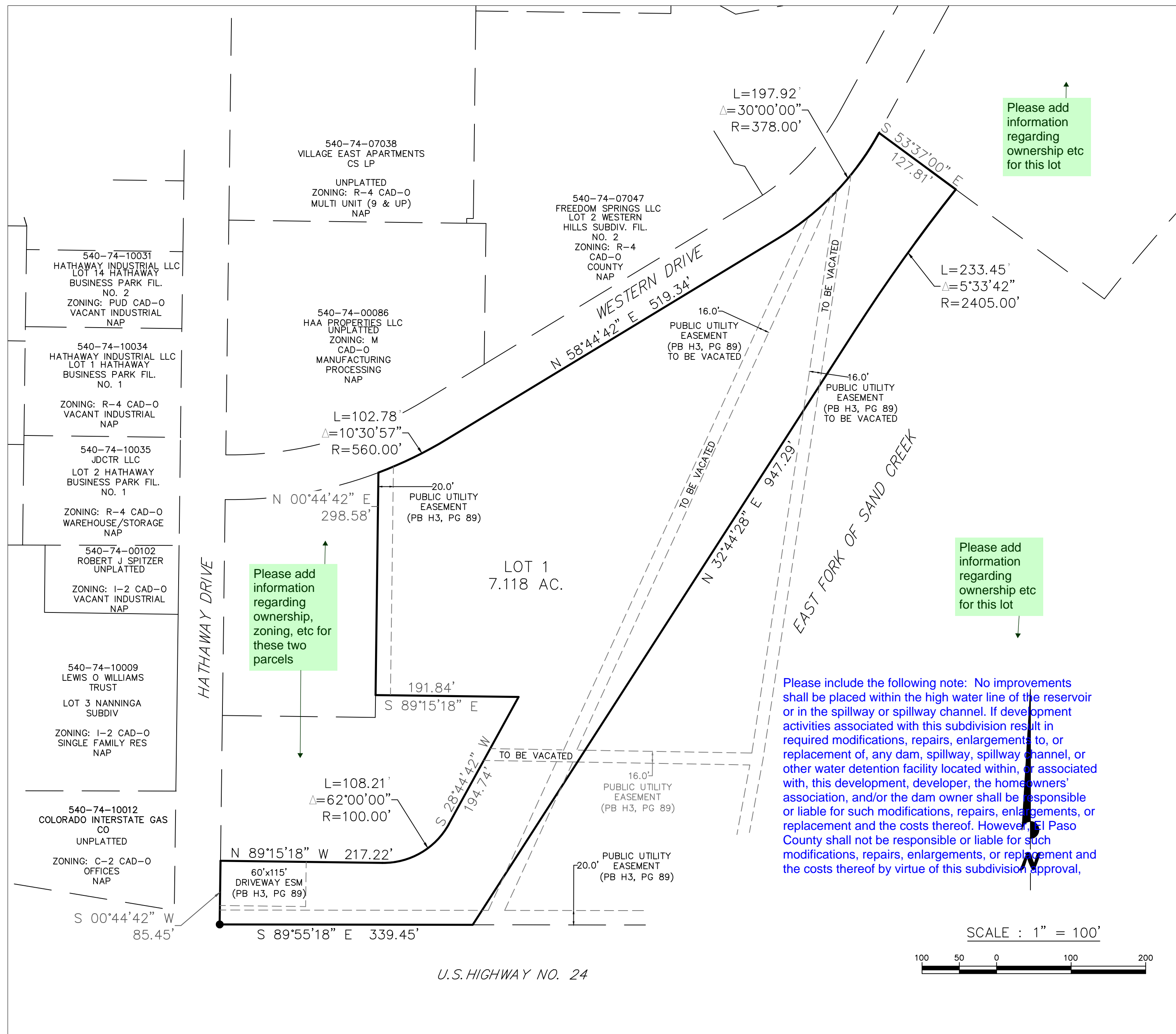


Info Only: Engineering comments are in blue text.

