

# PRELIMINARY PLAN MEADOW LAKE INDUSTRIAL FILING NO. 1

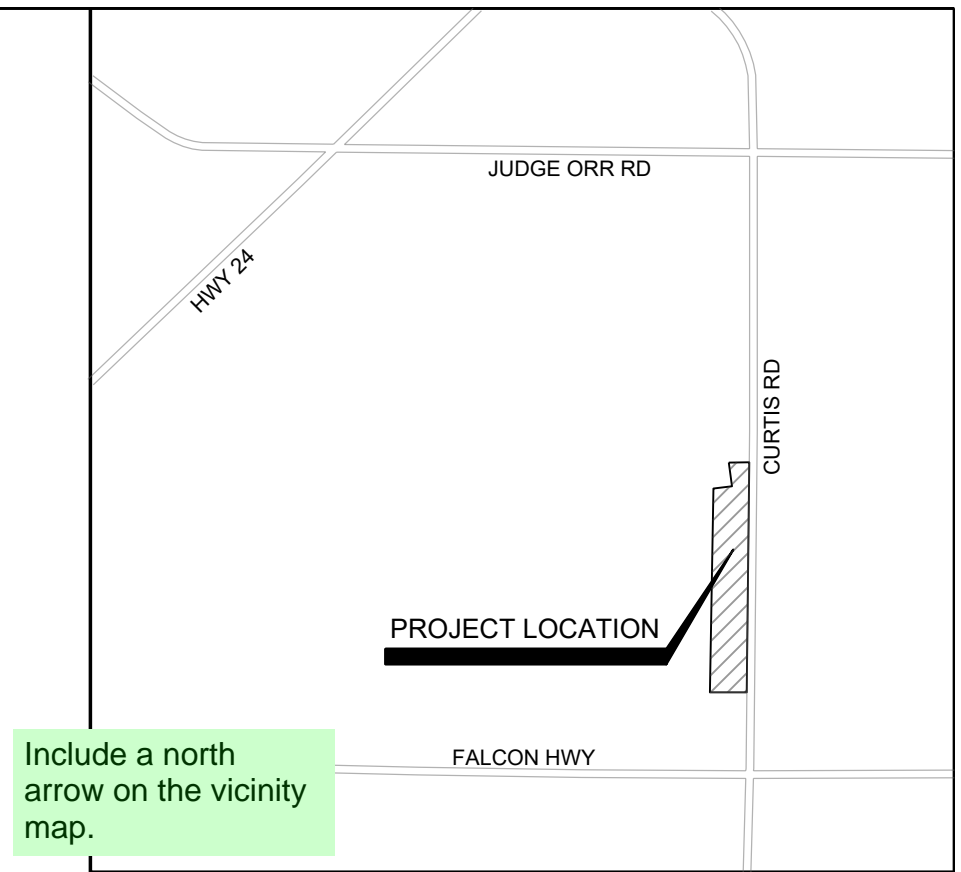
A PART OF THE EAST HALF OF SECTION 9, TOWNSHIP 13 SOUTH, RANGE 64 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

The naming and numbering conventions displayed in this plan do not conform to the County standards. Please contemplate revisions in order to prevent potential delays in future processing of applications.

I would recommend naming this preliminary plan "Phase 1" and the individual plat filings within would be Filings 1 and 2 instead of Blocks 1 and 2. Standard modern nomenclature does not incorporate blocks. The designation of blocks is confusing and adds an unnecessary layer of lot identification information.

Please review Section 7.2.5 of the Code for more information.

Include a north arrow on the vicinity map.



VICINITY MAP  
(NOT TO SCALE)

**PROJECT DESCRIPTION:**

Property is to be subdivided into 27 parcels to be used for an industrial park.

**KNOW ALL MEN BY THESE PRESENTS:**

That the undersigned, Meadowlake Developments LLC, being the owner of the following described tract of land:

**SURVEYED DESCRIPTION:**

A Tract of land in the East Half of Section 9, Township 13 South, Range 64 West of the Sixth Principal Meridian, El Paso County, Colorado described as follows:

Beginning at a point that is S 00°06'00" W 93.65 feet from the Northeast Corner of the Northeast Quarter of said Section 9; thence S 00°06'00" W 3864.51 feet along the East Line of said Section 9; thence S 89°17'36" W 622.94 feet; thence N 00°29'28" E 3422.09 feet; thence N 82°12'06" E 313.87 feet; thence N 07°45'48" W 400.00 feet; thence N 88°06'51" E 343.54 feet to the point of beginning, containing 51.3 acres.

Subject to easements and restrictions of record.

**GENERAL NOTES:**

- NO EASEMENTS, RESTRICTIONS, SETBACKS, OR OTHER MATTER OF RECORD, IF ANY, AFFECTING THE TITLE OF THIS PROPERTY ARE SHOWN, EXCEPT AS PLATTED, AS PER AGREEMENT WITH THE LANDOWNER.
- NO GAPS OR OVERLAPS EXIST.
- THERE ARE NO LINES OF POSSESSION THAT AFFECT THIS SURVEY.
- PARENT TRACT IS RECORDED AS INSTRUMENT #221072372, CLERK & RECORDER'S OFFICE, EL PASO COUNTY, COLORADO.
- ALL BUILDING SETBACK REQUIREMENTS SHALL BE DETERMINED BY THE ZONING DISTRICT, UNLESS OTHERWISE NOTED.
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SMH CONSULTANTS, TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD, FOR INFORMATION REGARDING EASEMENTS, AND RIGHT OF WAY. SMH CONSULTANTS RELIED UPON THE TITLE POLICY PREPARED BY LAND TITLE GUARANTEE COMPANY, DATED MARCH 23, 2021.
- BASIS OF BEARINGS IS THE SEAST LINE OF SECTION 9, TOWNSHIP 13 SOUTH, RANGE 64 WEST, MONUMENTED AS SHOWN AND ASSUMED TO BEAR SOUTH 00 DEGREES, 06 MINUTES 00 SECONDS WEST, 93.65 FEET.
- SEWAGE TREATMENT IS THE RESPONSIBILITY OF EACH INDIVIDUAL PROPERTY OWNER. THE EL PASO COUNTY PUBLIC HEALTH DEPARTMENT MUST APPROVE EACH SYSTEM AND, IN SOME CASES, THE DEPARTMENT MAY REQUIRE AN ENGINEER-DESIGNED SYSTEM PRIOR TO PERMITTING APPROVAL.
- ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORMWATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICATED. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
- NO STRUCTURES OR MAJOR MATERIAL STORAGE ACTIVITIES ARE PERMITTED WITHIN THE DESIGNATED DRAINAGE EASEMENTS, EXCEPT FENCES. FENCES SHALL NOT IMPEDE RUNOFF FROM REACHING DRAINAGE SWALES.
- INDIVIDUAL WELLS ARE THE RESPONSIBILITY OF EACH PROPERTY OWNER. PERMITS FOR INDIVIDUAL WELLS MUST BE OBTAINED FROM THE STATE ENGINEER WHO BY LAW HAS THE AUTHORITY TO SET CONDITIONS FOR THE ISSUANCE OF THESE PERMITS.
- WATER IN THE DENVER WATER BASIN AQUIFERS IS ALLOCATED BASED ON A 100-YEAR AQUIFER LIFE; HOWEVER, FOR EL PASO COUNTY PLANNING PURPOSES, WATER IN THE DENVER BASIN AQUIFERS IS ELLEVATED BASED ON A 300-YEAR AQUIFER LIFE. APPLICANTS, THE HOME OWNERS ASSOCIATION, AND ALL FUTURE OWNERS IN THE SUBDIVISION SHOULD BE AWARE THAT THE ECONOMIC LIFE OF A WATER SUPPLY BASED ON WELLS IN A GIVEN DENVER BASIN AQUIFER MAY BE LESS THAN EITHER THE 100 YEARS OR 300 YEARS INDICATED DUE TO ANTICIPATED WATER LEVEL DECLINES. FURTHERMORE, THE WATER SUPPLY PLAN SHOULD NOT RELY SOLELY UPON NON-RENEWABLE AQUIFERS. ALTERNATIVE RENEWABLE WATER RESOURCES SHOULD BE ACQUIRED AND INCORPORATED IN A PERMANENT WATER SUPPLY PLAN THAT PROVIDES FUTURE GENERATIONS WITH A WATER SUPPLY.
- ACCESS TO ALL LOTS SHALL BE THROUGH THE SHOWN TRAVEL EASEMENTS. THE RESPONSIBILITY AND MAINTENANCE OF SAID EASEMENTS ARE SUBJECT TO THE MAINTENANCE AGREEMENT AND ALL COVENANTS AND RESTRICTIONS CONTAINED THEREIN, THAT WILL BE RECORDED WITH THE FINAL PLAT.
- NO DRIVEWAY SHALL BE ESTABLISHED UNLESS AN ACCESS PERMIT HAS BEEN GRANTED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT. INDIVIDUAL LOT PURCHASERS ARE RESPONSIBLE FOR CONSTRUCTING DRIVEWAYS.
- ALL STRUCTURAL FOUNDATIONS ON THE LOTS IN THIS SUBDIVISION SHALL BE LOCATED AND DESIGNED BY A PROFESSIONAL ENGINEER, CURRENTLY REGISTERED IN THE

include Traffic Impact Study

STATE OF COLORADO. NATURAL DRAINAGE LOCATIONS SHALL BE AVOIDED BY CONSTRUCTION AND SITE-SPECIFIC FOUNDATION/SEPTIC INVESTIGATIONS SHALL BE REQUIRED.

