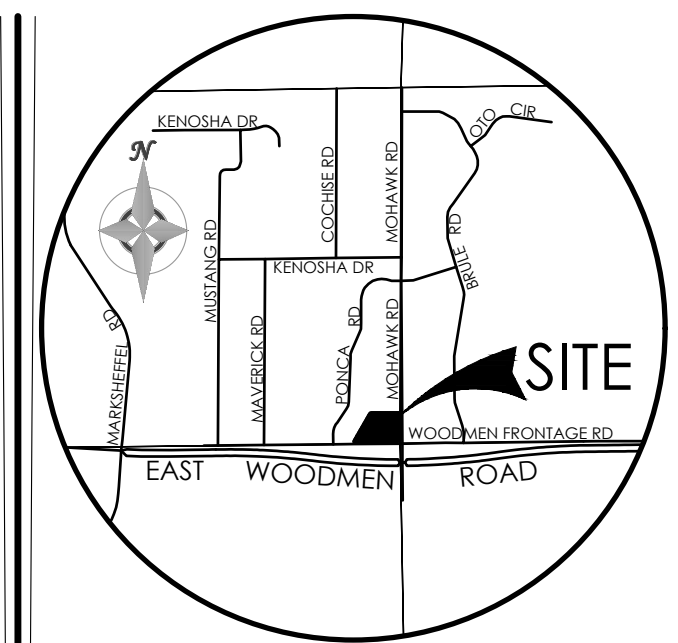


# SITE DEVELOPMENT PLAN

FOR

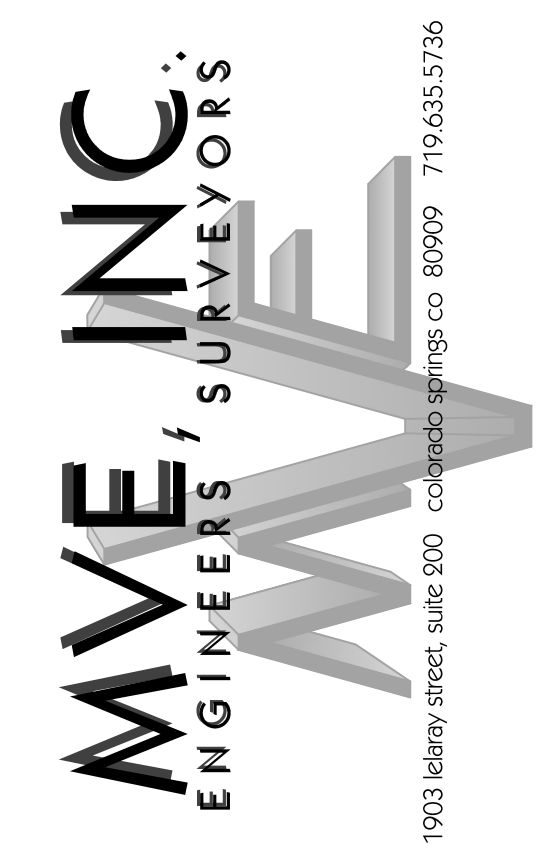
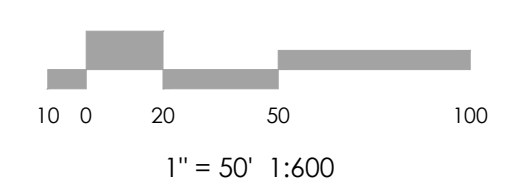
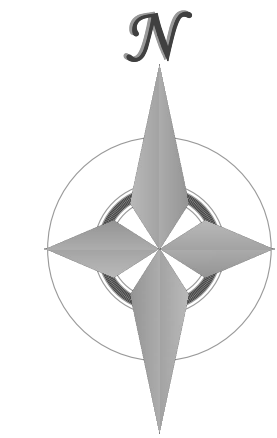
## ST. JOHN THE BAPTIST ORTHODOX CHURCH

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
EL PASO COUNTY, COLORADO



VICINITY MAP  
NOT TO SCALE

BENCHMARK



REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

ST. JOHN THE BAPTIST  
ORTHODOX CHURCH

SITE DEVELOPMENT  
PLAN  
COVER SHEET

SDP-1 MVE PROJECT 61200  
MVE DRAWING SP-CS

October 16, 2023  
SHEET 1 OF 3

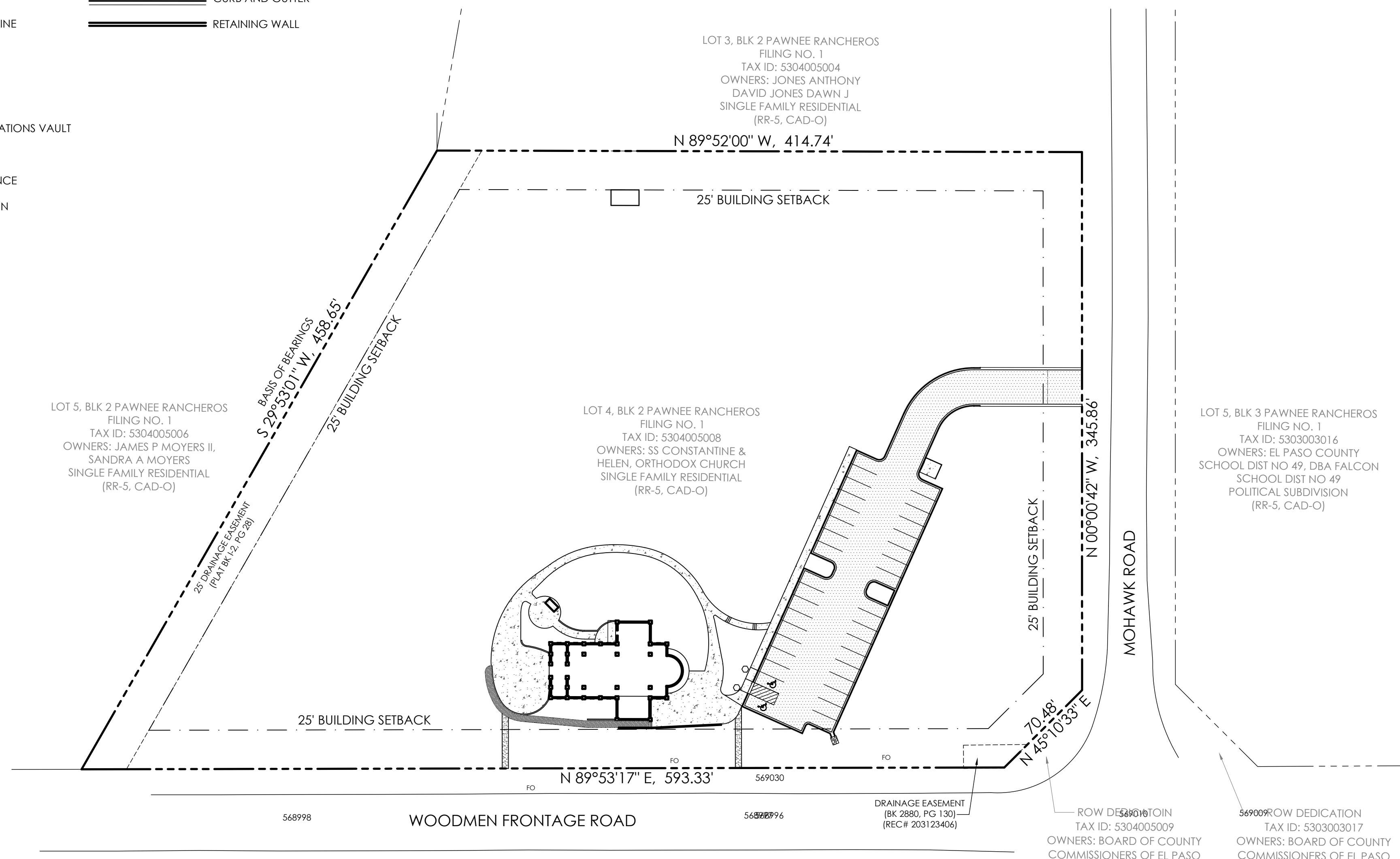
### LEGEND

- |       |                        |
|-------|------------------------|
| ----- | PROPERTY LINE          |
| ----- | EASEMENT LINE          |
| ----- | LOT LINE               |
| ----- | BUILDING SETBACK LINE  |
| ----- | ADJACENT PROPERTY LINE |
- 
- |                 |                          |
|-----------------|--------------------------|
| <b>EXISTING</b> |                          |
| -----5985-----  | INDEX CONTOUR            |
| -----84-----    | INTERMEDIATE CONTOUR     |
| ○               | SIGN                     |
| —W—W—           | WATER LINE               |
| —W X—W—         | WATER VALVE              |
| —W—W—A          | FIRE HYDRANT             |
| —○—○—           | OVEHEAD ELEC LINE        |
| —○—○—           | ELECTRIC POLE            |
| —○—○—           | GAS LINE                 |
| —○—○—           | FIBER OPTIC LINE         |
| —○—○—           | TELECOMMUNICATIONS VAULT |
| —x—x—           | GAS LINE                 |
| —g—g—           | BARBED WIRE FENCE        |
| —○—             | REGULATORY SIGN          |

- |                 |                      |
|-----------------|----------------------|
| <b>PROPOSED</b> |                      |
| -----5985-----  | INDEX CONTOUR        |
| -----84-----    | INTERMEDIATE CONTOUR |
| [Pattern]       | CONCRETE AREA        |
| [Pattern]       | ASPHALT AREA         |
| [Pattern]       | BREEZE PATHWAY AREA  |
| [Pattern]       | CURB AND GUTTER      |
| [Pattern]       | RETAINING WALL       |

### ABBREVIATION LEGEND

- |           |                  |
|-----------|------------------|
| ASPH      | ASPHALT          |
| CONC      | CONCRETE         |
| C & G     | CURB & GUTTER    |
| DET.      | DETAIL           |
| ESMT      | EASEMENT         |
| ME        | MATCH EXISTING   |
| P.B., PG. | PLAT BOOK, PAGE  |
| PVMT      | PAVEMENT         |
| RET. WALL | RETAINING WALL   |
| REC. NO.  | RECEPTION NUMBER |
| ROW       | RIGHT-OF-WAY     |
| SF        | SQUARE FOOT      |
| STBK      | SETBACK          |
| SW        | SIDEWALK         |
| UTIL      | UTILITY          |
| ⊙         | CATCH CURB       |
| ⊙         | SPILL CURB       |



SITE LOCATION MAP  
1" = 50'  
(SEE SITE PLAN ON PAGE 2 OF 3 FOR SITE DETAILS)

### SITE DATA

- OWNER**  
SS CONSTANTINE & HELEN ORTHODOX  
CHURCH  
2770 N. CHESTNUT ST.  
COLORADO SPRINGS, CO 80807  
(719) 683-2700
- CONSULTANT/ENGINEER**  
M.V.E., INC.  
1903 LELARAY STREET, SUITE 200  
COLORADO SPRINGS, CO 80909  
(719) 635-5736
- ARCHITECT**  
RUNGE ARCHITECTURE  
5315 GERMAINE CT.  
COLORADO SPRINGS, CO 80909  
(719) 260-0039
- SURVEYOR**  
ALESSI AND ASSOCIATES, INC.  
2989 BROADMOOR VALLEY ROAD  
SUITE C  
COLORADO SPRINGS, CO 80906  
(719) 540-8832
- ZONING**  
RURAL RESIDENTIAL- 5 ACRES (RR-5)  
COMMERCIAL AIRPORT OVERLAY DISTRICT  
(CAD-O)
- BUILDING USE**  
RELIGIOUS PURPOSES
- CONSTRUCTION SCHEDULE**  
START: SUMMER 2023  
FINISH: FALL 2024
- TAX SCHEDULE NO.**  
5304005008
- PROPERTY ADDRESS**  
7530 MOHAWK RD
- COVERAGE DATA**
- |                          |            |                       |
|--------------------------|------------|-----------------------|
| CHURCH:                  | 3,439 SF   | 1.6%                  |
| PAVEMENT (PARKING/WALK): | 21,282 SF  | 10.2%                 |
| LANDSCAPING :            | 18,506 SF  | 8.9%                  |
| UNDISTURBED AREA         | 165,306 SF | 79.3%                 |
| TOTAL AREA:              | 208,533 SF | 100.0% = 4.787± ACRES |
- PARKING SCHEDULE**
- REQUIRED:  
OCCUPANT LOAD = 133  
1 SPACE PER 4 SEATS = 33 SPACES  
ACCESSIBLE ADA SPACES = 2  
TOTAL SPACES REQUIRED = 35
- PROVIDED:  
STANDARD SPACES = 34  
VAN ACCESSIBLE ADA SPACES = 2  
TOTAL SPACES PROVIDED = 36
- BUILDING TYPE**
- BUILDING AREA - 6,950 SF  
TWO STORY - TYPE V-B  
NON - SPRINKLED (NS)
- BUILDING HEIGHT**
- MAXIMUM BUILDING HEIGHT = 40'-0"  
ACTUAL BUILDING HEIGHT = 36'-4"
- SETBACKS**  
25' FRONT  
25' SIDE  
25' REAR

- DEVELOPMENT NOTES**
- NO DOMESTIC WATER OR SEWER SERVICE PROVIDED. WELL AND SEPTIC TO BE INSTALLED
  - NATURAL GAS SERVICE PROVIDED BY BLACK HILLS ENERGY DISTRICT.
  - ELECTRIC SERVICE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION DISTRICT.
  - FIRE SERVICE PROVIDED BY FALCON FIRE PROTECTION DISTRICT.

