic finish
- UV stable, white acrylic diffuser (Standard)
- Optional specialty diffuser materials available
- Energy efficient LED lamping
- High power factor electronic LED driver
- Wired for single circuit operation, Body Lamping
- Standard LED CCT is 3000 Kelvin - contact us for alternate color temperature availability
- Standard LED CRI is 80 - contact us for alternate CRI availability
- Incandescent lamping is Triac or ELV dimmable - consult lamp and dimmer manufacturer for compatibility.
- Standard LED dimming is 0-10v
- Optional line voltage (Triac or ELV) LED dimming is available - consult for compatibility
- Mounts to standard electrical junction box (by others)
- UL / eUL or ETL / cETL listed
- Contact Us for more lamping options.

5 Year Warranty
www.craftmetal.com/warranty

2751 N. Emerson Ave. Indianapolis, IN 46218 PH: 317-545-3252 FAX: 317-545-3288 www.craftmetal.com Revised: 2023-05-03 15:41:06 Spec Sheet ID: 4264 VN0816S-DYE-WM

RSX1 LED Area Luminaire

Catalog Number		Type	AA
Notes			

Specifications

EPA (ft²@0°): 0.57 ft² (0.05 m²)
 Length: 21.8" (55.4 cm) (SPA mount)
 Width: 13.3" (33.8 cm)
 Height: 3.0" (7.6 cm) Main Body
 7.2" (18.4 cm) Arm
 Weight: (SPA mount): 22.0 lbs (10.0 kg)

Introduction
 The new RSX1 LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID luminaires.
 The RSX1 features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.

Ordering Information EXAMPLE: RSX1 LED P4 40K R3 MVOLT SPA DDBXD

Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX1 LED	P1	30K 3000K	R2 Type 2 Wide	MVOLT (120V-277V) ¹	SPA Square pole mounting (1.0" min. 5/8" pole for 1 at 90°, 3.3" min. 5/8" pole for 2, 3, 4 at 90°)
	P2	40K 4000K	R3 Type 3 Narrow	MVOLT (120V-277V)	RPA Round pole mounting (1.2" min. dia. 1/2" pole for 2, 3, 4 at 90°, 3.0" min. dia. 1/2" pole for 1 at 90°, 2 at 180°, 3 at 120°)
	P3	50K 5000K	R5S Type 5 Short	MVOLT (277V-480V) ¹	IS Adjustable slipfitter (fits 2-3/8" OD tenon) ⁴
	P4	B4 Type 4 Wide	BKS Type 4 Short	120 ¹ 277 ¹	WSA Wall bracket ¹
			RS Type 5 Short ¹		WRASC Wall bracket with surface conduit box
	AFR90	AFR90	AFR90 Automotive Front Row Right Rotated	208 ¹ 347 ¹	AASP Adjustable 1/8" arm square pole mounting ⁴
			AFR90 Automotive Front Row Right Rotated	240 ¹ 480 ¹	AAMP Adjustable 1/8" arm round pole mounting ⁴
			AFR90 Automotive Front Row Left Rotated		AAMB Adjustable 1/8" arm with wall bracket ⁴
					ANWSC Adjustable 1/8" arm wall bracket and surface conduit box ⁴

Options

Shipped Installed	Shipped Separately (requires some field assembly)	Finish
HS House-side shield ¹	EGS External glare shield ¹	DBRZD Dark Bronze
PE Photocell, button style ¹	EGV External glare full view (360° around light aperture) ¹	DBLXD Black
PRB Remote-wireless lock receptacle only (no controls) ^{1,2,3,4,5,6}	BS Bird spikes ⁶	DNALD Natural Aluminum
SF Single fuse (120, 277, 347) ¹		DNWHD White
DF Double fuse (208, 240, 480) ¹		DRBZD Textured Dark Bronze
SPDQKV 20kV Surge pack (100V standard)		DRBKD Textured Black
FAO Field adjustable output ⁴		DNATD Textured Natural Aluminum
DMG 0-10V dimming control (not for use with external control/control system) ⁴		DHWGD Textured White

Shipped Separately (requires some field assembly)

- Standard and Networked Sensors/Controls (factory default settings, see table page 9)
- NELIAR/PBRN Light All generation 2, with Networked, Bi-Level and Ambient sensor^{1,2,3,4,5,6}
- BAA Bus Invariant for Compliance
- CEE Coastal Construction³
- Note: NELIAR/PBRN with Light Air can be used as a standalone or networked solution. Sensor coverage pattern is affected when luminaire is tilted.