PROPERTY WITHIN THIS SUBDIVISION IS SUBJECT TO THE TERMS AND PROVISIONS OF THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM (RESOLUTION 19-471) AND ANY SUBSEQUENT AMENDMENTS. FEES FOR EACH LOT WITHIN THIS SUBDIVISION SHALL BE PAID IN FULL AT THE TIME OF BUILDING PERMIT ISSUANCE.

Delete this note - it is duplicative of Note 24.

MAILBOXES SHALL BE INSTALLED IN ACCORDANCE WITH ALL EL PASO COUNTY DEPARTMENT OF TRANSPORTATION AND THE UNITED STATES POSTAL SERVICE REGULATIONS.

Delete this part

THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE FINAL PLAT FOR THIS SUBDIVISION AND ARE ON FILE AT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT: DRAINAGE REPORT, WATER RESOURCES REPORT, WASTEWATER DISPOSAL REPORT, GEOLOGY AND SOILS REPORT, FIRE PROTECTION REPORT, AND ONSITE WASTEWATER TREATMENT SYSTEM REPORT.

Preliminary Plan

These reports were not submitted

CONTOURS ARE DERIVED FROM TOPOGRAPHIC SURVEY PERFORMED BY SMH CONSULTANTS.

please also provide a note indicating that direct lot access shall not be permitted onto Greenfield Ave and Sagebrush St.

THERE SHALL BE NO DIRECT LOT ACCESS TO CURTIS RD.

ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO C.R.S. § 18-4-508\*.

ALL FUTURE LOT OWNERS SHALL SUBMIT AN ENGINEERED SITE PLAN AT TIME OF BUILDING PERMIT.

THE PRIVATE ROADS AS SHOWN ON THIS PLAT WILL NOT BE MAINTAINED BY EL PASO COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN CONFORMANCE WITH EL PASO COUNTY STANDARDS IN EFFECT AT THE DATE OF THE REQUEST FOR DEDICATION AND MAINTENANCE.

THE SUBDIVIDER(S) AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNEES SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.

**Easements:**  
Unless otherwise indicated, all side, front, and rear lot lines are hereby platted on either side with a 10 foot (use 5 feet for lots smaller than 2.5 acres) public utility and drainage easement unless otherwise indicated. All exterior subdivision boundaries are hereby platted with a 20 foot (use 7 feet for lots smaller than 2.5 acres) public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners.

Please include the aircraft disclosure notification on this plat per the request of the Meadow Lake Airport.

**Environmental:**  
Developer shall comply with federal and state laws, regulations, ordinances, review and permit requirements, and other agency requirements, if any, of applicable agencies including, but not limited to, the Colorado Division of Wildlife, Colorado Department of Transportation, U.S. Army Corps of Engineers and the U.S. Fish and Wildlife Service regarding the Endangered Species Act, particularly as it relates to the listed species (e.g., Preble's Meadow Jumping Mouse).

**Easement and Tract Maintenance:**  
Tract \_\_\_\_\_ shall be utilized as \_\_\_\_\_ (park, neighborhood park, school site, fire station, drainage tract, etc). Ownership and maintenance of Tract \_\_\_\_\_ shall be vested to (name the entity: El Paso County, Special District, Homeowners Association, etc.). (Where multiple tracts are included in a single PUD plan or plat, the use of a tract table is encouraged.)

Lot \_\_\_\_\_ (or Tract \_\_\_\_\_) (or entire property) of this property is subject to a Private Detention Basin/Stormwater Quality BMP Maintenance Agreement and Easement to be recorded with subsequent final plat applications.

This note will likely need to change, depending on comments regarding shared OWTS. The lots will likely be OWTS restricted.

**GEOLOGIC HAZARD NOTE:**

THE FOLLOWING LOTS HAVE BEEN FOUND TO BE IMPACTED BY GEOLOGIC HAZARDS. MITIGATION MEASURES AND A MAP OF THE HAZARD AREA CAN BE FOUND IN THE SOILS & GEOLOGY STUDY BY RMG - ROCKY MOUNTAIN GROUP DATED JULY 13, 2023, REVISED JULY 24, 2023, IN FILE SP236 AVAILABLE AT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT.

- DOWNSLOPE CREEP: N/A
- ROCKFALL SOURCE: N/A
- ROCKFALL RUNOUT ZONE: N/A
- POTENTIALLY SEASONALLY HIGH GROUNDWATER: N/A
- OTHER HAZARD:
  - FLOOD PRONE AREAS: N/A FOR FILING NO. 1. FLOOD PRONE AREAS ARE OUTSIDE THE LIMITS OF FILING NO. 1
  - FAULTS: ALL LOTS
  - SEISMICITY: ALL LOTS
  - RADON: ALL LOTS

These notes should be eliminated, as the lots are proposed to be serviced by central water system. Replace with a note indicating that water service is to be provided by the metro district.

This should just say El Paso County.

please add the note below

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

**SHEET INDEX**

1	PRELIMINARY PLAN COVER SHEET
2	PRELIMINARY OVERALL SITE PLAN
3	PRELIMINARY ENLARGED SITE PLAN
4	PRELIMINARY ENLARGED SITE PLAN
SP01	PRELIMINARY PLAN SITE PLAN
SP02	PRELIMINARY PLAN SITE PLAN

OWNER:  
MEADOWLAKE DEVELOPMENTS LLC  
PO BOX 1385  
COLORADO SPRINGS, CO 80901  
719-445-5050

TOTAL ACREAGE:  
TOTAL TRACT ACREAGE = 3.10 ACRES  
TOTAL PARCEL ACREAGE = 36.56 ACRES  
TOTAL ROW ACREAGE = 11.64 ACRES  
TOTAL: 51.3 ACRES

SURVEYOR:  
TIM SLOAN, VICE-PRESIDENT  
SMH CONSULTANTS, P.A.  
411 S. TEJON ST., STE. I  
COLORADO SPRINGS, CO 80903  
719-465-2145

SERVICE PROVIDERS:  
FALCON FIRE PROTECTION DISTRICT  
MOUNTAIN VIEW ELECTRIC ASSOC.  
BLACK HILLS ENERGY  
DOMESTIC WELLS  
INDIVIDUAL SEWAGE DISPOSAL SYSTEMS

CIVIL ENGINEER:  
HR GREEN - COLORADO SPRINGS  
1975 RESEARCH PKWY., STE. 230  
COLORADO SPRINGS, CO 80920  
719-394-2440

**SITE DATA:**

ZONING:	I-2
TAX SCHEDULE NUMBER:	4300000637, 4300000638, 4300000640, 4300000641, 4300000642
LAND USE:	INDUSTRIAL PARK
SITE AREA:	51.3 ACRES
PROPERTY ADDRESSES:	PROPERTIES DO NOT CURRENTLY HAVE ASSIGNED ADDRESSES

DENSITY AND DIMENSIONAL STANDARDS FOR INDUSTRIAL DISTRICT I-2							
ZONING DISTRICT	ZONING DISTRICT AREA MINIMUM	MINIMUM LOT SIZE	FRONT	REAR	SIDE	MAXIMUM LOT COVERAGE	MAXIMUM HEIGHT
I-2	20 ACRES	1 ACRE	50 Ft	50 Ft	30 Ft	35%	45Ft

If you are going to include this table, please also include the relevant footnotes.

DATE SUBMITTED: 09/13/2023
REVISIONS:

Include PCD File No.



