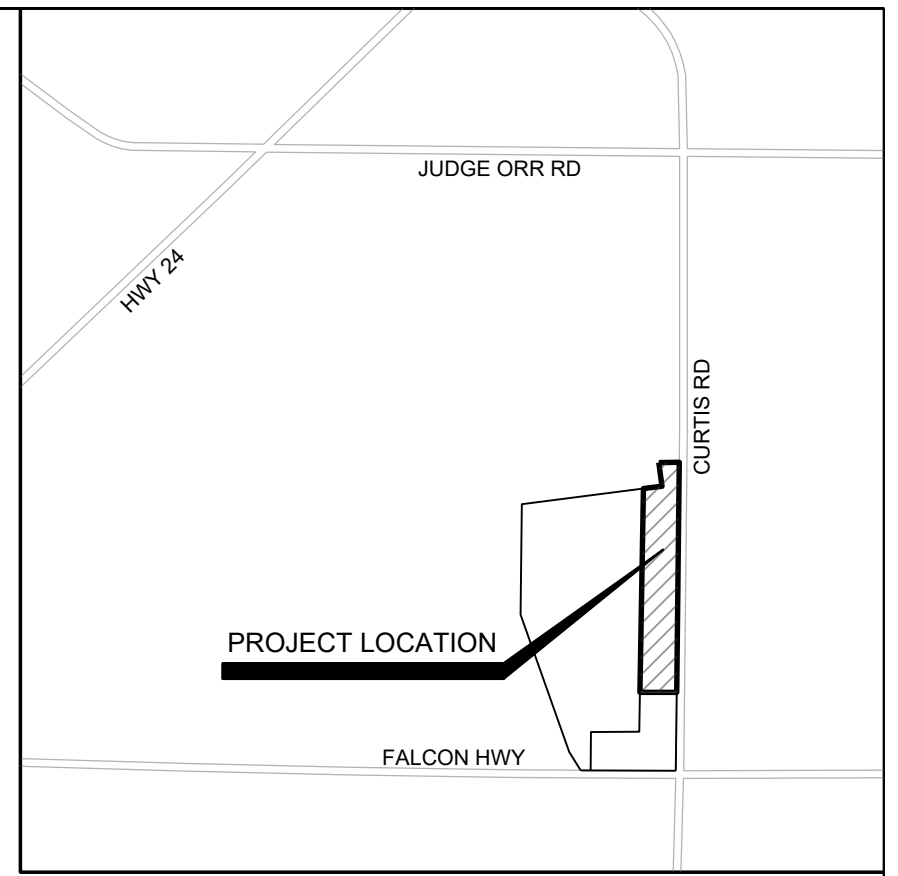


PRELIMINARY PLAN MEADOW LAKE INDUSTRIAL PHASE 1

A PART OF THE EAST HALF OF SECTION 9, TOWNSHIP 13 SOUTH, RANGE 64 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO



VICINITY MAP
(NOT TO SCALE)

PROJECT DESCRIPTION:

Property is to be subdivided into 27 parcels to be used for an industrial park.

KNOW ALL MEN BY THESE PRESENTS:

That the undersigned, Meadowlake Developments LLC, being the owner of the following described tract of land:

SURVEYED DESCRIPTION:

A tract of land in the East Half of Section 9, Township 13 South, Range 64 West of the Sixth Principal Meridian, El Paso County, Colorado described as follows:

Beginning at a point that is S 00°06'00" W 93.65 feet from the Northeast Corner of the Northeast Quarter of said Section 9; thence S 00°06'00" W 3864.51 feet along the East Line of said Section 9; thence S 89°17'36" W 622.94 feet; thence N 00°29'28" E 3422.09 feet; thence N 82°12'06" E 313.87 feet; thence N 07°45'48" W 400.00 feet; thence N 88°06'51" E 343.54 feet to the point of beginning, containing 51.3 acres.

Subject to easements and restrictions of record.

see CGS comments regarding expansive and compressible soils

GEOLOGIC HAZARD NOTE:

THE FOLLOWING LOTS HAVE BEEN FOUND TO BE IMPACTED BY GEOLOGIC HAZARDS. MITIGATION MEASURES AND A MAP OF THE HAZARD AREA CAN BE FOUND IN THE SOILS & GEOLOGY STUDY BY RMG - ROCKY MOUNTAIN GROUP DATED JULY 13, 2023, REVISED JULY 24, 2023, IN FILE SP236 AVAILABLE AT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT.

- DOWNSLOPE CREEP: N/A
- ROCKFALL SOURCE: N/A
- ROCKFALL RUNOUT ZONE: N/A
- POTENTIALLY SEASONALLY HIGH GROUNDWATER: N/A
- OTHER HAZARD:
 - FLOOD PRONE AREAS: N/A FOR PHASE 1 (FLOOD PRONE AREAS ARE OUTSIDE THE LIMITS OF PHASE 1)
 - FAULTS: ALL LOTS
 - SEISMICITY: ALL LOTS
 - RADON: ALL LOTS

EASEMENTS:

UNLESS OTHERWISE INDICATED, ALL SIDE, FRONT, AND REAR LOT LINES ARE HEREBY PLATTED ON EITHER SIDE WITH A 5 FEET PUBLIC UTILITY AND DRAINAGE EASEMENT UNLESS OTHERWISE INDICATED. ALL EXTERIOR SUBDIVISION BOUNDARIES ARE HEREBY PLATTED WITH A 7 FEET PUBLIC UTILITY AND DRAINAGE EASEMENT. THE SOLE RESPONSIBILITY FOR THE MAINTENANCE OF THESE EASEMENTS IS HEREBY VESTED WITH THE INDIVIDUAL PROPERTY OWNERS.

ENVIRONMENTAL:

DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES, INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS, AND THE U.S. FISH & WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS IT RELATES TO THE LISTED SPECIES (E.G., PREBLE'S MEADOW JUMPING MOUSE).

EASEMENT AND TRACT MAINTENANCE:

- TRACT A SHALL BE UTILIZED AS A DRAINAGE TRACT. OWNERSHIP AND MAINTENANCE OF TRACT A SHALL BE VESTED TO MEADOWLAKE METROPOLITAN DISTRICT NOS. 1-3.
- TRACT A OF THIS PROPERTY IS SUBJECT TO A PRIVATE DETENTION BASIN/STORMWATER QUALITY BMP MAINTENANCE AGREEMENT AND EASEMENT TO BE RECORDED WITH SUBSEQUENT FINAL PLAT APPLICATIONS.
- TRACT A IS ENCOMPASSED BY A BLANKET UTILITY EASEMENT.
- TRACT B SHALL BE UTILIZED AS A DRAINAGE TRACT. OWNERSHIP AND MAINTENANCE OF TRACT B SHALL BE VESTED TO MEADOWLAKE METROPOLITAN DISTRICT NOS. 1-3.
- TRACT B OF THIS PROPERTY IS SUBJECT TO A PRIVATE DETENTION BASIN/STORMWATER QUALITY BMP MAINTENANCE AGREEMENT AND EASEMENT TO BE RECORDED WITH SUBSEQUENT FINAL PLAT APPLICATIONS.
- TRACT B IS ENCOMPASSED BY A BLANKET UTILITY EASEMENT.

