

SITE DEVELOPMENT PLAN

FOR

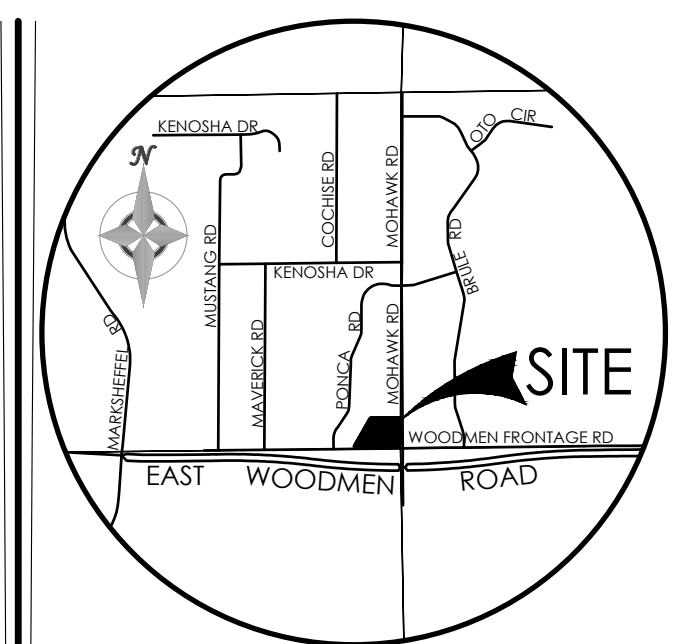
ST. JOHN THE BAPTIST ORTHODOX CHURCH

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN,
EL PASO COUNTY, COLORADO

Provide Grading & Erosion Control Plan Set and Checklist with next submittal

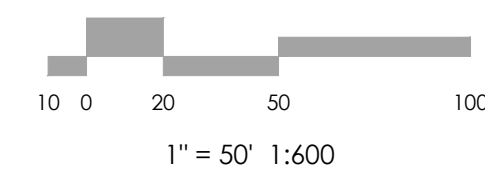
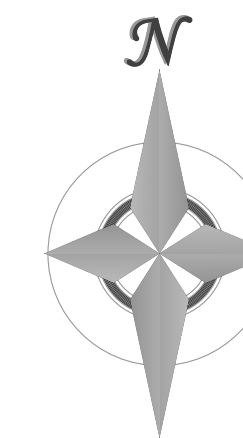
Financial Assurance will need to be provided for all erosion control items

Civil drawings will need to be submitted



VICINITY MAP
NOT TO SCALE

BENCHMARK



LEGEND

-----	PROPERTY LINE	-----	INDEX CONTOUR
-----	EASEMENT LINE	-----	INTERMEDIATE CONTOUR
-----	LOT LINE	-----	CONCRETE AREA
-----	BUILDING SETBACK LINE	-----	ASPHALT AREA
-----	ADJACENT PROPERTY LINE	-----	CURB AND GUTTER
EXISTING		PROPOSED	
-----	INDEX CONTOUR	-----	INDEX CONTOUR
-----	INTERMEDIATE CONTOUR	-----	INTERMEDIATE CONTOUR
-----	CONCRETE AREA	-----	CONCRETE AREA
-----	ASPHALT AREA	-----	ASPHALT AREA
-----	CURB AND GUTTER	-----	CURB AND GUTTER
-----	BUILDING/ BUILDING OVERHANG	-----	BUILDING/ BUILDING OVERHANG
-----	DECK	-----	DECK
-----	RETAINING WALL - SOLID/ ROCK	-----	RETAINING WALL - SOLID ROCK
-----	SIGN	-----	SIGN
-----	BOLLARD	-----	BOLLARD
-----	WOOD FENCE	-----	WOOD FENCE
-----	CHAIN LINK FENCE	-----	CHAIN LINK FENCE
-----	BARBED WIRE FENCE	-----	BARBED WIRE FENCE
-----	TREE (EVERGREEN/DECIDUOUS)	-----	TREE (EVERGREEN/DECIDUOUS)
-----	SHRUB	-----	SHRUB
-----	ROCK	-----	ROCK

ABBREVIATION LEGEND

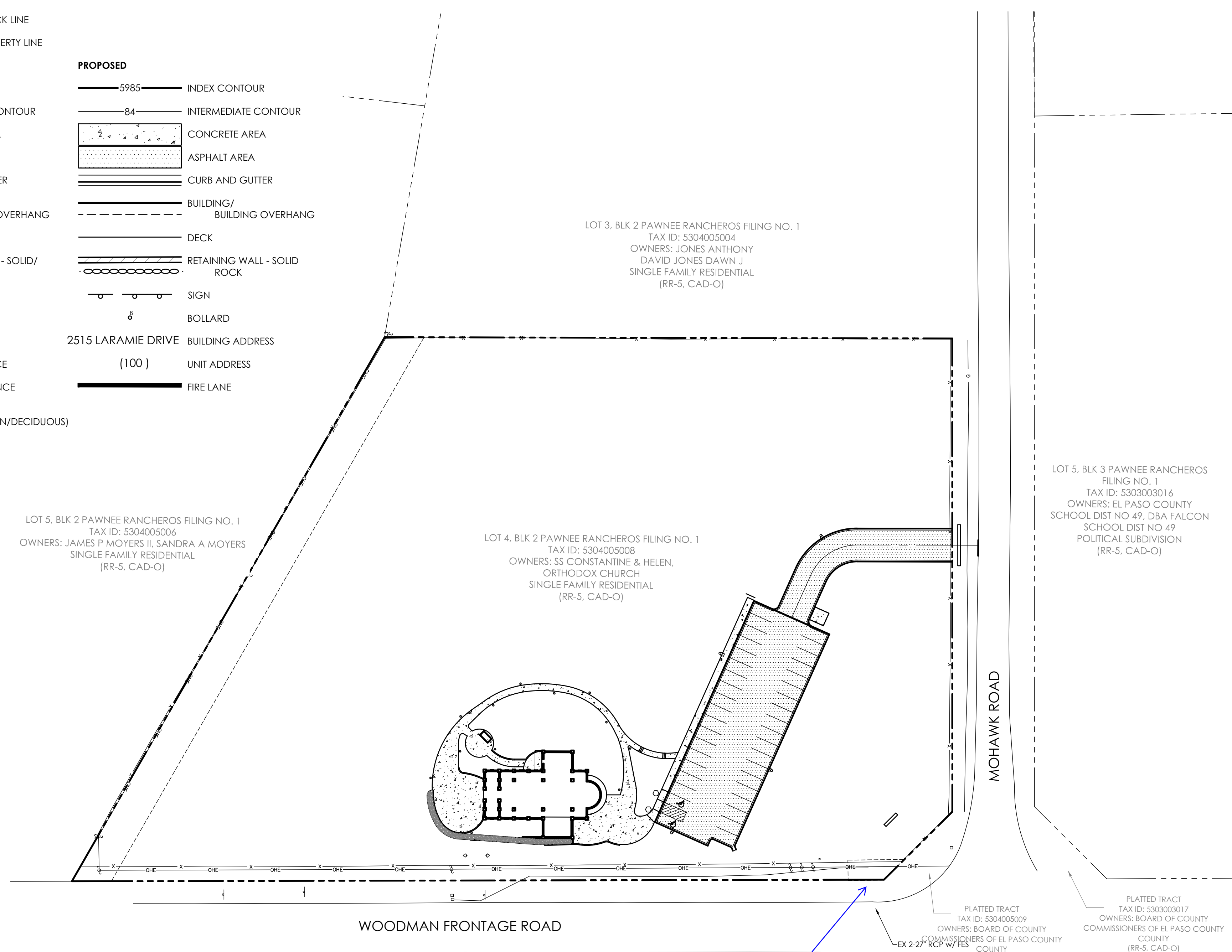
ASPH	ASPHALT
CONC	CONCRETE
C & G	CURB & GUTTER
DET.	DETAIL
ESMT	EASEMENT
ME	MATCH EXISTING
P.B., PG.	PLAT BOOK, PAGE
PVMT	PAVEMENT
RET. WALL	RETAINING WALL
REC. NO.	RECEPTION NUMBER
R.O.W.	RIGHT-OF-WAY
SF	SQUARE FOOT
STBK	SETBACK
SW	SIDEWALK
UTIL	UTILITY
⊙	CATCH CURB
⊙	SPILL CURB