Civil Engineering • Land Surveying • Landscape Architecture  
www.smhconsultants.com  
Manhattan, KS - HQ P: (785) 776-0541 • Dodge City, KS P: (620) 255-1952  
Kansas City P: (913) 444-9615 • Colorado Springs, CO P: (719) 465-2145

Survey Prepared April 4, 2022  
Drawn By: JAM Project #2212-0483 TDS #88

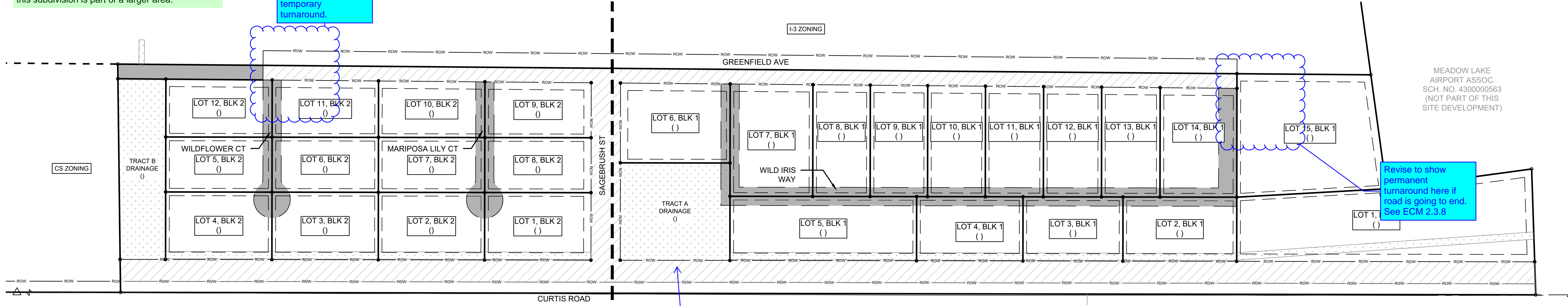
SEPTEMBER 2023

# PRELIMINARY OVERALL SITE PLAN MEADOW LAKE INDUSTRIAL FILING NO. 1

A PART OF THE EAST HALF OF SECTION 9, TOWNSHIP 13 SOUTH, RANGE 64 WEST OF  
THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

Include the location of property lines including location and boundaries of the subdivision since this subdivision is part of a larger area.

Revise to show permanent turnaround here if road is going to end. See ECM 2.3.8. If road will be extended in the future, provide temporary turnaround.



MEADOW LAKE AIRPORT ASSOC. SCH. NO. 430000563 (NOT PART OF THIS SITE DEVELOPMENT)

Revise to show permanent turnaround here if road is going to end. See ECM 2.3.8.

These notes should say "not a part of this subdivision"

FAYE REYNOLDS SCH. NO. 4300000550 (NOT PART OF THIS SITE DEVELOPMENT)

Revise to show 72' of ROW dedication from centerline of Curtis Road that will be required for this development. The dedication should be along the entire frontage of the development.

Please also show and label the ROW preservation (18'). This will match what was determined with the Saddlehorn Subdivision to the north.

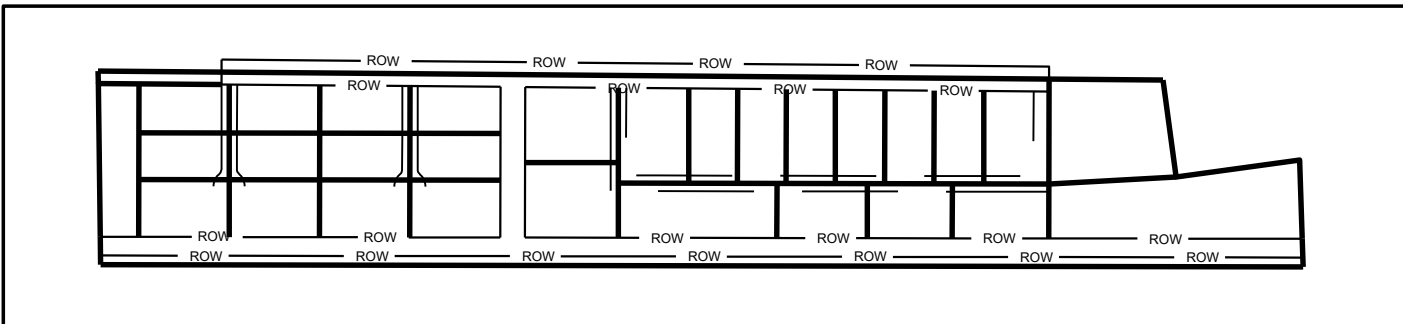
GORILLA CAPITAL CO SADDLEHORN RANCH LLC SCH. NO. 4310001019 (NOT PART OF THIS SITE DEVELOPMENT)

SADDLEHORN RANCH HOMES LLC SCH. NO. 4310001003 (NOT PART OF THIS SITE DEVELOPMENT)

SADDLEHORN RANCH HOMES LLC SCH. NO. 4310001002 (NOT PART OF THIS SITE DEVELOPMENT)

SADDLEHORN RANCH HOMES LLC SCH. NO. 4310001001 (NOT PART OF THIS SITE DEVELOPMENT)

It is preferred that the acreages and square footages be displayed within the lots on pages 3-4, instead of in the table. This is more of a request than a requirement, but would help to clean up the plan and improve clarity. Please remove the block designation and label the lots as 1-27.



KEY MAP (NOT TO SCALE)

- LEGEND**
- MONUMENT FOUND (1/2" REBAR) W/PLS38374 CAP
  - 1/2"x24" REBAR W/PLS38374 Cap Set
  - △ SECTION CORNER. NOTE: ALL SECTION CORNER MONUMENT ORIGINS ARE UNKNOWN UNLESS OTHERWISE NOTED.
  - ASSUMED BEARING
  - (D) DEED DIMENSION
  - (S) SURVEYED DIMENSION
  - D.E. DRAINAGE EASEMENT
  - U.E. UTILITY EASEMENT
  - T.E. TRAVEL EASEMENT
  - DRAINAGE EASEMENT HATCH
  - TRAVEL EASEMENT HATCH
  - RIGHT OF WAY HATCH

**TRACT AREA TABLE**

TRACT	AREA (FT)	ACRES
A	79584	1.83
B	62761	1.44

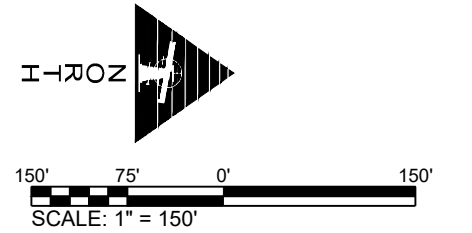
DATE SUBMITTED: 09/13/2023  
REVISIONS:

**PARCEL AREA TABLE**

LOT #	BLOCK #	AREA (FT)	ACRES
1	BLOCK 1	167003	3.83
2	BLOCK 1	54378	1.25
3	BLOCK 1	47771	1.10
4	BLOCK 1	50820	1.17
5	BLOCK 1	89220	2.05
6	BLOCK 1	84859	1.99
7	BLOCK 1	69096	1.59
8	BLOCK 1	47699	1.10
9	BLOCK 1	47533	1.09
10	BLOCK 1	47663	1.09
11	BLOCK 1	47792	1.10
12	BLOCK 1	47620	1.09
13	BLOCK 1	47747	1.10
14	BLOCK 1	62431	1.43
15	BLOCK 1	125648	2.88

**PARCEL AREA TABLE**

LOT #	BLOCK #	AREA (FT)	ACRES
1	BLOCK 2	53445	1.23
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5	BLOCK 2	43560	1.00
6	BLOCK 2	43560	1.00
7	BLOCK 2	43560	1.00
8	BLOCK 2	43560	1.00
9	BLOCK 2	43848	1.01
10	BLOCK 2	44425	1.02
11	BLOCK 2	45001	1.03
12	BLOCK 2	45576	1.05



- LINETYPE LEGEND**
- ADJACENT PROPERTY LINE
  - PROPERTY LINE
  - - - SECTION LINE
  - · - TRAVEL EASEMENT
  - · - UTILITY EASEMENT
  - · - RIGHT OF WAY
  - MATCHLINE