GENERAL NOTES:

1. NO EASEMENTS, RESTRICTIONS, SETBACKS, OR OTHER MATTER OF RECORD, IF ANY, AFFECTING THE TITLE OF THIS PROPERTY ARE SHOWN, EXCEPT AS PLATTED, AS PER AGREEMENT WITH THE LANDOWNER.
2. NO GAPS OR OVERLAPS EXIST.
3. THERE ARE NO LINES OF POSSESSION THAT AFFECT THIS SURVEY.
4. PARENT TRACT IS RECORDED AS INSTRUMENT #221072372, CLERK & RECORDER'S OFFICE, EL PASO COUNTY, COLORADO.
5. ALL BUILDING SETBACK REQUIREMENTS SHALL BE DETERMINED BY THE ZONING DISTRICT, UNLESS OTHERWISE NOTED.
6. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SMH CONSULTANTS, TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD, FOR INFORMATION REGARDING EASEMENTS, AND RIGHT OF WAY. SMH CONSULTANTS RELIED UPON THE TITLE POLICY PREPARED BY LAND TITLE GUARANTEE COMPANY, DATED MARCH 23, 2021.
7. BASIS OF BEARINGS IS THE SEAST LINE OF SECTION 9, TOWNSHIP 13 SOUTH, RANGE 64 WEST, MONUMENTED AS SHOWN AND ASSUMED TO BEAR SOUTH 00 DEGREES, 06 MINUTES 00 SECONDS WEST, 93.65 FEET.
8. SHARED ONSITE WASTEWATER TREATMENT SYSTEMS WILL BE UTILIZED. THE ULTIMATE LOCATION WILL BE DETERMINED AT THE TIME OF THE FINAL PLAT. AN EASEMENT WILL BE DEPICTED ON THE FINAL PLAT AND A MAINTENANCE AGREEMENT RECORDED. REFERENCE THE SOILS AND GEOLOGY REPORT FOR POTENTIAL LOCATIONS.
9. ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORMWATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICATED. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
10. NO STRUCTURES OR MAJOR MATERIAL STORAGE ACTIVITIES ARE PERMITTED WITHIN THE DESIGNATED DRAINAGE EASEMENTS, EXCEPT FENCES. FENCES SHALL NOT IMPEDE RUNOFF FROM REACHING DRAINAGE SWALES.
11. WATER SERVICE FOR THIS SUBDIVISION IS PROVIDED BY MEADOWLAKE METROPOLITAN DISTRICT NOS. 1-3 SUBJECT TO PROVIDERS' RULES, REGULATIONS AND SPECIFICATIONS.
12. ACCESS TO ALL LOTS SHALL BE THROUGH THE SHOWN TRAVEL EASEMENTS. THE RESPONSIBILITY AND MAINTENANCE OF SAID EASEMENTS ARE SUBJECT TO THE MAINTENANCE AGREEMENT AND ALL COVENANTS AND RESTRICTIONS CONTAINED THEREIN, THAT WILL BE RECORDED WITH THE FINAL PLAT.
13. NO DRIVEWAY SHALL BE ESTABLISHED UNLESS AN ACCESS PERMIT HAS BEEN GRANTED BY EL PASO COUNTY. INDIVIDUAL LOT PURCHASERS ARE RESPONSIBLE FOR CONSTRUCTING DRIVEWAYS.
14. ALL STRUCTURAL FOUNDATIONS ON THE LOTS IN THIS SUBDIVISION SHALL BE LOCATED AND DESIGNED BY A PROFESSIONAL ENGINEER, CURRENTLY REGISTERED IN THE STATE OF COLORADO. NATURAL DRAINAGE LOCATIONS SHALL BE AVOIDED BY CONSTRUCTION AND SITE-SPECIFIC FOUNDATION/SEPTIC INVESTIGATIONS SHALL BE REQUIRED.
15. MAILBOXES SHALL BE INSTALLED IN ACCORDANCE WITH ALL EL PASO COUNTY AND THE UNITED STATES POSTAL SERVICE REGULATIONS.
16. THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE PRELIMINARY PLAN FOR THIS SUBDIVISION AND ARE ON FILE AT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT: DRAINAGE REPORT, ON-SITE WASTEWATER TREATMENT REPORT, SOILS AND GEOLOGY REPORT, FIRE PROTECTION REPORT, AND TRAFFIC IMPACT STUDY.
17. CONTOURS ARE DERIVED FROM TOPOGRAPHIC SURVEY PERFORMED BY SMH CONSULTANTS.
18. THERE SHALL BE NO DIRECT LOT ACCESS TO CURTIS RD, GREENFIELD AVE OR SAGEBRUSH ST.
19. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO C.R.S. § 18-4-508*.
20. ALL FUTURE LOT OWNERS SHALL SUBMIT AN ENGINEERED SITE PLAN AT TIME OF BUILDING PERMIT.
21. THE PRIVATE ROADS AS SHOWN ON THIS PLAT WILL NOT BE MAINTAINED BY EL PASO COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN CONFORMANCE WITH EL PASO COUNTY STANDARDS IN EFFECT AT THE DATE OF THE REQUEST FOR DEDICATION AND MAINTENANCE.
22. THE SUBDIVIDER(S) AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.
23. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
24. THIS PROPERTY IS PRESENTLY LOCATED IN THE VICINITY OF AN AIRPORT, WITHIN WHAT IS KNOWN AS AN AIRPORT INFLUENCE AREA. FOR THIS REASON, THE PROPERTY MAY BE SUBJECT TO SOME ANNOYANCES OR INCONVENIENCES ASSOCIATED WITH PROXIMITY TO AIRPORT OPERATIONS (E.G. NOISE, VIBRATION, OR ODORS), INDIVIDUAL SENSITIVITIES TO THOSE ANNOYANCES CAN VARY FROM PERSON TO PERSON. YOU MAY WISH TO CONSIDER WHAT AIRPORT ANNOYANCES, IF ANY, ARE ASSOCIATED WITH THE PROPERTY BEFORE YOU COMPLETE YOUR PURCHASE AND DETERMINE WHETHER THEY ARE ACCEPTABLE TO YOU.
25. THE SPECIFIC USES SHALL BE LIMITED TO THOSE INCLUDED IN THIS **PLAT** NO. 1 PRELIMINARY PLAN TRAFFIC IMPACT STUDY (TIS) SUBMITTED WITH EPC PCD FILE NO. SP236 UNLESS A REVISED TRAFFIC IMPACT STUDY IS SUBMITTED AND APPROVED FOR ANY USES BEYOND THOSE INCLUDED IN THIS TRAFFIC IMPACT STUDY.
26. ONSITE WATER QUALITY AND DETENTION FOR LOT 1 AND LOT 15 SHALL BE THE RESPONSIBILITY OF THE FUTURE PROPERTY OWNER. THE DESIGN AND A DETENTION MAINTENANCE AGREEMENT SHALL BE PROVIDED AT THE TIME OF THE SITE DEVELOPMENT PLAN APPLICATION.
27. THE 25' TRAIL EASEMENT DEPICTED WITHIN THE LOTS MAY BE VACATED IF AN ATTACHED OR DETACHED TRAIL IS CONSTRUCTED WITHIN THE RIGHT-OF-WAY OR RIGHT-OF-WAY PRESERVATION.

RMG response indicated that a note has been added that no basements are allowed unless year long monitoring is performed. Please add the note.

the planned over-excavation for swelling and compressible soils and bedrock.