# TOWNHOMES AT WESTERN

## LOT I, CIMARRON SOUTHEAST FILING NO. 2C, SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 WEST of the 6th PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



Please include the following note: The individual lot purchaser(s) shall be responsible for final design, construction, and maintenance of private detention pond/water quality BMP(s) as described in the approved Preliminary/Final Drainage Report for this subdivision. Final design, construction drawings and drainage report updates for the detention pond/water quality BMP(s) for each lot shall be provided with Site Development Plan submittals. The detention pond/water quality BMP(s) shall be constructed and completed prior to the issuance of any building permits for the subject lots. The subdivision developer is responsible for providing financial assurances as indicated in the Subdivision Improvements Agreement and Estimate of Guaranteed Funds for the detention ponds/water quality BMPs. All detention ponds/water quality BMPs shall be constructed prior to the release of said financial assurances. Individual lot purchasers shall enter into a Private Detention Basin / Stormwater Quality BMP Maintenance Agreement and Easement ("Agreement") prior to the issuance of any building permits for the subject lots. In the case that the developer constructs the detention pond(s), the developer shall enter into an Agreement for each pond constructed.

Please include the following note: No structures or uses are permitted within designated "Floodplain" or "Park and Open Space" areas. (Modification of this note may be allowed if the plan approved by the Floodplain Administrator, provided this creates no conflict with approved plans or conditions.)

### VICINITY MAP

Please include the following note: Unless otherwise indicated, all side, front, and rear lot lines are hereby platted on either side with a 10 foot (use 5 feet for lots smaller than 2.5 acres) public utility easement unless otherwise indicated. All exterior subdivision boundaries are hereby platted with a 20 foot (use 5 feet for lots smaller than 2.5 acres) public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners.

### KNOW ALL BY THESE PRESENTS

THAT J. ELLIOTT HOMES, INC., A COLORADO INCORPORATED COMPANY, BEING THE OWNER OF THE FOLLOWING DESCRIBED TRACTS OF LAND TO WIT:  
 LOT 1, CIMARRON SOUTHEAST FILING NO. 2C AS RECORDED IN PLAT BOOK H-3 AT PAGE 89 OF THE RECORDS OF EL PASO COUNTY, COLORADO  
 CONTAINING A CALCULATED AREA OF 310,069 SF, MORE OR LESS.

