

PRELIMINARY PLAN MEADOW LAKE INDUSTRIAL FILING NO. 1

A PART OF THE EAST HALF OF SECTION 9, TOWNSHIP 13 SOUTH, RANGE 64 WEST OF
THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO



VICINITY MAP
(NOT TO SCALE)

PROJECT DESCRIPTION:

Property is to be subdivided into 27 parcels to be used for an industrial park.

KNOW ALL MEN BY THESE PRESENTS:

That the undersigned, Meadowlake Developments LLC, being the owner of the following described tract of land:

SURVEYED DESCRIPTION:

A Tract of land in the East Half of Section 9, Township 13 South, Range 64 West of the Sixth Principal Meridian, El Paso County, Colorado described as follows:

Beginning at a point that is S 00°06'00" W 93.65 feet from the Northeast Corner of the Northeast Quarter of said Section 9; thence S 00°06'00" W 3864.51 feet along the East Line of said Section 9; thence S 89°17'36" W 622.94 feet; thence N 00°29'28" E 3422.09 feet; thence N 82°12'06" E 313.87 feet; thence N 07°45'48" W 400.00 feet; thence N 88°06'51" E 343.54 feet to the point of beginning, containing 51.3 acres.

Subject to easements and restrictions of record.

GEOLOGIC HAZARD NOTE:

THE FOLLOWING LOTS HAVE BEEN FOUND TO BE IMPACTED BY GEOLOGIC HAZARDS. MITIGATION MEASURES AND A MAP OF THE HAZARD AREA CAN BE FOUND IN THE SOILS & GEOLOGY STUDY BY RMG - ROCKY MOUNTAIN GROUP DATED JULY 13, 2023, REVISED JULY 24, 2023, IN FILE _____ AVAILABLE AT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT.

- DOWNSLOPE CREEP: N/A
- ROCKFALL SOURCE: N/A
- ROCKFALL RUNOUT ZONE: N/A
- POTENTIALLY SEASONALLY HIGH GROUNDWATER: N/A
- OTHER HAZARD:
 - FLOOD PRONE AREAS: N/A FOR FILING NO. 1. FLOOD PRONE AREAS ARE OUTSIDE THE LIMITS OF FILING NO. 1
 - FAULTS: ALL LOTS
 - SEISMICITY: ALL LOTS
 - RADON: ALL LOTS

GENERAL NOTES:

1. NO EASEMENTS, RESTRICTIONS, SETBACKS, OR OTHER MATTER OF RECORD, IF ANY, AFFECTING THE TITLE OF THIS PROPERTY ARE SHOWN, EXCEPT AS PLATTED, AS PER AGREEMENT WITH THE LANDOWNER.
2. NO GAPS OR OVERLAPS EXIST.
3. THERE ARE NO LINES OF POSSESSION THAT AFFECT THIS SURVEY.
4. PARENT TRACT IS RECORDED AS INSTRUMENT #221072372, CLERK & RECORDER'S OFFICE, EL PASO COUNTY, COLORADO.
5. ALL BUILDING SETBACK REQUIREMENTS SHALL BE DETERMINED BY THE ZONING DISTRICT, UNLESS OTHERWISE NOTED.
6. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SMH CONSULTANTS, TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR INFORMATION REGARDING EASEMENTS, AND RIGHT OF WAY, SMH CONSULTANTS RELIED UPON THE TITLE POLICY PREPARED BY LAND TITLE GUARANTEE COMPANY, DATED MARCH 23, 2021.
7. BASIS OF BEARINGS IS THE SEAST LINE OF SECTION 9, TOWNSHIP 13 SOUTH, RANGE 64 WEST, MONUMENTED AS SHOWN AND ASSUMED TO BEAR SOUTH 00 DEGREES, 06 MINUTES 00 SECONDS WEST, 93.65 FEET.
8. SEWAGE TREATMENT IS THE RESPONSIBILITY OF EACH INDIVIDUAL PROPERTY OWNER. THE EL PASO COUNTY PUBLIC HEALTH DEPARTMENT MUST APPROVE EACH SYSTEM AND, IN SOME CASES, THE DEPARTMENT MAY REQUIRE AN ENGINEER-DESIGNED SYSTEM PRIOR TO PERMITTING APPROVAL.
9. ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORMWATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICATED. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
10. NO STRUCTURES OR MAJOR MATERIAL STORAGE ACTIVITIES ARE PERMITTED WITHIN THE DESIGNATED DRAINAGE EASEMENTS, EXCEPT FENCES. FENCES SHALL NOT IMPEDE RUNOFF FROM REACHING DRAINAGE SWALES.
11. INDIVIDUAL WELLS ARE THE RESPONSIBILITY OF EACH PROPERTY OWNER. PERMITS FOR INDIVIDUAL WELLS MUST BE OBTAINED FROM THE STATE ENGINEER WHO BY LAW HAS THE AUTHORITY TO SET CONDITIONS FOR THE ISSUANCE OF THESE PERMITS.
12. WATER IN THE DENVER WATER BASIN AQUIFERS IS ALLOCATED BASED ON A 100-YEAR AQUIFER LIFE; HOWEVER, FOR EL PASO COUNTY PLANNING PURPOSES, WATER IN THE DENVER BASIN AQUIFERS IS ELEVATED BASED ON A 300-YEAR AQUIFER LIFE. APPLICANTS, THE HOME OWNERS ASSOCIATION, AND ALL FUTURE OWNERS IN THE SUBDIVISION SHOULD BE AWARE THAT THE ECONOMIC LIFE OF A WATER SUPPLY BASED ON WELLS IN A GIVEN DENVER BASIN AQUIFER MAY BE LESS THAN EITHER THE 100 YEARS OR 300 YEARS INDICATED DUE TO ANTICIPATED WATER LEVEL DECLINES. FURTHERMORE, THE WATER SUPPLY PLAN SHOULD NOT RELY SOLELY UPON NON-RENEWABLE AQUIFERS. ALTERNATIVE RENEWABLE WATER RESOURCES SHOULD BE ACQUIRED AND INCORPORATED IN A PERMANENT WATER SUPPLY PLAN THAT PROVIDES FUTURE GENERATIONS WITH A WATER SUPPLY.
13. ACCESS TO ALL LOTS SHALL BE THROUGH THE SHOWN TRAVEL EASEMENTS. THE RESPONSIBILITY AND MAINTENANCE OF SAID EASEMENTS ARE SUBJECT TO THE MAINTENANCE AGREEMENT AND ALL COVENANTS AND RESTRICTIONS CONTAINED THEREIN, THAT WILL BE RECORDED WITH THE FINAL PLAT.
14. NO DRIVEWAY SHALL BE ESTABLISHED UNLESS AN ACCESS PERMIT HAS BEEN GRANTED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT. INDIVIDUAL LOT PURCHASERS ARE RESPONSIBLE FOR CONSTRUCTING DRIVEWAYS.
15. ALL STRUCTURAL FOUNDATIONS ON THE LOTS IN THIS SUBDIVISION SHALL BE LOCATED AND DESIGNED BY A PROFESSIONAL ENGINEER, CURRENTLY REGISTERED IN THE

STATE OF COLORADO. NATURAL DRAINAGE LOCATIONS SHALL BE AVOIDED BY CONSTRUCTION AND SITE-SPECIFIC FOUNDATION/SEPTIC INVESTIGATIONS SHALL BE REQUIRED.