RMG Response:

A note has been added to the preliminary plans that no inhabitable below-grade basement areas will be allowed unless a year-long ground water monitoring program has been completed.

CGS Comment:

SHEET INDEX

1	PRELIMINARY PLAN COVER SHEET
2	PRELIMINARY OVERALL SITE PLAN
3	PRELIMINARY ENLARGED SITE PLAN
4	PRELIMINARY ENLARGED SITE PLAN
SP01	PRELIMINARY PLAN SITE PLAN
SP02	PRELIMINARY PLAN SITE PLAN

OWNER:
MEADOWLAKE DEVELOPMENTS LLC
PO BOX 1385
COLORADO SPRINGS, CO 80901
719-445-5050

SURVEYOR:
TIM SLOAN, VICE-PRESIDENT
SMH CONSULTANTS, P.A.
411 S. TEJON ST., STE. I
COLORADO SPRINGS, CO 80903
719-465-2145

CIVIL ENGINEER:
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY., STE. 230
COLORADO SPRINGS, CO 80920
719-394-2440

TOTAL ACREAGE:
TOTAL TRACT ACREAGE = 3.10 ACRES
TOTAL PARCEL ACREAGE = 36.56 ACRES
TOTAL ROW ACREAGE = 11.64 ACRES
TOTAL: 51.3 ACRES

SERVICE PROVIDERS:
FALCON FIRE PROTECTION DISTRICT
MOUNTAIN VIEW ELECTRIC ASSOC.
BLACK HILLS ENERGY
DOMESTIC WELLS
INDIVIDUAL SEWAGE DISPOSAL SYSTEMS

SITE DATA:

ZONING: I-2

TAX SCHEDULE NUMBER: 4300000637, 4300000638, 4300000640, 4300000641, 4300000642

LAND USE: INDUSTRIAL PARK

SITE AREA: 51.3 ACRES

PROPERTY ADDRESSES: PROPERTIES DO NOT CURRENTLY HAVE ASSIGNED ADDRESSES

DENSITY AND DIMENSIONAL STANDARDS FOR INDUSTRIAL DISTRICT I-2							
ZONING DISTRICT	ZONING DISTRICT AREA MINIMUM	MINIMUM LOT SIZE	FRONT	REAR	SIDE	MAXIMUM LOT COVERAGE	MAXIMUM HEIGHT
I-2	20 ACRES	1 ACRE ¹¹	50 FT ^{5,11}	50 FT ^{5,11}	30 FT ^{5,11}	35%	45 FT

⁵ MINIMUM BUILDING SETBACK DISTANCE FROM ANY ADJOINING RESIDENTIAL ZONING DISTRICT BOUNDARY IS 125 FEET. THE PCD DIRECTOR MAY ALLOW A REDUCTION IN THE SETBACK WHERE APPROPRIATE ACTIONS ARE TAKEN INCLUDING LANDSCAPING, FENCING, BERMS OR BUILDING DESIGN, OR WHERE THE USE CAN BE LIMITED TO MITIGATE POTENTIAL IMPACTS.

¹¹ IF THE BUILDING IS ESTABLISHED AS OR CONVERTED TO CONDOMINIUM UNITS IN ACCORDANCE WITH CHAPTER 7 OF THIS CODE, THE BUILDING AND LOT SHALL MEET THE MINIMUM LOT AREA AND SETBACKS, BUT THE INDIVIDUAL UNITS ARE NOT REQUIRED TO MEET THE MINIMUM LOT AREA, MAXIMUM LOT COVERAGE, OR SETBACK REQUIREMENTS.

DATE SUBMITTED: 09/13/2023
REVISIONS:

SMH CONSULTANTS

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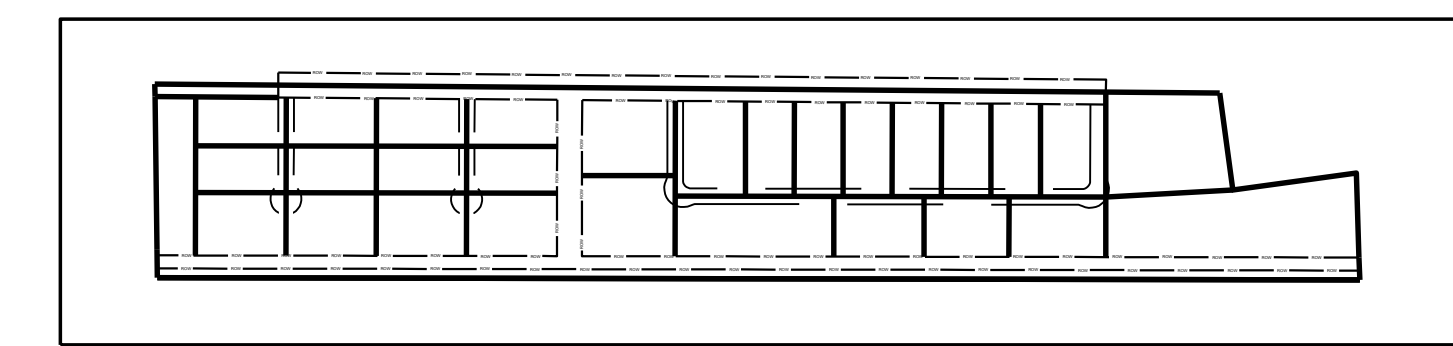
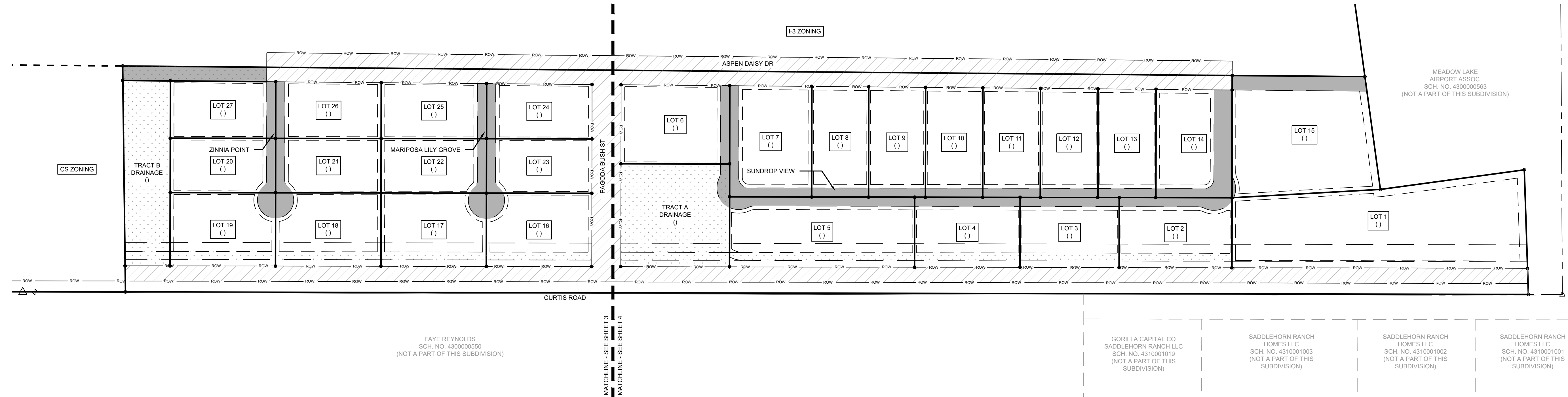
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Survey Prepared April 4, 2022
Drawn By: JAM Project #2212-0483 TDS #88 PCD File #SP236