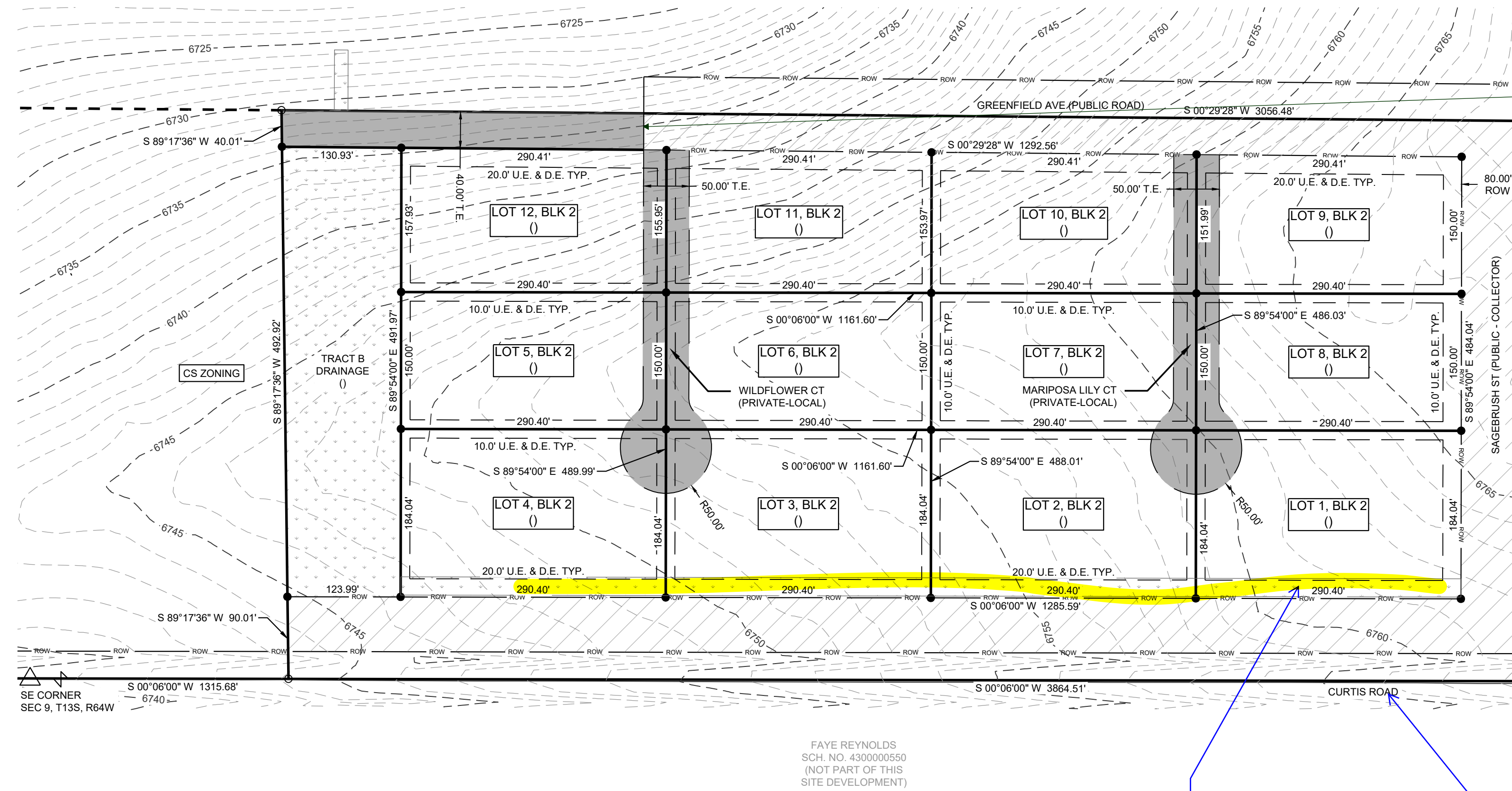
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Survey Prepared April 4, 2022  
Drawn By: JAM Project #2212-0483 TDS #88  
**SEPTEMBER 2023**

# PRELIMINARY ENLARGED SITE PLAN MEADOW LAKE INDUSTRIAL FILING NO. 1

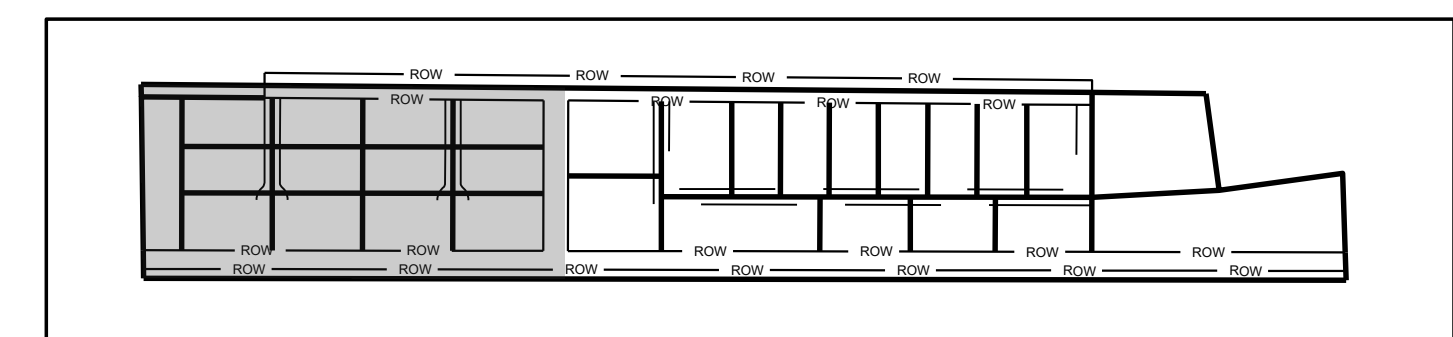
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Why is only half of Greenfield Ave hatched as ROW? It looks like it dead ends into a private portion to the south.

coordinate with the drainage engineer regarding the width of the drainage easement at rear of these lots and update as needed.

The TIS identifies turn lane improvements at Curtis and Sagebrush. Please include these in the preliminary plan as well as any other improvements that are required/recommended by the traffic engineer.



KEY MAP  
(NOT TO SCALE)