16. PROPERTY WITHIN THIS SUBDIVISION IS SUBJECT TO THE TERMS AND PROVISIONS OF THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM (RESOLUTION 19-471) AND ANY SUBSEQUENT AMENDMENTS. FEES FOR EACH LOT WITHIN THIS SUBDIVISION SHALL BE PAID IN FULL AT THE TIME OF BUILDING PERMIT ISSUANCE.

17. MAILBOXES SHALL BE INSTALLED IN ACCORDANCE WITH ALL EL PASO COUNTY DEPARTMENT OF TRANSPORTATION AND THE UNITED STATES POSTAL SERVICE REGULATIONS.

18. THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE FINAL PLAT FOR THIS SUBDIVISION AND ARE ON FILE AT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT: DRAINAGE REPORT, WATER RESOURCES REPORT, WASTEWATER DISPOSAL REPORT, GEOLOGY AND SOILS REPORT, FIRE PROTECTION REPORT, AND ONSITE WASTEWATER TREATMENT SYSTEM REPORT.

19. CONTOURS ARE DERIVED FROM TOPOGRAPHIC SURVEY PERFORMED BY SMH CONSULTANTS.

20. THERE SHALL BE NO DIRECT LOT ACCESS TO CURTIS RD.

21. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACTO ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO C.R.S. § 18-4-508".

22. ALL FUTURE LOT OWNERS SHALL SUBMIT AN ENGINEERED SITE PLAN AT TIME OF BUILDING PERMIT.

23. THE PRIVATE ROADS AS SHOWN ON THIS PLAT WILL NOT BE MAINTAINED BY EL PASO COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN CONFORMANCE WITH EL PASO COUNTY STANDARDS IN EFFECT AT THE DATE OF THE REQUEST FOR DEDICATION AND MAINTENANCE.

24. THE SUBDIVIDER(S) AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNEES SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.

SHEET INDEX

1	PRELIMINARY PLAN COVER SHEET
2	PRELIMINARY OVERALL SITE PLAN
3	PRELIMINARY ENLARGED SITE PLAN
4	PRELIMINARY ENLARGED SITE PLAN
SP01	PRELIMINARY PLAN SITE PLAN
SP02	PRELIMINARY PLAN SITE PLAN

OWNER:
MEADOWLAKE DEVELOPMENTS LLC
PO BOX 1385
COLORADO SPRINGS, CO 80901
719-445-5050

TOTAL ACREAGE:
TOTAL TRACT ACREAGE = 3.10 ACRES
TOTAL PARCEL ACREAGE = 36.56 ACRES
TOTAL ROW ACREAGE = 11.64 ACRES
TOTAL: 51.3 ACRES

SURVEYOR:
TIM SLOAN, VICE-PRESIDENT
SMH CONSULTANTS, P.A.
411 S. TEJON ST., STE. I
COLORADO SPRINGS, CO 80903
719-465-2145

SERVICE PROVIDERS:
FALCON FIRE PROTECTION DISTRICT
MOUNTAIN VIEW ELECTRIC ASSOC.
BLACK HILLS ENERGY
DOMESTIC WELLS
INDIVIDUAL SEWAGE DISPOSAL SYSTEMS

CIVIL ENGINEER:
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY., STE. 230
COLORADO SPRINGS, CO 80920
719-394-2440

SITE DATA:

ZONING:	I-2
TAX SCHEDULE NUMBER:	4300000637, 4300000638, 4300000640, 4300000641, 4300000642
LAND USE:	INDUSTRIAL PARK
SITE AREA:	51.3 ACRES
PROPERTY ADDRESSES:	PROPERTIES DO NOT CURRENTLY HAVE ASSIGNED ADDRESSES

DENSITY AND DIMENSIONAL STANDARDS FOR INDUSTRIAL DISTRICT I-2							
ZONING DISTRICT	ZONING DISTRICT AREA MINIMUM	MINIMUM LOT SIZE	FRONT	REAR	SIDE	MAXIMUM LOT COVERAGE	MAXIMUM HEIGHT
I-2	20 ACRES	1 ACRE	50 Ft	50 Ft	30 Ft	35%	45Ft

DATE SUBMITTED: 09/13/2023
REVISIONS:
△



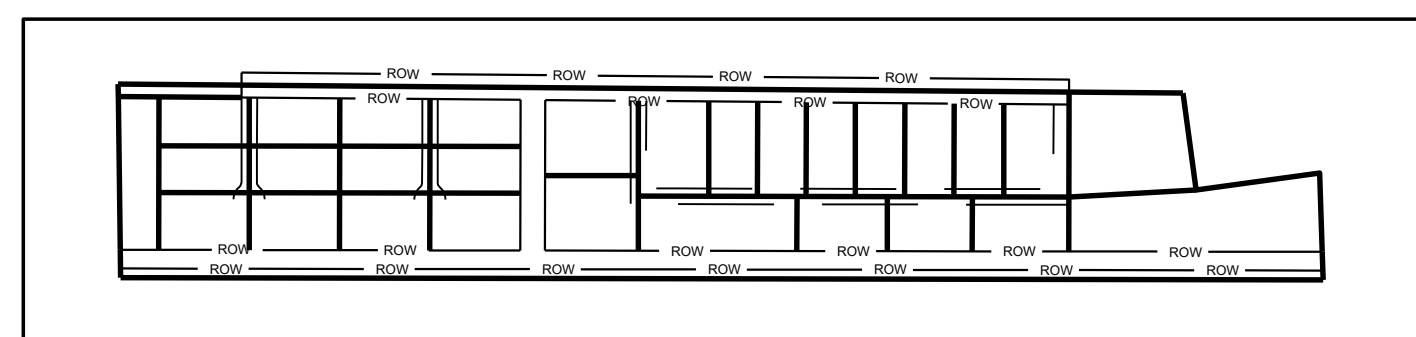
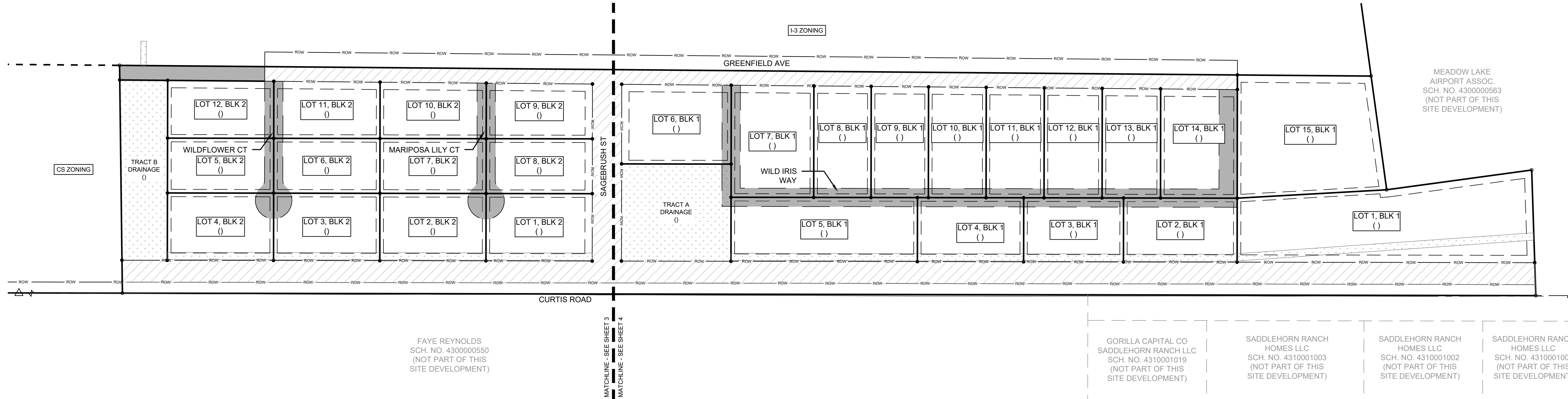
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Kansas City P: (913) 444-9615 • Colorado Springs, CO P: (719) 465-2145