NOVEMBER 2024

PRELIMINARY OVERALL SITE PLAN MEADOW LAKE INDUSTRIAL PHASE 1

A PART OF THE EAST HALF OF SECTION 9, TOWNSHIP 13 SOUTH, RANGE 64 WEST OF
THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO



KEY MAP
(NOT TO SCALE)

LEGEND

- MONUMENT FOUND (1/2" REBAR) W/PLS38374 CAP
- 1/2"x24" REBAR W/PLS38374 Cap Set
- △ SECTION CORNER, NOTE: ALL SECTION CORNER MONUMENT ORIGINS ARE UNKNOWN UNLESS OTHERWISE NOTED.
- ASSUMED BEARING
- (D) DEED DIMENSION
- (S) SURVEYED DIMENSION
- DE DRAINAGE EASEMENT
- UE UTILITY EASEMENT
- TE TRAVEL EASEMENT
- [Dotted Hatch] DRAINAGE EASEMENT HATCH
- [Solid Hatch] TRAVEL EASEMENT HATCH
- [Diagonal Hatch] RIGHT OF WAY HATCH

LINETYPE LEGEND

- ADJACENT PROPERTY LINE
- PROPERTY LINE
- - - SECTION LINE
- - - TRAVEL EASEMENT
- - - UTILITY EASEMENT
- ROW RIGHT OF WAY
- MATCHLINE

DATE SUBMITTED: 09/13/2023
REVISIONS:



SMH
CONSULTANTS

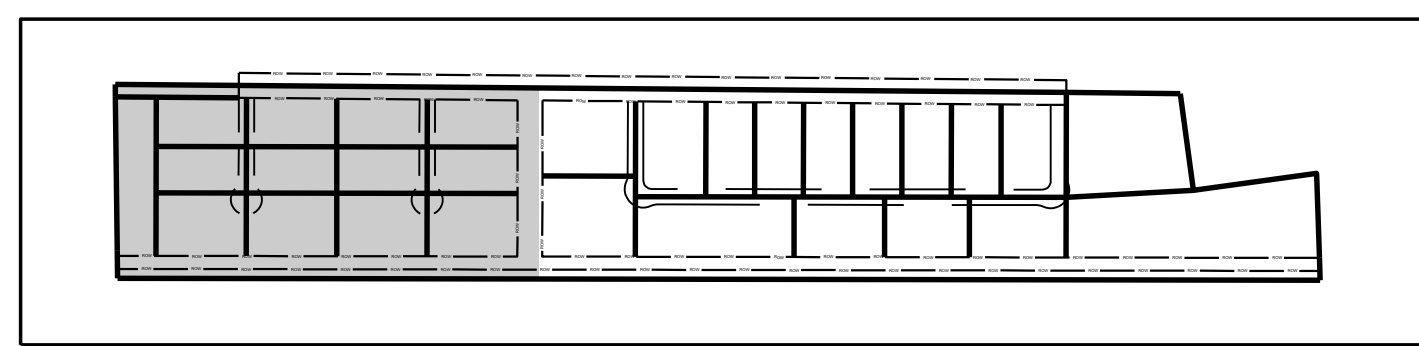
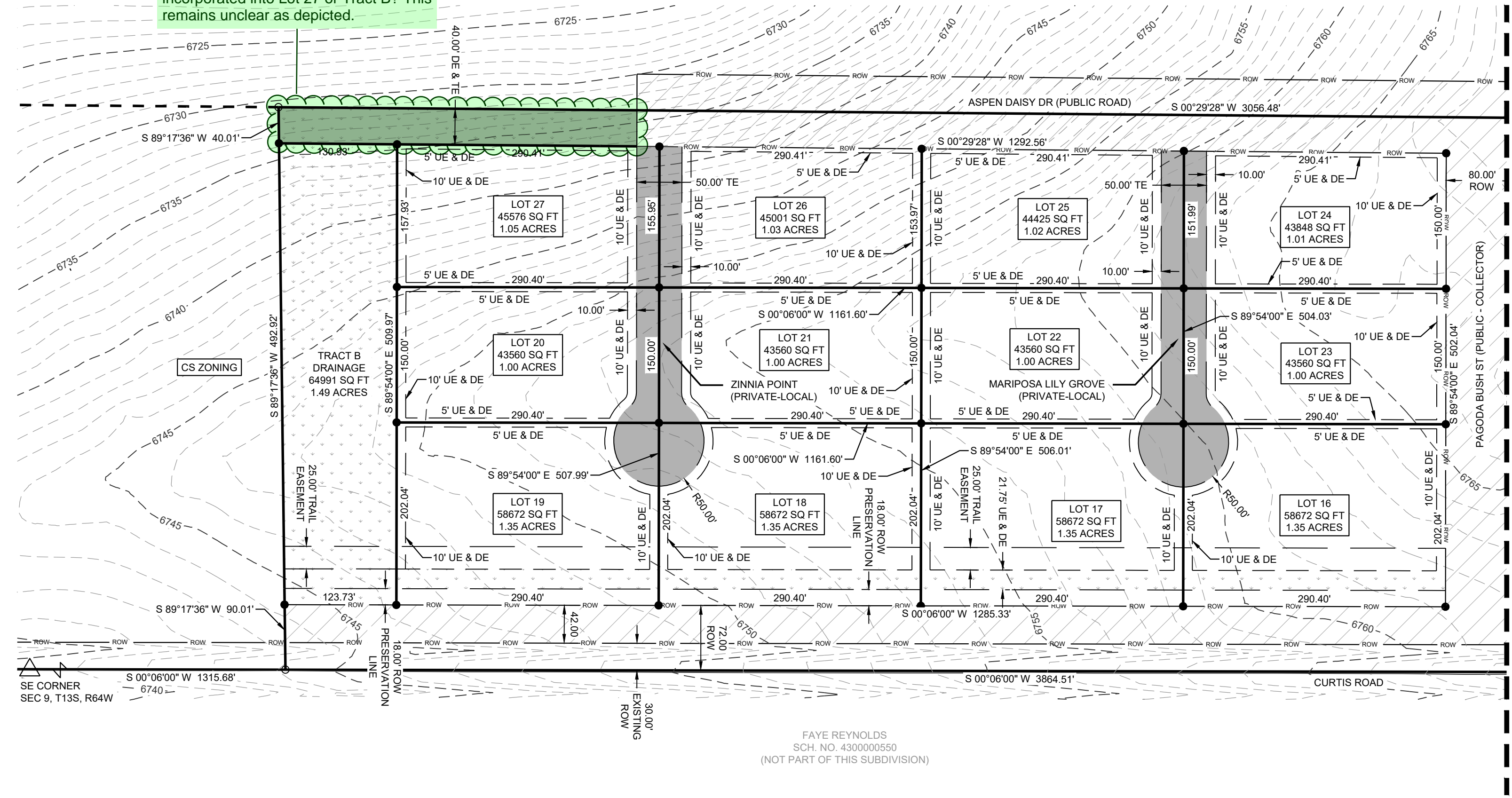
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Survey Prepared April 4, 2022

Drawn By: JAM Project #2212-0483 TDS #88 PCD File #SP236
NOVEMBER 2024

PRELIMINARY ENLARGED SITE PLAN MEADOW LAKE INDUSTRIAL PHASE 1

A PART OF THE EAST HALF OF SECTION 9, TOWNSHIP 13 SOUTH, RANGE 64 WEST OF
THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

Is this rectangle intended to be its own division of land, or is it intended to be incorporated into Lot 27 or Tract B? This remains unclear as depicted.