### NOTES

1. BEARING REFERRED TO HEREIN ARE BASED ON THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR N00°44'42"E.
2. UNITS OF MEASURE ARE US SURVEY FEET.
3. NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON. (SECTION 13-80-105 C.R.S.)
4. ALL EASEMENTS THAT ARE DEDICATED HEREON FOR PUBLIC UTILITY PURPOSES SHALL BE SUBJECT TO THOSE TERMS AND CONDITIONS AS SPECIFIED IN THE INSTRUMENT RECORDED AT RECEPTION NUMBER 21212548 OF THE RECORDS OF EL PASO COUNTY, COLORADO. ALL OTHER EASEMENTS OR INTERESTS OF RECORD AFFECTING ANY OF THE PLATTED PROPERTY DEPICTED HEREON SHALL NOT BE AFFECTED AND SHALL REMAIN IN FULL FORCE AND EFFECT.
5. ALL UNIT OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGHOUT THEIR UNIT. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICATED. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
6. DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF PARKS AND WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS AND THE U.S. FISH AND WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS IT RELATES TO THE LISTED SPECIES (E.G., PREBLE'S MEADOW JUMPING MOUSE).
7. THE ADDRESSES EXHIBITED ON THIS PLAT ARE FOR INFORMATIONAL PURPOSES ONLY. THEY ARE NOT THE LEGAL DESCRIPTION AND ARE SUBJECT TO CHANGE.
8. MAILBOXES SHALL BE INSTALLED IN ACCORDANCE WITH ALL EL PASO COUNTY AND UNITED STATES POSTAL SERVICE REGULATIONS.
9. NO GRADING SHALL BE CONDUCTED UPON ANY LOT PRIOR TO APPROVAL OF THE GRADING AND EROSION CONTROL PLANS BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
10. NO DRIVEWAY SHALL BE ESTABLISHED UNLESS AN ACCESS PERMIT HAS BEEN GRANTED BY EL PASO COUNTY.
11. THE PRIVATE ROADS AS SHOWN ON THIS PLAT WILL NOT BE MAINTAINED BY EL PASO COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN CONFORMANCE WITH EL PASO COUNTY STANDARDS IN EFFECT AT THE DATE OF THE REQUEST FOR DEDICATION AND MAINTENANCE.
12. THE SUBDIVIDER(S) AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 18-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS.
13. THERE SHALL BE NO VEHICULAR ACCESS TO US HIGHWAY 24.
14. LOT LINES MAY OR MAY NOT RUN ALONG SHOWN EASEMENTS LINES.
15. TRACT A (GENERAL COMMON ELEMENT/GCE) IS GENERALLY FOR COMMON OPEN SPACE FOR THE RESIDENTS OF TOWNHOMES AT WESTERN. THIS TRACT SHALL BE USED FOR PRIVATE DRIVES, PRIVATE SIDEWALKS, PRIVATE & PUBLIC UTILITIES, PRIVATE DRAINAGE, LANDSCAPE, SIDEWALKS AND FENCES, AND SHALL BE OWNED AND MAINTAINED BY THE TOWNHOMES AT WESTERN HOMEOWNERS ASSOCIATION AS RECORDED AT RECEPTION NO. \_\_\_\_\_.
16. PUBLIC ACCESS SHALL BE ALLOWED OVER AND ACROSS THE PRIVATELY OWNED TRACT A AS DEFINED IN THE COVENANTS OF THE TOWNHOMES AT WESTERN HOMEOWNERS ASSOCIATION AS RECORDED AT RECEPTION NO. \_\_\_\_\_.
17. PROPERTY SUBJECT TO AN AVIGATION EASEMENT AS RECORDED IN BOOK 2152 AT PAGE 400 OF THE RECORDS OF EL PASO COUNTY, COLORADO.

Where the Property is Located in the Airport Overlay Zone  
 NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACT ASSOCIATED WITH AIRPORT:  
 This serves as notice of potential aircraft overflight and noise impacts on this property due to its close proximity to an airport, which is being disclosed to all prospective purchasers considering the use of this property for residential and other purposes. This property is subject to the overflight and associated noise of arriving and departing aircraft during the course of normal airport operations. (Use when this plat is to provide the notice)  
 All property within this subdivision is subject to a Notice of Potential Aircraft Overflight and Noise Impact recorded at Reception No. \_\_\_\_\_ of the records of the El Paso County Clerk and Recorder. (Use when the Notice has previously been recorded)  
 All property within this subdivision is subject to an Avigation Easement as recorded at Reception No. \_\_\_\_\_ of the records of the El Paso County Clerk and Recorder. (Use only when the property is subject to an existing avigation easement as reflected in the title policy)

### OWNER'S CERTIFICATE

THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES, BENEFICIARIES OF DEEDS OF TRUST AND HOLDERS OF OTHER INTERESTS IN THE LAND DESCRIBED HEREIN, HAVE LAID OUT, SUBDIVIDED, AND PLATTED SAID LANDS INTO LOTS AND EASEMENTS AS SHOWN HEREON UNDER THE NAME AND SUBDIVISION OF "TOWNHOMES AT WESTERN". ALL PUBLIC IMPROVEMENTS SO PLATTED ARE HEREBY DEDICATED TO PUBLIC USE AND SAID OWNER DOES HEREBY COVENANT AND AGREE THAT THE PUBLIC IMPROVEMENTS WILL BE CONSTRUCTED TO EL PASO COUNTY STANDARDS AND THAT PROPER DRAINAGE AND EROSION CONTROL FOR SAME WILL BE PROVIDED AT SAID OWNER'S EXPENSE, ALL TO THE SATISFACTION OF THE BOARD OF COUNTY COMMISSIONERS OF EL PASO COUNTY, COLORADO. UPON ACCEPTANCE BY RESOLUTION, ALL PUBLIC IMPROVEMENTS SO DEDICATED WILL BECOME MATTERS OF MAINTENANCE BY EL PASO COUNTY, COLORADO. THE UTILITY EASEMENTS SHOWN HEREON ARE HEREBY DEDICATED FOR PUBLIC UTILITIES AND COMMUNICATION SYSTEMS AND OTHER PURPOSES AS SHOWN HEREON. THE ENTITIES RESPONSIBLE FOR PROVIDING THE SERVICES FOR WHICH THE EASEMENTS ARE ESTABLISHED ARE HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO ADJACENT PROPERTIES FOR INSTALLATION, MAINTENANCE, AND REPLACEMENT OF UTILITY LINES AND RELATED FACILITIES.