**LAND DESCRIPTION**

LOT 4, BLOCK 2, PAWNEE RANCHEROS, FILING NO. 1 AS RECORDED UNDER PLAT IN PLAT BOOK I-2 AT PAGE 28 OF THE RECORDS OF EL PASO COUNTY, COLORADO, EXCEPT THAT PORTION DESCRIBED IN WARRANTY DEED RECORDED JUNE 4, 2003 UNDER RECEPTION NO. 203123405, COUNTY OF EL PASO, STATE OF COLORADO.

### SHEET INDEX

- SITE DEVELOPMENT PLAN
- |       |              |
|-------|--------------|
| SDP-1 | COVER SHEET  |
| SDP-2 | SITE PLAN    |
| SDP-3 | SITE DETAILS |

- ADDITIONAL PLANS NOT IN THIS SET
- |        |                         |
|--------|-------------------------|
| DP1    | PHOTOMETRIC PLAN        |
| DP2    | PHOTOMETRIC DETAILS     |
| L1     | FINAL LANDSCAPE PLAN    |
| L2     | FINAL LANDSCAPE DETAILS |
| 1 OF 2 | MAIN FLOOR PLAN         |
| 2 OF 2 | BASEMENT FLOOR PLAN     |
| 1 OF 1 | EXTERIOR ELEVATIONS     |

### ADA NOTE

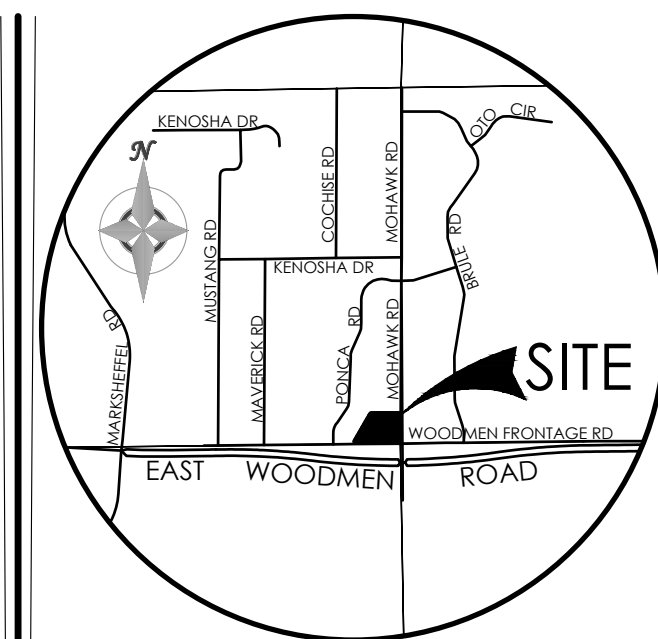
THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

### FLOODPLAIN STATEMENT

NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0533G, EFFECTIVE DECEMBER 7, 2018.

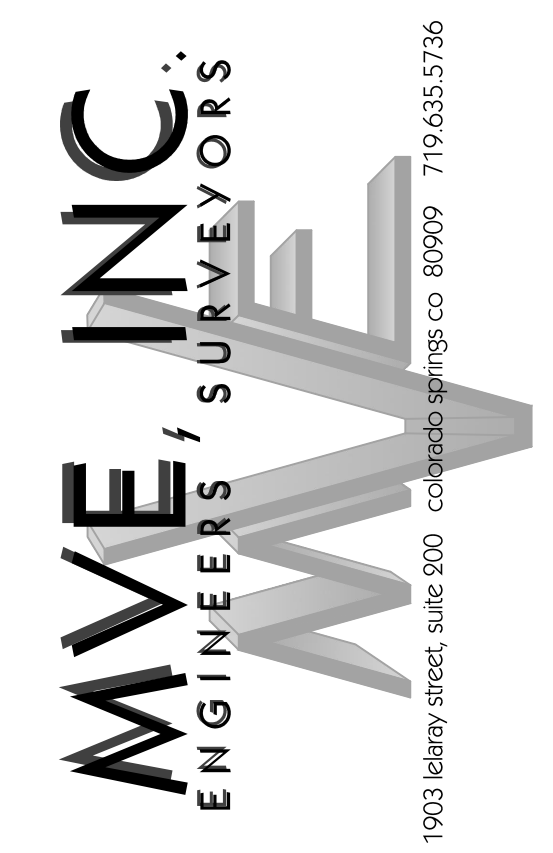
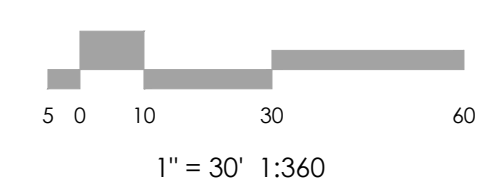
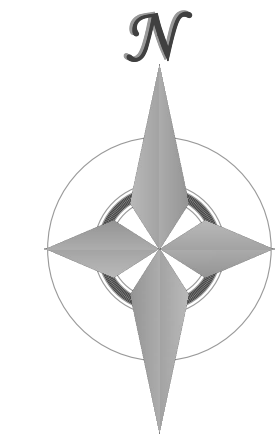
### MAP NOTES

- BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO A LINE BEGINNING AT THE MOST SOUTHWEST CORNER OF LOT 4, BLOCK 2, PAWNEE RANCHEROS FILING NO. 1 WITH BEARING N 29°53'01" E, OF THE PUBLIC RECORDS OF EL PASO COUNTY, COLORADO.
- THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY ALESSI AND ASSOCIATES, INC.
- ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.



VICINITY MAP  
NOT TO SCALE

BENCHMARK



REVISIONS

DESIGNED BY  
DRAWN BY  
CHECKED BY  
AS-BUILTS BY  
CHECKED BY

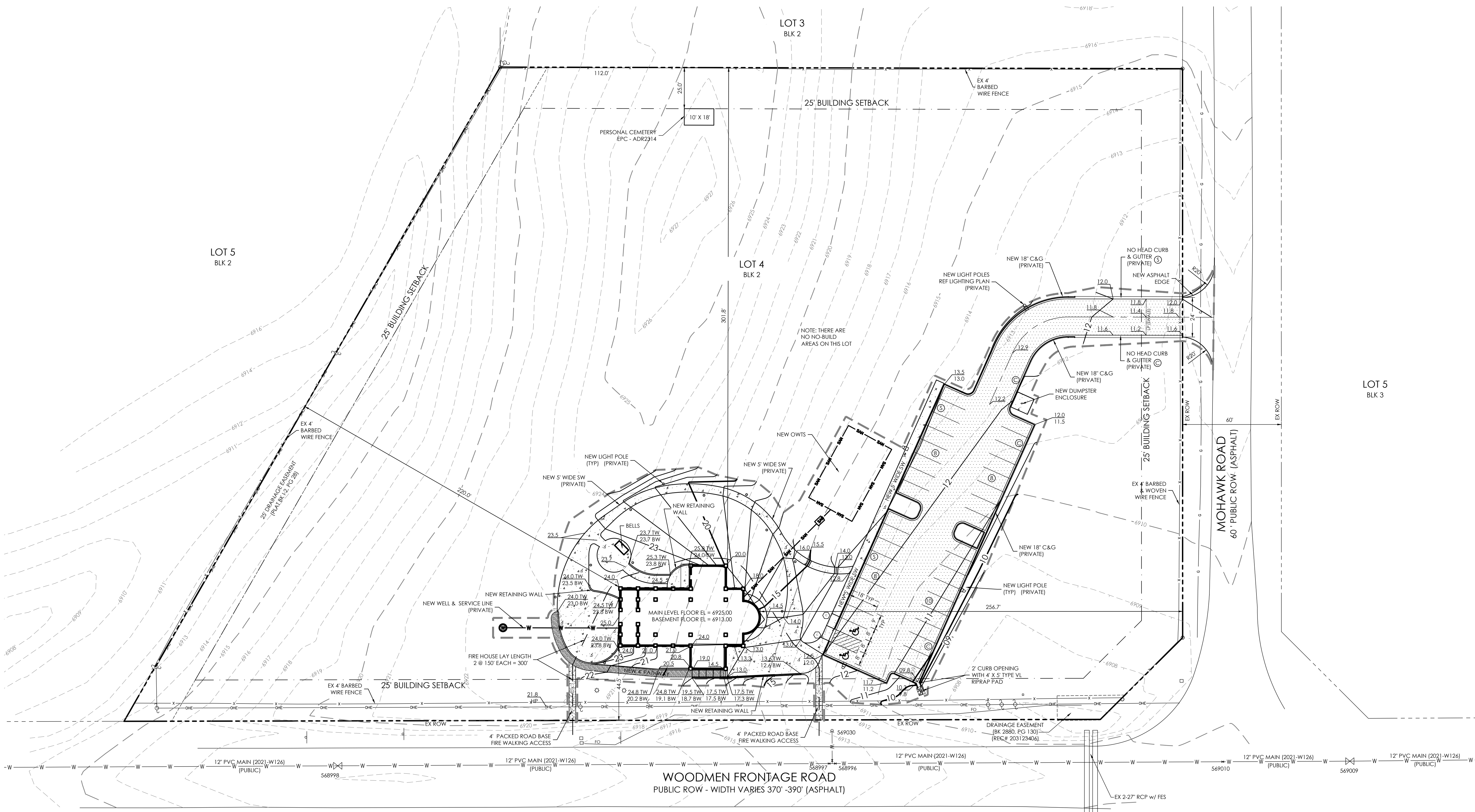
ST. JOHN THE BAPTIST  
ORTHODOX CHURCH

SITE DEVELOPMENT  
PLAN  
SITE PLAN

SDP-2 MVE PROJECT 61200  
MVE DRAWING SP-SP

October 16, 2023  
SHEET 2 OF 3

PPR 2255



**EXISTING**

--- 5985 ---	INDEX CONTOUR
--- 84 ---	INTERMEDIATE CONTOUR
○	SIGN
— W —	WATER LINE
— W X —	WATER VALVE
— W —	FIRE HYDRANT
— O E —	OVERHEAD ELEC LINE
— ○ —	ELECTRIC POLE
— G —	GAS LINE
— FO —	FIBER OPTIC LINE
— TV —	TELECOMMUNICATIONS VAULT
— X —	GAS LINE
— G —	BARBED WIRE FENCE
— ○ —	REGULATORY SIGN

**PROPOSED**

--- 5985 ---	INDEX CONTOUR
--- 84 ---	INTERMEDIATE CONTOUR
■	CONCRETE AREA
■	ASPHALT AREA
■	BREEZE PATHWAY AREA
—	CURB AND GUTTER
—	RETAINING WALL

**ABBREVIATION LEGEND**

---	PROPERTY LINE
---	EASEMENT LINE
---	LOT LINE
---	BUILDING SETBACK LINE
---	ADJACENT PROPERTY LINE

**ABBREVIATION LEGEND**

ASPH	ASPHALT
CONC	CONCRETE
C & G	CURB & GUTTER
DET.	DETAIL
ESMT	EASEMENT
ME	MATCH EXISTING
P.B., PG.	PLAT BOOK, PAGE
PVMT	PAVEMENT
RET. WALL	RETAINING WALL
REC. NO.	RECEPTION NUMBER
ROW	RIGHT-OF-WAY
SF	SQUARE FOOT
STBK	SETBACK
SW	SIDEWALK
UTIL	UTILITY
⊙	CATCH CURB
⊙	SPILL CURB