LOT 5, BLK 2 PAWNEE RANCHEROS FILING NO. 1
TAX ID: 5304005006
OWNERS: JAMES P MOYERS II, SANDRA A MOYERS
SINGLE FAMILY RESIDENTIAL
(RR-5, CAD-O)

LOT 4, BLK 2 PAWNEE RANCHEROS FILING NO. 1
TAX ID: 5304005008
OWNERS: SS CONSTANTINE & HELEN,
ORTHODOX CHURCH
SINGLE FAMILY RESIDENTIAL
(RR-5, CAD-O)

LOT 5, BLK 3 PAWNEE RANCHEROS
FILING NO. 1
TAX ID: 5303003016
OWNERS: EL PASO COUNTY
SCHOOL DIST NO 49, DBA FALCON
SCHOOL DIST NO 49
POLITICAL SUBDIVISION
(RR-5, CAD-O)

LOT 3, BLK 2 PAWNEE RANCHEROS FILING NO. 1
TAX ID: 5304005004
OWNERS: JONES ANTHONY
DAVID JONES DAWN J
SINGLE FAMILY RESIDENTIAL
(RR-5, CAD-O)



Please depict height

Please include:
-setbacks to property lines
-location of no build areas
-location of garbage receptacles
-well/ septic sites

Turn on existing culverts

SITE DATA

OWNER
SS CONSTANTINE & HELEN
ORTHODOX CHURCH

CONSULTANT/ENGINEER
M.V.E., INC.
1903 LELARAY STREET, SUITE 200
COLORADO SPRINGS, CO 80909
(719) 635-5736

ARCHITECT
RUNGE ARCHITECTURE
5315 GERMAINE CT.
COLORADO SPRINGS, CO 80909
(719) 260-0039

SURVEYOR
ALESSI AND ASSOCIATES, INC.
2989 BROADMOOR VALLEY ROAD
SUITE C
COLORADO SPRINGS, CO 80906
(719) 540-8832

ZONING
RURAL RESIDENTIAL- 5 ACRES (RR-5)
COMMERCIAL AIRPORT OVERLAY DISTRICT
(CAD-O)

BUILDING USE
RELIGIOUS PURPOSES

CONSTRUCTION SCHEDULE
START: SUMMER 2023
FINISH: FALL 2023

TAX SCHEDULE NO.
5304005008

PROPERTY ADDRESS
7530 MOHAWK RD

COVERAGE DATA

CHURCH:	8,100 SF	16.1%	
PAVEMENT (PARKING/WALK):	17,401 SF	32.3%	
LANDSCAPING / POND:	27,229 SF	51.6%	
UNDISTURBED AREA	165,952 SF	79.6%	
TOTAL AREA:	208,533 SF	100.0%	= 4.787± ACRES

PARKING SCHEDULE

REQUIRED:
OCCUPANT LOAD = 136
1 SPACE PER 4 OCCUPANTS = 34 SPACES

PROVIDED:
NORMAL SPACES = 32
VAN ACCESSIBLE ADA SPACE = 2
TOTAL SPACES PROVIDED = 34

BUILDING TYPE

BUILDING AREA - 6,950 SF
TWO STORY - TYPE V-B
NON - SPRINKLED (NS)

BUILDING HEIGHT

MAXIMUM BUILDING HEIGHT = 40'-0"
ACTUAL BUILDING HEIGHT = 36'-4"

SETBACKS

25' FRONT
25' SIDE
25' REAR

landscape plan and number shown on the sdp depict 38, please change on plans to be the same

DEVELOPMENT NOTES

- NO DOMESTIC WATER OR SEWER SERVICE PROVIDED. WELL AND SEPTIC TO BE INSTALLED
- NATURAL GAS SERVICE PROVIDED BY BLACK HILLS ENERGY DISTRICT.
- ELECTRIC SERVICE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION DISTRICT.
- FIRE SERVICE PROVIDED BY FALCON FIRE PROTECTION DISTRICT.

LAND DESCRIPTION

LOT 4, BLOCK 2, PAWNEE RANCHEROS, FILING NO. 1, EXCEPT THAT PORTION DESCRIBED IN WARRANTY DEED RECORDED JUNE 4, 2003 UNDER RECEPTION NO. 203123405, COUNTY OF EL PASO, STATE OF COLORADO.

SHEET INDEX

SITE DEVELOPMENT PLAN

SDP-1	COVER SHEET
SDP-2	SITE PLAN
SDP-3	SITE DETAILS
DP1	PHOTOMETRIC PLAN
DP2	PHOTOMETRIC DETAILS
L1	FINAL LANDSCAPE PLAN
L2	FINAL LANDSCAPE DETAILS
1 OF 2	MAIN FLOOR PLAN
2 OF 2	BASEMENT FLOOR PLAN
1 OF 1	EXTERIOR ELEVATIONS

It appears site development plan was broken into different sets. For the purpose of this review revise sheet index to include only attached sheets (SDP-1, SDP-2, SDP-3).