BY: \_\_\_\_\_  
 STATE OF COLORADO )  
 COUNTY OF EL PASO ) SS  
 ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024 BY \_\_\_\_\_  
 MY COMMISSION EXPIRES \_\_\_\_\_  
 WITNESS MY HAND AND OFFICIAL SEAL \_\_\_\_\_  
 NOTARY PUBLIC

### SURVEYOR'S STATEMENT

RANDALL D. HENCY, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE ON THE DATE OF SURVEY SHOWN HEREON. THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1:10,000; AND THAT SAID PLAT HAS BEEN PREPARED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISION, OR SURVEYING OF LAND AND ALL APPLICABLE PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE.

I ATTEST THE ABOVE ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019.

RANDALL D. HENCY (SIGNATURE) \_\_\_\_\_ DATE \_\_\_\_\_  
 COLORADO REGISTERED PLS #27605

### PLANNING AND COMMUNITY DEVELOPMENT CERTIFICATE

THIS PLAT FOR "TOWNHOMES AT WESTERN" WAS APPROVED FOR FILING BY THE EL PASO COUNTY, COLORADO PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DIRECTOR ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024, SUBJECT TO ANY NOTES OR CONDITIONS SPECIFIED HEREON.

EXECUTIVE DIRECTOR, EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_  
 MEGGAN HERINGTON

Please include the following note: Lot \_\_\_\_ (or Tract \_\_\_\_ ) (or entire property) of this property is subject to a Private Detention Basin/Stormwater Quality BMP Maintenance Agreement and Easement as recorded at Reception No. \_\_\_\_\_ of the records of El Paso County. The \_\_\_\_\_ HOA (or Owner or District) is responsible for maintenance of the subject drainage facilities. Watershed Dam Note (To be used when the subdivision affects or located in areas which are inundated by the high water line of a watershed dam, or downstream in the impacted area.)

### CLERK AND RECORDER

CLERK AND RECORDER:  
 STATE OF COLORADO )  
 COUNTY OF EL PASO ) SS  
 I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN MY OFFICE AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M. THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024, A.D. AND IS DULY RECORDED AT RECEPTION NO. \_\_\_\_\_ OF THE RECORDS OF EL PASO COUNTY, COLORADO.

STEVE SCHLEIKER, CLERK AND RECORDER

BY: \_\_\_\_\_  
 DEPUTY

SCHOOL FEES: \_\_\_\_\_

PARK FEES: \_\_\_\_\_

PCD File No. SF2410

### LEGEND

- PROPERTY BOUNDARY
- - - ADJACENT PROPERTY LINE
- LOT LINE
- - - EASEMENT
- FOUND CORNER AS SHOWN
- SET #5 REBAR W/ ALUMINUM CAP
- \*POLARIS, PLS 27605\* FLUSH WITH THE GROUND.
- (4000) ADDRESS
- NAP NOT A PART OF THIS SUBDIVISION

AS PLATTED

### UNIT / GCE TABLE

52 UNITS @ 966 SF/EA	=	50,232 SF
TRACT A (GCE*)	=	259,837 SF
TOTAL	=	310,069 SF (7,118 AC)
* (GCE) =	GENERAL COMMON ELEMENT	

## TOWNHOMES AT WESTERN

LOT I, CIMARRON SOUTHEAST FILING NO. 2C, SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 WEST of the 6th PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



SCALE 1" = 100'