**LEGEND**

WOODMEN FRONTAGE ROAD  
PUBLIC ROW - WIDTH VARIES 370' - 390' (ASPHALT)

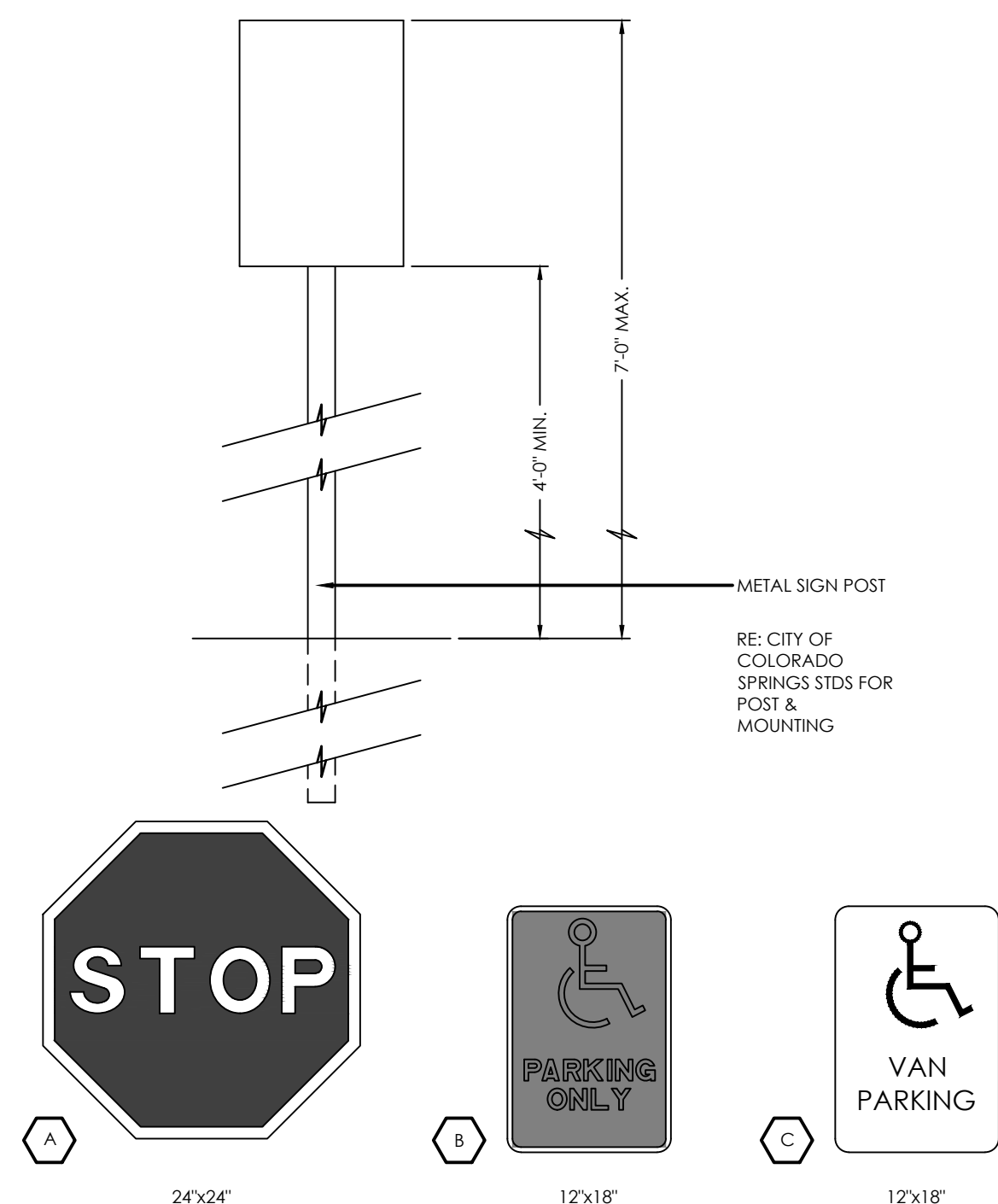
MOHAWK ROAD  
60' PUBLIC ROW (ASPHALT)

LOT 3  
BLK 2

LOT 4  
BLK 2

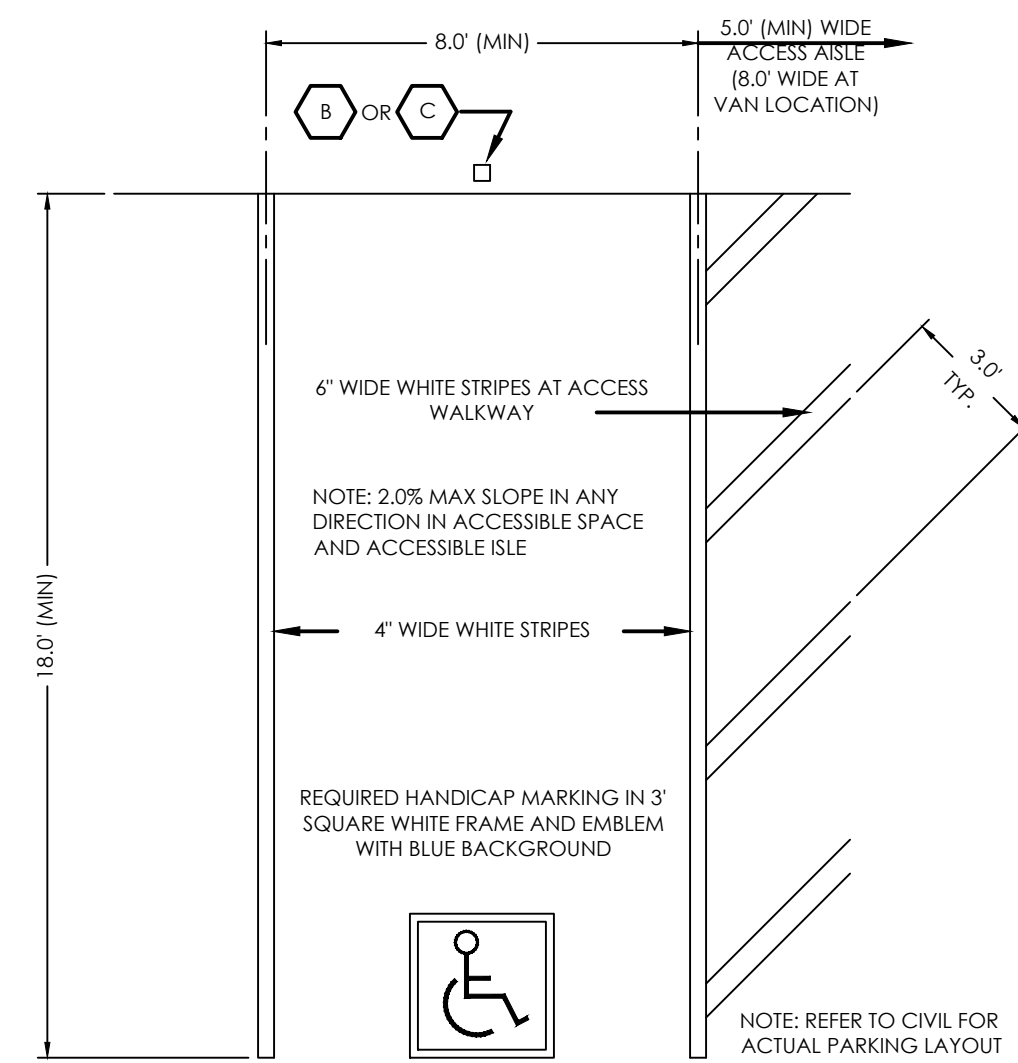
LOT 5  
BLK 3

LOT 5  
BLK 2

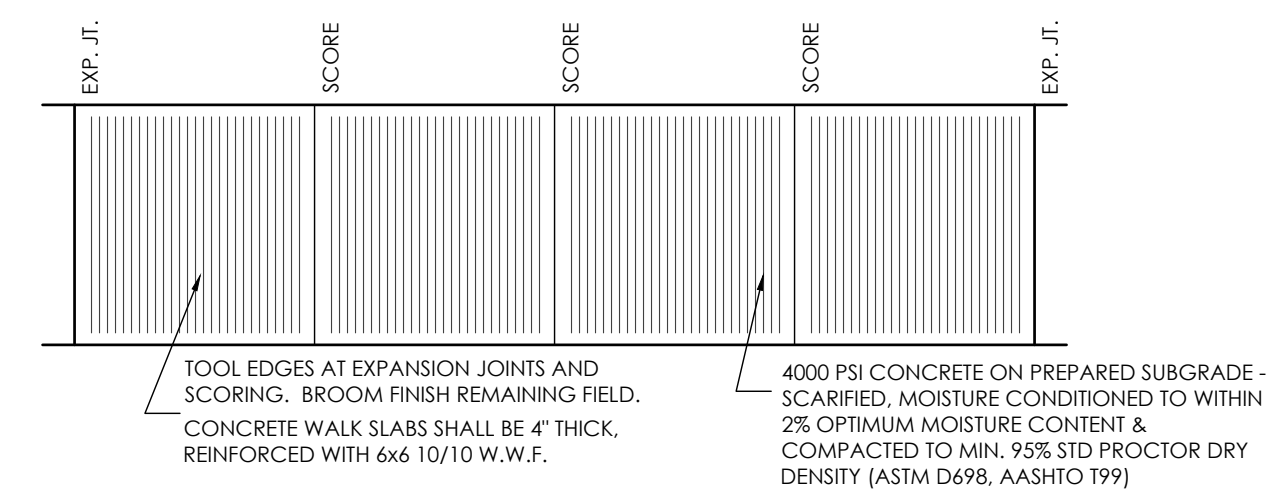


1. TYPOGRAPHY TO BE HELVETICA MEDIUM
2. NOTE: REFER TO SITE PLAN FOR LOCATIONS
3. REMOVE EXISTING SIGNS AND REUSE WHERE APPLICABLE (NOT SHOWN).
4. STOP SIGNS WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS AND THE CITY OF COLORADO SPRINGS TRAFFIC ENGINEERING STANDARDS.

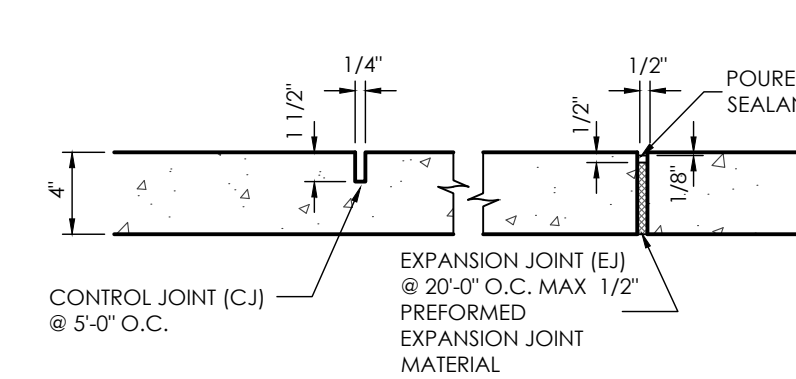
**SITE SIGNAGE**  
SCALE 1" = 1'-0"



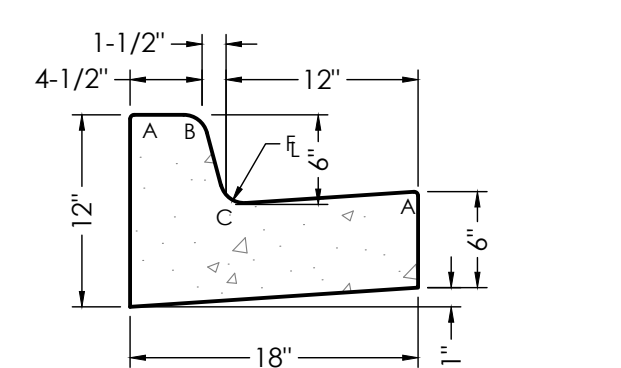
**TYPICAL HANDICAP PARKING SPACE**  
SCALE 1" = 4'-0"



**TYPICAL SIDEWALK DETAIL**  
SCALE 1" = 4'-0"



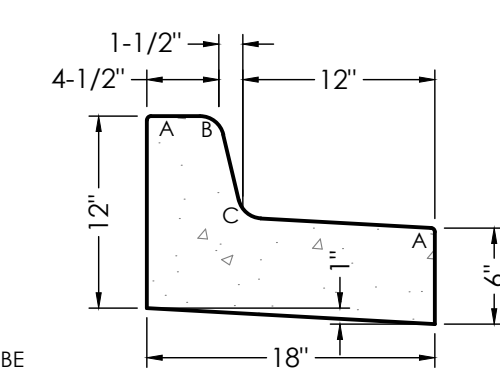
**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