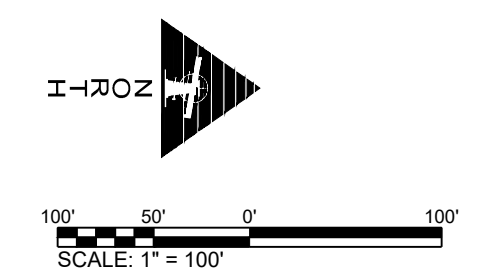


KEY MAP
(NOT TO SCALE)

- LEGEND**
- MONUMENT FOUND (1/2" REBAR) W/PLS38374 CAP
 - 1/2"x24" REBAR W/PLS38374 Cap Set
 - △ SECTION CORNER, NOTE: ALL SECTION CORNER MONUMENT ORIGINS ARE UNKNOWN UNLESS OTHERWISE NOTED.
 - * ASSUMED BEARING
 - (D) DEED DIMENSION
 - (S) SURVEYED DIMENSION
 - DE DRAINAGE EASEMENT
 - UE PUBLIC UTILITY EASEMENT
 - TE TRAVEL EASEMENT
 - [Hatched Box] DRAINAGE EASEMENT HATCH
 - [Hatched Box] TRAVEL EASEMENT HATCH
 - [Hatched Box] RIGHT OF WAY HATCH

- LINETYPE LEGEND**
- ADJACENT PROPERTY LINE
 - PROPERTY LINE
 - - - SECTION LINE
 - - - TRAVEL EASEMENT
 - - - UTILITY EASEMENT
 - - - RIGHT OF WAY
 - - - MATCHLINE

DATE SUBMITTED: 09/13/2023
REVISIONS:



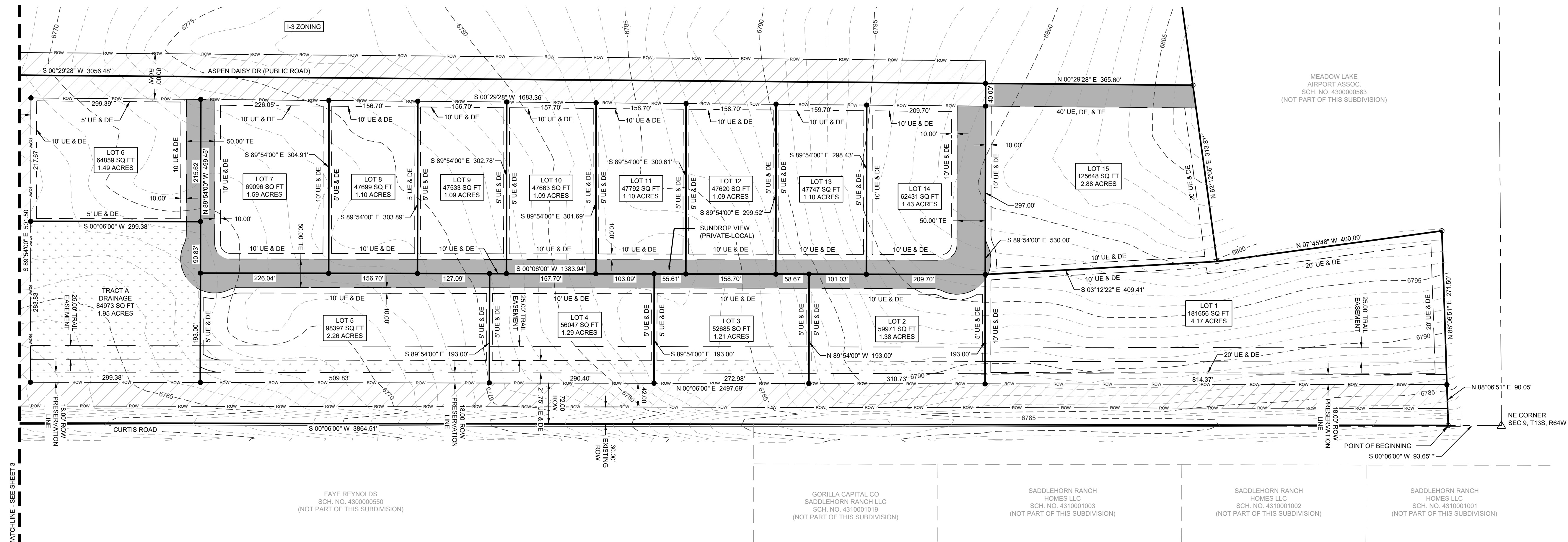
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NOVEMBER 2024

PRELIMINARY ENLARGED SITE PLAN MEADOW LAKE INDUSTRIAL PHASE 1

A PART OF THE EAST HALF OF SECTION 9, TOWNSHIP 13 SOUTH, RANGE 64 WEST OF
THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO



MEADOW LAKE AIRPORT ASSOC.
SCH. NO. 430000563
(NOT PART OF THIS SUBDIVISION)

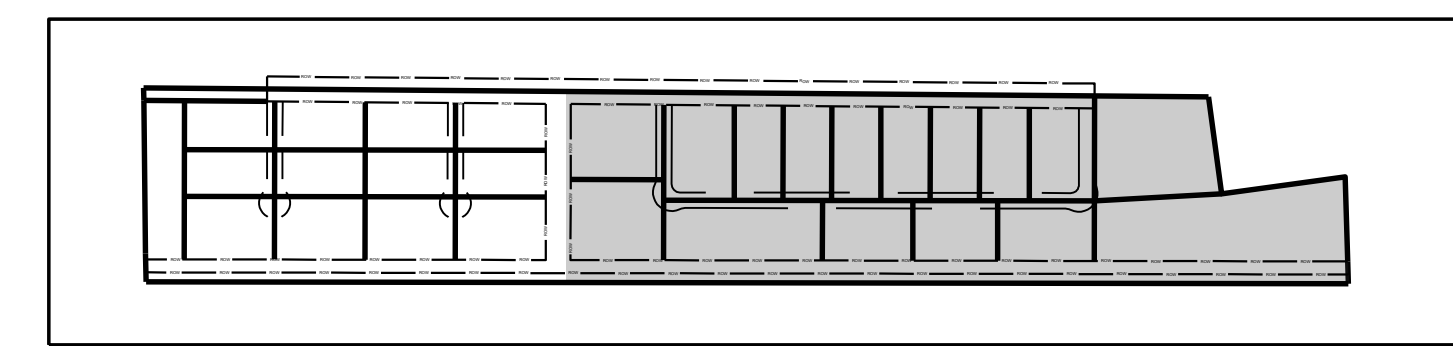
FAYE REYNOLDS
SCH. NO. 430000550
(NOT PART OF THIS SUBDIVISION)

GORILLA CAPITAL CO
SADDLEHORN RANCH LLC
SCH. NO. 4310001019
(NOT PART OF THIS SUBDIVISION)

SADDLEHORN RANCH
HOMES LLC
SCH. NO. 4310001003
(NOT PART OF THIS SUBDIVISION)