Survey Prepared April 4, 2022
Drawn By: JAM Project #2212-0483 TDS #88

SEPTEMBER 2023

PRELIMINARY OVERALL SITE PLAN MEADOW LAKE INDUSTRIAL FILING NO. 1

A PART OF THE EAST HALF OF SECTION 9, TOWNSHIP 13 SOUTH, RANGE 64 WEST OF
THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO



KEY MAP
(NOT TO SCALE)

- LEGEND**
- MONUMENT FOUND (1/2" REBAR) W/PLS38374 CAP
 - 1/2"x24" REBAR W/PLS38374 Cap Set
 - △ SECTION CORNER, NOTE: ALL SECTION CORNER MONUMENT ORIGINS ARE UNKNOWN UNLESS OTHERWISE NOTED.
 - ASSUMED BEARING
 - (D) DEED DIMENSION
 - (S) SURVEYED DIMENSION
 - D.E. DRAINAGE EASEMENT
 - U.E. UTILITY EASEMENT
 - T.E. TRAVEL EASEMENT
 - DRAINAGE EASEMENT HATCH
 - TRAVEL EASEMENT HATCH
 - RIGHT OF WAY HATCH

- LINETYPE LEGEND**
- ADJACENT PROPERTY LINE
 - PROPERTY LINE
 - - - SECTION LINE
 - - - TRAVEL EASEMENT
 - - - UTILITY EASEMENT
 - RIGHT OF WAY
 - MATCHLINE

TRACT AREA TABLE

TRACT	AREA (FT)	ACRES
A	79584	1.83
B	62761	1.44

DATE SUBMITTED: 09/13/2023

REVISIONS:

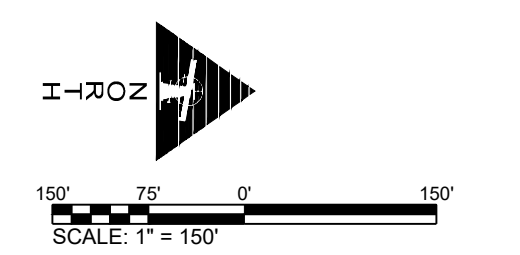
NO.	DESCRIPTION

PARCEL AREA TABLE

LOT #	BLOCK #	AREA (FT)	ACRES
1	BLOCK 1	167003	3.83
2	BLOCK 1	54378	1.25
3	BLOCK 1	47771	1.10
4	BLOCK 1	50820	1.17
5	BLOCK 1	89220	2.05
6	BLOCK 1	84859	1.99
7	BLOCK 1	69096	1.59
8	BLOCK 1	47699	1.10
9	BLOCK 1	47533	1.09
10	BLOCK 1	47663	1.09
11	BLOCK 1	47792	1.10
12	BLOCK 1	47620	1.09
13	BLOCK 1	47747	1.10
14	BLOCK 1	62431	1.43
15	BLOCK 1	125648	2.88

PARCEL AREA TABLE

LOT #	BLOCK #	AREA (FT)	ACRES
1	BLOCK 2	53445	1.23
2	BLOCK 2	53445	1.23
3	BLOCK 2	53445	1.23
4	BLOCK 2	53445	1.23
5	BLOCK 2	43560	1.00
6	BLOCK 2	43560	1.00
7	BLOCK 2	43560	1.00
8	BLOCK 2	43560	1.00
9	BLOCK 2	43848	1.01
10	BLOCK 2	44425	1.02
11	BLOCK 2	45001	1.03
12	BLOCK 2	45576	1.05