**18" CATCH CURB & GUTTER**  
SCALE 1" = 1'-0"

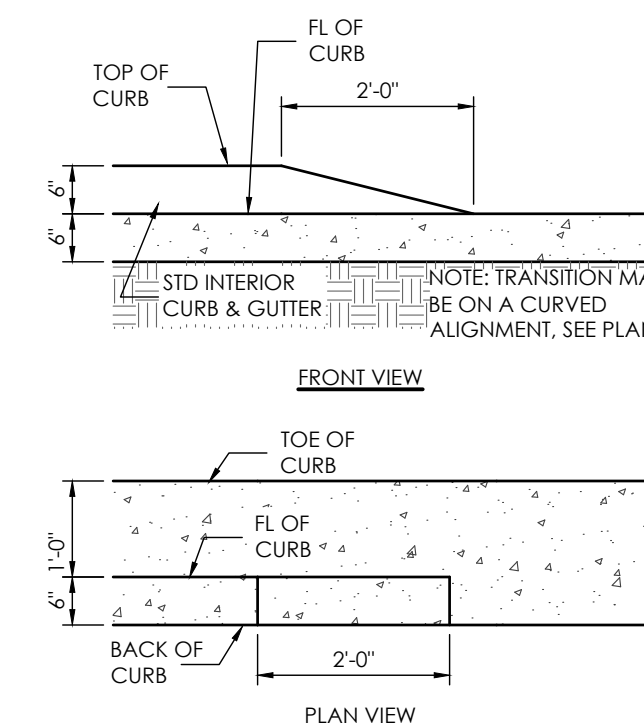
RADII	
A	1/8" TO 1/4"
B	1-1/2"
C	1-1/2" TO 2"

NOTE: CURB & GUTTER CONCRETE SHALL BE CITY OF COLORADO SPRINGS ENGINEERING DIVISION STANDARD SPECIFICATIONS.

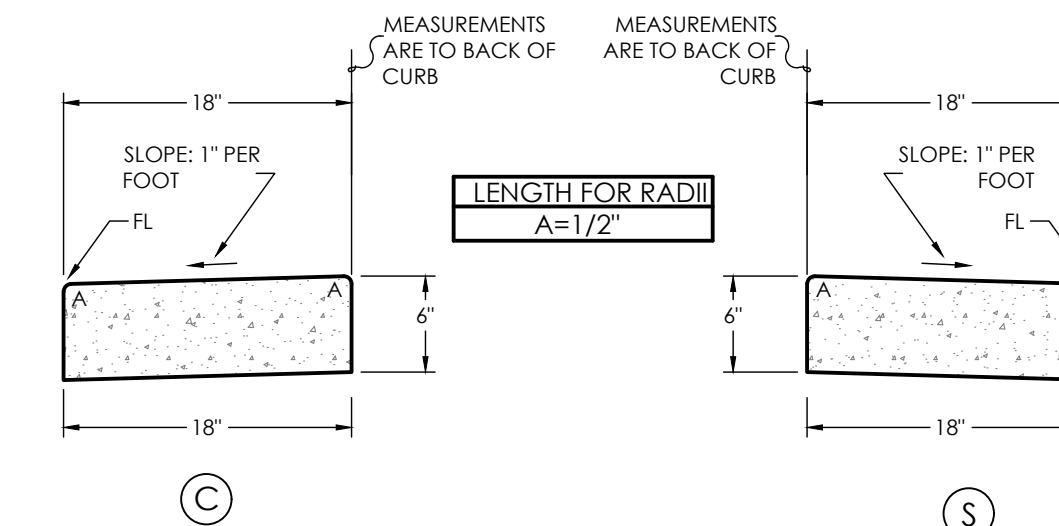


**18" SPILL CURB & GUTTER**  
SCALE 1" = 1'-0"

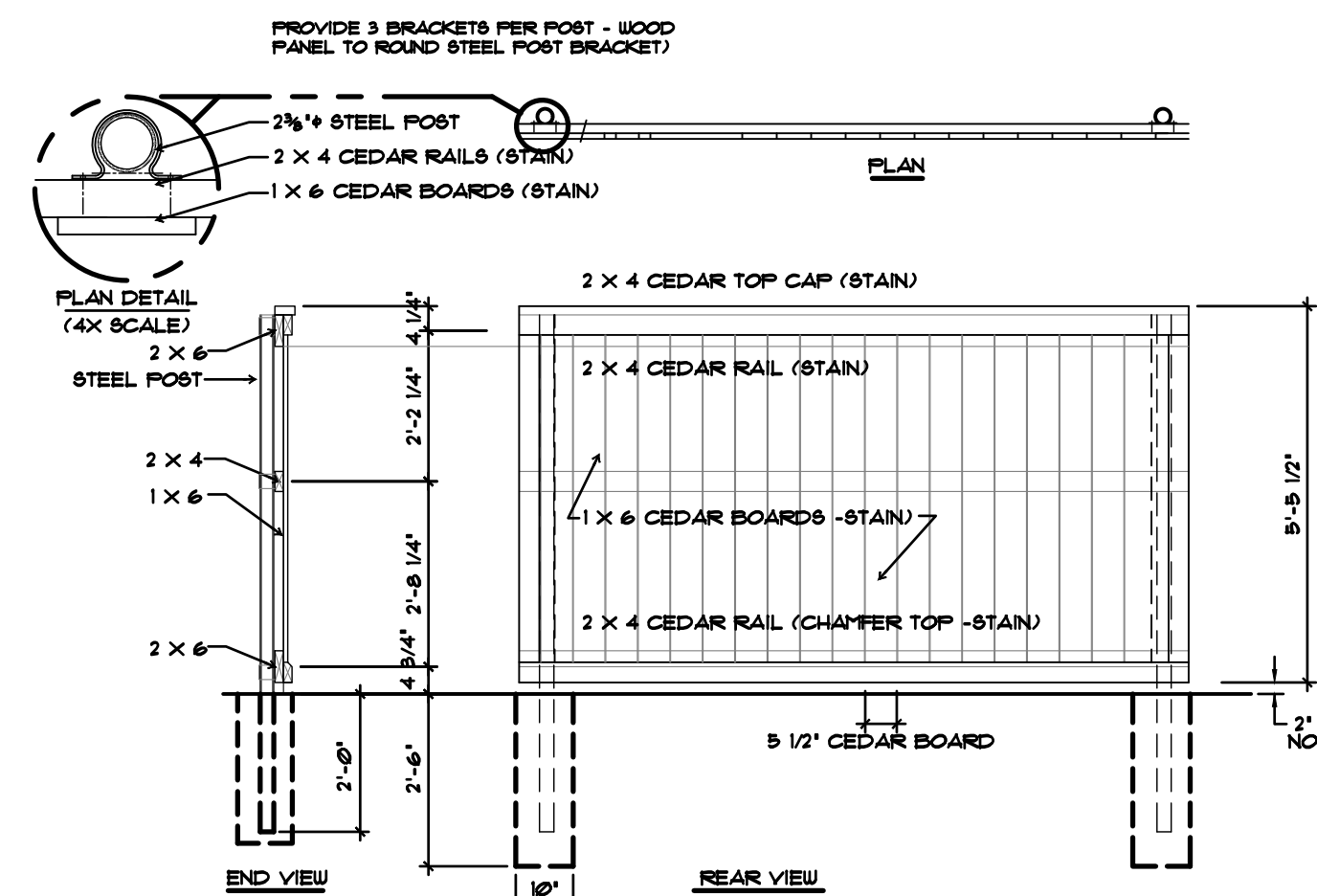
NOTE: CURB AND GUTTER SHOWN ON THESE PLANS ARE PRIVATE. NO PUBLIC (EPC) CURB AND GUTTER IS PROPOSED.