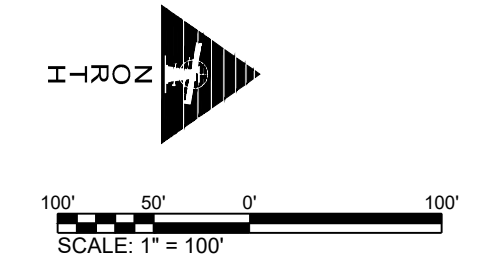
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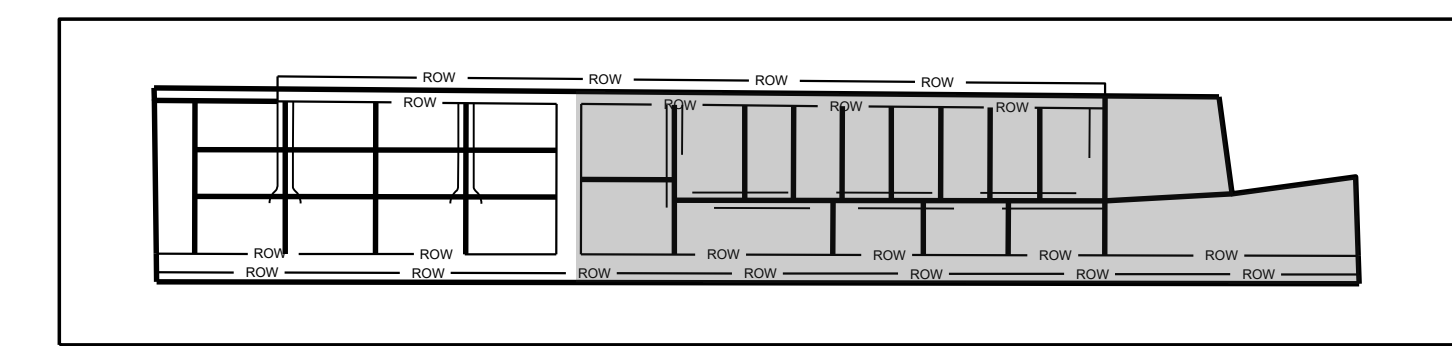
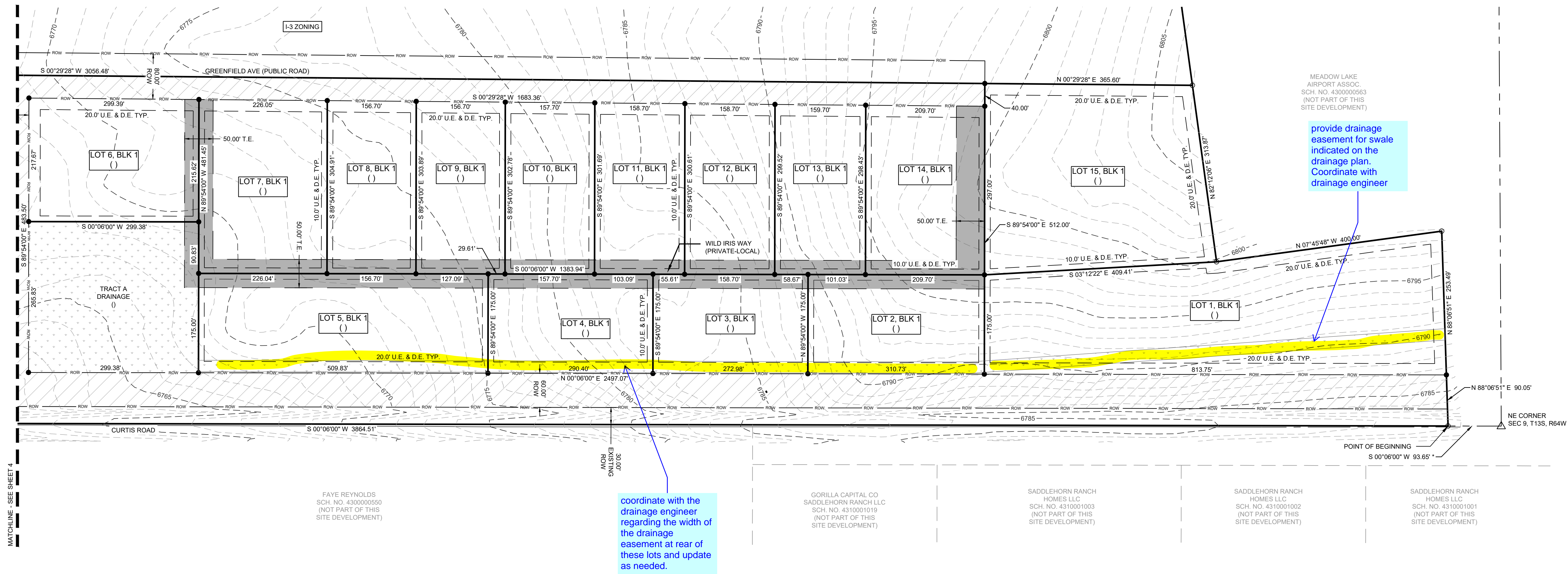
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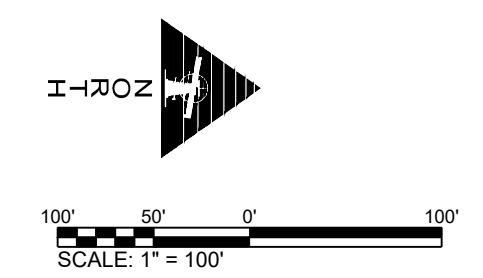
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**SEPTEMBER 2023**

BULLARD, ABBY, 8/25/2023 10:08 AM

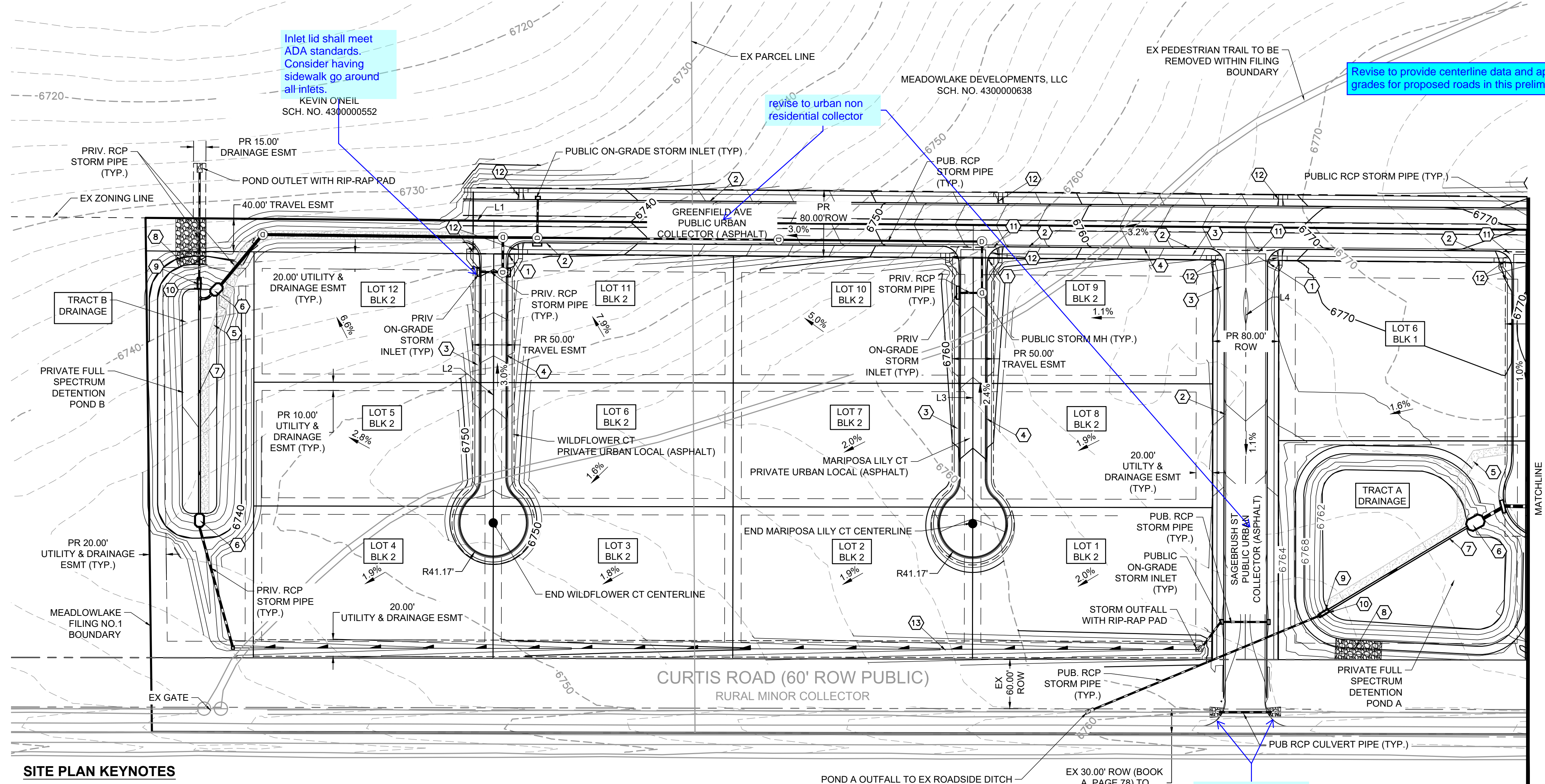
PRELIMINARY PLAN

# MEADOW LAKE INDUSTRIAL FILING NO.1

A PART OF THE EAST HALF OF SECTION 9, TOWNSHIP 13 SOUTH, RANGE 64 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
COUNTY OF EL PASO, STATE OF COLORADO