SADDLEHORN RANCH
HOMES LLC
SCH. NO. 4310001002
(NOT PART OF THIS SUBDIVISION)

SADDLEHORN RANCH
HOMES LLC
SCH. NO. 4310001001
(NOT PART OF THIS SUBDIVISION)



KEY MAP
(NOT TO SCALE)

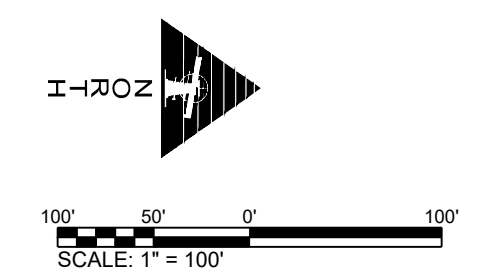
LEGEND

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- 1/2"x24" REBAR W/PLS38374 Cap Set
- △ SECTION CORNER, NOTE: ALL SECTION CORNER MONUMENT ORIGINS ARE UNKNOWN UNLESS OTHERWISE NOTED.
- * ASSUMED BEARING
- (D) DEED DIMENSION
- (S) SURVEYED DIMENSION
- DE DRAINAGE EASEMENT
- UE PUBLIC UTILITY EASEMENT
- TE TRAVEL EASEMENT
- DRAINAGE EASEMENT HATCH
- TRAVEL EASEMENT HATCH
- RIGHT OF WAY HATCH

LINETYPE LEGEND

- ADJACENT PROPERTY LINE
- PROPERTY LINE
- - - SECTION LINE
- - - TRAVEL EASEMENT
- - - UTILITY EASEMENT
- - - RIGHT OF WAY
- - - MATCHLINE

DATE SUBMITTED: 09/13/2023
REVISIONS:



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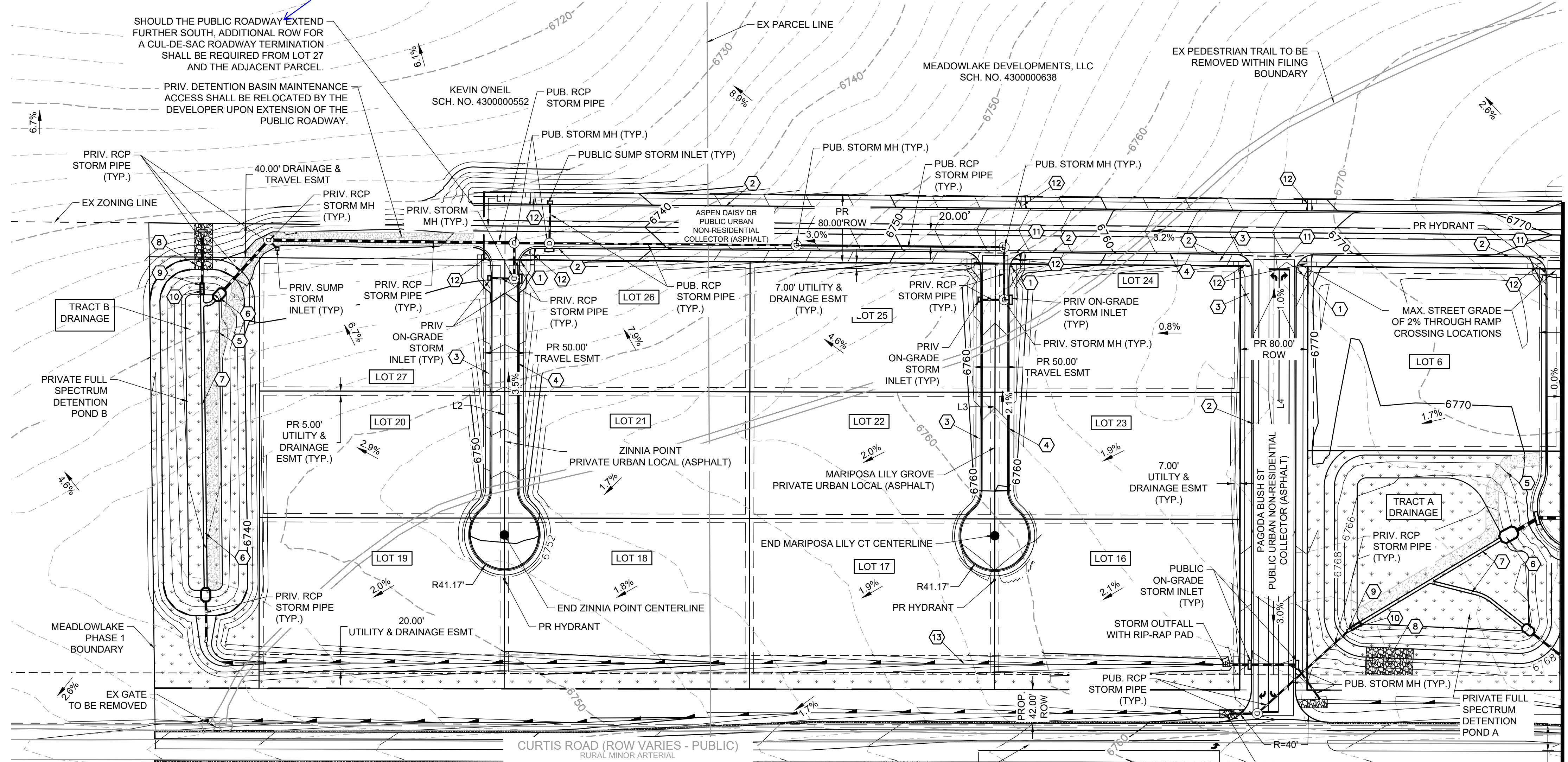
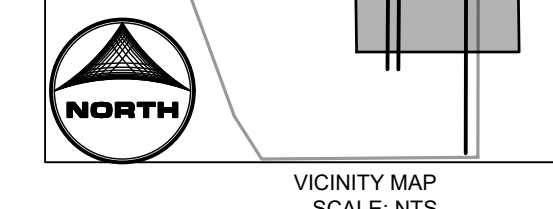
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NOVEMBER 2024