**2' CURB TRANSITION DETAIL**  
SCALE 1" = 2'-0"

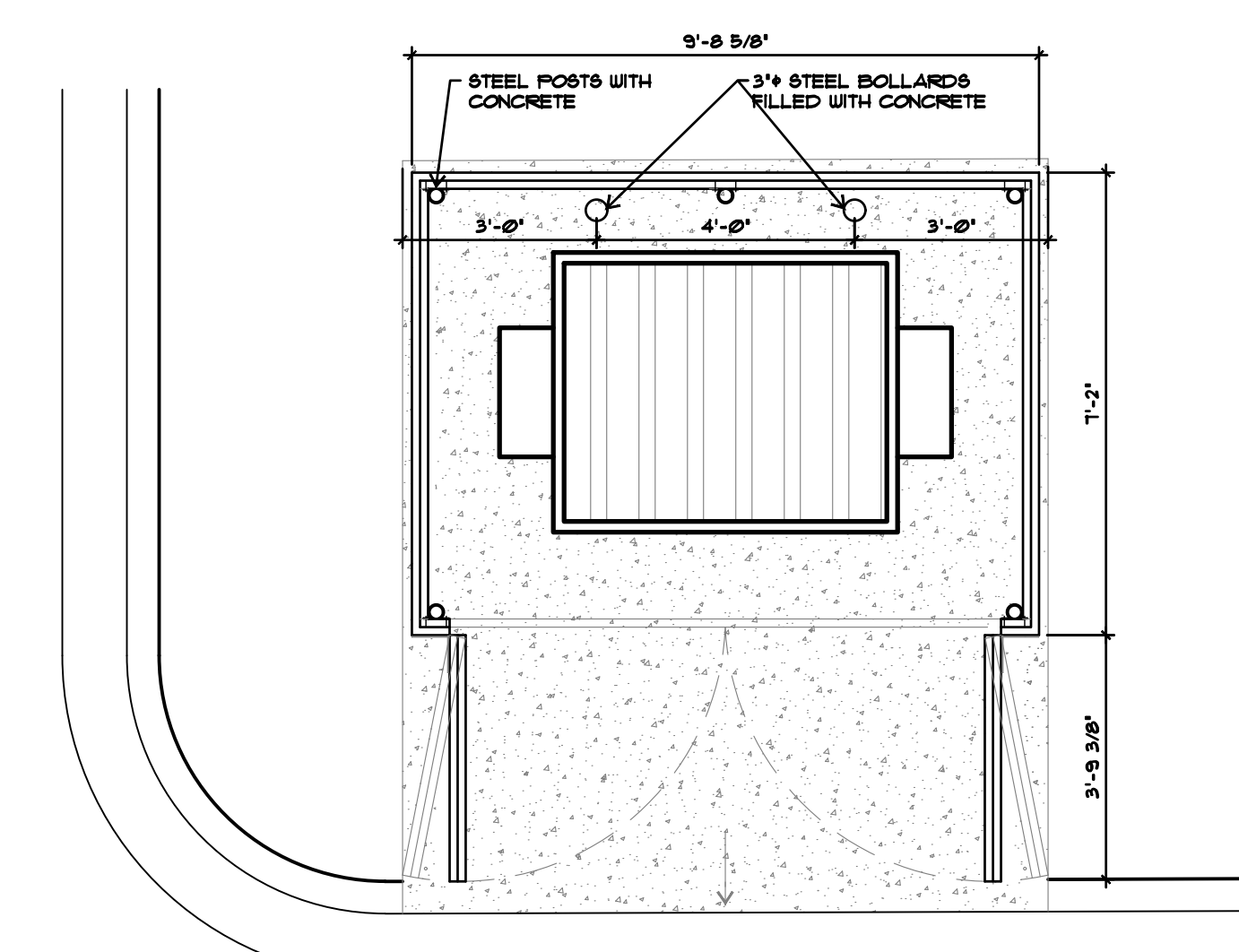


**"NO HEAD" CURB & GUTTER**  
SCALE 1" = 1'-0"

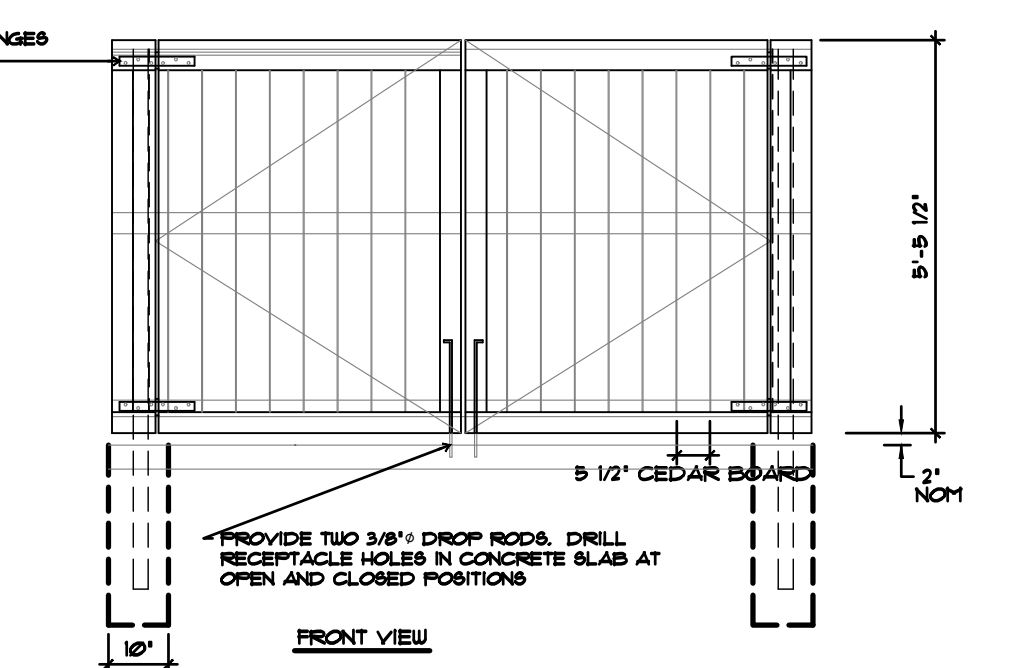


**DUMPSTER SCREEN SECTION / ELEV.**  
SCALE: 3/8" = 1'-0"

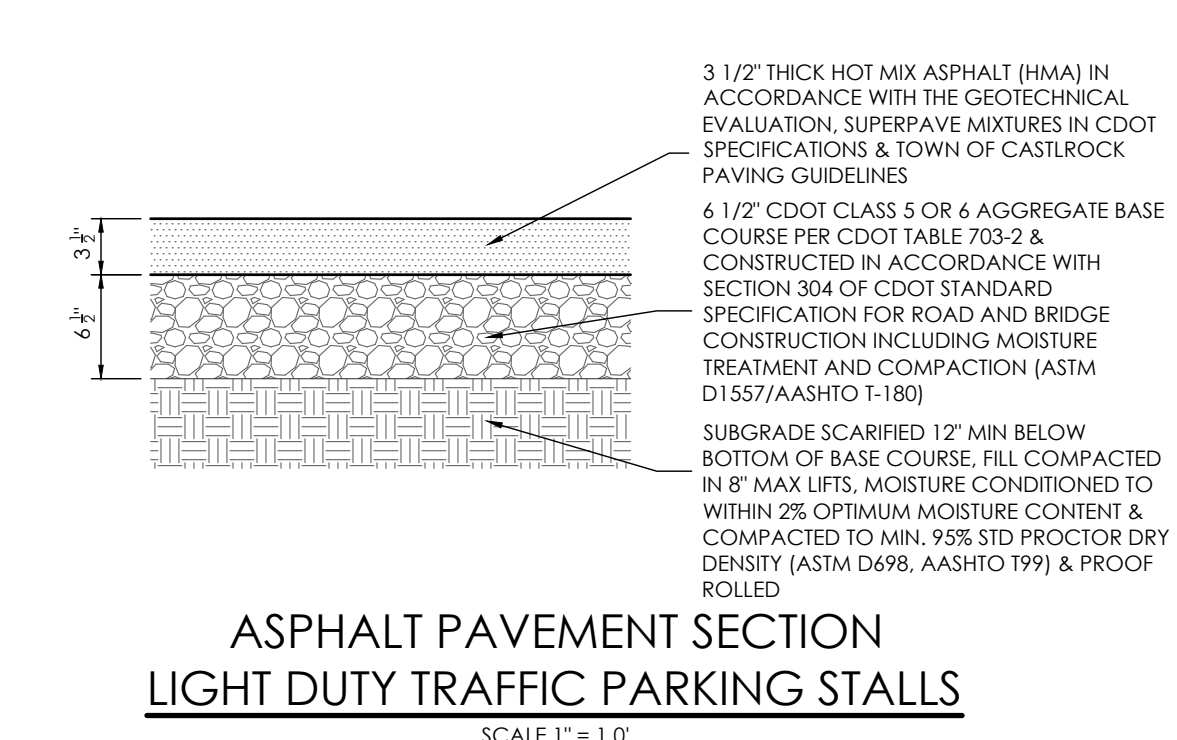
NOTE:  
-FILL STEEL POSTS WITH CONCRETE  
-FASTEN EACH RAIL END USING THREE #8 x 1-1/4" RAIL SCREWS  
-ATTACH RAILS TO CORNER POSTS USING ONE #6 CLIP PER RAIL END  
-ATTACH CEDAR BOARDS TO RAILS WITH COATED SCREWS



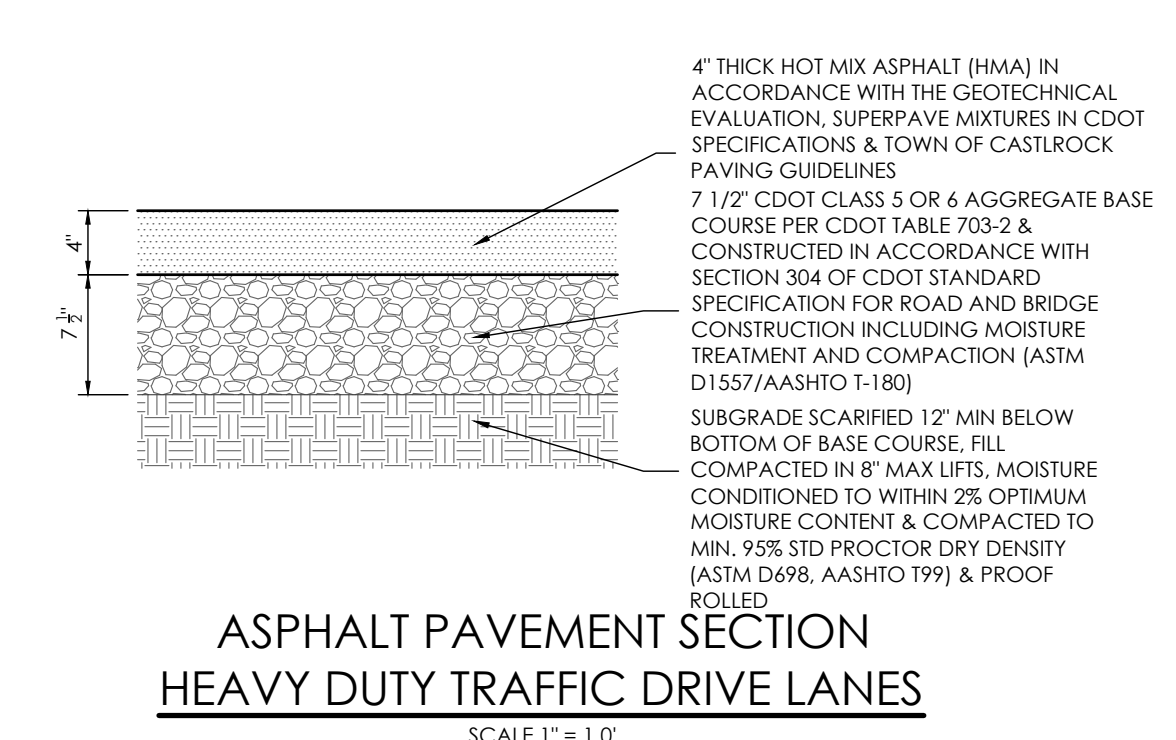
**DUMPSTER SCREEN PLAN**  
SCALE: 3/8" = 1'-0"



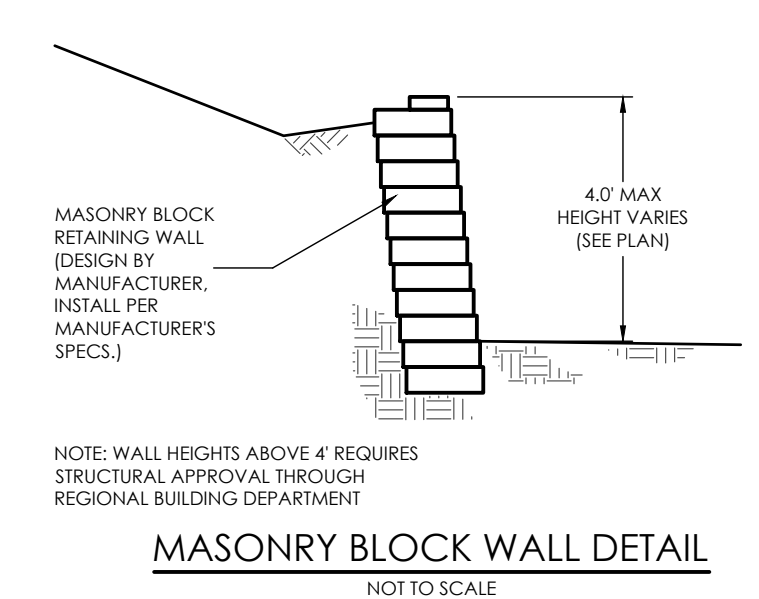
**DUMPSTER SCREEN GATE ELEV.**  
SCALE: 3/8" = 1'-0"



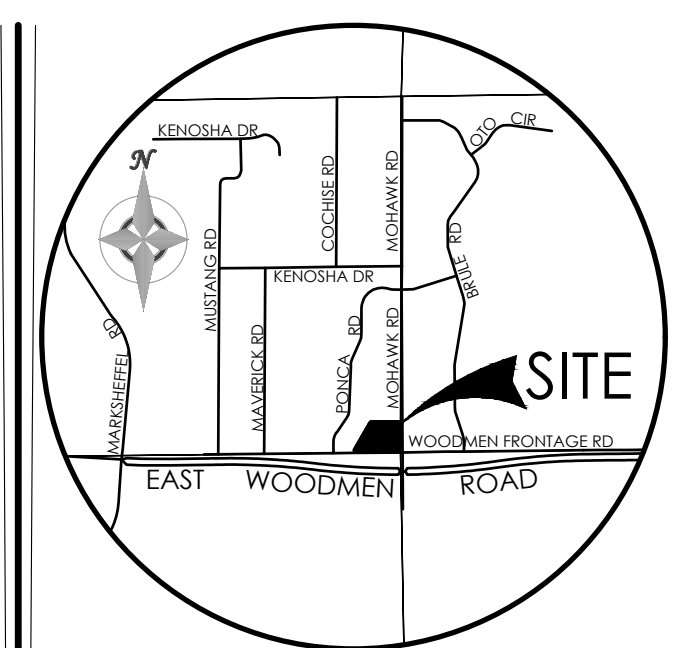
**ASPHALT PAVEMENT SECTION LIGHT DUTY TRAFFIC PARKING STALLS**  
SCALE 1" = 1'-0"



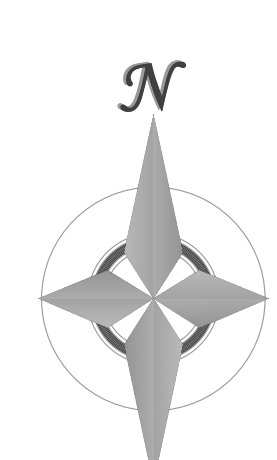
**ASPHALT PAVEMENT SECTION HEAVY DUTY TRAFFIC DRIVE LANES**  
SCALE 1" = 1'-0"



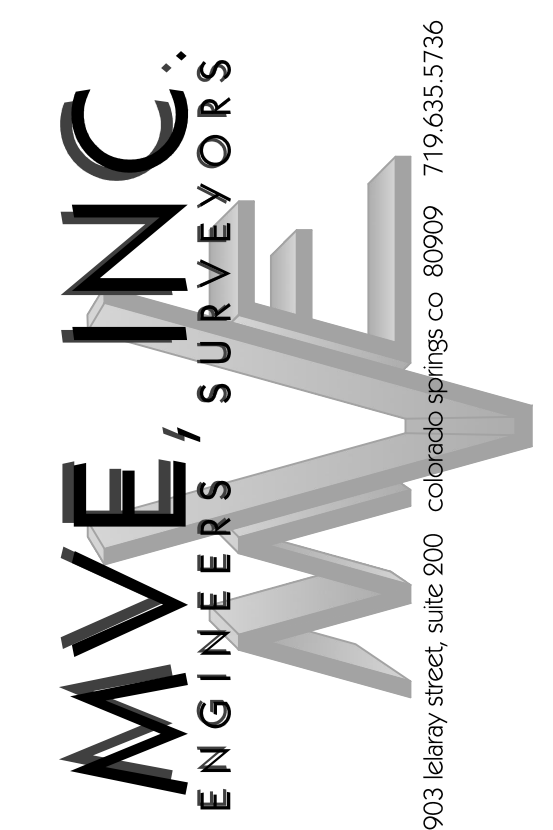
**MASONRY BLOCK WALL DETAIL**  
NOT TO SCALE