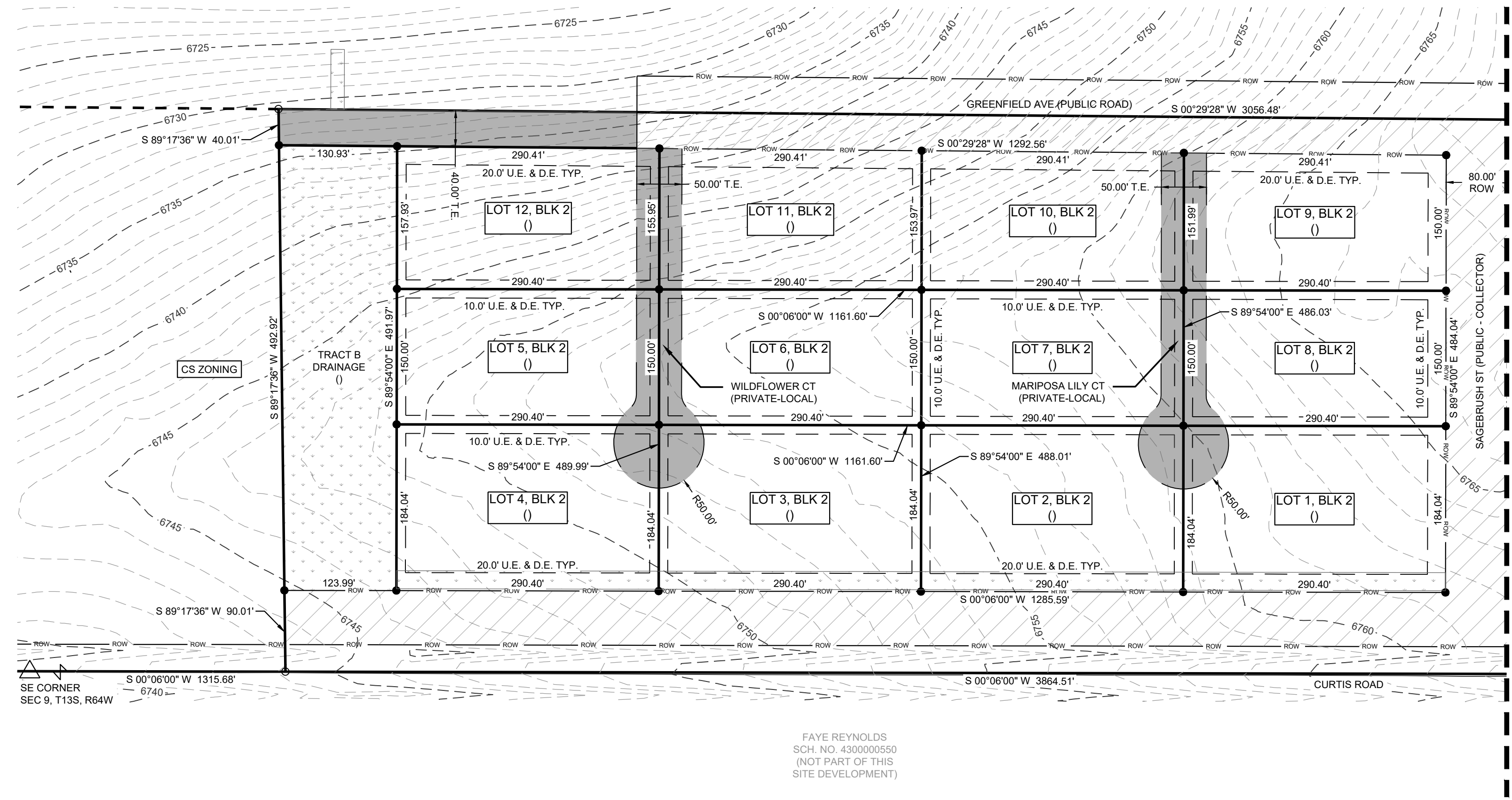


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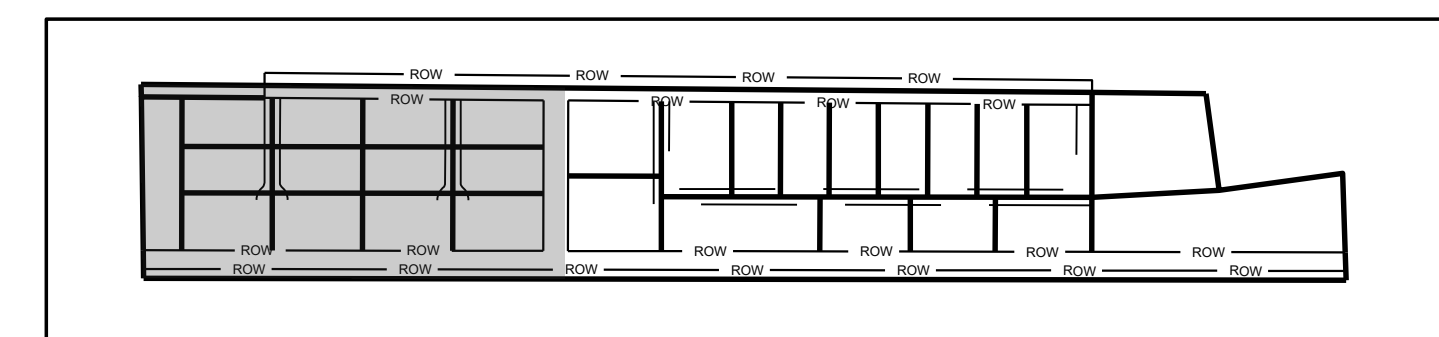
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THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO



FAYE REYNOLDS
SCH. NO. 4330000550
(NOT PART OF THIS
SITE DEVELOPMENT)



KEY MAP
(NOT TO SCALE)

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- U.E. UTILITY EASEMENT
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- [Pattern] DRAINAGE EASEMENT HATCH
- [Pattern] TRAVEL EASEMENT HATCH
- [Pattern] RIGHT OF WAY HATCH

LINETYPE LEGEND

- [Line] ADJACENT PROPERTY LINE
- [Line] PROPERTY LINE
- [Line] SECTION LINE
- [Line] TRAVEL EASEMENT
- [Line] UTILITY EASEMENT
- [Line] RIGHT OF WAY
- [Line] MATCHLINE

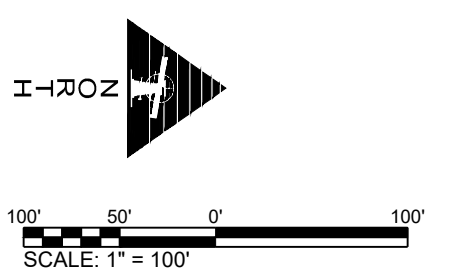
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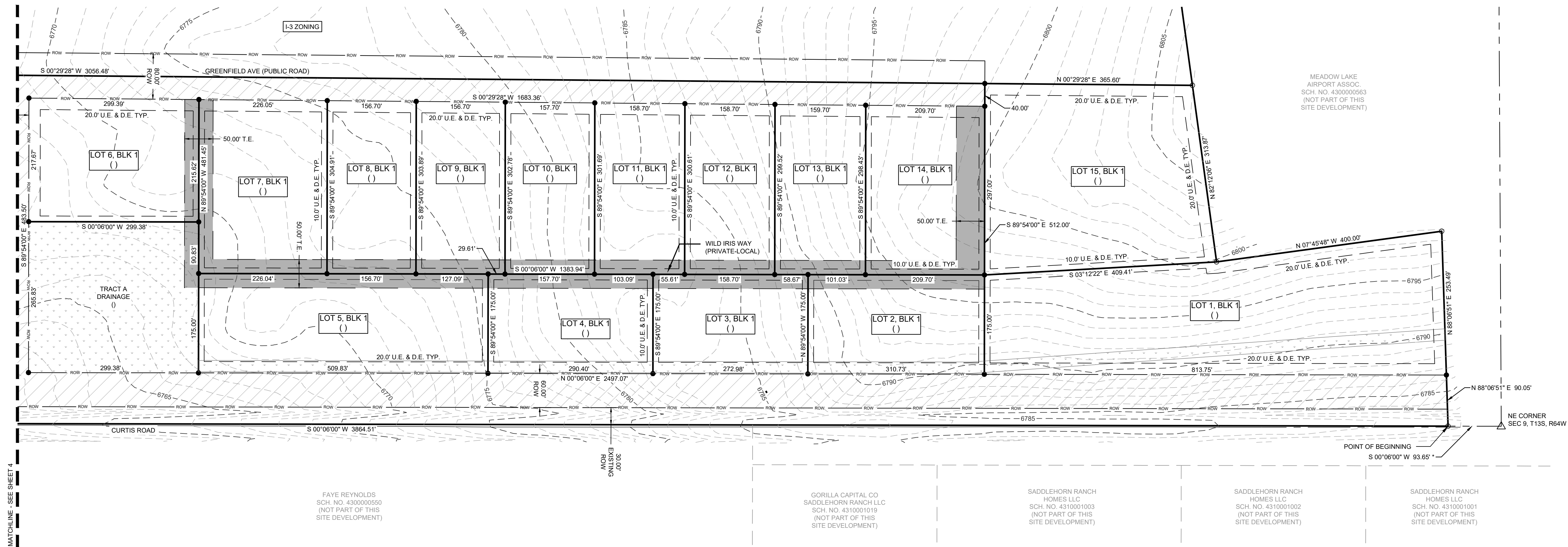


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Drawn By: JAM Project #2212-0483 TDS #88
SEPTEMBER 2023

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MATCHLINE - SEE SHEET 4

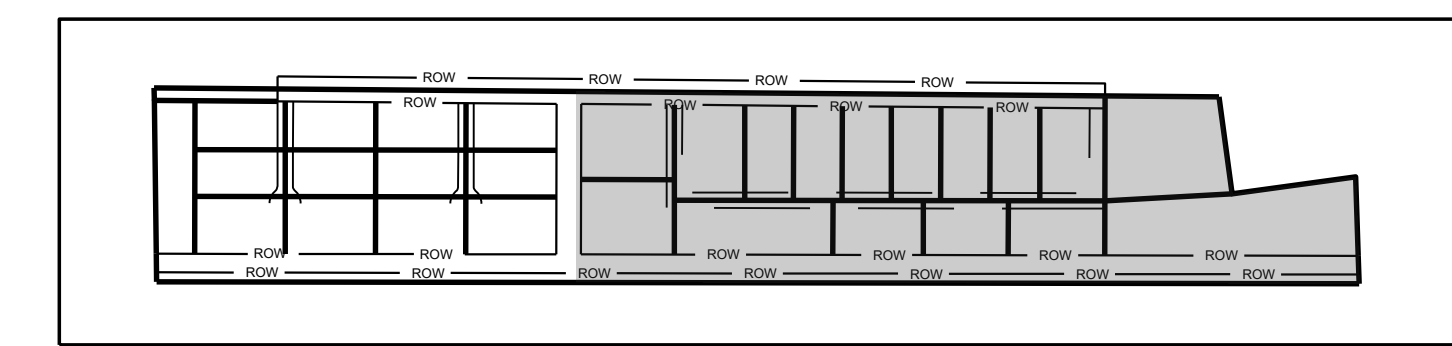
FAYE REYNOLDS
SCH. NO. 4300005550
(NOT PART OF THIS
SITE DEVELOPMENT)