ADA NOTE

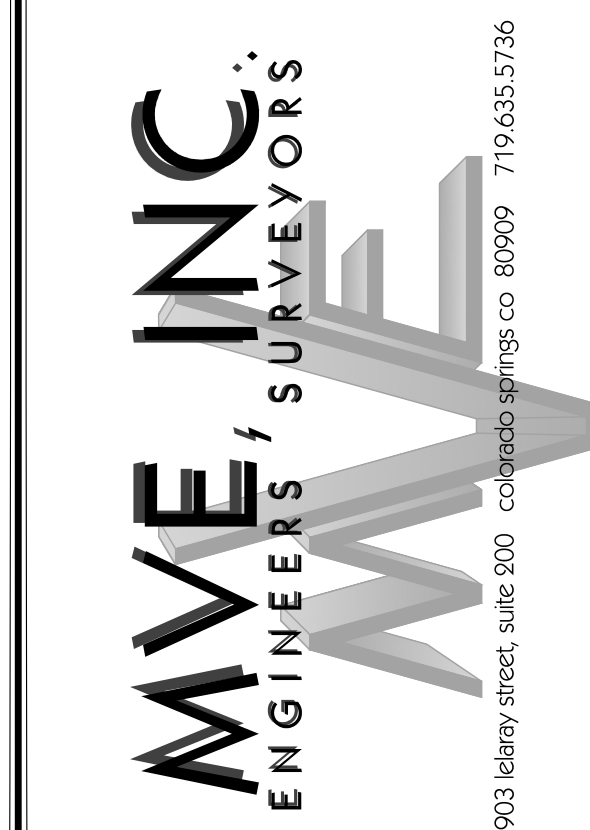
THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

FLOODPLAIN STATEMENT

NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0533G, EFFECTIVE DECEMBER 7, 2018.

MAP NOTES

- BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO A LINE BEGINNING AT THE MOST SOUTHWEST CORNER OF LOT 4, BLOCK 2, PAWNEE RANCHEROS FILING NO. 1 WITH BEARING N 29°53'01" E, OF THE PUBLIC RECORDS OF EL PASO COUNTY, COLORADO.
- THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY ALESSI AND ASSOCIATES, INC.
- ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.



REVISIONS

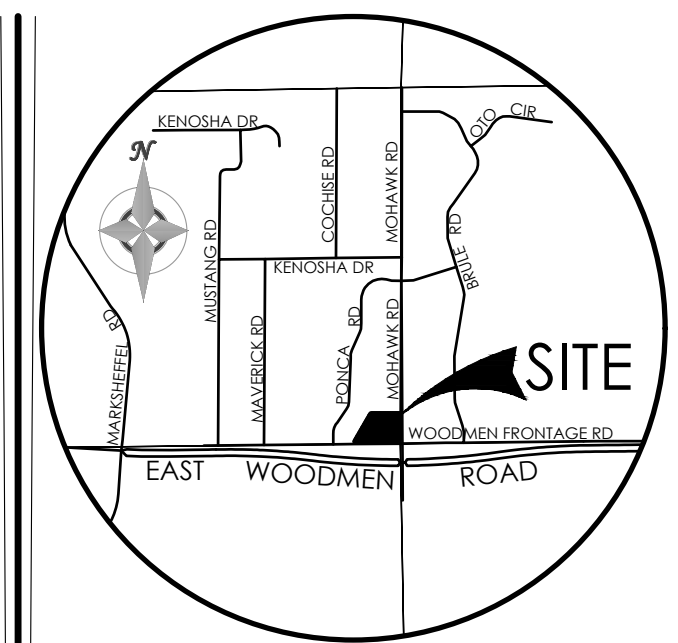
DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

ST. JOHN THE BAPTIST
ORTHODOX CHURCH

SITE DEVELOPMENT
PLAN
COVER SHEET

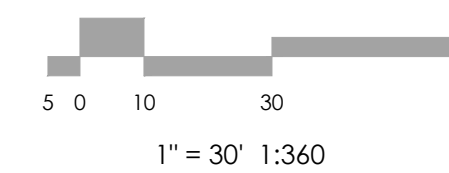
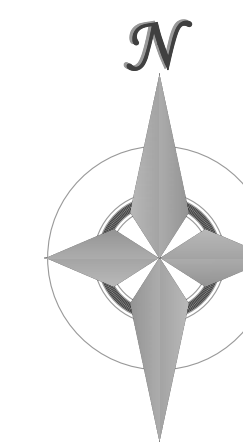
SDP-1
MVE PROJECT 61200
MVE DRAWING SP-CS