**VICINITY MAP**  
NOT TO SCALE



BENCHMARK



1903 Library Street, Suite 200 Colorado Springs, CO 80909 719.635.5726

REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

ST. JOHN THE BAPTIST  
ORTHODOX CHURCH

SITE DEVELOPMENT  
PLAN  
DETAILS SHEET

SDP-3 MVE PROJECT 61200  
MVE DRAWING SP-DS

September 8, 2023  
SHEET 3 OF 3

PPR 2255

# SITE CATEGORY CALCULATIONS

## Landscape Setbacks

Street Name or Boundary	Street Classification	Width (in Ft.) Req./Prov.	Linear Footage	Trees/Feet Required	No. of Trees Req./Prov.	Setback Plant Abbr. Denoted on Plan
Woodmen Frontage Rd.	Collector	10' / 20'	223' (Approx. developed frontage)	1 / 30'	8 / 8	(WF) (Request #1 Alternative Landscape Plan)
Mohawk Rd.	Collector	15' / 90'	257' (Approx. developed frontage)	1 / 15'	17 / 17	(MR) (Request #1 Alternative Landscape Plan)

## Parking

No. of Vehicles Spaces Provided	Shade Trees Required/Provided	Abbr. on Plan	Vehicle Lot Frontages	Length of Frontage (excluding driveways)	2/3 Length of Frontage (ft.)
36	3 / 3	(MV)	Woodmen Frontage Rd. Mohawk Rd.	36' 162'	24' 108'

Min. 3' Screening Plants Req. / Prov.	Evergreen Plants Req. (50%) / Prov.	Length of Screening Wall or Berm Provided	Vehicle Lot Plant Abbr. on Plan	Percent Ground Plane Veg. Req. / Prov.
4 / 4 18 / 18	2 / 4 9 / 9	-	(WS) (MS)	75% / 75% 75% / 75%

## Internal Landscaping

Net Site Area (SF) (less public ROW)	Percent Minimum Internal Area (%)	Internal Area (SF) Required / Provided	Internal Trees (1/500 SF) Required / Provided
43,310 s.f. (Approx. developed area)	5%	2,166 s.f. / 14,250 s.f.	5 / 5 (Request #2 Alternative Landscape Plan)

Shrub Substitutes Required / Provided	Internal Plant Abbr. Denoted on Plan
0 / 0	(IN)

## Landscape Buffer & Screens

Street Name or Property Line	Width (in Ft.) Req. / Prov.	Linear Footage	Buffer Trees (1/25) Required / Provided	Evergreen Trees Req. (1/3) / Provided
West boundary	15' / 185'	532'	21 / 0	7 / 0 (Request #3 Alternative Landscape Plan)
North boundary	15' / 140'	458'	18 / 0	6 / 0 (Request #3 Alternative Landscape Plan)

Length of 6 Ft. Opaque Structure Req. / Prov.	Buffer Tree Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
459' / 0'	-	75% / 100%
415' / 0'	-	75% / 100%

### ALTERNATIVE LANDSCAPE PLAN REQUEST #1-

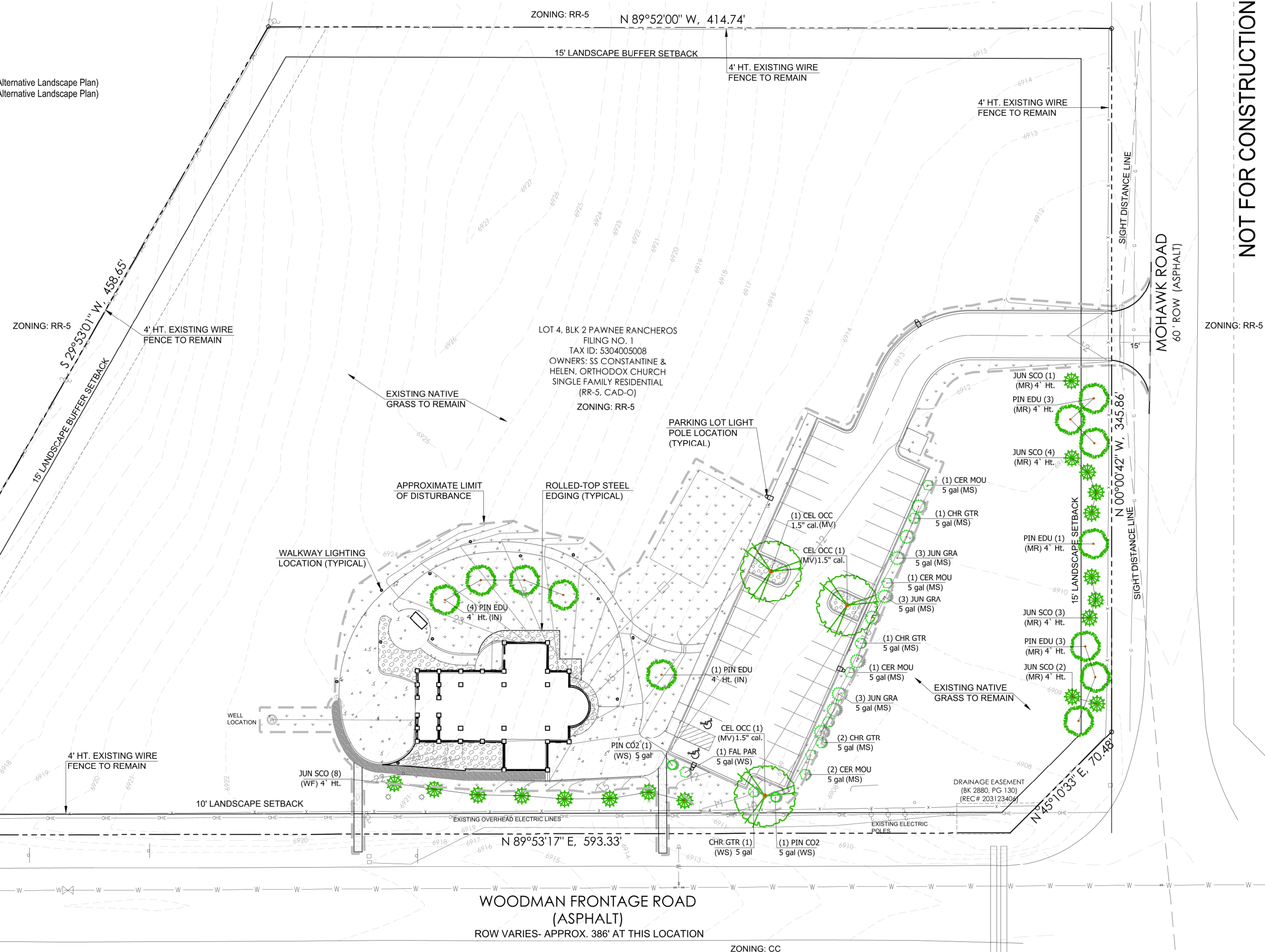
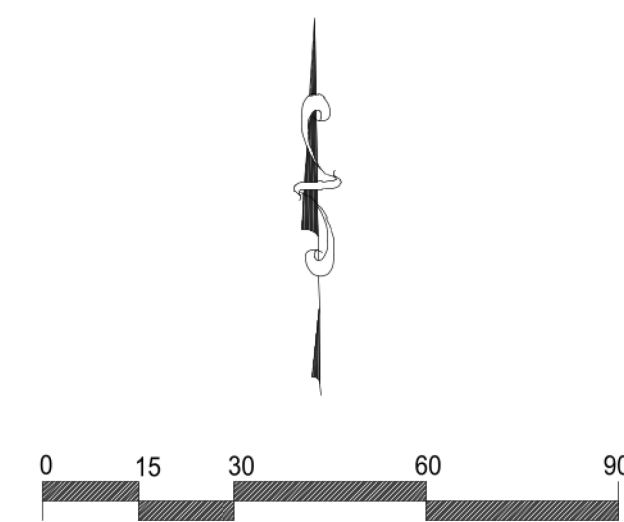
Because the proposed church development will disturb less than 2 acres of the 5 acre site it is requested that the street frontage landscape requirements be based on the lengths of the limit of disturbance area rather than the entire street frontages.

### ALTERNATIVE LANDSCAPE PLAN REQUEST #2-

Because the proposed church development will disturb less than 2 acres of the 5 acre site it is requested that the internal landscape requirements be based on the limit of disturbance area rather than the entire property.

### ALTERNATIVE LANDSCAPE PLAN REQUEST #3-

Because the proposed church development is 185' away from the west boundary and 140' from the north boundary it is requested that the buffer tree requirement along these boundaries be waived along with the required 6' opaque fence.



## PLANT SCHEDULE

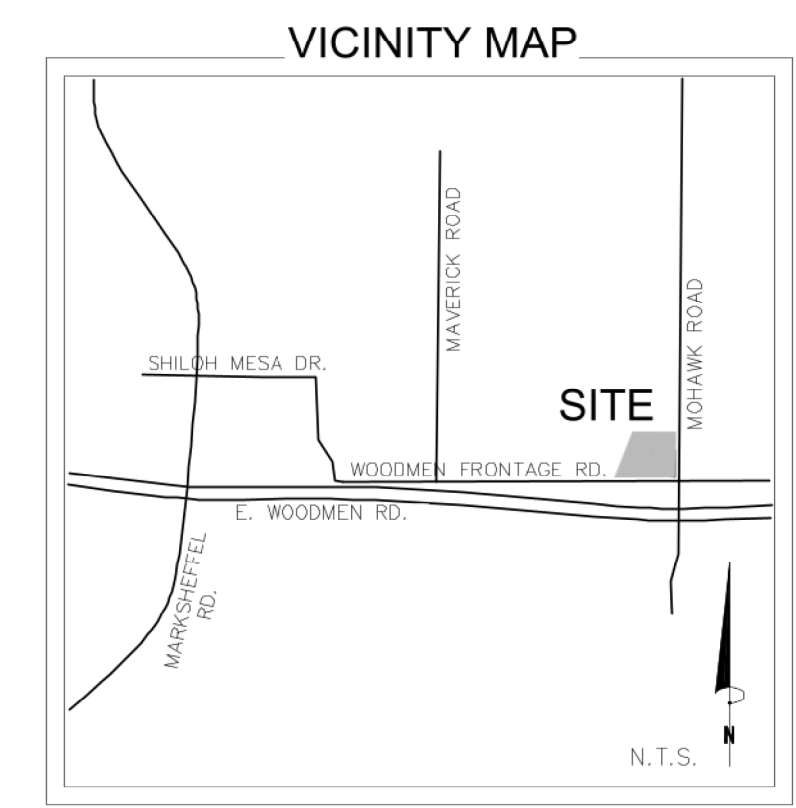
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	HEIGHT
	CEL OCC	3	Celtis occidentalis	Common Hackberry	1.5" cal.	B & B	30' to 40'
	JUN SCO	18	Juniperus scopulorum	Rocky Mountain Juniper	4' Ht.		10' to 15'
	PIN EDU	12	Pinus cembroides edulis	Pinyon Pine	4' Ht.	B & B	15' to 20'
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	HEIGHT
	CER MOU	5	Cercocarpus montanus	Mountain Mahogany	5 gal		4' to 6'
	CHR GTR	5	Chrysothamnus nauseosus graveolens	Tall Green Rabbitbrush	5 gal		4' to 5'
	FAL PAR	1	Fallugia paradoxa	Apache Plume	5 gal		3' to 5'
	JUN GRA	9	Juniperus scopulorum 'Gray Gleam'	Gray Gleam Juniper	5 gal		8' to 10'
	PIN CO2	2	Pinus mugo 'Compacta'	Dwarf Mugo Pine	5 gal		3' to 5'