VICINITY MAP  
SCALE: NTS



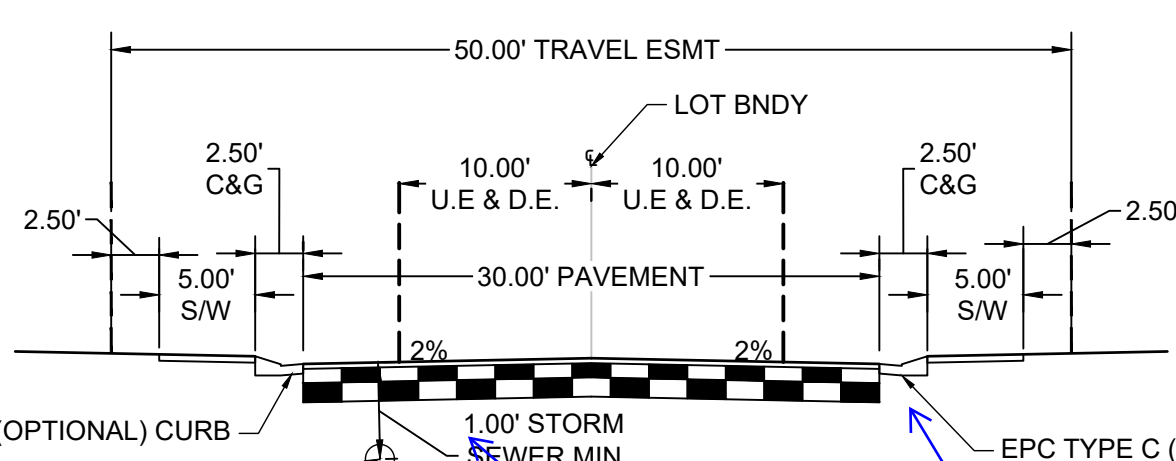
### SITE PLAN KEYNOTES

- 1 PROPOSED 30" R1-1 STOP SIGN W/ STREET NAME SIGNS
- 2 PROPOSED EPC TYPE "A" NON-MOUNTABLE VERTICAL CURB AND GUTTER
- 3 PROPOSED 5' CONCRETE SIDEWALK
- 4 PROPOSED EPC TYPE "C" MOUNTABLE CURB AND GUTTER
- 5 PROPOSED 15' MAINTENANCE ACCESS ROAD, 6" MINIMUM OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL
- 6 PROPOSED FOREBAY (PRIVATE)
- 7 PROPOSED TRICKLE CHANNEL 4' WIDTH, 1" DEPTH (PRIVATE)
- 8 PROPOSED EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- 9 PROPOSED OUTLET STRUCTURE (PRIVATE)
- 10 PROPOSED MICRO POOL (PRIVATE)
- 11 PROPOSED 6" CONCRETE CROSS PAN PER DETAIL SD\_2-26 IN THE EL PASO COUNTY ENGINEERING MANUAL
- 12 PROPOSED PEDESTRIAN RAMP PER DETAIL SD\_2-40 IN THE EL PASO COUNTY ENGINEERING MANUAL
- 13 PROPOSED GRASS-LINED SWALE

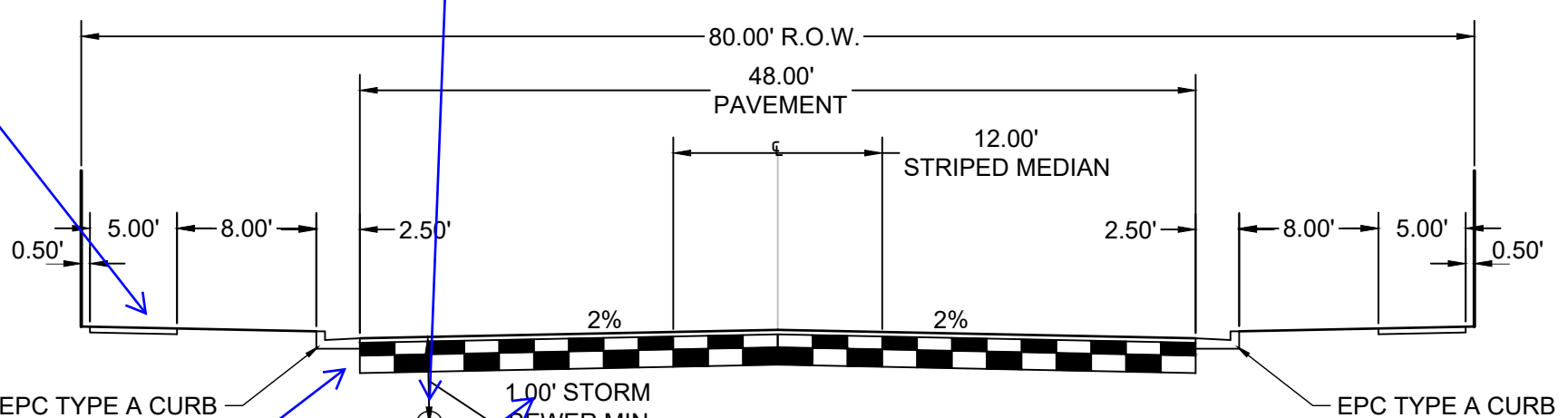
Depict the proposed fire hydrant locations.

Revise to include product/method that will be used to line the swale.

Line #	Length	Direction	ROADWAY NAME	CLASSIFICATION	PUBLIC/PRIVATE	ROW/ESMT WIDTH
L1	3056.48	S 0°29'28" W	GREENFIELD AVE	URBAN COLLECTOR	PUBLIC	80'
L2	168.01	N 89°54'00" W	WILDFLOWER CT	URBAN LOCAL	PRIVATE	50'
L3	168.01	N 89°54'00" W	MARIPOSA LILY CT	URBAN LOCAL	PRIVATE	50'
L4	523.77	S 89°54'00" E	SAGEBRUSH ST	URBAN COLLECTOR	PUBLIC	80'



URBAN, LOCAL (PRIVATE)



URBAN NONRESIDENTIAL COLLECTOR (PUBLIC)

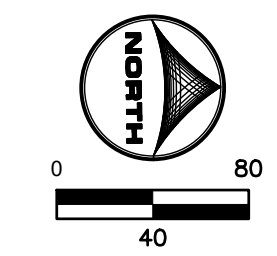
Update to show basecourse under curb.

Storm sewers shall be a min. of 2ft from road surface per ECM 4.3.6.A.3. revise

provide radii. refer to ECM 2-31 & 2-32

provide distance of storm sewer from centerline of roadway. Ensure that it meets standard county detail SD\_4-3

Label sidewalks.



### LEGEND

	EXISTING	PROPOSED
MATCH LINE	---	---
PHASE LINE	---	---
SECTION LINE	---	---
PROPERTY BOUNDARY	---	---
PROPERTY LINE	---	---
EASEMENT LINE	---	---
RIGHT OF WAY CENTERLINE	---	---
WIRE FENCE	---	---
STORM DRAIN	---	---
SWALE	---	---
TRAIL	---	---
CURB & GUTTER	---	---
DRAINAGE BASIN	---	---
INDEX CONTOUR	---	---
INTER. CONTOUR	---	---
STORM SEWER	---	---
MANHOLE	---	---
STORM INLET	---	---
FLARED END SECTION	---	---
RIPRAP	---	---

DRAWN BY: AXB JOB DATE: 8/25/2023  
 APPROVED: CM JOB NUMBER: 2202774  
 CAD DATE: 8/25/2023  
 CAD FILE: J:\2022\2202774\CAD\DWG\CIP\ Preliminary Plan\Site\_Plan

NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS  
 1975 RESEARCH PARKWAY SUITE 230  
 COLORADO SPRINGS, CO 80920  
 PHONE: 719.384.2440  
 FAX: 713.965.0044

MEADOW LAKE INDUSTRIAL FILING NO. 1  
 MEADOWLAKE DEVELOPMENTS, LLC  
 EL PASO COUNTY, CO

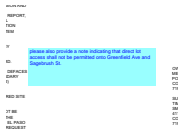
PRELIMINARY PLAN  
 SITE PLAN

SHEET  
 SP  
 01



# V1\_Preliminary Plan Drawings.pdf Markup Summary 10-24-2023

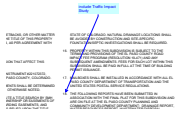
Daniel Torres (17)



STREET SIDE

**Author:** Daniel Torres  
**Subject:** Text Box  
**Page Label:** [1] COVER SHEET  
**Date:** 10/24/2023 1:27:30 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

please also provide a note indicating that direct lot access shall not be permitted onto Greenfield Ave and Sagebrush St.



**Author:** Daniel Torres  
**Subject:** Callout  
**Page Label:** [1] COVER SHEET  
**Date:** 10/24/2023 1:28:16 PM  
**Status:**  
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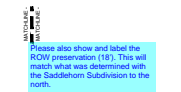
include Traffic Impact Study



**Author:** Daniel Torres  
**Subject:** Image  
**Page Label:** [1] COVER SHEET  
**Date:** 10/24/2023 1:35:26 PM  
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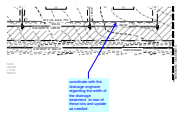
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**Subject:** Text Box  
**Page Label:** [1] COVER SHEET  
**Date:** 10/24/2023 1:36:11 PM  
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**Layer:**  
**Space:**

please add the note below



**Author:** Daniel Torres  
**Subject:** Text Box  
**Page Label:** [1] OVERALL SITE PLAN  
**Date:** 10/24/2023 5:05:55 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please also show and label the ROW preservation (18'). This will match what was determined with the Saddlehorn Subdivision to the north.

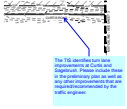


**Author:** Daniel Torres  
**Subject:** Callout  
**Page Label:** [1] PERLIMINARY SITE PLAN (1)  
**Date:** 10/24/2023 11:51:53 AM  
**Status:**  
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**Space:**

coordinate with the drainage engineer regarding the width of the drainage easement at rear of these lots and update as needed.