MAY 15, 2023
SHEET 1 OF 4



VICINITY MAP
NOT TO SCALE

BENCHMARK



1" = 30' 1:360



REVISIONS

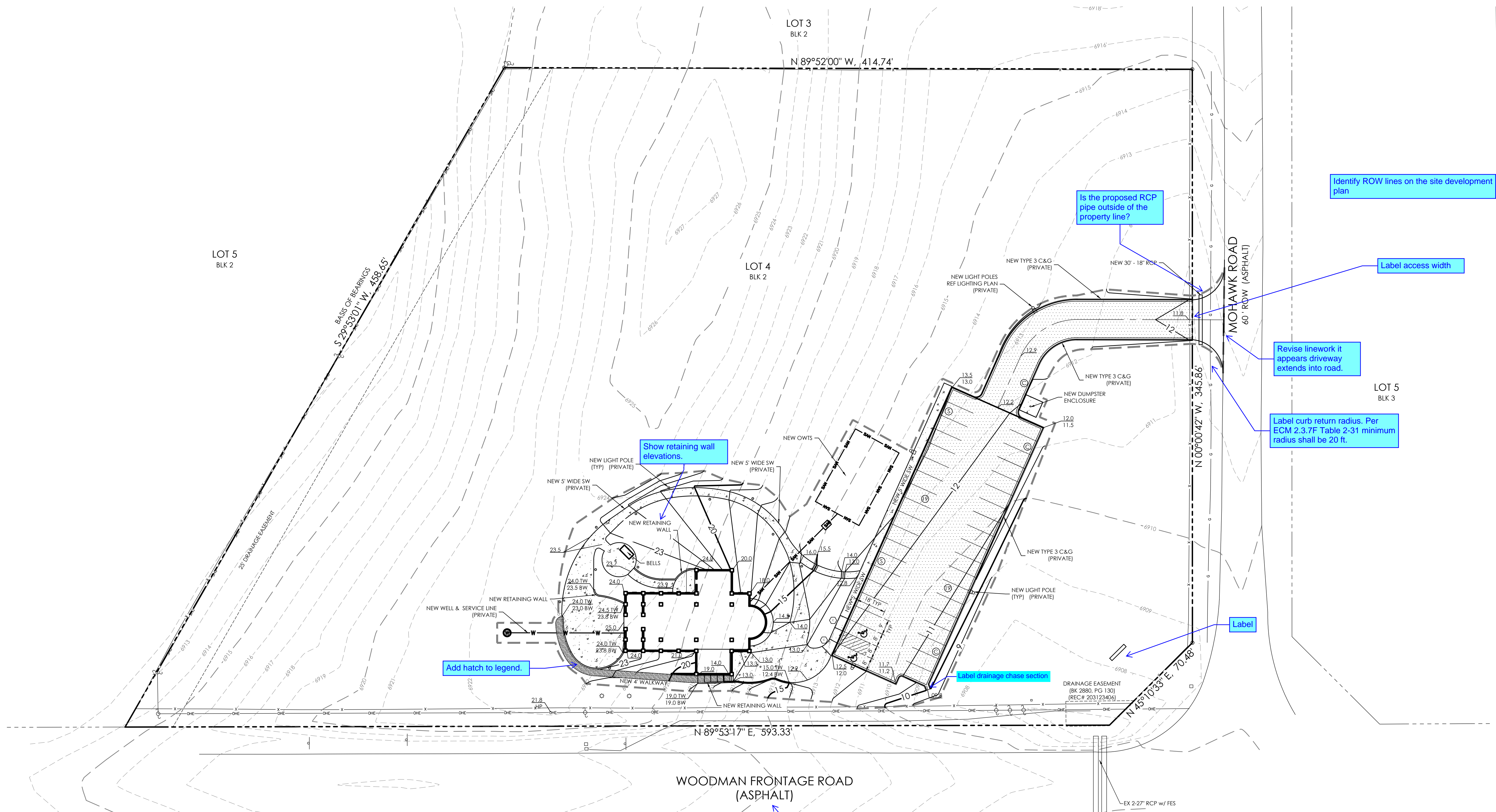
DESIGNED BY
DRAWN BY
CHECKED BY
AS-BUILT BY
CHECKED BY

ST. JOHN THE BAPTIST
ORTHODOX CHURCH

SITE DEVELOPMENT
PLAN
SITE PLAN

SDP-2 MVE PROJECT 61200
MVE DRAWING SP-SP

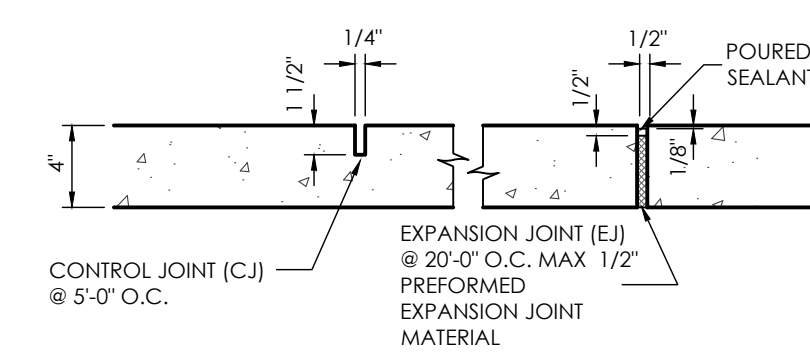
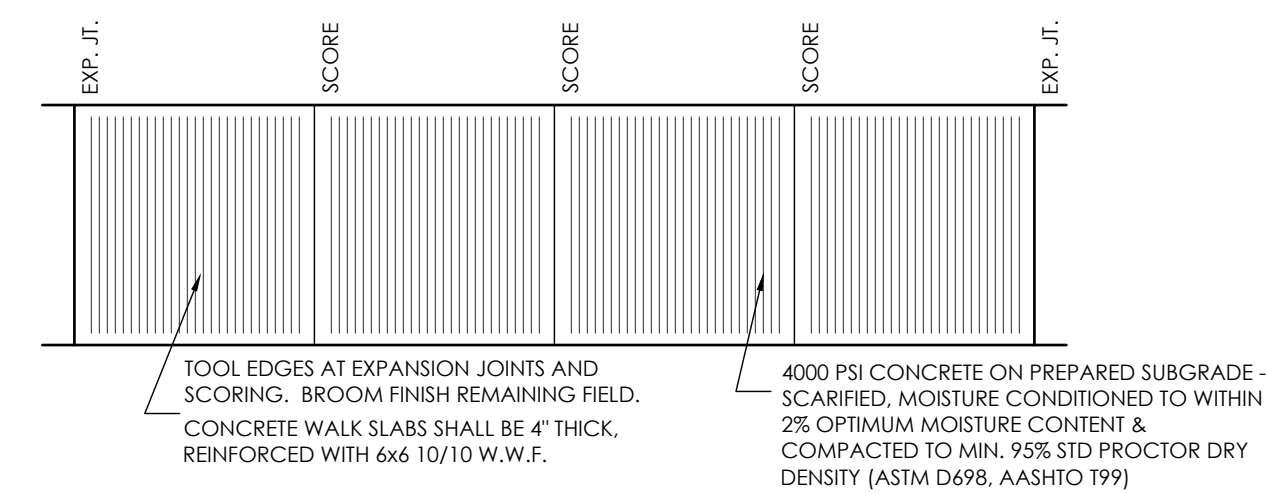
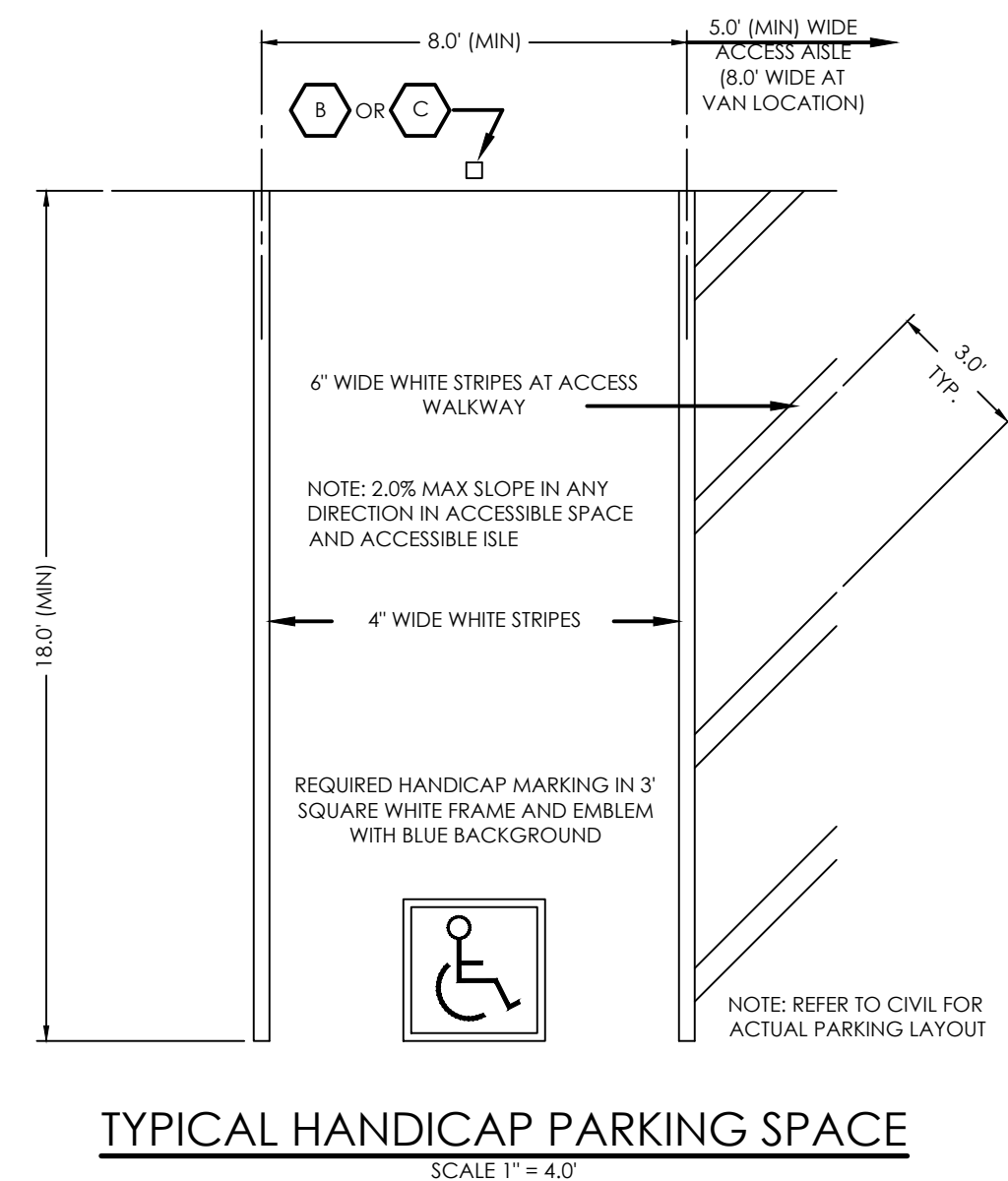
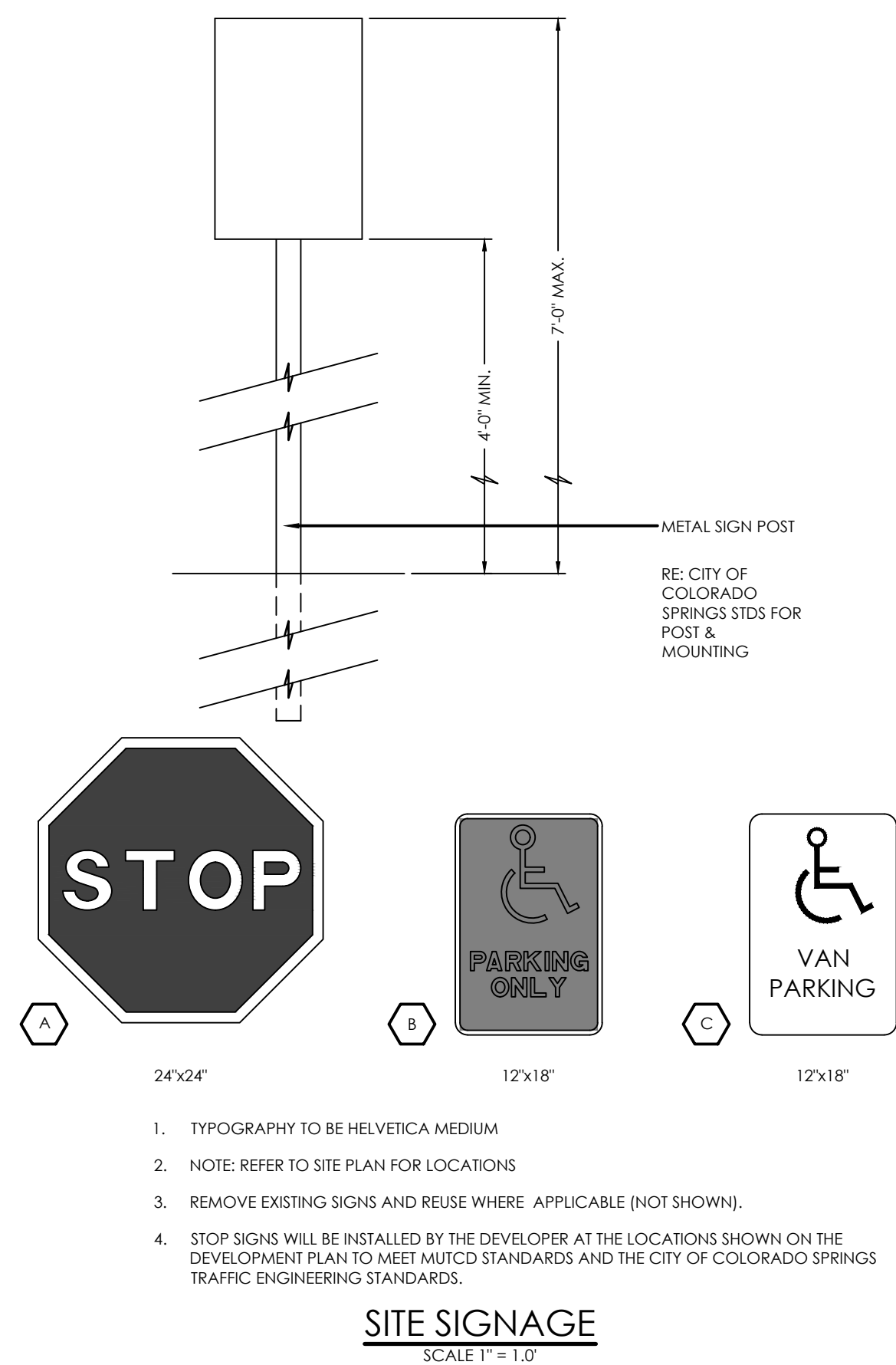
MAY 15, 2023
SHEET 2 OF 3