LITHONIA LIGHTING COMMERCIAL OUTDOOR
 One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.acuitybrands.com
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Chavez Tiffany & Ayers
 Engineering Corporation
 611 North Nevada Avenue
 Colorado Springs, Colorado 80903
 P (719)636-0021

OWNER / APPLICANT
 SS CONSTANTINE & HELLEN
 ORTHODOX CHURCH
 2770 N. CHESTNUT ST.
 COLORADO SPRINGS, CO 80907
 (719) 683-2700



RUNGE ARCHITECTURE
 CHARLES W. RUNGE, JR., ARCHITECT
 6515 GERMAINE CT.
 COLORADO SPRINGS, CO 80919
 PHONE: (719) 260-0039
 EMAIL: chuckrunge@comcast.net

ST. JOHN'S ORTHODOX CHURCH
 DESIGN DEVELOPMENT
 COST ESTIMATE
 NOT FOR CONSTRUCTION
 7530 MOHAWK RD.
 COLORADO SPRINGS, CO

REVISIONS:

FIXTURE SPEC SHEETS

JOB NUMBER: 2305
 DATE: 5/5/23
 REVISION:
 SHEET NUMBER: 2 of 2
 PAGE: DP-2



September 7, 2023

PCD File No. PPR2255

**LETTER OF INTENT
LOT 4, BLOCK 2, PAWNEE RANCHEROS
SITE DEVELOPMENT PLAN
(MVE Project No. 61200)**

Owner / Applicant:

SS Constantine & Helen Orthodox Church
2770 N. Chestnut St.
Colorado Springs, CO 80807
(719) 683-2700

Consultant:

M.V.E., Inc.
1903 Lelaray Street, Suite 200
Colorado Springs, CO 80909
(719) 635-5736

Site Location Size and Zoning:

The St. John the Baptist Orthodox Church site in Lot 4, Block 2, Pawnee Rancheros Filing No. 1 is within the east half of the southeast quarter of Section 4, Township 14 South, Range 63 West of the 6th Principal Meridian, El Paso County, Colorado. The site is 4.79± acres in area and has a tax schedule number of 53040 05 008 (7530 Mohawk Road). The site is located north of East Woodmen Road and west of Mohawk Road in El Paso County. The site is zoned Agricultural - 35 Acres (A-35) and is vacant.

Request and Justification:

The request is for Site Development Plan approval for construction of St. John the Baptist Orthodox Church and appurtenances. The project will consist of the Church having a 3,475 square feet (S.F.) building footprint with a basement area of 3,475 S.F. along with sidewalks, parking lot, entrance drive, connected utilities, and permanent landscaping. The project also includes connecting a new potable water well, and constructing a sub-surface sewage treatment system. This application also includes a request for the approval of a landscaping plan without an irrigation system as water Well Permit does not allow for irrigation. The project as shown on the proposed Development Plan will not be phased and there are currently no plans for future expansion.

Access

There will be only one access to this project which is from existing public Mohawk Road. Mohawk Road is an existing paved asphalt road within a sixty foot right-of-way owned and maintained by El Paso County.