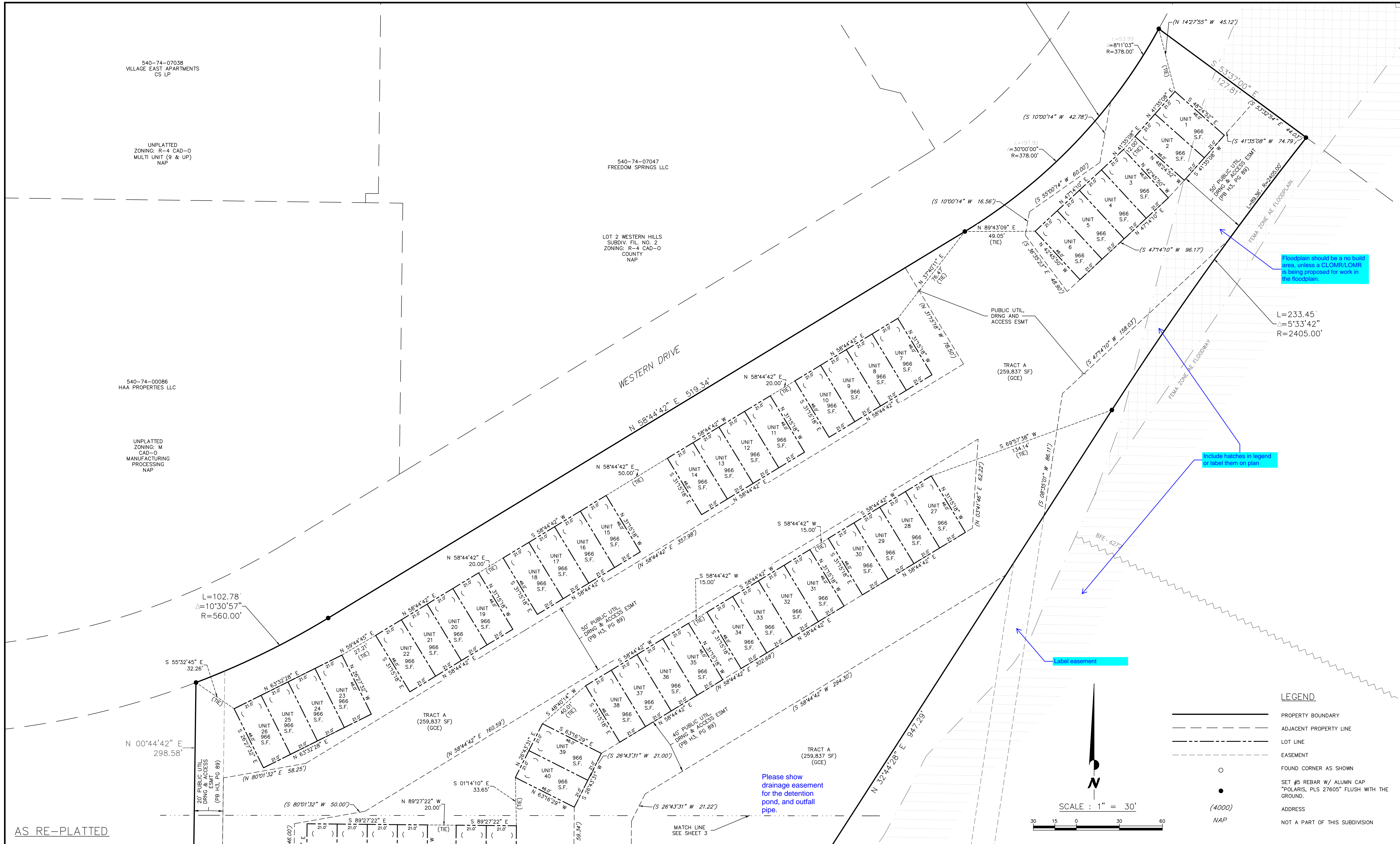
ZONE	REV

REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, NO. 27605 FOR AND ON BEHALF OF POLARIS SURVEYING, INC. NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