**Author:** Daniel Torres  
**Subject:** Highlight  
**Page Label:** [1] PERLIMINARY SITE PLAN (1)  
**Date:** 10/24/2023 11:52:03 AM  
**Status:**  
**Color:** ■  
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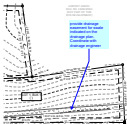


**Author:** Daniel Torres  
**Subject:** Callout  
**Page Label:** [1] PERLIMINARY SITE PLAN (1)  
**Date:** 10/24/2023 1:02:34 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

The TIS identifies turn lane improvements at Curtis and Sagebrush. Please include these in the preliminary plan as well as any other improvements that are required/recommended by the traffic engineer.

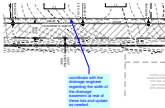


**Author:** Daniel Torres  
**Subject:** Highlight  
**Page Label:** [1] PRELIMINARY SITE PLAN (2)  
**Date:** 10/24/2023 11:45:11 AM  
**Status:**  
**Color:** ■  
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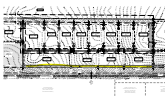
**Author:** Daniel Torres  
**Subject:** Callout  
**Page Label:** [1] PRELIMINARY SITE PLAN (2)  
**Date:** 10/24/2023 11:45:49 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

provide drainage easement for swale indicated on the drainage plan. Coordinate with drainage engineer



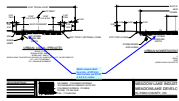
**Author:** Daniel Torres  
**Subject:** Callout  
**Page Label:** [1] PRELIMINARY SITE PLAN (2)  
**Date:** 10/24/2023 11:52:30 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

coordinate with the drainage engineer regarding the width of the drainage easement at rear of these lots and update as needed.



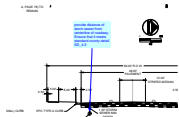
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**Subject:** Highlight  
**Page Label:** [1] PRELIMINARY SITE PLAN (2)  
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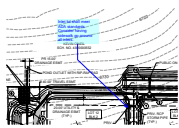
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**Subject:** Callout  
**Page Label:** [1] 01 SITE PLAN  
**Date:** 10/24/2023 4:17:28 PM  
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Storm sewers shall be a min. of 2ft from road surface per ECM 4.3.6.A.3. revise



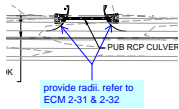
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**Subject:** Callout  
**Page Label:** [1] 01 SITE PLAN  
**Date:** 10/24/2023 5:04:24 PM  
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**Space:**

provide distance of storm sewer from centerline of roadway. Ensure that it meets standard county detail SD\_4-3



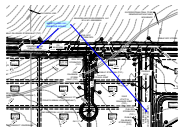
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**Subject:** Callout  
**Page Label:** [1] 01 SITE PLAN  
**Date:** 10/24/2023 5:18:18 PM  
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Inlet lid shall meet ADA standards. Consider having sidewalk go around all inlets.



**Author:** Daniel Torres  
**Subject:** Callout  
**Page Label:** [1] 01 SITE PLAN  
**Date:** 10/24/2023 5:15:12 PM  
**Status:**  
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**Layer:**  
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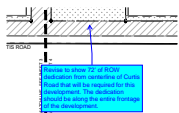
provide radii. refer to ECM 2-31 & 2-32



**Author:** Daniel Torres  
**Subject:** Callout  
**Page Label:** [1] 01 SITE PLAN  
**Date:** 10/24/2023 5:19:07 PM  
**Status:**  
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**Layer:**  
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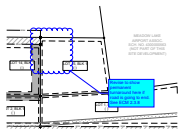
revise to urban non residential collector

lpackman (8)



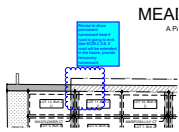
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**Subject:** Callout  
**Page Label:** [1] OVERALL SITE PLAN  
**Date:** 10/24/2023 5:03:07 PM  
**Status:**  
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Revise to show 72' of ROW dedication from centerline of Curtis Road that will be required for this development. The dedication should be along the entire frontage of the development.



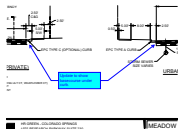
**Author:** lpackman  
**Subject:** Cloud+  
**Page Label:** [1] OVERALL SITE PLAN  
**Date:** 10/19/2023 7:36:46 AM  
**Status:**  
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**Layer:**  
**Space:**

Revise to show permanent turnaround here if road is going to end. See ECM 2.3.8



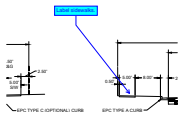
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**Subject:** Cloud+  
**Page Label:** [1] OVERALL SITE PLAN  
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**Status:**  
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**Space:**

Revise to show permanent turnaround here if road is going to end. See ECM 2.3.8. If road will be extended in the future, provide temporary turnaround.



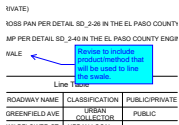
**Author:** lpackman  
**Subject:** Callout  
**Page Label:** [1] 01 SITE PLAN  
**Date:** 10/16/2023 2:40:54 PM  
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**Space:**

Update to show basecourse under curb.



**Author:** lpackman  
**Subject:** Callout  
**Page Label:** [1] 01 SITE PLAN  
**Date:** 10/16/2023 2:41:38 PM  
**Status:**  
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**Space:**

Label sidewalks.



**Author:** lpackman  
**Subject:** Callout  
**Page Label:** [1] 01 SITE PLAN  
**Date:** 10/19/2023 11:13:05 AM  
**Status:**  
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**Layer:**  
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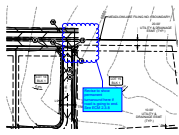
Revise to include product/method that will be used to line the swale.

ROADWAY NAME	CLASSIFICATION	PUBLIC/PRIVATE
GREENFIELD AVE	OPENWAY	PUBLIC
	ROADWAY	PUBLIC



**Author:** lpackman  
**Subject:** Text Box  
**Page Label:** [1] 01 SITE PLAN  
**Date:** 10/24/2023 5:15:01 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Revise to provide centerline data and approximate grades for proposed roads in this preliminary plan.



**Author:** lpackman  
**Subject:** Cloud+  
**Page Label:** [2] 02 SITE PLAN  
**Date:** 10/19/2023 7:36:58 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Revise to show permanent turnaround here if road is going to end. See ECM 2.3.8

Ryan Howser (28)

1

The naming and numbering conventions displayed in this plan do not conform to the County standards. Please contemplate revisions in order to prevent potential delays in future processing of applications.

Block nomenclature varies by jurisdiction. Phase 1" and the individual plat filings would be changed to reflect standard nomenclature. The designation of blocks is confusing and adds an unnecessary layer of lot identification information.

Please review Section 7.2.5 of the Code for more information.

**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] COVER SHEET  
**Date:** 10/17/2023 4:13:21 PM  
**Status:**  
**Color:** ■  
**Layer:**  
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The naming and numbering conventions displayed in this plan do not conform to the County standards. Please contemplate revisions in order to prevent potential delays in future processing of applications.

I would recommend naming this preliminary plan "Phase 1" and the individual plat filings within would be Filings 1 and 2 instead of Blocks 1 and 2. Standard modern nomenclature does not incorporate blocks. The designation of blocks is confusing and adds an unnecessary layer of lot identification information.

Please review Section 7.2.5 of the Code for more information.

Include a north arrow on the vicinity map.

VI

**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] COVER SHEET  
**Date:** 10/17/2023 4:15:28 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Include a north arrow on the vicinity map.

Include PCD File No.

**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] COVER SHEET  
**Date:** 10/17/2023 4:19:12 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Include PCD File No.



**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] COVER SHEET  
**Date:** 10/17/2023 4:26:59 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

This note will likely need to change, depending on comments regarding shared OWTS. The lots will likely be OWTS restricted.



**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] COVER SHEET  
**Date:** 10/17/2023 4:36:33 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

These notes should be eliminated, as the lots are proposed to be serviced by central water system. Replace with a note indicating that water service is to be provided by the metro district.

INCORPORATED INTO THE SUBDIVISION PLAT. THE SUBDIVISION PLAT IS A PART OF THE RECORDING, SHALL BE CONSIDERED THE TRUE AND CORRECT COPY OF THE RECORDING. ALL SHOWN LOCATIONS AND LOTS MUST BE IDENTIFIED BY THIS SECTION BEFORE THE FEE OBLIGATION BEGINS OF THE PROPERTY.