***Engineers • Surveyors
1903 Lelaray Street, Suite 200 • Colorado Springs, CO 80909 • Phone 719-635-5736
Fax 719-635-5450 • e-mail mve@mvecivil.com***

Parking and Traffic Generation

The calculated occupant load is 133. The required parking for this project is 4 seats per space plus the required accessible spaces. Therefore the number of required spaces equals thirty three (33) standard spaces plus two (2) accessible spaces. The plan provides 34 standard spaces and 2 accessible spaces for a total of 36 parking spaces. A Traffic Memo has been prepared and submitted for this project containing a traffic generation analysis. The site-generated traffic is expected to create no negative impact to traffic or surrounding roadway network and proposed site access, nor at the Mohawk Road intersection with Woodmen Frontage Road. Analysis of site-generated traffic concludes that the proposed development traffic volumes are minor.

Traffic Impact Fees:

This development is subject to fees established by the El Paso County Road Impact Fee Program per El Paso County Resolution Number 19-471. The owners are not included in a Public Improvements District. Traffic Impact Fees will be paid at time of building permit.

ADA Requirements

The site is provided with the required number ADA parking spaces. All proposed dimensions and slopes for new building access ways have been examined and are deemed compliant with the Department of Justice 2010 ADA Standards for Accessible Design.

Landscape Plan

A Landscape Plan is provided for the site with a minimum amount of trees, shrubs and grasses as the Well Permit for the site does not dedicate irrigation water for landscaping. The Landscape Plan is included in the Site Development Plan drawing set. The Landscape Plan meets the specific requirements of Section 6.2.2. of the El Paso County LDC with the requested Alternative Landscape Plan provisions, the proposed landscaping meets the purposes of Section 6.2.2. of the LDC, promotes the concepts contained in the Landscape and Water Conservation Manual, and provides an equivalent benefit to the community and environment as would otherwise be achieved by meeting the specified LDC requirements.

The Landscape Plan includes three Alternative Landscape Plan Requests which are: 1) Because the proposed church development will disturb less than 2 acres of the 5 acre site (actually less than 1.0 acre), it is requested that the street frontage requirements be based on the lengths of the limit of disturbance area rather than the entire street frontages. The alternative plan will provide the desired screening from the existing roadways while still adding new planting along the project area that will compliment the church site; 2) Because the proposed church development will disturb less than 2 acres of the 5 acre site (actually less than 1.0 acre), it is requested that the internal landscaping requirements be based on the limit of disturbance area rather than the entire property. The requested alternative will meet the intent of the landscaping code for providing internal landscaping, but will take into consideration the large portion of the lot that is not being developed with this project; and 3) Because the proposed church development is 185' away from the west boundary and 140' from the north boundary, it is requested that the buffer tree requirement along these boundaries be waived along with the required 6' opaque fence. The extended distances provides spacial separation and the topographic relief also creates the screening buffers intended in the code.

Grading/Erosion Control/Storm Drainage

Portions of the site shall be graded to accept the new improvements and to tie into the existing grades along the edge of disturbance/construction. The area of disturbance for the construction on the site is less than one (1) acre at 43,130 sf and therefore permanent water quality measures are not required. A Final Drainage Report and Grading and Erosion Control Plan has been prepared as part of the submittal material for this application. The development of this site shall be in conformance with the Final Drainage Report and the Grading and Erosion Control Plan.

Water, Sanitary Sewer, Electric and Gas Utilities

The new site potable water well is private will provide water for the Church. The Onsite Wastewater Treatment System (OWTS) is private and will serve the treatment needs of the Church. Mountain View Electric Association serves the site with electricity service. The City of Colorado Springs Utilities will provide the site with natural gas. Construction Documents for the proposed buildings will be reviewed by Pikes Peak Regional Regional Building Department and utility organizations. Internal water supply is provided through said private well.

Fire Protection

Fire Protection is provided by Falcon Fire Protection District. This plan has been received by the Falcon Fire Department. City of Colorado Springs water mains with fire hydrants exist adjacent to the site on Woodmen Frontage Road. Construction Documents for the proposed buildings will be reviewed by Pikes Peak Regional Building Department and the Fire District.

Site Lighting and Signage

New signage is being proposed for the site at the southeast corner and will be acquired through a separate submittal and permit. New lighting is being added to the site and the Site Development Plan set includes a photometric plan.

Existing and Proposed Public Facilities

The site requires no new public facilities or public improvements.