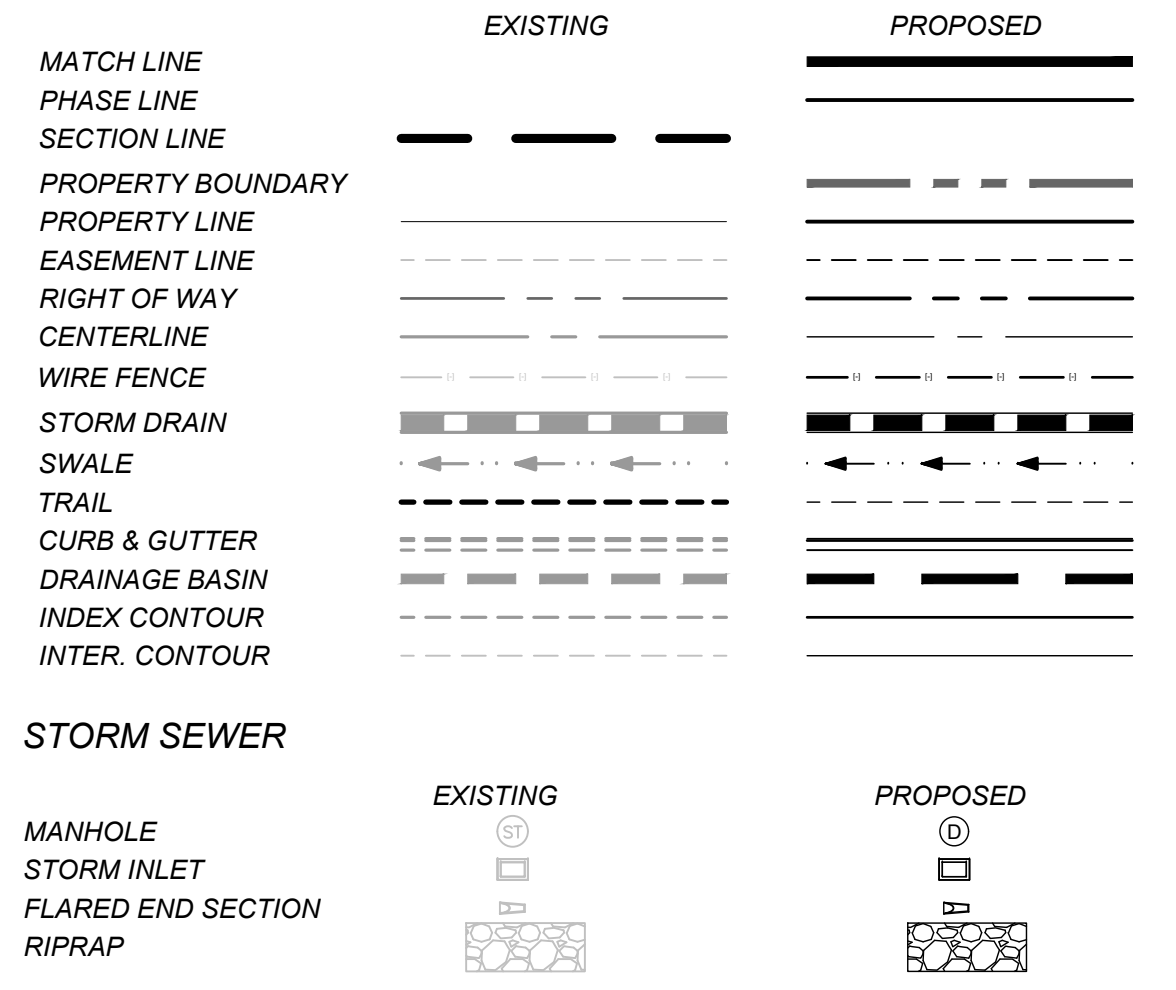
MEADOW LAKE INDUSTRIAL PHASE 1

A PART OF THE EAST HALF OF SECTION 9, TOWNSHIP 13 SOUTH, RANGE 64 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO

add the word not after roadway. The cul-de-sac is not needed if the roadway extends to the south



LEGEND



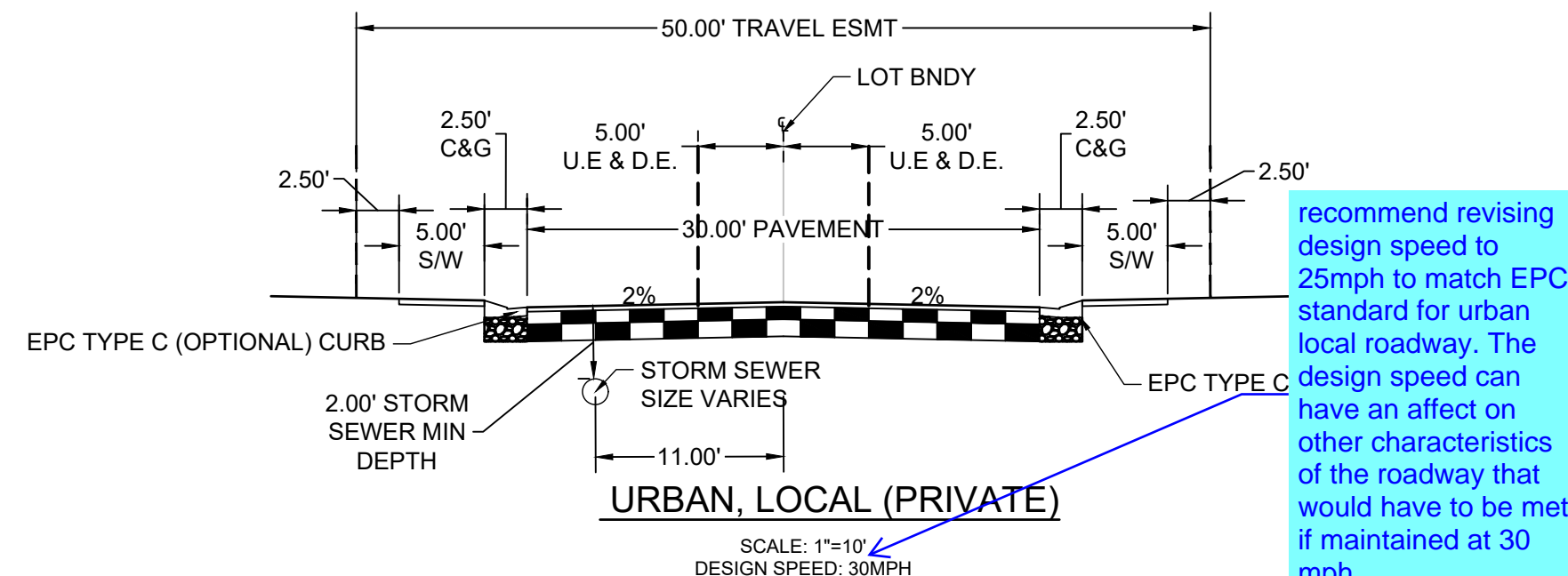
Provide a note that indicates to refer to traffic impact study by LSC for offsite improvements required with this Meadowlake Industrial phase 1 Preliminary Plan.