TJW	DATE: 21 MARCH 2024
RDH	DRAWING NO: - TOWNHOME
230905	SHEET: 1 of 3

**POLARIS SURVEYING, INC.**  
 1903 Lelary Street, Suite 102  
 COLORADO SPRINGS, CO 80909  
 (719)448-0844 FAX (719)448-9225

TOWNHOMES AT WESTERN  
 For: JORDON



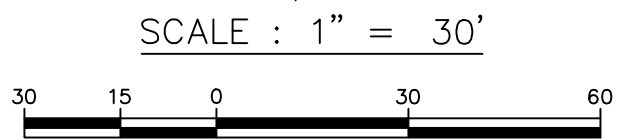
Floodplain should be a no build area, unless a CLOMR/LOMR is being proposed for work in the floodplain.

Include hatches in legend or label them on plan

Label easement

Please show drainage easement for the detention pond, and outfall pipe.

- LEGEND**
- PROPERTY BOUNDARY
  - - - ADJACENT PROPERTY LINE
  - LOT LINE
  - - - EASEMENT
  - FOUND CORNER AS SHOWN
  - SET #5 REBAR W/ ALUMN CAP "POLARIS, PLS 27605" FLUSH WITH THE GROUND.
  - ADDRESS
  - (4000) NOT A PART OF THIS SUBDIVISION



AS RE-PLATTED

REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, NO. 27605 FOR AND ON BEHALF OF POLARIS SURVEYING, INC. NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

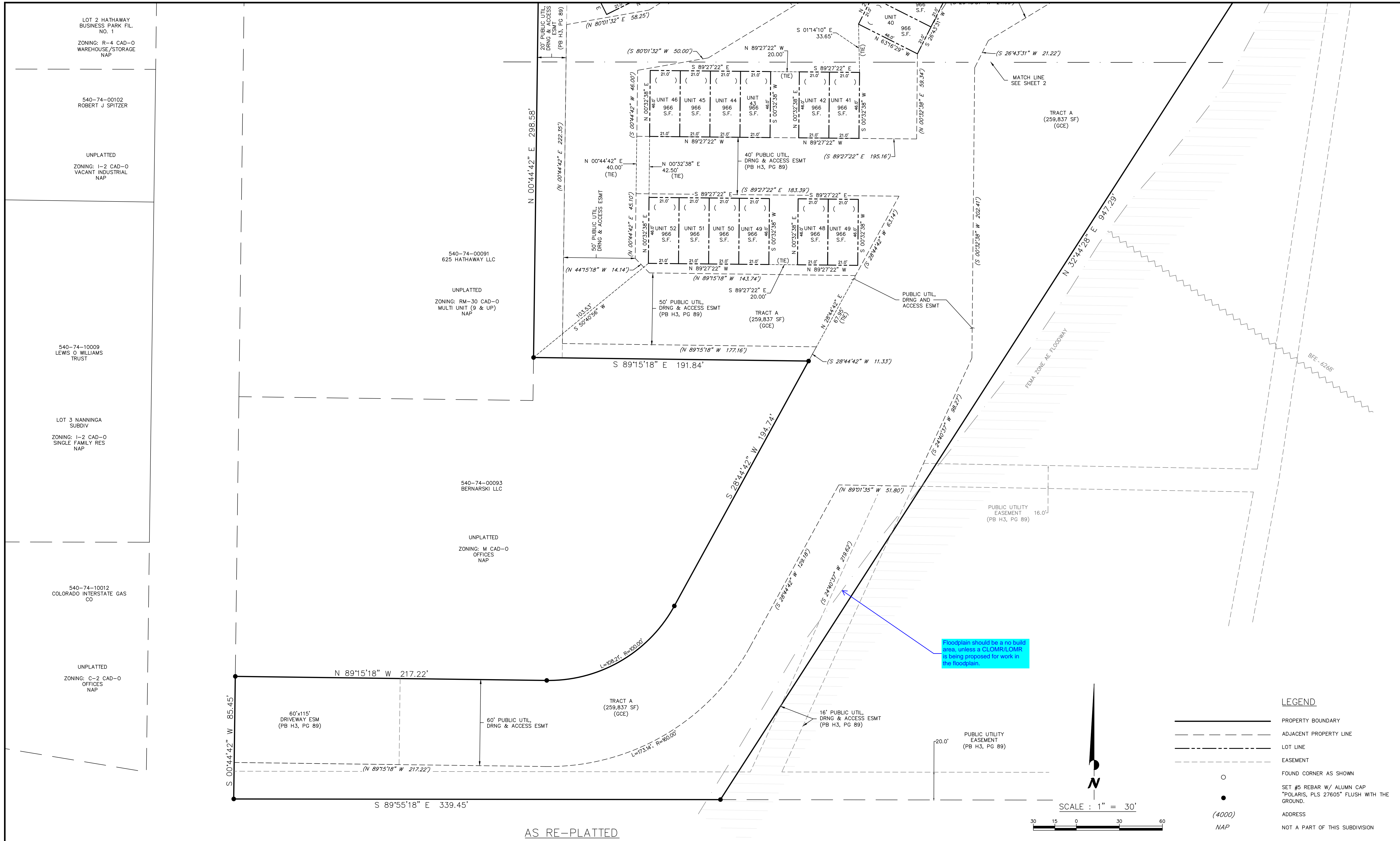
**TOWNHOMES AT WESTERN**  
 LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 WEST of the 6th PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