## GROUND PLANE TREATMENT

SYMBOL	DESCRIPTION	QTY
	'PIONEER GRANITE', 1.5" DIAMETER, 3" DEPTH OVER LANDSCAPE FABRIC	1,955 sf
	NATIVE GRASS SEED WITH EROSION CONTROL BLANKET. ALL DISTURBED NATIVE GRASS AREAS ARE TO BE RE-SEEDED.	15,609 sf

OWNER:  
SS CONSTANTINE & HELEN  
ORTHODOX CHURCH

APPLICANT:  
RUNGE ARCHITECTURE  
5315 GERMAINE CT.  
COLORADO SPRINGS, CO 80909  
(719) 260-0039



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PROJECT FILE: st. Johns LS plan 6-21-23.dwg

# ST. JOHN'S ORTHODOX CHURCH

7530 Mohawk Road  
Colorado Springs, CO

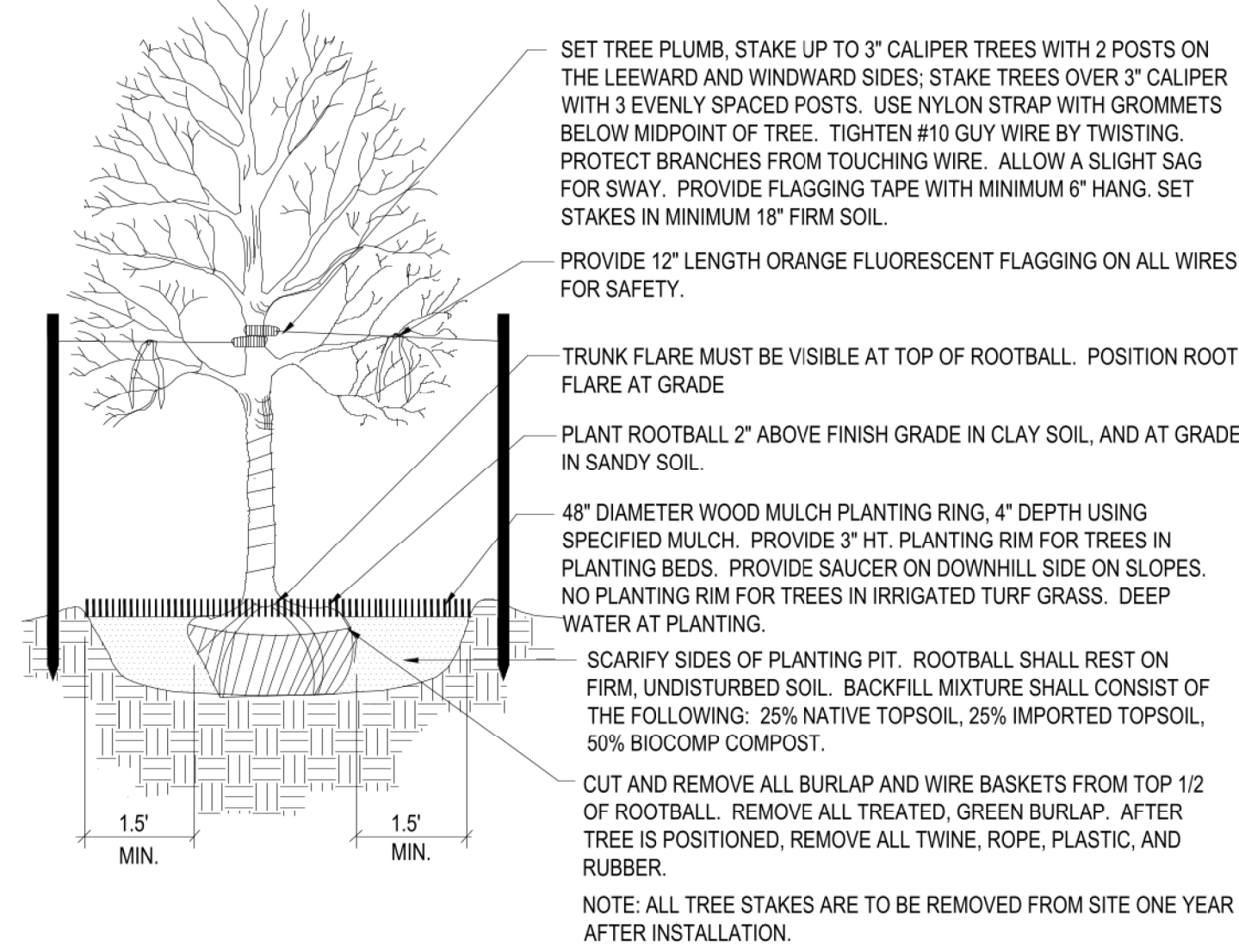
PROJECT NAME:  
PROJECT TITLE:

## ALTERNATIVE LANDSCAPE PLAN

DATE: May 15, 2023  
June 21, 2023  
REVISIONS:  
SHEET NO. L1  
STAMP:  
SHEET TITLE:  
DATE:  
REVISIONS:  
STAMP:

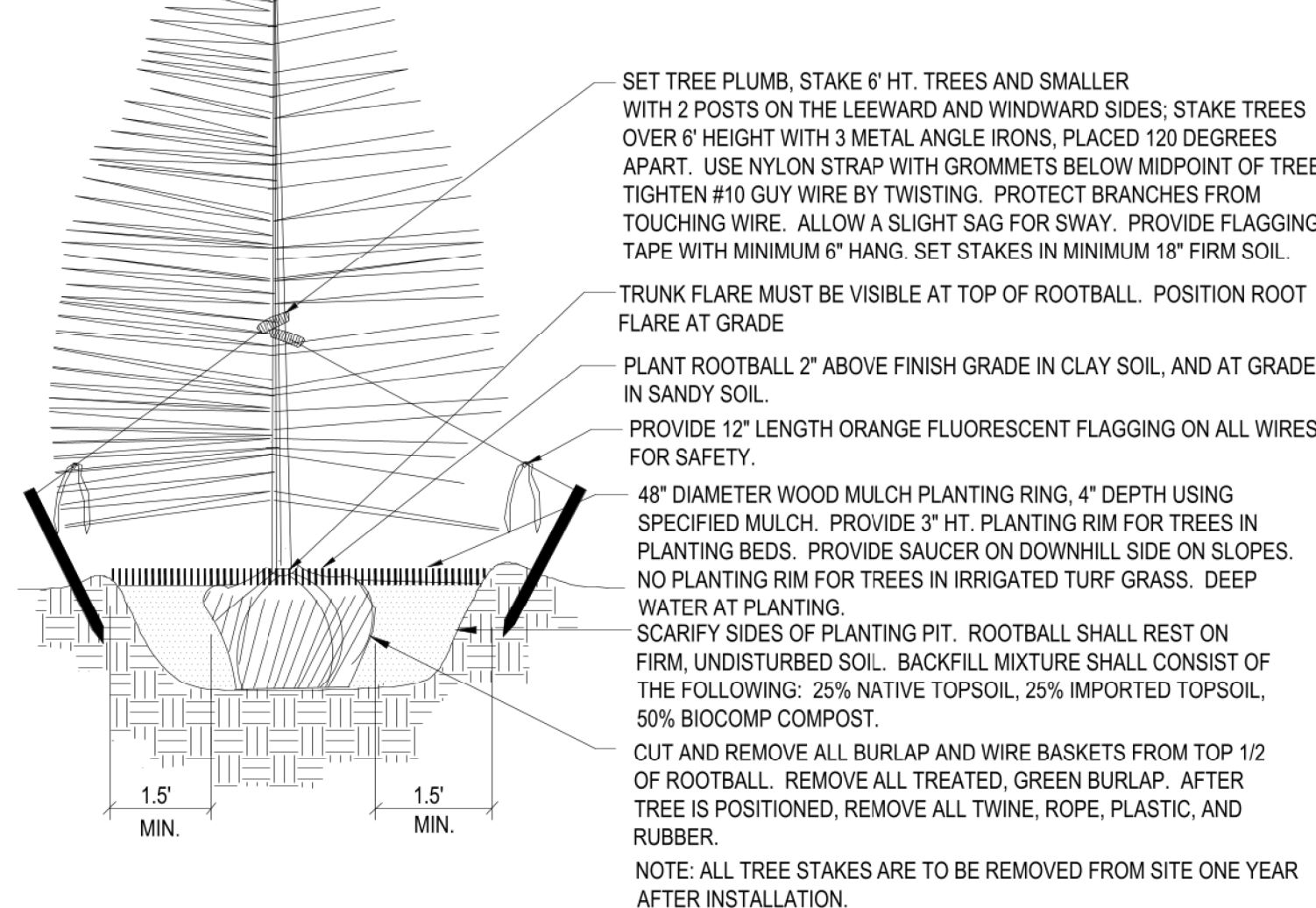
# PLANTING DETAILS

- NOTES:
- DO NOT REMOVE OR CUT LEADER.
  - PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
  - DO NOT REMOVE LOWER LIMBS AND SPROUTS FOR AT LEAST TWO GROWING SEASONS.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTED.
  - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
  - WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE NOT TWINE. WRAP OCTOBER 15 AND REMOVE BY MARCH 31.

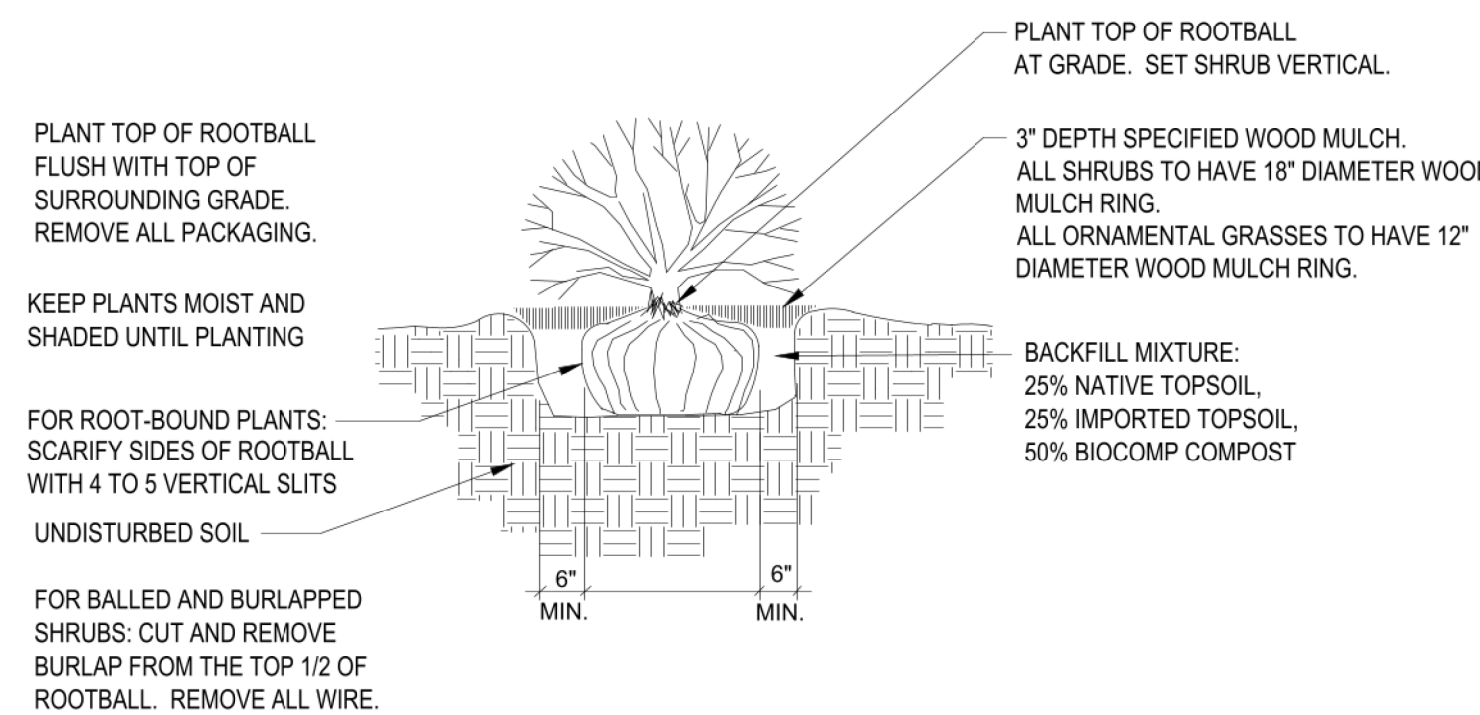


1 **Deciduous Tree Planting Detail**  
NOT TO SCALE

- NOTES:
- DO NOT REMOVE OR CUT LEADER.
  - PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
  - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTED.
  - AVOID FALL PLANTING IF POSSIBLE.