SITE PLAN KEYNOTES

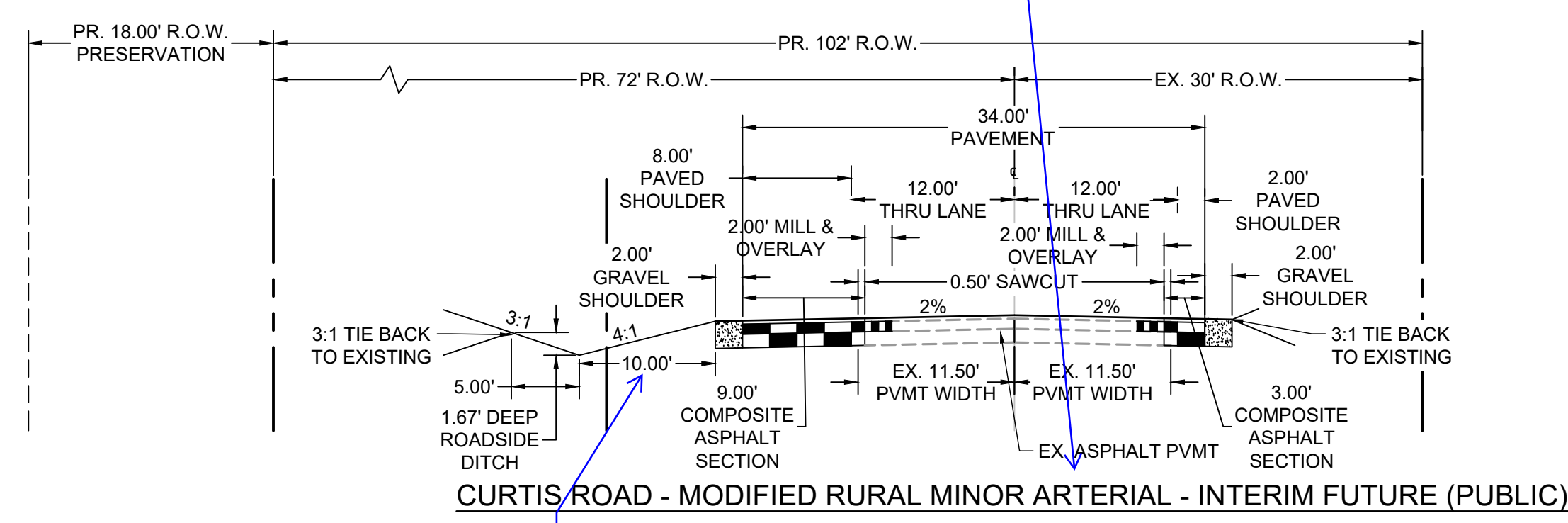
- 1 PROPOSED 30" R1-1 STOP SIGN W/ STREET NAME SIGNS
- 2 PROPOSED EPC TYPE "A" NON-MOUNTABLE VERTICAL CURB AND GUTTER
- 3 PROPOSED 5' CONCRETE SIDEWALK
- 4 PROPOSED EPC TYPE "C" MOUNTABLE CURB AND GUTTER
- 5 PROPOSED 15' MAINTENANCE ACCESS ROAD, 6" MINIMUM OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL
- 6 PROPOSED FOREBAY (PRIVATE)
- 7 PROPOSED TRICKLE CHANNEL 4' WIDTH, 1" DEPTH (PRIVATE)
- 8 PROPOSED EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- 9 PROPOSED OUTLET STRUCTURE (PRIVATE)
- 10 PROPOSED MICRO POOL (PRIVATE)
- 11 PROPOSED 6" CONCRETE CROSS PAN PER DETAIL SD_2-26 IN THE EL PASO COUNTY ENGINEERING MANUAL
- 12 PROPOSED PEDESTRIAN RAMP PER DETAIL SD_2-40 IN THE EL PASO COUNTY ENGINEERING MANUAL
- 13 PROPOSED ROLLED MAT LINED SWALE (PERMANENT TURF REINFORCEMENT MAT OR EQUIV.)

ROADWAY CENTERLINE DATA TABLE

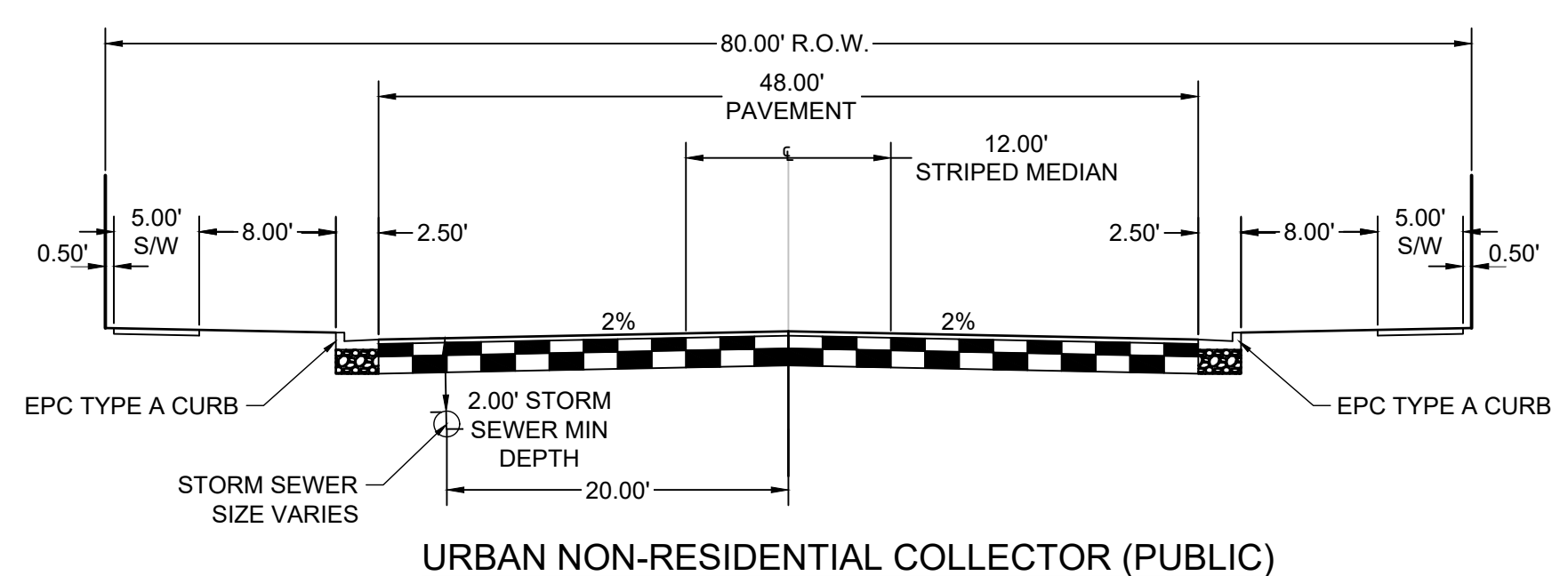
Line Table						
Line #	Length	Direction	ROADWAY NAME	CLASSIFICATION	PUBLIC/PRIVATE	ROW/ESMT WIDTH
L1	3056.48	S 0°29'28" W	ASPEN DAISY DR	URBAN NON-RESIDENTIAL COLLECTOR	PUBLIC	80'
L2	168.01	N 89°54'00" W	ZINNIA POINT	URBAN LOCAL	PRIVATE	50'
L3	168.01	N 89°54'00" W	MARIPOSA LILY GROVE	URBAN LOCAL	PRIVATE	50'
L4	523.77	S 89°54'00" E	PAGODA BUSH ST	URBAN NON-RESIDENTIAL COLLECTOR	PUBLIC	80'



recommend revising design speed to 25mph to match EPC standard for urban local roadway. The design speed can have an affect on other characteristics of the roadway that would have to be met if maintained at 30 mph.



revise to 14' per County standard detail for rural minor arterial and to match Saddlehorn



DRAWN BY: AXB JOB DATE: 11/20/2024
 APPROVED: CM JOB NUMBER: 2202774
 CAD DATE: 11/20/2024
 CAD FILE: J:\2022\2202774\CAD\DWG\CIPreliminaryPlanSite_Plan

NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
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MEADOW LAKE INDUSTRIAL PHASE 1
 MEADOWLAKE DEVELOPMENTS, LLC
 EL PASO COUNTY, CO

PRELIMINARY PLAN
 SITE PLAN

SHEET SP 01

VAN SCOY, SEAN, 11/20/2024, 2:12 PM
 HR GREEN Xref: xjg-1-dh01-2774; KeyMap; Site_Plan_Keynotes; xc-dgn-2774; xc-row-2774; xv-row-2774; xv-dgn-2774; rdwy_typicals; Legend_Prelim_Plan; xc-dgn-future-2774