EXISTING		PROPOSED	
---5985---	INDEX CONTOUR	---5985---	INDEX CONTOUR
---84---	INTERMEDIATE CONTOUR	---84---	INTERMEDIATE CONTOUR
[Pattern]	CONCRETE AREA	[Pattern]	CONCRETE AREA
[Pattern]	ASPHALT AREA	[Pattern]	ASPHALT AREA
[Pattern]	CURB AND GUTTER	[Pattern]	CURB AND GUTTER
[Pattern]	BUILDING/ BUILDING OVERHANG	[Pattern]	BUILDING/ BUILDING OVERHANG
[Pattern]	DECK	[Pattern]	DECK
[Pattern]	RETAINING WALL - SOLID/ ROCK	[Pattern]	RETAINING WALL - SOLID ROCK
[Symbol]	SIGN	[Symbol]	SIGN
[Symbol]	BOLLARD	[Symbol]	BOLLARD
[Symbol]	WOOD FENCE	[Symbol]	WOOD FENCE
[Symbol]	CHAIN LINK FENCE	[Symbol]	CHAIN LINK FENCE
[Symbol]	BARBED WIRE FENCE	[Symbol]	BARBED WIRE FENCE
[Symbol]	TREE (EVERGREEN/DECIDUOUS)	[Symbol]	TREE (EVERGREEN/DECIDUOUS)
[Symbol]	SHRUB	[Symbol]	SHRUB
[Symbol]	ROCK	[Symbol]	ROCK