**Easements:**  
Unless otherwise indicated, all side, front, and rear lot lines are hereby platted on either side with a 10 foot (use 5 feet for lots smaller than 2.5 acres) public utility and drainage easement unless otherwise indicated. All exterior subdivision boundaries are hereby platted with a 20 foot (use 7 feet for lots smaller than 2.5 acres) public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners.

**Author:** Ryan Howser  
**Subject:** Easements  
**Page Label:** [1] COVER SHEET  
**Date:** 10/17/2023 4:35:45 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

**Easements:**  
Unless otherwise indicated, all side, front, and rear lot lines are hereby platted on either side with a 10 foot (use 5 feet for lots smaller than 2.5 acres) public utility and drainage easement unless otherwise indicated. All exterior subdivision boundaries are hereby platted with a 20 foot (use 7 feet for lots smaller than 2.5 acres) public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners.

INCORPORATED INTO THE SUBDIVISION PLAT. THE SUBDIVISION PLAT IS A PART OF THE RECORDING, SHALL BE CONSIDERED THE TRUE AND CORRECT COPY OF THE RECORDING. ALL SHOWN LOCATIONS AND LOTS MUST BE IDENTIFIED BY THIS SECTION BEFORE THE FEE OBLIGATION BEGINS OF THE PROPERTY.

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**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] COVER SHEET  
**Date:** 10/17/2023 4:29:09 PM  
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This should just say El Paso County.

**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] COVER SHEET  
**Date:** 10/17/2023 4:29:48 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

This should just say El Paso County.

FED JULY 13  
SP236  
COUNTY PLAN

**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] COVER SHEET  
**Date:** 10/17/2023 4:30:27 PM  
**Status:**  
**Color:** ■  
**Layer:**  
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SP236

AND PROVISIONS OF THE EL PASO COUNTY ROAD  
FREE PROGRAM REGULATION 14.7(A) AND ANY  
QUENT AMENDMENTS. FEES FOR EACH LOT WITHIN T  
SION SHALL BE PAID IN FULL AT THE TIME OF BUILD  
F ISSUANCE.

RES SHALL BE INSTALLED IN ACCORDANCE WITH ALL  
COUNTY DEPARTMENT OF TRANSPORTATION AND THE  
STATES POSTAL SERVICE REGULATIONS.

OLLOWING REPORTS HAVE BEEN SUBMITTED IN  
LUTION WITH THE FINAL PLAT FOR THIS SUBDIVISION  
FILE AT THE EL PASO COUNTY PLANNING AND  
CITY DEVELOPMENT DEPARTMENT: DRAINAGE REP  
RESOURCES REPORT, WASTEWATER DISPOSAL

**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] COVER SHEET  
**Date:** 10/17/2023 4:31:07 PM  
**Status:**  
**Color:** ■  
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DEPARTMENT OF TRANSPORTATION

PLAT WITHIN THIS  
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Delete this part

**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] COVER SHEET  
**Date:** 10/17/2023 4:31:13 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Delete this part

Easement and Tract Maintenance: These reports were not submitted. (park, neighborhood park, school site, fire station, drainage tract, etc). Ownership and maintenance of Tract \_\_\_\_\_ shall be vested to (name the entity: El Paso County, Special District, Homeowners Association, etc.) (Where multiple tracts are included in a single PUD plan or plat, the use of a tract table is encouraged.)

**Author:** Ryan Howser  
**Subject:** Easement&Tract Maintenance  
**Page Label:** [1] COVER SHEET  
**Date:** 10/17/2023 4:33:17 PM  
**Status:**  
**Color:** ■  
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**Space:**

Easement and Tract Maintenance:  
Tract \_\_\_\_\_ shall be utilized as \_\_\_\_\_ (park, neighborhood park, school site, fire station, drainage tract, etc). Ownership and maintenance of Tract \_\_\_\_\_ shall be vested to (name the entity: El Paso County, Special District, Homeowners Association, etc.) (Where multiple tracts are included in a single PUD plan or plat, the use of a tract table is encouraged.)

Lot \_\_\_\_ (or Tract \_\_\_\_ ) (or entire property) of this property is subject to a Private Detention Basin/Stormwater Quality BMP Maintenance Agreement and Easement to be recorded with subsequent final plat applications.

REPORTS HAVE BEEN SUBMITTED TO THE EL PASO COUNTY DEVELOPMENT DEPARTMENT

**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] COVER SHEET  
**Date:** 10/17/2023 4:33:32 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

FINAL PLAT

RESOLUTION IS ATTACHED AND THE FINAL PLAT IS ATTACHED TO THE SUBMITTAL PACKAGE

**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] COVER SHEET  
**Date:** 10/17/2023 4:33:40 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Preliminary Plan

UNITED STATES POSTAL SERVICE REGISTRATION WITH THE FINAL PLAT IS REQUIRED FOR THE FINAL PLAT

**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] COVER SHEET  
**Date:** 10/17/2023 4:33:50 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

WATER RESOURCES REPORT

THE FOLLOWING REPORTS HAVE BEEN SUBMITTED TO THE EL PASO COUNTY DEVELOPMENT DEPARTMENT

**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] COVER SHEET  
**Date:** 10/17/2023 4:34:00 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

WASTEWATER DISPOSAL REPORT

THESE REPORTS WERE NOT SUBMITTED

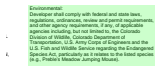
**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] COVER SHEET  
**Date:** 10/17/2023 4:34:12 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

These reports were not submitted



**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] COVER SHEET  
**Date:** 10/17/2023 4:35:23 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Delete this note - it is duplicative of Note 24.



**Author:** Ryan Howser  
**Subject:** Environmental  
**Page Label:** [1] COVER SHEET  
**Date:** 10/17/2023 4:35:47 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

**Environmental:**  
 Developer shall comply with federal and state laws, regulations, ordinances, review and permit requirements, and other agency requirements, if any, of applicable agencies including, but not limited to, the Colorado Division of Wildlife, Colorado Department of Transportation, U.S. Army Corps of Engineers and the U.S. Fish and Wildlife Service regarding the Endangered Species Act, particularly as it relates to the listed species (e.g., Preble's Meadow Jumping Mouse).



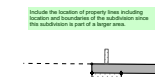
**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] COVER SHEET  
**Date:** 10/17/2023 5:00:36 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

If you are going to include this table, please also include the relevant footnotes.



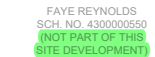
**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] COVER SHEET  
**Date:** 10/17/2023 5:28:45 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please include the aircraft disclosure notification on this plat per the request of the Meadow Lake Airport.



**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] OVERALL SITE PLAN  
**Date:** 10/17/2023 4:22:54 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Include the location of property lines including location and boundaries of the subdivision since this subdivision is part of a larger area.



**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] OVERALL SITE PLAN  
**Date:** 10/17/2023 4:21:54 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

(NOT PART OF THIS SITE DEVELOPMENT)

FAVE SCH. A (NOT) SITE D  
These notes should say "not a part of this subdivision"

**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] OVERALL SITE PLAN  
**Date:** 10/17/2023 4:22:07 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

These notes should say "not a part of this subdivision"

It is preferred that the acreages and square footages be displayed within the lots on pages 3-4, instead of in the table. This is more of a request than a requirement, but would help to clean up the plan and improve clarity. Please remove the block designation and label the lots as 1-27.  
PARCEL AREA TABLE

**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] OVERALL SITE PLAN  
**Date:** 10/17/2023 4:25:36 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

It is preferred that the acreages and square footages be displayed within the lots on pages 3-4, instead of in the table. This is more of a request than a requirement, but would help to clean up the plan and improve clarity. Please remove the block designation and label the lots as 1-27.

Why is only half of Greenfield Ave hatched as ROW? It looks like it dead ends into a private portion to the south.

**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] PERLIMINARY SITE PLAN (1)  
**Date:** 10/17/2023 4:59:00 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Why is only half of Greenfield Ave hatched as ROW? It looks like it dead ends into a private portion to the south.

LAKE INDUSTRIAL FILING NO. 1  
SECTION OF 20' WIDE CORRIDOR TO BE OPENED UP FOR PRIVATE PORTION TO THE SOUTH

**Author:** Ryan Howser  
**Subject:** Arrow  
**Page Label:** [1] PERLIMINARY SITE PLAN (1)  
**Date:** 10/17/2023 4:59:04 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Depict the proposed fire hydrant locations.

**Author:** Ryan Howser  
**Subject:** Planner  
**Page Label:** [1] 01 SITE PLAN  
**Date:** 10/17/2023 4:38:18 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Depict the proposed fire hydrant locations.