GORILLA CAPITAL CO
SADDLEHORN RANCH LLC
SCH. NO. 4310001019
(NOT PART OF THIS
SITE DEVELOPMENT)

SADDLEHORN RANCH
HOMES LLC
SCH. NO. 4310001003
(NOT PART OF THIS
SITE DEVELOPMENT)

SADDLEHORN RANCH
HOMES LLC
SCH. NO. 4310001002
(NOT PART OF THIS
SITE DEVELOPMENT)

SADDLEHORN RANCH
HOMES LLC
SCH. NO. 4310001001
(NOT PART OF THIS
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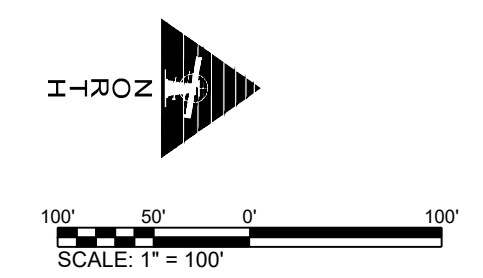
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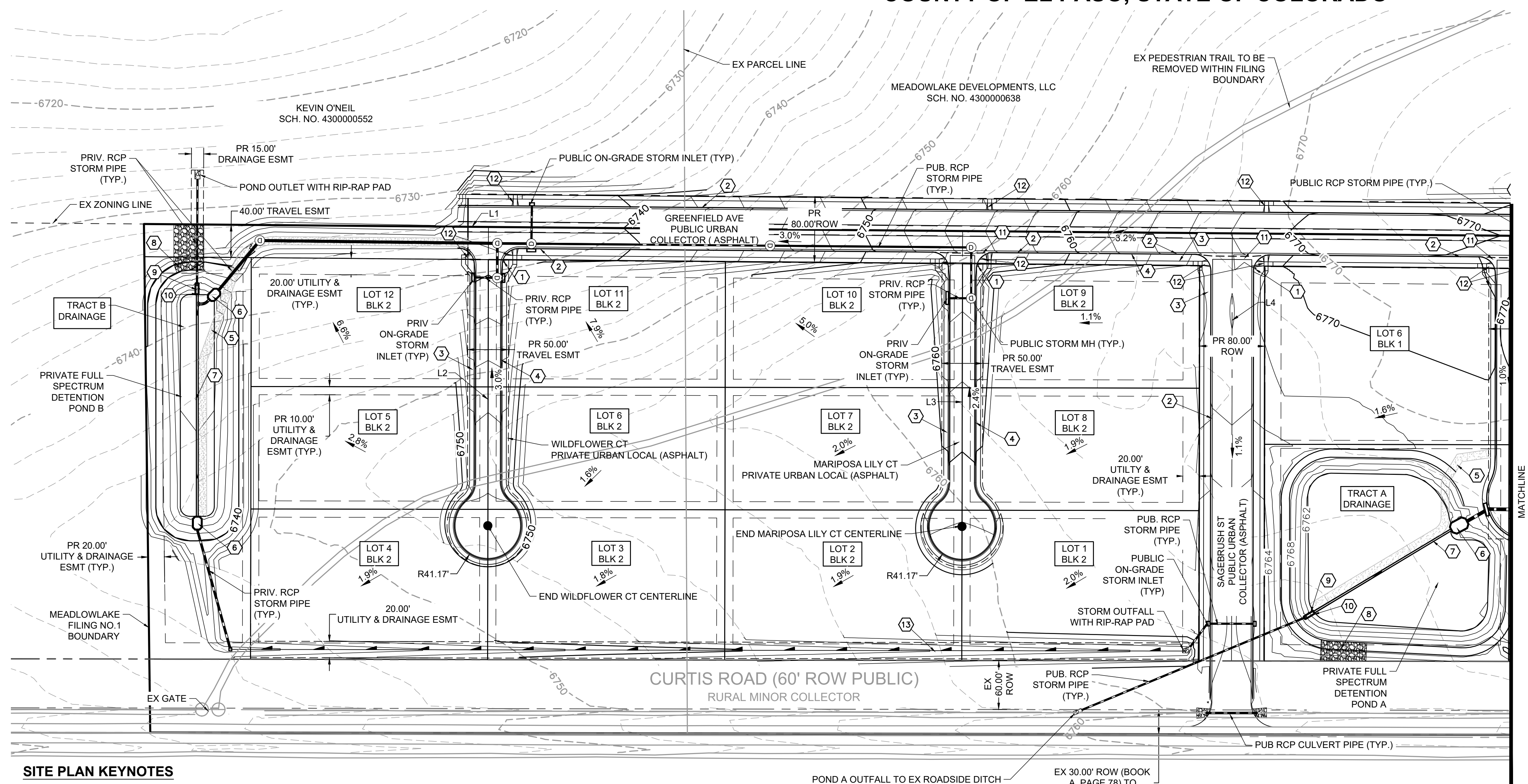
PRELIMINARY PLAN

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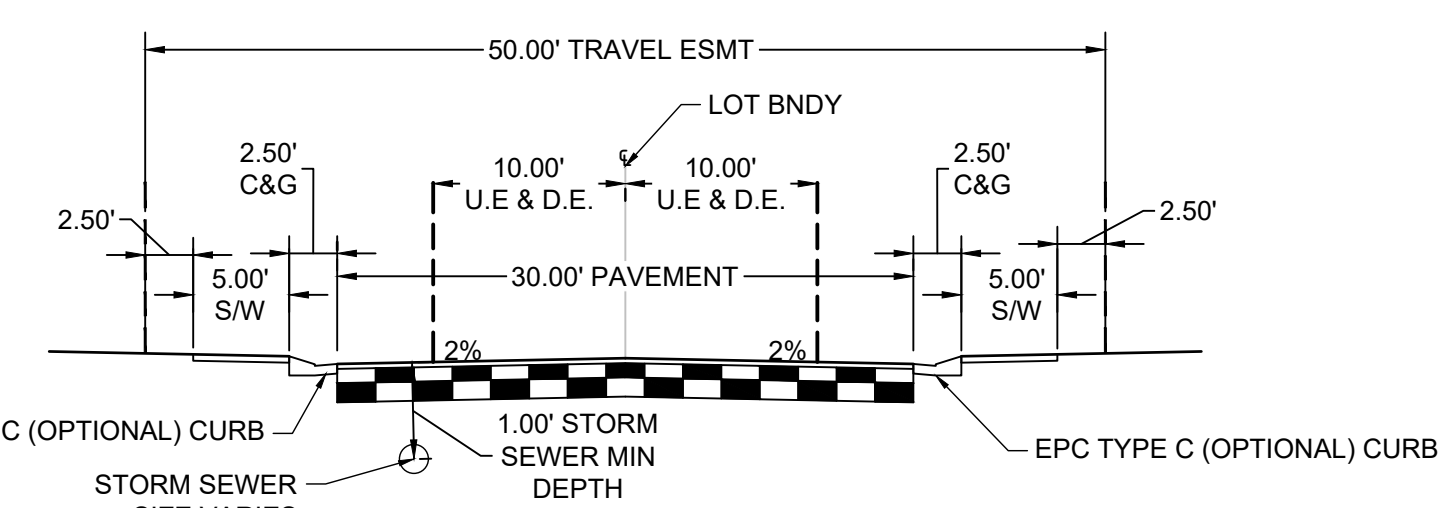
VICINITY MAP
SCALE: NTS