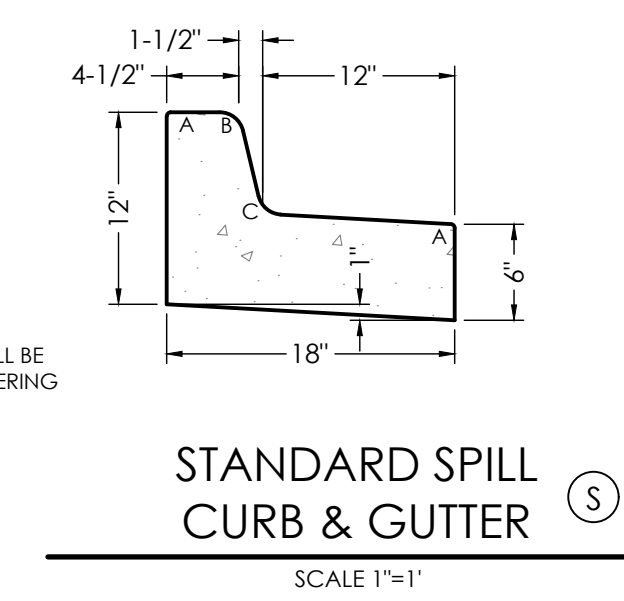
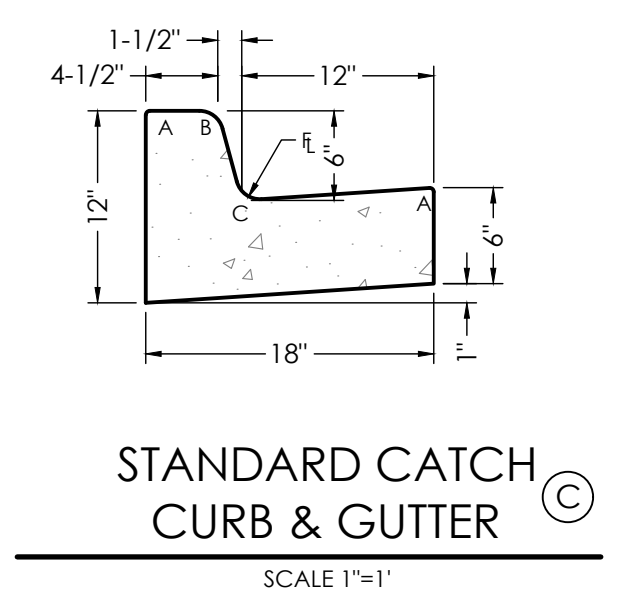
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ASPH	ASPHALT
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C & G	CURB & GUTTER
DET.	DETAIL
ESMT	EASEMENT
ME	MATCH EXISTING
P.B., PG.	PLAT BOOK, PAGE
PVMT	PAVEMENT
RET. WALL	RETAINING WALL
REC. NO.	RECEPTION NUMBER
R.O.W.	RIGHT-OF-WAY
SF	SQUARE FOOT
STBK	SETBACK
SW	SIDEWALK
UTIL	UTILITY
⊙	CATCH CURB
⊙	SPILL CURB

Remove all linework not shown on the plan from the legend.

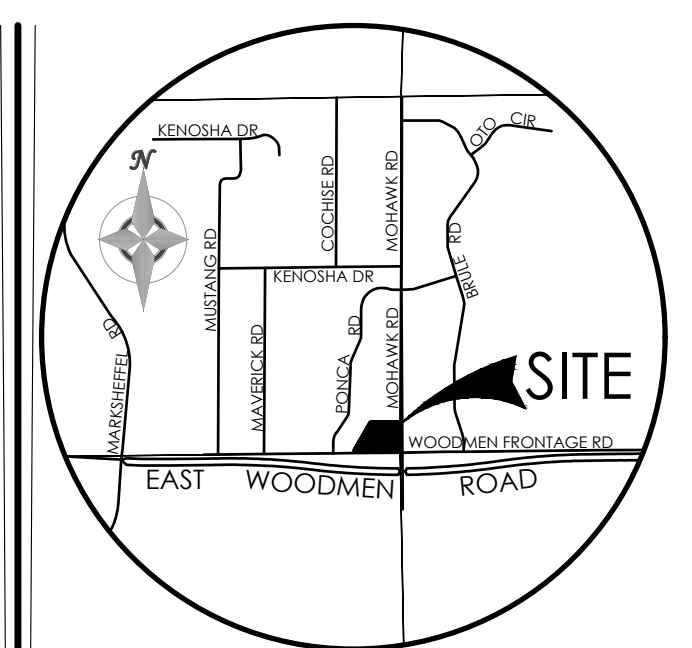


TYPICAL SIDEWALK DETAIL
SCALE 1" = 4.0'

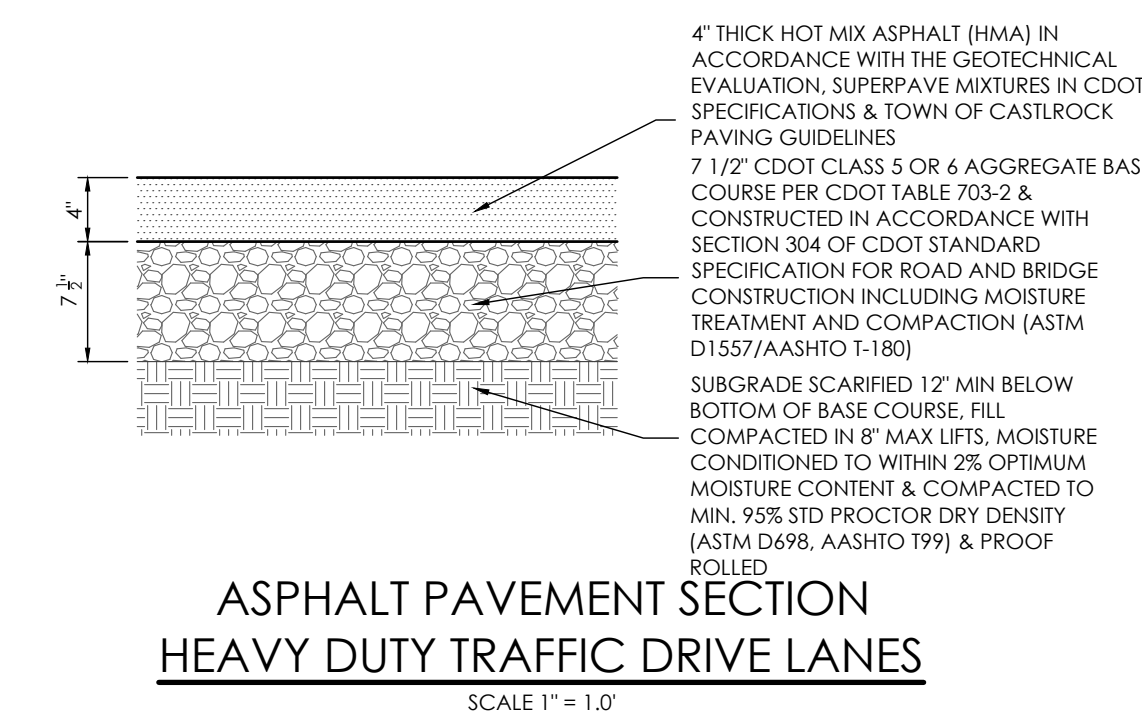
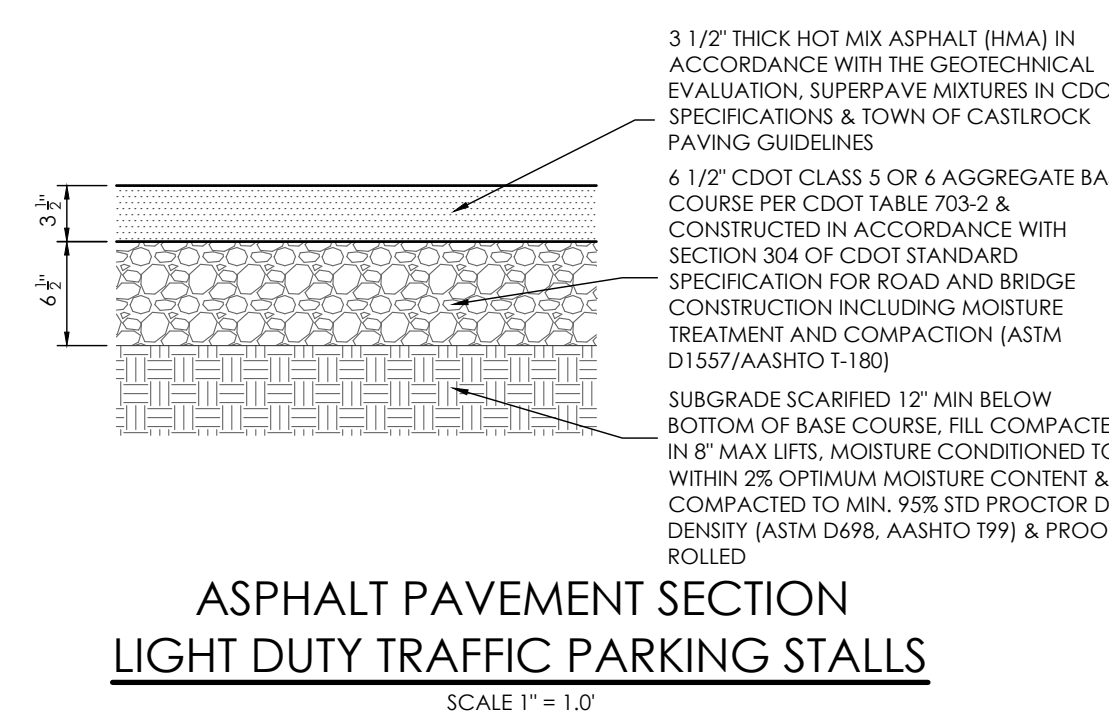
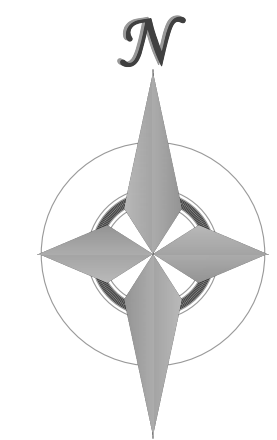
CONCRETE SIDEWALK DETAIL
NOT TO SCALE



