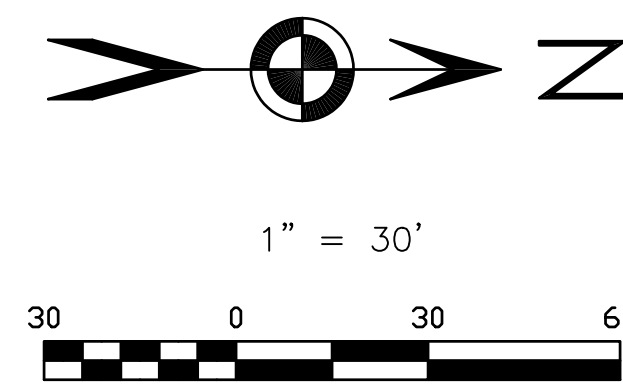


SITE PLAN

A PORTION OF THE NORTHEAST QUARTER OF
SECTION 23, TOWNSHIP 12 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
COUNTY OF EL PASO, STATE OF COLORADO



LEGAL DESCRIPTION

Lot 1, Flanders Minor Subdivision, County of El Paso, State of Colorado.

PARCEL DETAILS

Address of Record: 4575 Burgess Road, Colorado Springs, CO 80908
TSN: 6223000067
Zoning District: RR-5 (Rural Residential)
Front Setback: 25 feet
Side Setback: 25 feet
Rear Setback: 25 feet
Max Height: 30 feet

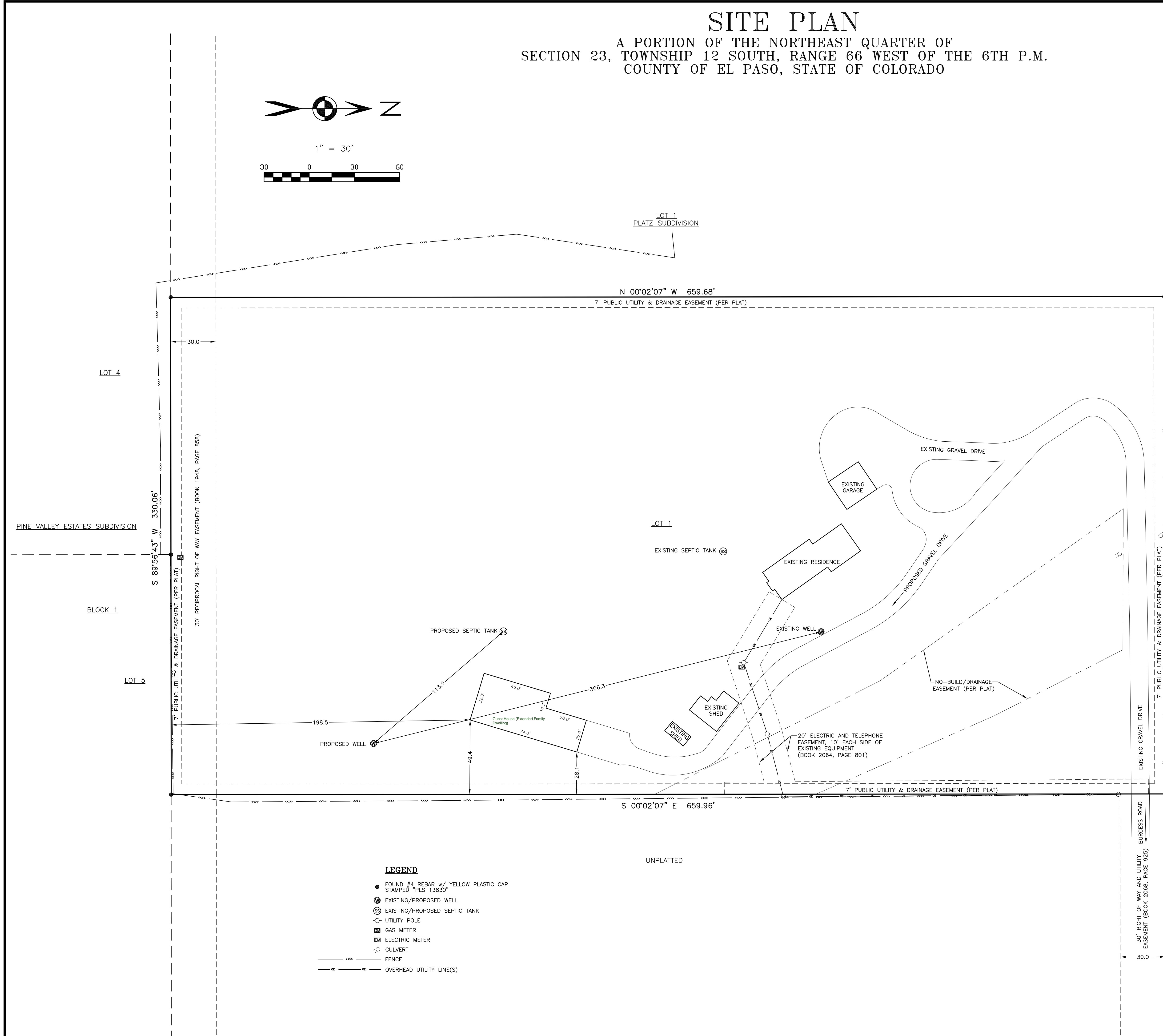
SURVEYOR'S NOTES

- NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.
- Any person who knowingly removes, alters or defaces any public land survey monument or land boundary monument or accessory commits a class 2 misdemeanor pursuant to the Colorado Revised Statute 18-4-508.
- The lineal units used in this drawing are U.S. Survey Feet.
- This survey was performed in the field on January 4, 2017.
- The overall subject parcel contains a platted area of 217,779 square feet (5.000 acres) of land, more or less.
- This is not a boundary survey.
- Any underground or above ground utilities shown hereon have been located from field survey information. Barron Land, LLC does not guarantee said underground utilities to be shown in their exact location and that said underground utilities are shown in their entirety. Barron Land, LLC did not physically enter any manholes or inlets to verify size and material. Where additional or more detailed information is required, the client is advised that excavation may be necessary.
- FEDERAL EMERGENCY MANAGEMENT AGENCY, Flood Insurance Rate Map, Map Number 08041C0530 F effective date March 17, 1997, indicates that the area within the surveyed property to be located in Zone X (areas determined to be outside 500-year flood plain).

SURVEYOR'S STATEMENT

The undersigned Colorado Registered Professional Land Surveyor does hereby state and declare to Hi-Point Home Builders, that the accompanying Site Plan was surveyed and drawn under his direct responsibility and supervision and to the normal standard of practice by surveyors in the State of Colorado and accurately shows the described tract of land thereof, and that the requirements of Title 38 of the Colorado Revised Statutes, 1973, as amended, have been met to the best of his professional knowledge, belief and opinion.

Spencer J. Barron
State of Colorado Professional Land Surveyor No. 38141
For and on behalf of Barron Land, LLC



UNPLATTED

UNPLATTED

- LEGEND**
- FOUND #4 REBAR w/ YELLOW PLASTIC CAP STAMPED "PLS 13830"
 - ⊙ EXISTING/PROPOSED WELL
 - ⊙ EXISTING/PROPOSED SEPTIC TANK
 - UTILITY POLE
 - ⊠ GAS METER
 - ⊠ ELECTRIC METER
 - CULVERT
 - FENCE
 - OVERHEAD UTILITY LINE(S)

DATE: 01/05/2017		REVISIONS	
No.	Remarks	Date	By
			SB

BARRON LAND
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PROJECT No.: 17-003 SHEET 1 OF 1