ZONE	REV	DESCRIPTION	DATE	APPROVED

DRAWN BY:	TJW	DATE:	3/22/2024
CHECKED BY:	RDH	DRAWING NO.:	- TOWNHOME
JOB NO.:	230905	SHEET:	2 of 3

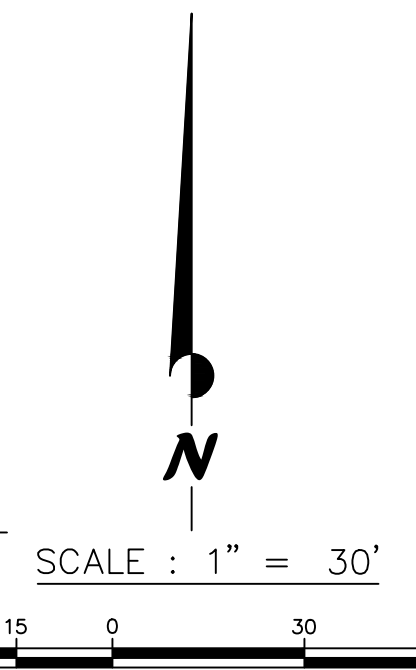
**POLARIS SURVEYING, INC.**  
 1903 Lelary Street, Suite 102  
 COLORADO SPRINGS, CO 80909  
 (719)448-0844 FAX (719)448-9225

TOWNHOMES AT WESTERN  
 For: JORDON



AS RE-PLATTED

Floodplain should be a no build area, unless a CLOMR/LOMR is being proposed for work in the floodplain.

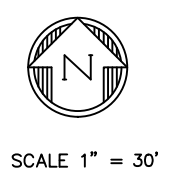


- LEGEND**
- PROPERTY BOUNDARY
  - - - ADJACENT PROPERTY LINE
  - - - LOT LINE
  - - - EASEMENT
  - FOUND CORNER AS SHOWN
  - SET #5 REBAR W/ ALUMN CAP "POLARIS, PLS 27605" FLUSH WITH THE GROUND.
  - (4000) ADDRESS
  - NAP NOT A PART OF THIS SUBDIVISION

REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, NO. 27605 FOR AND ON BEHALF OF POLARIS SURVEYING, INC. NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

**TOWNHOMES AT WESTERN**

LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 WEST of the 6th PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



REVISIONS				
ZONE	REV	DESCRIPTION	DATE	APPROVED

DRAWN BY:	TJW	DATE:	3/22/2024
CHECKED BY:	RDH	DRAWING NO.:	- TOWNHOME
JOB NO.:	230905	SHEET:	3 of 3

**POLARIS SURVEYING, INC.**  
 1903 Lelary Street, Suite 102  
 COLORADO SPRINGS, CO 80909  
 (719)448-0844 FAX (719)448-9225

TOWNHOMES AT WESTERN  
 For:  
 JORDON