SITE PLAN KEYNOTES

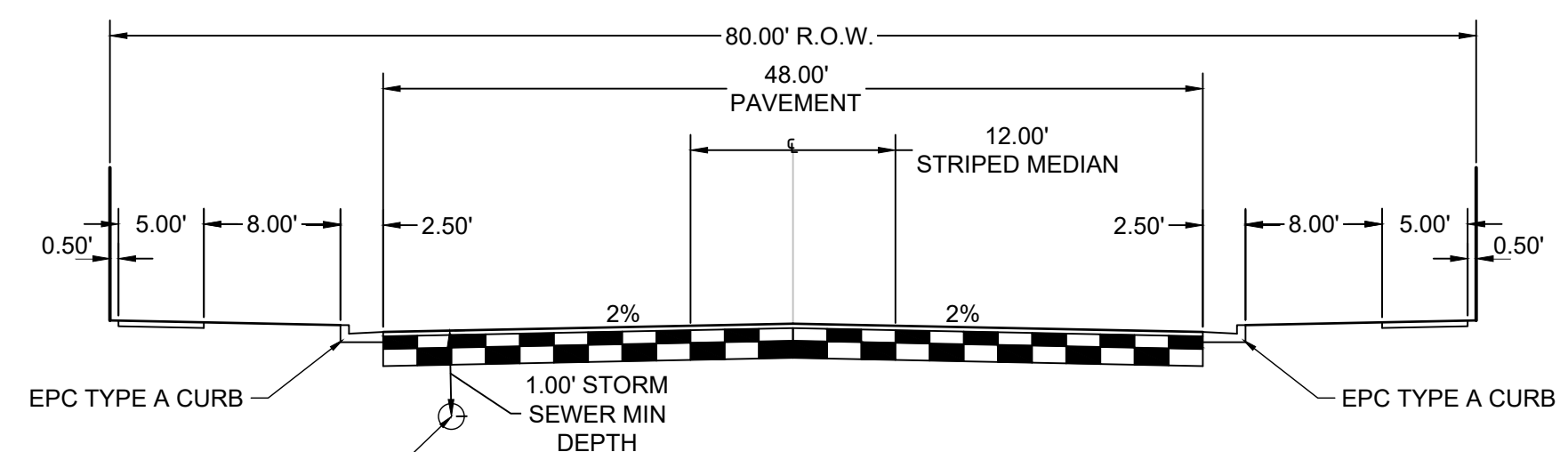
- 1 PROPOSED 30" R1-1 STOP SIGN W/ STREET NAME SIGNS
- 2 PROPOSED EPC TYPE "A" NON-MOUNTABLE VERTICAL CURB AND GUTTER
- 3 PROPOSED 5' CONCRETE SIDEWALK
- 4 PROPOSED EPC TYPE "C" MOUNTABLE CURB AND GUTTER
- 5 PROPOSED 15' MAINTENANCE ACCESS ROAD, 6" MINIMUM OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL
- 6 PROPOSED FOREBAY (PRIVATE)
- 7 PROPOSED TRICKLE CHANNEL 4' WIDTH, 1" DEPTH (PRIVATE)
- 8 PROPOSED EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- 9 PROPOSED OUTLET STRUCTURE (PRIVATE)
- 10 PROPOSED MICRO POOL (PRIVATE)
- 11 PROPOSED 6" CONCRETE CROSS PAN PER DETAIL SD_2-26 IN THE EL PASO COUNTY ENGINEERING MANUAL
- 12 PROPOSED PEDESTRIAN RAMP PER DETAIL SD_2-40 IN THE EL PASO COUNTY ENGINEERING MANUAL
- 13 PROPOSED GRASS-LINED SWALE

Line Table						
Line #	Length	Direction	ROADWAY NAME	CLASSIFICATION	PUBLIC/PRIVATE	ROW/ESMT WIDTH
L1	3056.48	S 0°29'28" W	GREENFIELD AVE	URBAN COLLECTOR	PUBLIC	80'
L2	168.01	N 89°54'00" W	WILDFLOWER CT	URBAN LOCAL	PRIVATE	50'
L3	168.01	N 89°54'00" W	MARIPOSA LILY CT	URBAN LOCAL	PRIVATE	50'
L4	523.77	S 89°54'00" E	SAGEBRUSH ST	URBAN COLLECTOR	PUBLIC	80'



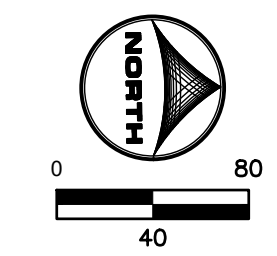
URBAN, LOCAL (PRIVATE)

SCALE: 1"=10'
DESIGN SPEED: 30MPH
SPEED LIMIT: 25MPH
(ROADS USING THIS SECTION: WILD IRIS WY, MARIPOSA LILY CT, WILDFLOWER CT)
U.E.: UTILITY EASEMENT
D.E.: DRAINAGE EASEMENT



URBAN NONRESIDENTIAL COLLECTOR (PUBLIC)

SCALE: 1"=10'
DESIGN SPEED: 40 MPH
SPEED LIMIT: 30 MPH
(ROADS USING THIS SECTION: GREENFIELD AVE, SAGEBRUSH ST)



LEGEND

	EXISTING	PROPOSED
MATCH LINE	---	---
PHASE LINE	---	---
SECTION LINE	---	---
PROPERTY BOUNDARY	---	---
PROPERTY LINE	---	---
EASEMENT LINE	---	---
RIGHT OF WAY CENTERLINE	---	---
WIRE FENCE	---	---
STORM DRAIN	---	---
SWALE	---	---
TRAIL	---	---
CURB & GUTTER	---	---
DRAINAGE BASIN	---	---
INDEX CONTOUR	---	---
INTER. CONTOUR	---	---
STORM SEWER	---	---
MANHOLE	---	---
STORM INLET	---	---
FLARED END SECTION	---	---
RIPRAP	---	---

DRAWN BY: AXB JOB DATE: 8/25/2023
 APPROVED: CM JOB NUMBER: 2202774
 CAD DATE: 8/25/2023
 CAD FILE: J:\2022\2202774\CAD\DWG\CIP\ Preliminary Plan\Site_Plan

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
 HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PARKWAY SUITE 230
 COLORADO SPRINGS, CO 80920
 PHONE: 719.384.2440
 FAX: 713.965.0044

MEADOW LAKE INDUSTRIAL FILING NO. 1
 MEADOWLAKE DEVELOPMENTS, LLC
 EL PASO COUNTY, CO

PRELIMINARY PLAN
 SITE PLAN
 SHEET SP 01

HR GREEN Xref: xjg-1-dh01-2774; Key_Map; Site_Plan_Keynotes; xc-dagn-2774; xc-row-2774; xc-dagn-2774; xv-dagn-2774; xv-row-2774; xv-uti-2774; rdy-tyicals; Legend_Prelim_Plan