2 **Coniferous Tree Planting Detail**  
NOT TO SCALE



3 **Shrub Planting Detail**  
SCALE: NOT TO SCALE

# NATIVE SEED ESTABLISHMENT

**INITIAL PLANTING**  
STOCKPILED TOPSOIL SHOULD BE SPREAD EVENLY OVER ALL AREAS TO RECEIVE NATIVE SEED. SEED BED IS TO BE WEED-FREE. SPECIFIED SOIL AMENDMENTS SHOULD BE SPREAD AND INCORPORATED INTO TOP 6" OF SOIL. SEED BED IS TO BE RAKED SMOOTH AND FREE OF DEBRIS LARGER THAN 1" IN DIAMETER. ANY AREAS THAT THE CONTRACTOR BELIEVES TO BE SUSCEPTIBLE TO EROSION ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND/OR GENERAL CONTRACTOR PRIOR TO SEEDING. THE SPECIFIED SEED MIX IS TO BE APPLIED BY HYDRO-MULCH SEEDING AT THE RATE SPECIFIED. SEED IS TO BE APPLIED BETWEEN APRIL 15 AND SEPTEMBER 15. SEED SHALL NOT BE SOWN IF GROUND IS IN A FROZEN STATE. SPECIFIED EROSION CONTROL BLANKET IS TO BE INSTALLED IMMEDIATELY AFTER SEEDING. BLANKET SHALL BE LAID AND SECURED WITH 6" METAL STAPLES AS PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR IS TO PROVIDE INCIDENTAL WATERING OF ALL SEEDED AREAS THREE TIMES A WEEK DURING GROWING SEASON FOR A MINIMUM OF 8 WEEKS, OR UNTIL ESTABLISHED AND MEETING COVERAGE REQUIREMENTS. MOWING MAY BE NECESSARY DURING THE FIRST GROWING SEASON TO KEEP INVASIVE WEEDS FROM SETTING SEEDS. CONTRACTOR IS RESPONSIBLE FOR KEEPING BROADLEAF WEEDS UNDER CONTROL FOR 12 MONTHS AFTER INITIAL SEEDING AND IS ALSO RESPONSIBLE FOR OVER SEEDING BARE AREAS UNTIL SPECIFIED NATIVE GRASSES COVER ALL AREAS AND AREAS WITHOUT SPECIFIED NATIVE GRASS DO NOT EXCEED 6" X 6".

**OVER SEEDING**  
SIX WEEKS AFTER THE INITIAL SEEDING DURING THE FIRST GROWING SEASON AND/OR DURING THE SPRING OF THE SECOND GROWING SEASON CONTRACTOR IS TO REPAIR ANY ERODED AREAS AND OVER SEED ALL BARE NATIVE GRASS AREAS. CONTRACTOR IS TO USE SPECIFIED SEED MIX BY BROADCAST AND RAKING INTO TOP 1/4" TO 1/2" OF SOIL. INCIDENTAL WATERING IS TO BE PROVIDED TO ESTABLISH OVER-SEEDED AREAS. BROADLEAF WEEDS ARE TO BE KEPT UNDER CONTROL BY MANUALLY PULLING OR SPRAYING OF BROADLEAF WEED HERBICIDE. HERBICIDE AND APPLICATION SHALL CONFORM TO ALL APPLICABLE LAWS OF THE STATE OF COLORADO AND MANUFACTURERS INSTRUCTIONS.

## EL PASO COUNTY ALL-PURPOSE MIX FOR UPLAND, TRANSITION AND PERMANENT CONTROL MEASURE AREAS

COMMON NAME	SCIENTIFIC NAME	GROWTH SEASON / FORM	% OF MIX	POUNDS PLS (PURE LIVE SEED)		
				-IRRIGATED BROADCAST -IRRIGATED HYDROSEED	-NON-IRRIGATED BROADCAST -NON-IRRIGATED HYDROSEED -IRRIGATED DRILLED	-NON-IRRIGATED DRILLED
				80 SEEDS/SQ. FT.	40 SEEDS/SQ. FT.	20 SEEDS/SQ. FT.
BIG BLUESTEM	Buchloe dactyloides	WARM, SOD	20%	4.4	2.2	1.1
BLUE GRAMA	Bouteloua gracilis	WARM, BUNCH	10%	0.5	0.25	0.13
GREEN NEEDLEGRASS	Nassella viridula	COOL, BUNCH	10%	2	1	0.5
WESTERN WHEATGRASS	Pascopyrum smithii	COOL, SOD	20%	6.4	3.2	1.6
SIDEOATS GRAMA	Bouteloua curtipendula	WARM, BUNCH	10%	2	1	0.5
SWITCHGRASS	Panicum virgatum	WARM, BUNCH/ SOD	10%	0.8	0.4	0.2
PRAIRIE SANDREED	Calamovilfa longifolia	WARM, BUNCH	10%	1.2	0.6	0.3
YELLOW INDIANGRASS	Sorghastrum nutans	WARM, SOD	10%	2	1	0.5
SEED RATE (LBS. PLS / ACRE)				19.3	9.7	4.8

# GENERAL NOTES

- ALL REFERENCES TO 'CONTRACTOR' REFER TO LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR GETTING ALL UTILITY LOCATES PRIOR TO STARTING ANY WORK ON SITE AND ALSO HAVING UTILITIES RELOCATED AS NECESSARY FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE EL PASO COUNTY PLANNING DEPARTMENT AND MAY DELAY COMPLETION OF PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY OWNER'S REPRESENTATIVE OF DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF LANDSCAPE MATERIALS ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. NOTIFY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION IF LANDSCAPE MATERIAL LOCATIONS NEED TO BE ALTERED DUE TO ON-SITE CONDITIONS.
- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS, NATIVE GRASS, AND WORKMANSHIP. CONTRACTOR IS TO PROVIDE OWNER WITH WARRANTY CONDITIONS AND COMMENCE WARRANTY PERIOD UPON FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION.
- THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE MAINTENANCE OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, PRUNING, AND PLANT MATERIAL REPLACEMENT. THE PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING THE HEALTH OF ALL PLANTINGS AND PROMPTLY REPLACING ANY DECAYED OR DEAD TREES AND SHRUBS.

# PROJECT NOTES

- FINE GRADING TO BE PERFORMED BY LANDSCAPE CONTRACTOR TO REFLECT FINISHED GRADES SHOWN ON THE PROJECT GRADING PLANS. ALL FINISHED GRADES ARE TO HAVE A MINIMUM 2% SLOPE. CONTRACTOR IS TO REPORT POOR DRAINAGE CONDITIONS OR ANY GRADES IN LANDSCAPE AREAS LESS THAN 2% TO GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT PRIOR TO LANDSCAPE CONSTRUCTION WORK.
- CONTRACTOR IS TO PROVIDE FINAL GRADES ADJACENT TO HARDSCAPE SURFACES AT THE FOLLOWING SPECIFICATIONS:  
2" BELOW TOP OF CONCRETE OR ASPHALT FOR ALL ROCK COVER BEDS.  
1" BELOW TOP OF CONCRETE OR ASPHALT FOR NATIVE SEED AREAS.  
CONTRACTOR IS TO COORDINATE THESE GRADING SPECIFICATIONS WITH GENERAL CONTRACTOR AND/OR WHOEVER IS PROVIDING ROUGH GRADING. FINAL GRADES IN ALL LANDSCAPE AREAS ARE TO BE ESTABLISHED USING ON-SITE STOCKPILED TOPSOIL.
- ALL DISTURBED NATIVE GRASS AREAS ARE TO BE SEEDED WITH SPECIFIED SEED MIX BY HYDRO-MULCHING OR DRILL SEEDING (WHERE ACCESSIBLE) AT SEEDING RATE SHOWN IN TABLE. EROSION CONTROL NETTING TO BE LAID OVER ALL SEEDED AREAS AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. REFER TO NATIVE SEED ESTABLISHMENT SPECIFICATION AND SEED MIX TABLE FOR MORE DETAILED INSTRUCTIONS.
- ROCK COVER AREAS TO CONSIST OF 1.5' DIAMETER 'PIONEER GRANITE' CRUSHED ROCK (PIONEER SAND), SPREAD 3" DEPTH OVER LANDSCAPE FABRIC. LANDSCAPE FABRIC TO CONSIST OF A WATER PERMEABLE WOVEN FIBER FABRIC (MIRAFI OR EQUAL). FABRIC TO OVERLAP 6" MINIMUM AT ALL SEAMS. 6" STEEL ANCHOR PINS TO BE INSTALLED 8" O.C. MAX.
- 'CASCADE CEDAR' (C&C SAND) WOOD MULCH IS TO BE PROVIDED AROUND THE BASE OF ALL PLANTINGS, 3" DEPTH (NO FABRIC BENEATH). REFER TO PLANTING DETAILS.

# SOIL PREPARATION NOTES

- NATIVE GRASS AREAS:** ALL DISTURBED NATIVE GRASS AREAS TO RECEIVE 2 CU. YDS. PER 1,000 SQ. FT. OF 'BIOCOMP' SOIL AMENDMENTS (C&C SAND) INCORPORATED INTO EXISTING SOIL AND ROTO-TILLED TO A 6" DEPTH.
- PROPOSED TREES AND SHRUBS:** ALL PROPOSED TREES ARE TO BE BACKFILLED WITH A MIXTURE OF 'BIOCOMP' SOIL AMENDMENT AND IMPORTED GRADE A TOPSOIL (C&C SAND). REFER TO PLANTING DETAIL.

# IRRIGATION NOTES

- IRRIGATION WATER CANNOT BE PROVIDED FROM THE WELL ON THIS PROPERTY. THEREFORE, ALL PROPOSED PLANT MATERIALS ARE TO BE IRRIGATED BY A WATERING TRUCK UNTIL ESTABLISHED. THE OWNER OF THIS PROPERTY WILL NEED TO MAKE ARRANGEMENTS FOR A WATERING TRUCK TO PROVIDE DEEP WATERING OF ALL PROPOSED TREES AND SHRUBS A MINIMUM OF ONCE A WEEK DURING THE GROWING SEASON AND ONCE EVERY THREE WEEKS DURING DORMANT MONTHS. PLANTINGS WILL TAKE A MINIMUM OF TWO TO THREE YEARS TO GET ESTABLISHED.

# GRADING / DRAINAGE NOTES

- LANDSCAPE CONTRACTOR IS TO VERIFY THAT ALL FINISHED GRADES COMPLY WITH GRADING PLAN PREPARED BY CIVIL ENGINEER. VERIFY THAT ALL SLOPES DRAIN AWAY FROM BUILDING(S) AND THAT DRAINAGE SWALES ARE CORRECTLY LOCATED AND CARRY WATER AS INTENDED. NOTIFY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION IF STANDING WATER IS PRESENT (OTHER THAN DETENTION FACILITIES) OR IF SLOPES ARE NOT GRADED AS PER APPROVED GRADING PLAN.
- LANDSCAPE CONTRACTOR IS TO LOCATE ALL DOWNSPOUTS AND DOWNSPOUT EXTENSIONS AND VERIFY THAT NO OBSTRUCTIONS ARE IMPEDING THE FLOW OF WATER AWAY FROM THE BUILDING. REMOVE SMALL SECTIONS OF STEEL EDGING WHEREVER DRAINAGE WILL NOT FREELY FLOW THROUGH EDGING.
- LANDSCAPE CONTRACTOR IS TO PROVIDE TEMPORARY EROSION MITIGATION MEASURES FOR THE DURATION OF LANDSCAPE CONSTRUCTION. THIS INCLUDES PLACEMENT OF WATTLES AND/OR EROSION BLANKET WHEREVER DRAINAGE ERODES BARE SOIL AND RUNOFF CAN POTENTIALLY DAMAGE NEIGHBORING PROPERTIES OR SEDIMENT COULD POTENTIALLY FLOW OUTSIDE OF PROPERTY LINES.

NOT FOR CONSTRUCTION

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PROJECT FILE: st johns LS plan 6-21-23.dwg

**ST. JOHN'S ORTHODOX CHURCH**  
7350 Mohawk Road  
Colorado Springs, CO

PROJECT NAME:

**ALTERNATIVE LANDSCAPE PLAN**

SHEET TITLE:

DATE: May 15, 2023

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REVISIONS:

STAMP:

SHEET NO. **L2**

Sheet 2 of 2