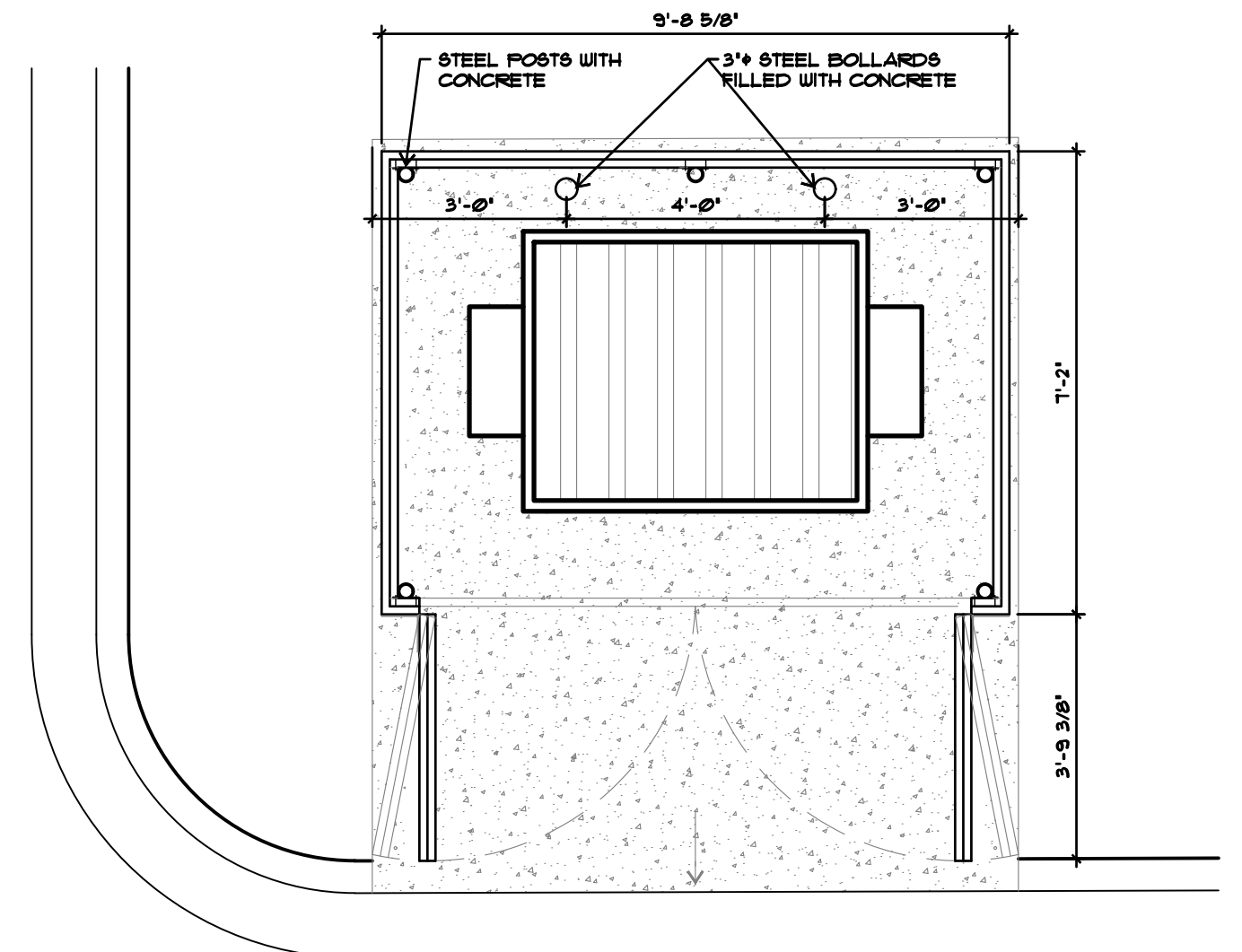
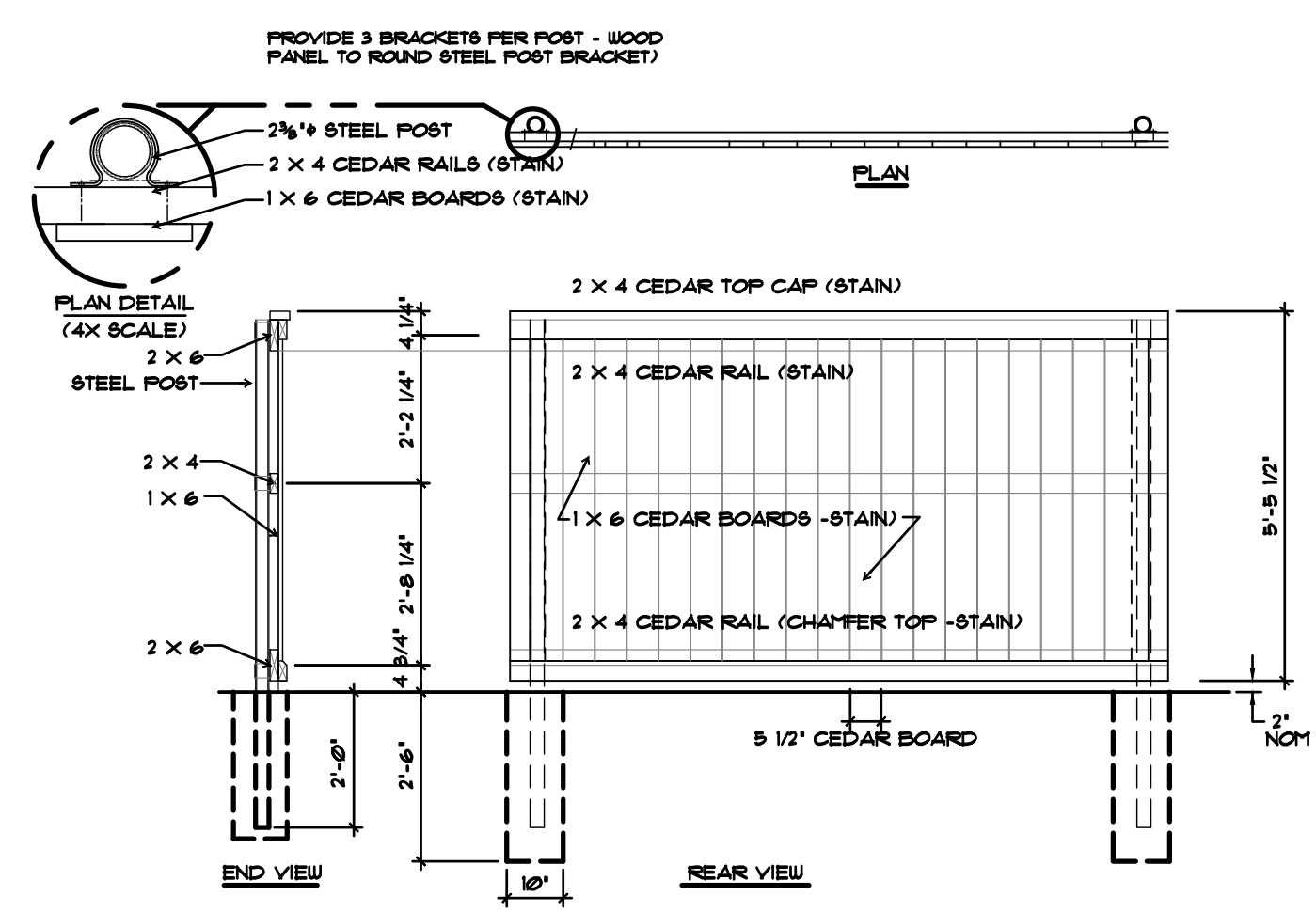
Use County standard c&g