BULLARD, ABBY, 8/25/2023 10:08 AM

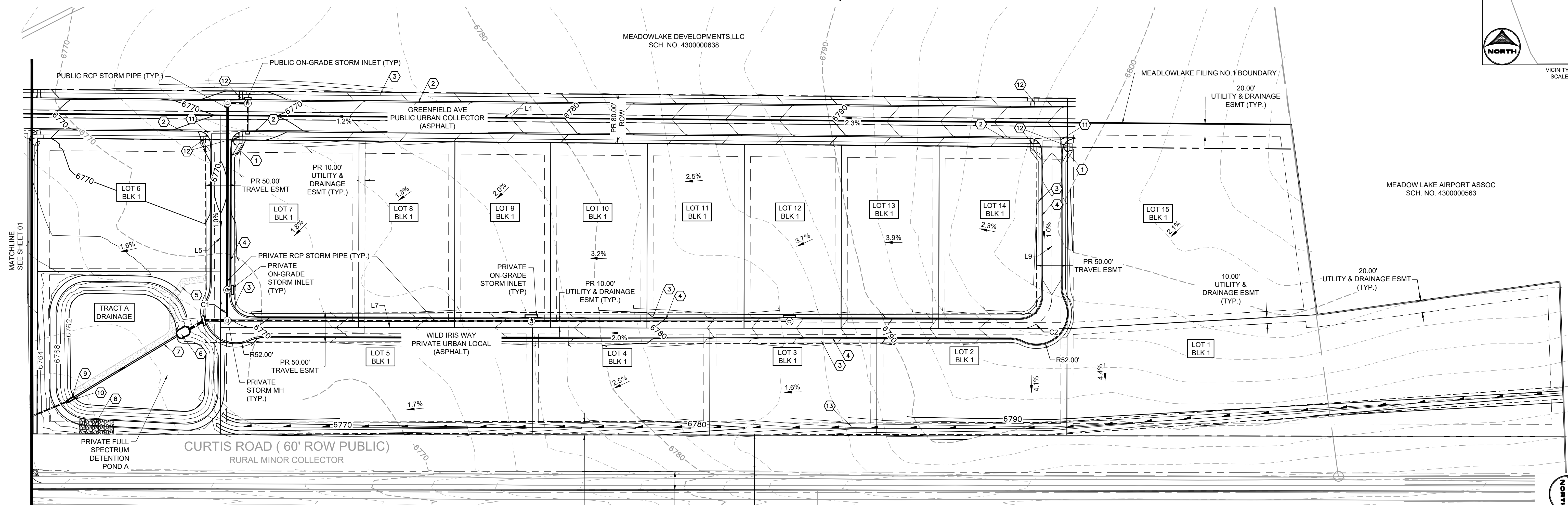
HR GREEN - Xref: xg-1-dh01-2774; Key_Map: Site_Plan_Keynotes; xc--dgn--2774; xc--row--2774; xv--dgn--2774; xv--row--2774; xv--util--2774; rdwy_tpcals; Legend_Prelim_Plan

PRELIMINARY PLAN MEADOW LAKE INDUSTRIAL FILING NO.1

A PART OF THE EAST HALF OF SECTION 9, TOWNSHIP 13 SOUTH, RANGE 64 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO



VICINITY MAP
SCALE: NTS



SITE PLAN KEYNOTES

- 1 PROPOSED 30" R1-1 STOP SIGN W/ STREET NAME SIGNS
- 2 PROPOSED EPC TYPE "A" NON-MOUNTABLE VERTICAL CURB AND GUTTER
- 3 PROPOSED 5' CONCRETE SIDEWALK
- 4 PROPOSED EPC TYPE "C" MOUNTABLE CURB AND GUTTER
- 5 PROPOSED 15' MAINTENANCE ACCESS ROAD, 6" MINIMUM OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL
- 6 PROPOSED FOREBAY (PRIVATE)
- 7 PROPOSED TRICKLE CHANNEL 4' WIDTH, 1' DEPTH (PRIVATE)
- 8 PROPOSED EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- 9 PROPOSED OUTLET STRUCTURE (PRIVATE)
- 10 PROPOSED MICRO POOL (PRIVATE)
- 11 PROPOSED 6" CONCRETE CROSS PAN PER DETAIL SD_2-26 IN THE EL PASO COUNTY ENGINEERING MANUAL
- 12 PROPOSED PEDESTRIAN RAMP PER DETAIL SD_2-40 IN THE EL PASO COUNTY ENGINEERING MANUAL
- 13 PROPOSED GRASS-LINED SWALE

FAYE REYNOLDS
SCH. NO. 430000550

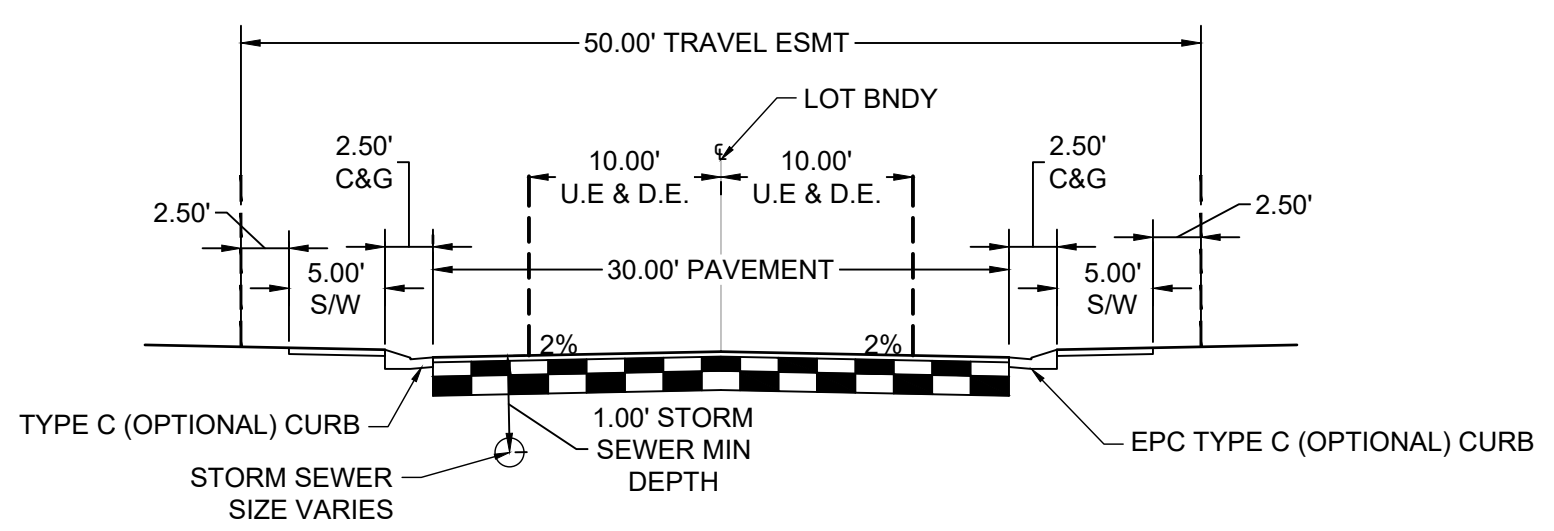
PR 20.00' UTILITY & DRAINAGE ESMT (TYP.)
EX 60.00' ROW
BK A, PG78 TO REMAIN

GORILLA CAPITAL CO
SADDLEHORN RANCH FILING NO.1
SCH. NO. 4310001019

SADDLEHORN RANCH
HOMES LLC
SADDLEHORN RANCH FILING NO.1
SCH. NO. 4310001003

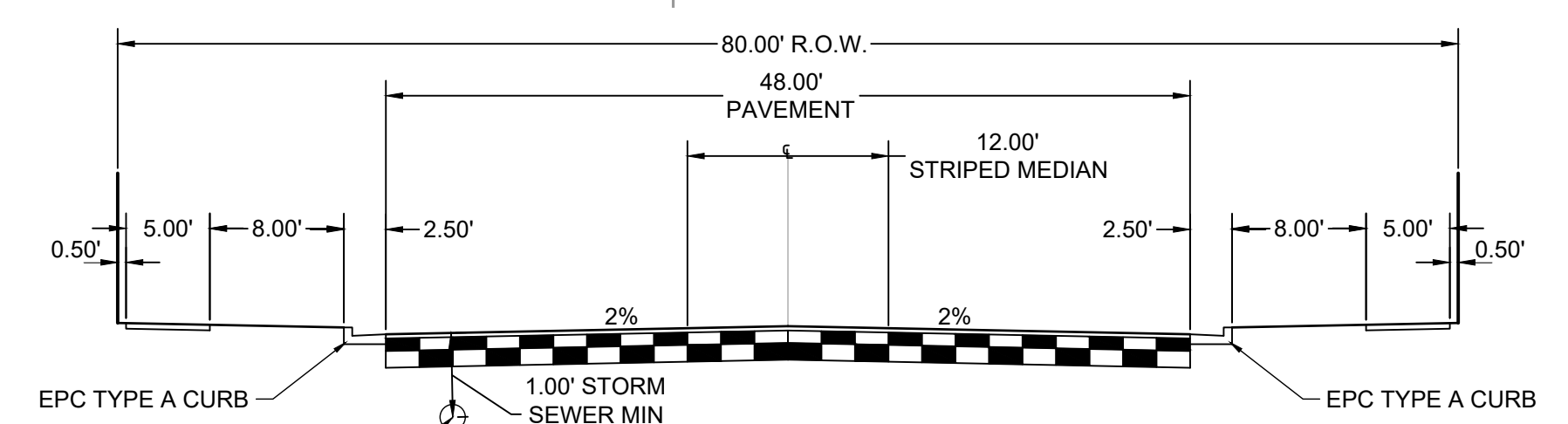
SADDLEHORN RANCH
HOMES LLC
SADDLEHORN RANCH FILING NO.1
SCH. NO. 4310001002

SADDLEHORN RANCH
HOMES LLC
SADDLEHORN RANCH FILING NO.1
SCH. NO. 4310001001



URBAN, LOCAL (PRIVATE)

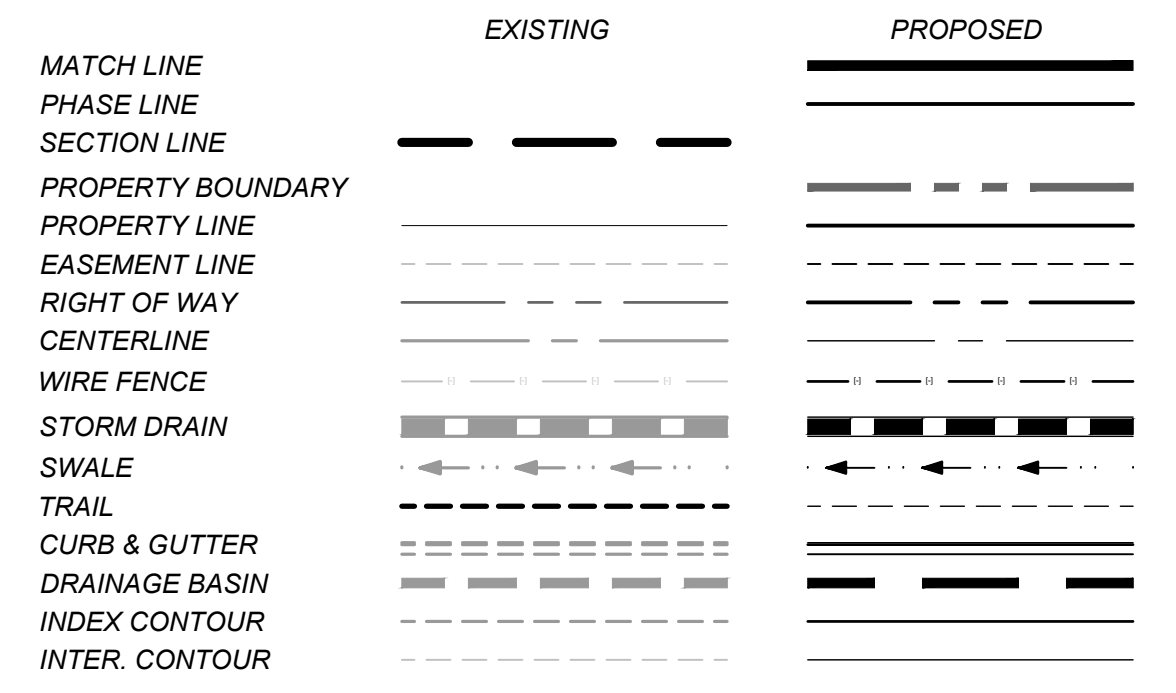
SCALE: 1"=10'
DESIGN SPEED: 30MPH
SPEED LIMIT: 25MPH
U.E.: UTILITY EASEMENT
D.E.: DRAINAGE EASEMENT
(ROADS USING THIS SECTION: WILD IRIS WY, MARIPOSA LILY CT, WILDFLOWER CT)



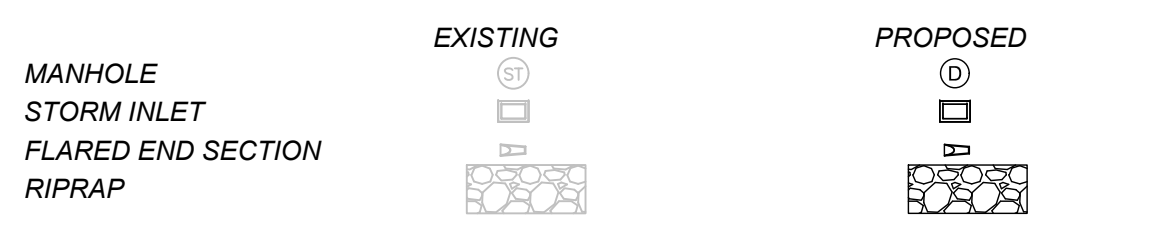
URBAN NONRESIDENTIAL COLLECTOR (PUBLIC)

SCALE: 1"=10'
DESIGN SPEED: 40 MPH
SPEED LIMIT: 30 MPH
(ROADS USING THIS SECTION: GREENFIELD AVE, SAGEBRUSH ST)

LEGEND



STORM SEWER



Line Table						
Line #	Length	Direction	ROADWAY NAME	CLASSIFICATION	PUBLIC/PRIVATE	ROW/ESMT WIDTH
L1	3056.48	S 0°29'28" W	GREENFIELD AVE	URBAN COLLECTOR	PUBLIC	80'
L5	294.45	N 89°54'00" W	WILD IRIS WY	URBAN LOCAL	PRIVATE	50'
L7	1181.42	S 0°06'00" W	WILD IRIS WY	URBAN LOCAL	PRIVATE	50'
L9	285.17	S 89°54'00" E	WILD IRIS WY	URBAN COLLECTOR	PRIVATE	50'

Curve Table						
Curve #	Length	Radius	Delta	ROADWAY NAME	CLASSIFICATION	PUBLIC/PRIVATE
C1	81.68	52.00	90°00'00"	WILD IRIS WY	URBAN COLLECTOR	PRIVATE
C2	81.68	52.00	90°00'00"	WILD IRIS WY	URBAN COLLECTOR	PRIVATE

DRAWN BY: AXB JOB DATE: 8/25/2023
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PRELIMINARY PLAN
SITE PLAN

SHEET
SP 02