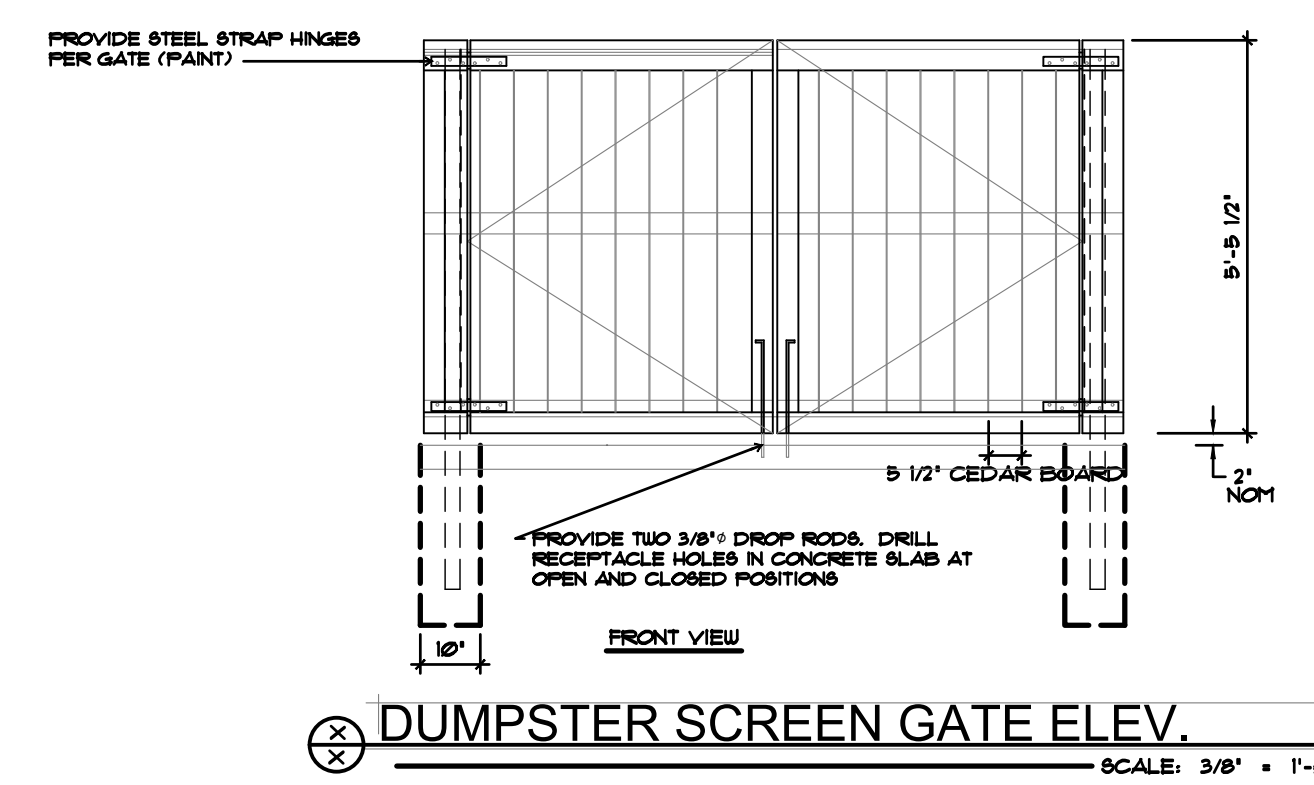
BENCHMARK



Provide retaining wall detail



NOTE:
-FILL STEEL POSTS WITH CONCRETE
-FASTEN EACH RAIL END USING THREE #8 X 1-1/4" RAIL SCREWS
-ATTACH RAILS TO CORNER POSTS USING ONE #8 CLIP PER RAIL END
-ATTACH CEDAR BOARDS TO RAILS WITH COATED SCREWS



REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILT BY _____
CHECKED BY _____

ST. JOHN THE BAPTIST
ORTHODOX CHURCH

SITE DEVELOPMENT
PLAN
DETAILS SHEET

SDP-3 MVE PROJECT 61200
MVE DRAWING SP-DS

MAY 15, 2023
SHEET 3 OF 3

